

**PROJECT SITE AND EXISTING STRUCTURES**



07/12/2019



07/12/2019



07/12/2019



07/12/2019

**2840 PRAIRIE AVE**

**04**

**2840 PRAIRIE AVE**

**03**

**2840 PRAIRIE AVE**

**02**

**2840 PRAIRIE AVE**

**01**



07/12/2019



07/12/2019



07/12/2019



07/12/2019

**2840 PRAIRIE AVE**

**04**

**2840 PRAIRIE AVE**

**03**

**2840 PRAIRIE AVE**

**02**

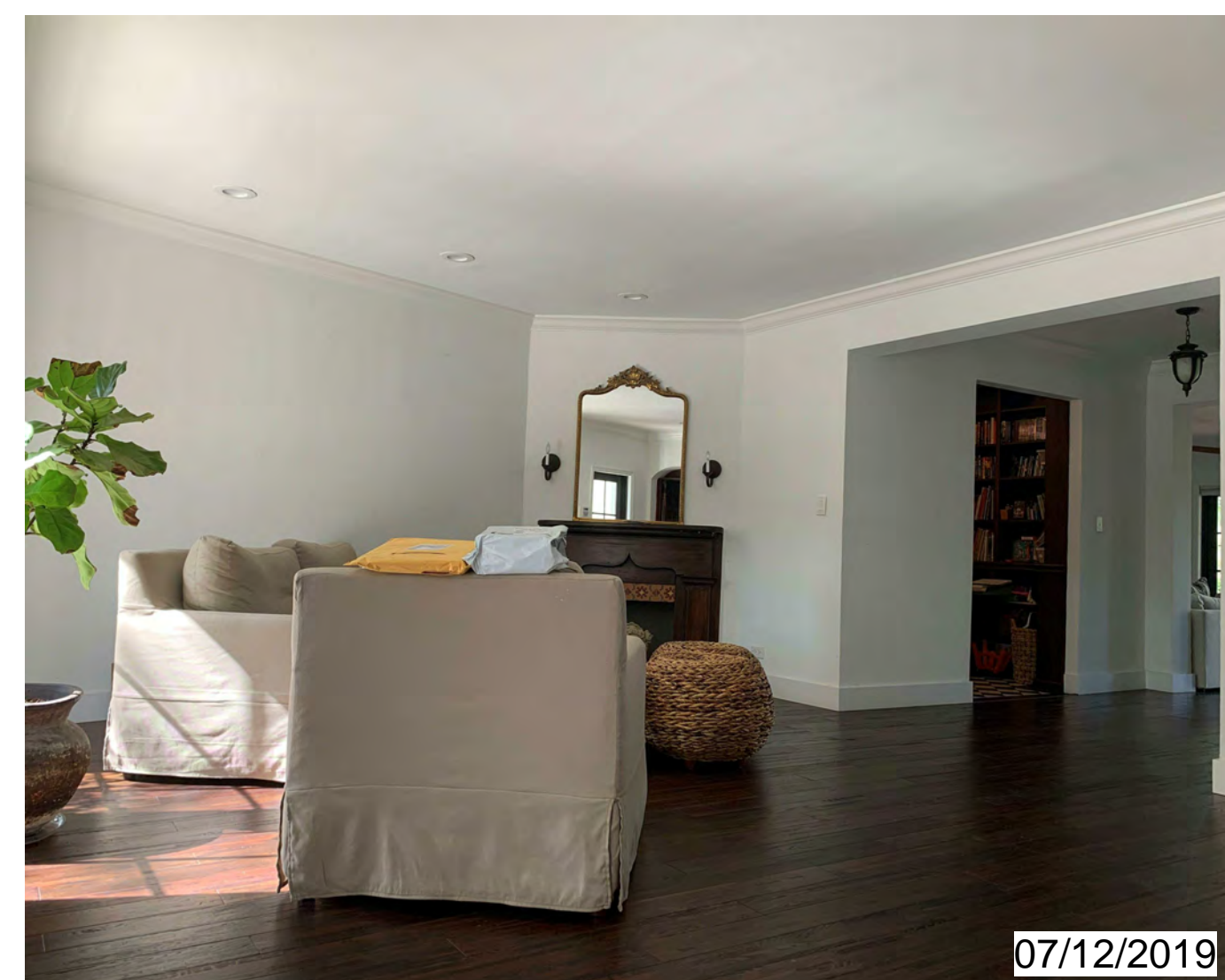
**2840 PRAIRIE AVE**

**01**

**INTERIOR SPACE**



07/12/2019



07/12/2019



07/12/2019



07/12/2019

**2840 PRAIRIE AVE**

**04**

**2840 PRAIRIE AVE**

**03**

**2840 PRAIRIE AVE**

**02**

**2840 PRAIRIE AVE**

**01**

PROJECT, ADDRESS AND OWNER:

**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER:

DOUGLAS F EATON & W MOLLY  
A OSENDORF

ARCHITECT:

 G3sec  
975 Arthur Godfrey rd, suite 401  
miami beach florida 33140  
t 305 763 8471 • admin@g3sec.com  
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

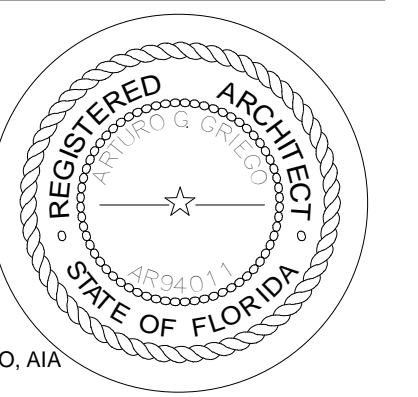
**BOA SET**

PROJECT No.:  
ISSUE DATE:  
REVISIONS:

EXISTING SITE AND CONTEXT  
PHOTOS  
SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S  
KNOWLEDGE, THE PLANS AND SPECIFICATIONS  
COMPLY WITH THE APPLICABLE MINIMUM BUILDING  
CODES AND THE APPLICABLE FIRE-SAFETY  
STANDARDS  
AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**G-10**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL  
WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR  
WRITTEN CONSENT.

**SURROUNDING PROPERTIES, CORNER TO CORNER, ACROSS THE STREET.**



**2840 PRAIRIE AVE 04**



**2840 PRAIRIE AVE 03**



**2840 PRAIRIE AVE 02**



**2840 PRAIRIE AVE 01**

PROJECT, ADDRESS AND OWNER:

**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER

DOUGLAS F EATON & W MOLLY  
A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works _____	___/___/___
Fire Prev. _____	___/___/___
Planning _____	___/___/___
Zoning _____	___/___/___
Building _____	___/___/___
Structural _____	___/___/___
Electrical _____	___/___/___
Plumbing _____	___/___/___
Mech. _____	___/___/___
S. Waste _____	___/___/___

REVISIONS:

\_\_\_\_\_  
 \_\_\_\_\_  
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**BOA SET**

PROJECT No.:

ISSUE DATE:

REVISIONS:

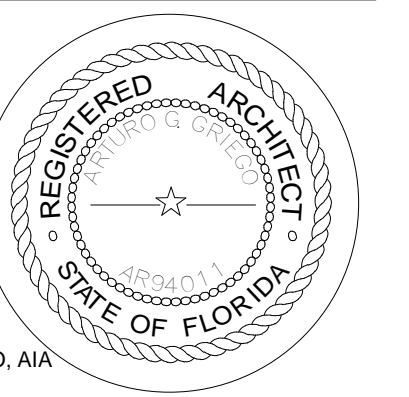
EXISTING SITE AND CONTEXT

PHOTOS

SCALE:

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



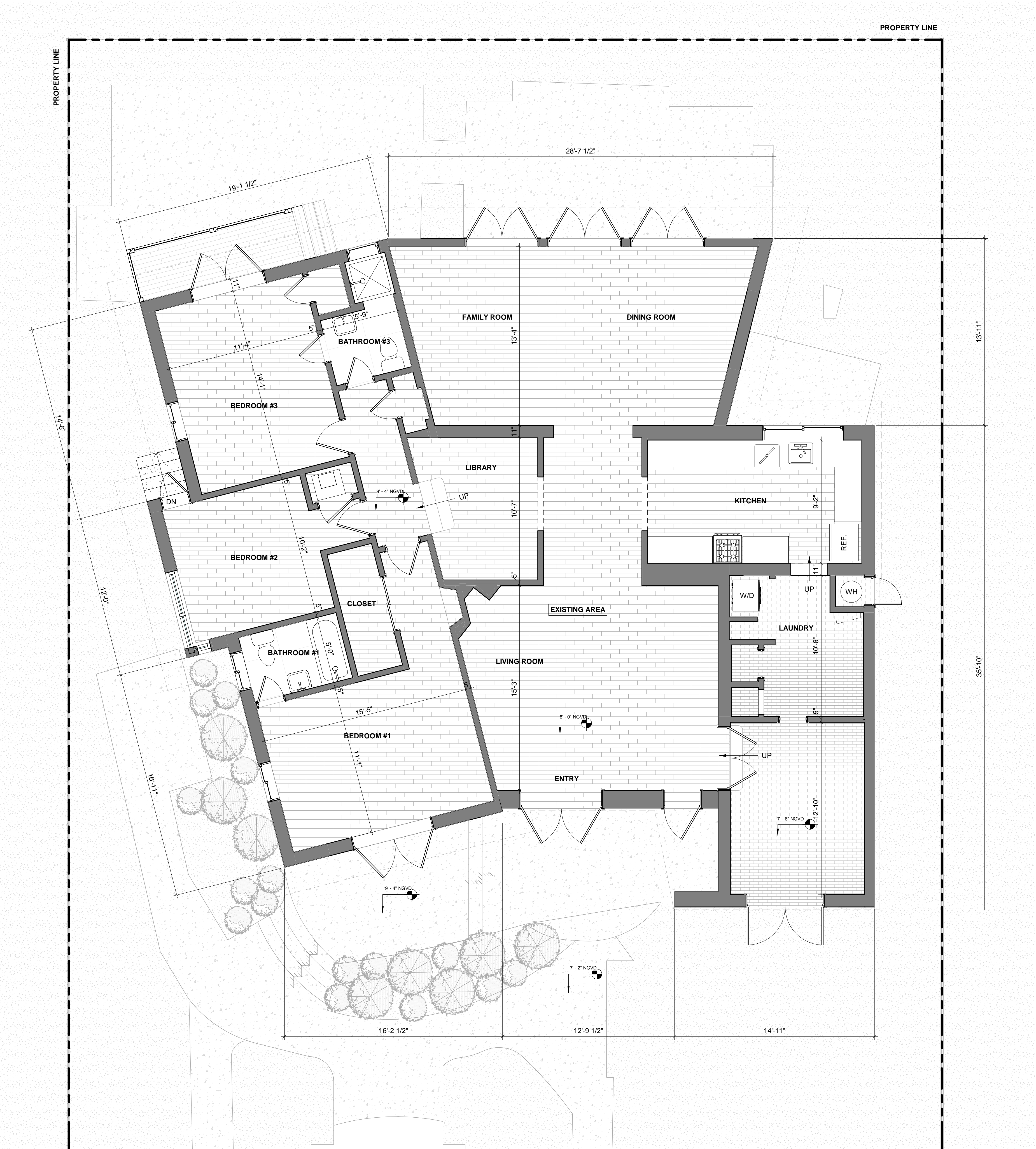
SIGNATURE:

ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**G-11**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
 MIAMI, FL 33140

OWNER  
 DOUGLAS F EATON & W MOLLY  
 A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

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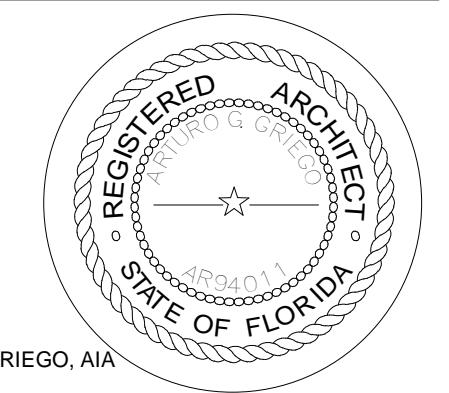
**BOA SET**

PROJECT No.:  
 ISSUE DATE:  
 REVISIONS:

EXISTING FIRST LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

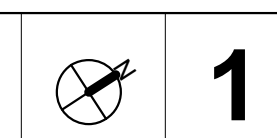
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SEAL:  
 SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011



SHEET No.:  
**G-12**

FOR REFERENCE ONLY

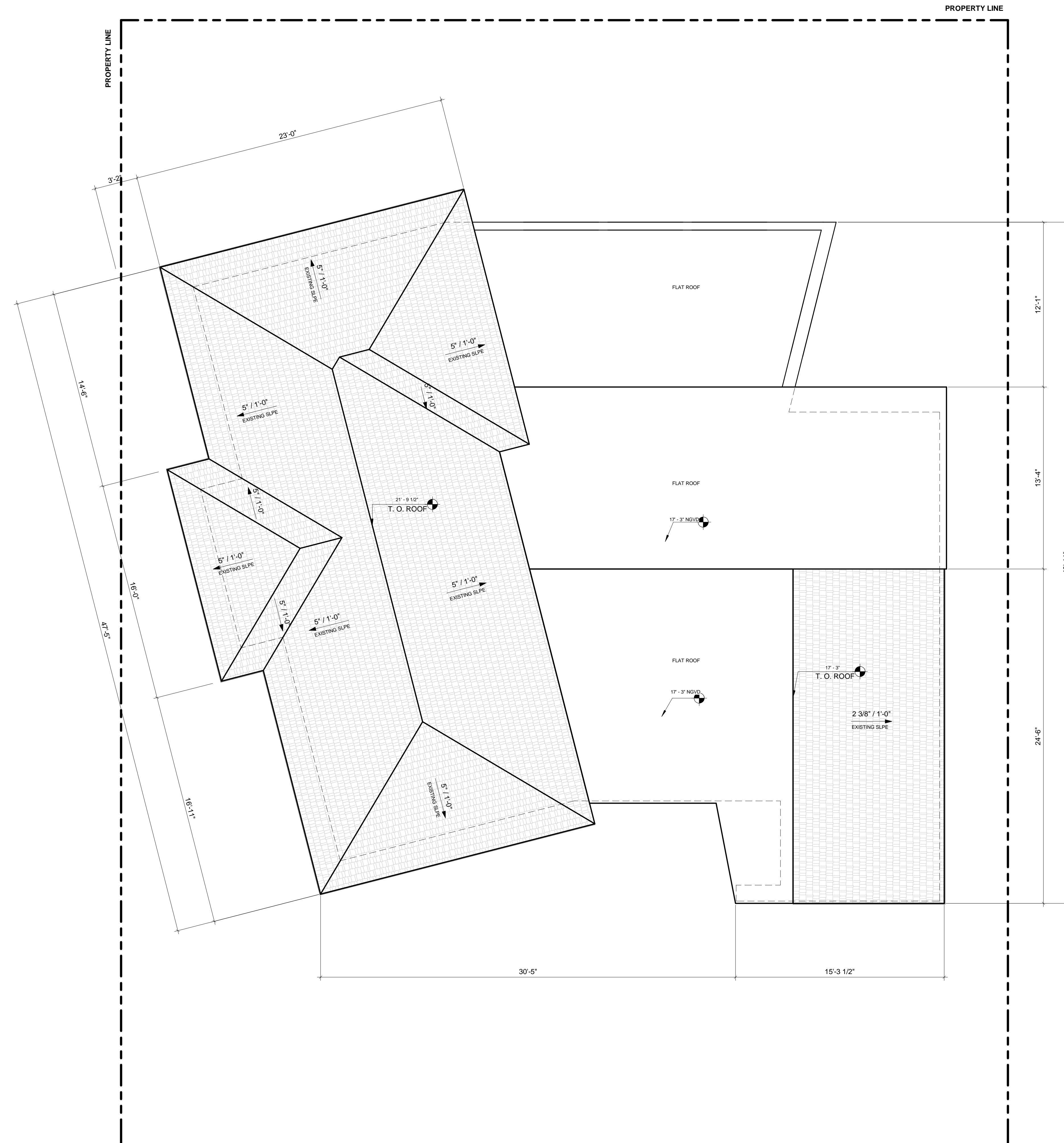


**1**

EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

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PROPERTY LINE

PROPERTY LINE

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
 MIAMI, FL 33140

OWNER  
 DOUGLAS F EATON & W MOLLY  
 A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

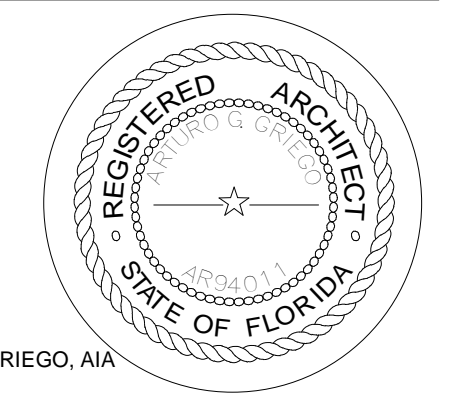
**BOA SET**

PROJECT No.:  
 ISSUE DATE:  
 REVISIONS:

EXISTING ROOF LEVEL PLAN  
 SCALE: 1/4" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

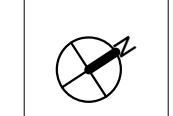


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 ARTURO G. GRIEGO, AIA  
 AR94011

SHEET No.:  
**G-13**

FOR REFERENCE ONLY

EXISTING AREA



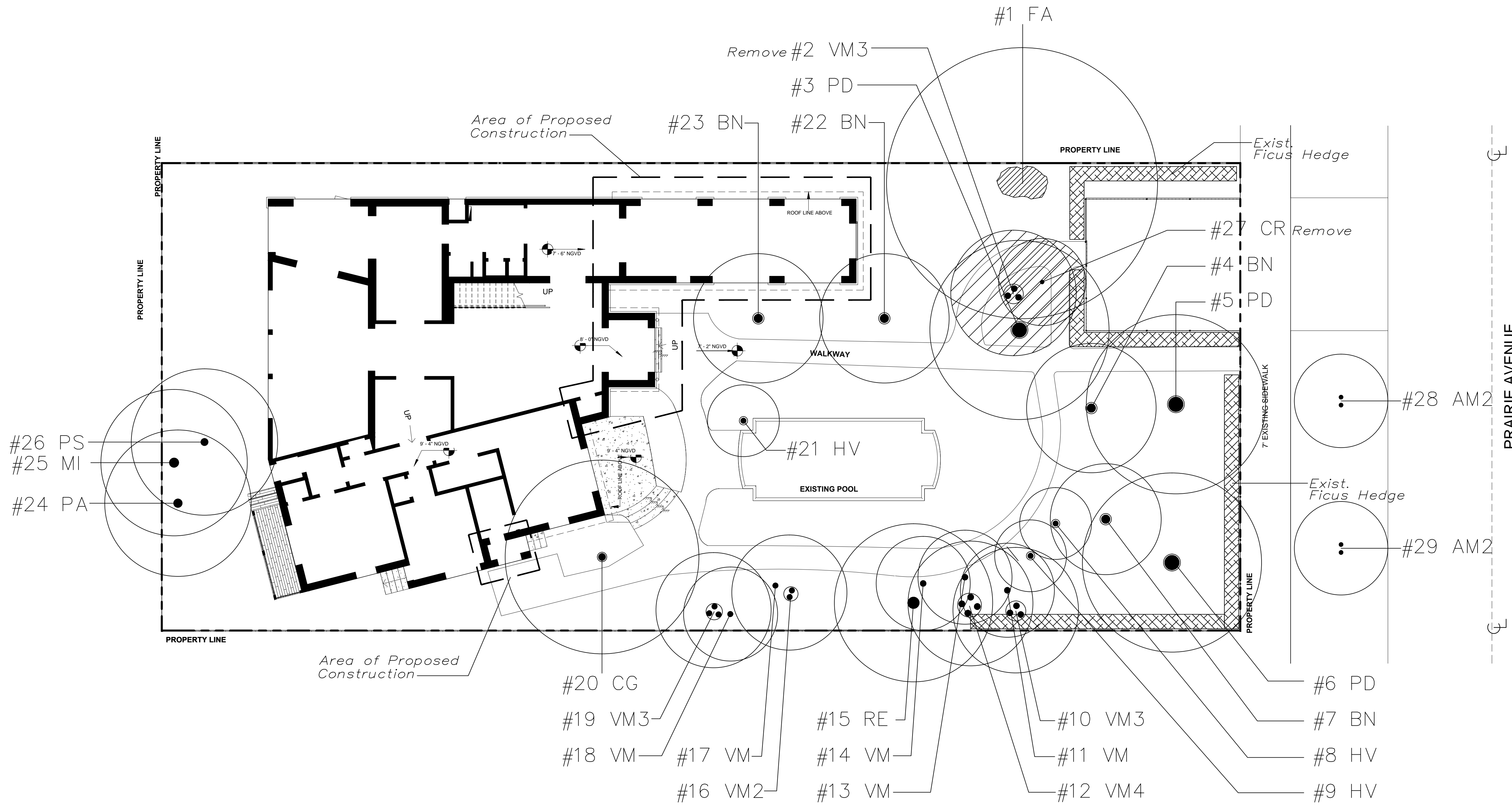
**1**

EXISTING ROOF LEVEL

SCALE: 1/4" = 1'-0"

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GOLF COURSE



Tree Survey List									
Num	Botanical / Common Name	Disposition	Description			Condition	Notes	Mitigation	
			HT	SPR	DBH				
#1 FA	Ficus aurea / Strangler Fig	Remain	45'	35'	6'+	Good			
#2 VM3	Veitchia montgomeryana / Veitchia Palm-triple	--Remove--	25'	18'	3@ 6"	Good	Remove for construction access.	254 sf	
#3 PD	Phoenix dactylifera / Date Palm	Remain	35'	25'	20"	Good			
#4 BN	Bismarkia nobilis / Bismarkia Palm	Remain	30'	18'	9"	Good			
#5 PD	Phoenix dactylifera / Date Palm	Remain	35'	25'	20"	Good			
#6 PD	Phoenix dactylifera / Date Palm	Remain	35'	25'	20"	Good			
#7 BN	Bismarkia nobilis / Bismarkia Palm	Remain	15'	12'	9"	Moderate	Curved Trunk		
#8 HV	Hyophorbe verschafeltii / Bottle Palm	Remain	14'	8'	10"	Good			
#9 HV	Hyophorbe verschafeltii / Bottle Palm	Remain	14'	8'	10"	Good			
#10 VM3	Veitchia montgomeryana / Veitchia Palm-triple	Remain	25'	18'	3@ 6"	Good			
#11 VM	Veitchia montgomeryana / Veitchia Palm	Remain	25'	12'	6"	Good			
#12 VM4	Veitchia montgomeryana / Veitchia Palm-quad	Remain	25'	20'	4@ 6"	Good			
#13 VM	Veitchia montgomeryana / Veitchia Palm	Remain	25'	12'	6"	Good			
#14 VM	Veitchia montgomeryana / Veitchia Palm	Remain	25'	12'	6"	Good			
#15 RE	Roystonea elata / Royal Palm	Remain	35'	22'	17"	Good			
#16 VM2	Veitchia montgomeryana / Veitchia Palm-double	Remain	25'	18'	2@ 6"	Good			
#17 VM	Veitchia montgomeryana / Veitchia Palm	Remain	25'	12'	6"	Good			
#18 VM	Veitchia montgomeryana / Veitchia Palm	Remain	25'	12'	6"	Good			
#19 VM3	Veitchia montgomeryana / Veitchia Palm-triple	Remain	25'	18'	3@ 6"	Good			
#20 CG	Caesalpinia grandillo / Bridalveil	Remain	25'	25'	6"	Good			

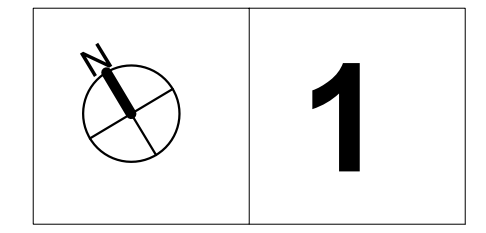
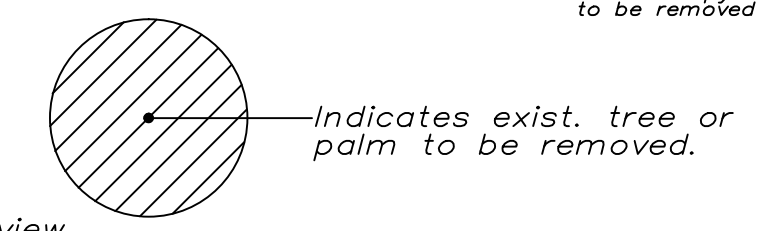
#21 HV	Hyophorbe verschafeltii / Bottle Palm	Remain	14'	8'	10"	Good			
#22 BN	Bismarkia nobilis / Bismarkia Palm	Remain	35'	18'	10"	Good			
#23 BN	Bismarkia nobilis / Bismarkia Palm	Remain	35'	18'	10"	Good			
#24 PA	Persea americana / Avocado	Remain	25'	25'	7"	Good			
#25 MI	Mangifera indica / Mango	Remain	25'	25'	7"	Good			
#26 PS	Plumeria species / Frangipani	Remain	22'	18'	6"	Good			
#27 CR	Clusia rosea / Clusia	--Remove--	15'	10'	2"	Good	Remove for construction access.	79 sf	
#28 AM2	Adonia merrillii / Christmas Palm, dbl.	Remain	16'	14'	2@ 5"	Good	In R/W		
#29 AM2	Adonia merrillii / Christmas Palm, dbl.	Remain	16'	14'	2@ 5"	Good	In R/W		

**Tree Survey Notes:**

1) Tree survey by Landscape Architect, based on Survey rec'd 08.02.19

2) Ht's Spr's & DBH's are approximate based on visual observation. Not measured. Will be measured prior to next review.

Total canopy sf to be removed = 333 sf



## TREE SURVEY / DISPOSITION PLAN

SCALE: 1/8" = 1'-0"

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33139

OWNER  
DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:  
H.L. MARTIN, LANDSCAPE ARCHITECT, PA  
LA #0001722, LC # 2600404  
5965 SW 38TH ST.  
MIAMI | FL | 33155  
t | 305 790 4372, himartin@bellsouth.net

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

BOA SET

PROJECT No.:  
ISSUE DATE:  
REVISIONS:

LANDSCAPE PLAN  
SCALE: As indicated

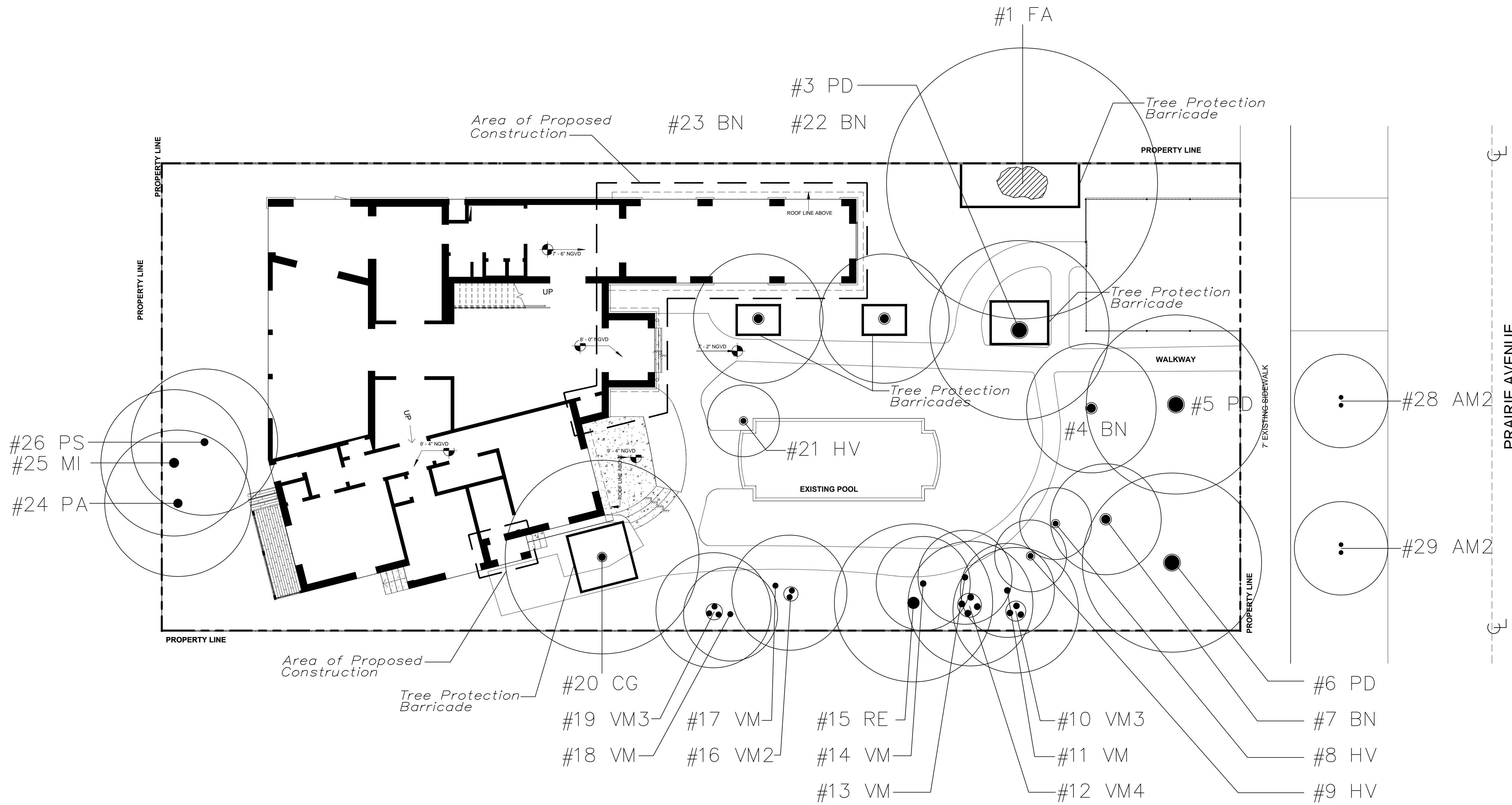
TO THE BEST OF THE ARCHITECTS OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
REGISTERED ARCHITECT  
STATE OF FLORIDA  
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**L-1**

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GOLF COURSE



PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33139

OWNER:  
DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:  
H.L. MARTIN, LANDSCAPE ARCHITECT, PA  
LA #0001722, LC # 26000404  
5965 SW 38TH ST.  
MIAMI | FL | 33155  
t | 305 790 4372, himartinufiu@bellsouth.net

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

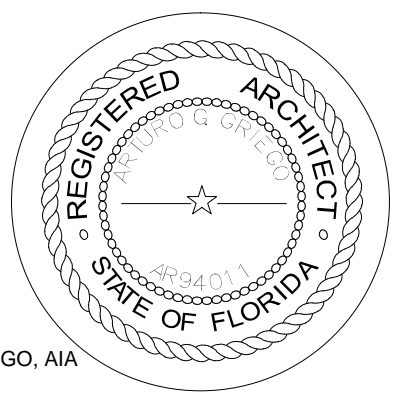
BOA SET

PROJECT No.:  
ISSUE DATE:  
REVISIONS:

LANDSCAPE PLAN  
SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011



SHEET No.:  
**L-2**

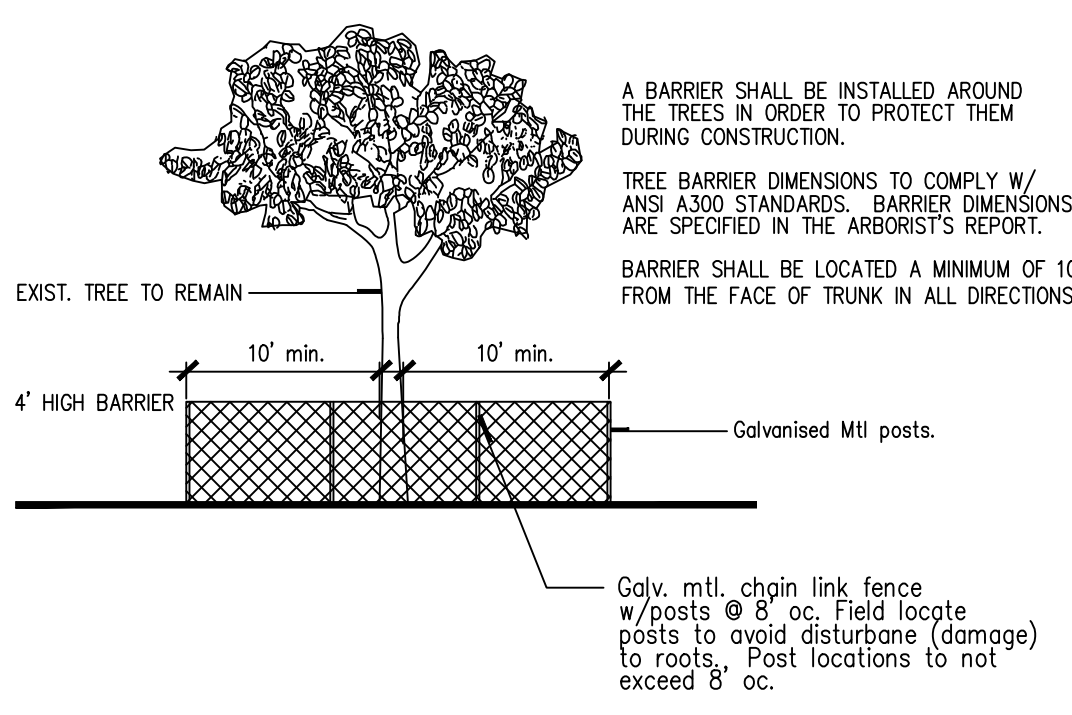
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

CITY OF MIAMI BEACH  
TREE PROTECTION NOTES

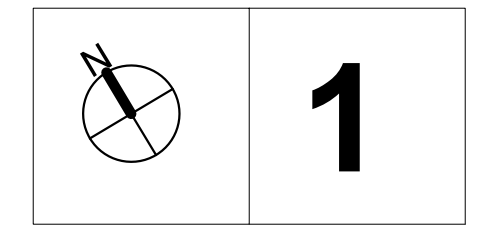
- Understory plants within areas surrounded by protective barriers shall be protected.
- No oil, fill, equipment, building materials, building debris, or any other material shall be placed within the area surrounded by the protective barrier.
- No disposal of any waste material such as paints, oils, solvents, asphalt, concrete, mortar, or any other material shall occur within the areas surrounded by protective barriers.
- Natural grade shall be maintained on areas surrounded by the protective barriers. In the event that the natural grade of the site is changed as a result of site development such that the safety of the tree is endangered, tree wells or retaining walls are required.
- Only hand digging and grading activities will be permitted within the tree protection zone. All surrounding areas must be graded to a point that meets the outside of the tree protection zone.
- Underground utility lines, including, but not limited to, irrigation, plumbing, electrical, or tele-communication lines shall be placed outside the areas enclosed by protective barriers. If said placement is not possible, disturbance and root damage shall be minimized by using techniques such as tunneling, hand digging, excavations with an air spade, or use of overhead utility lines.
- No vehicles or equipment shall be permitted within areas surrounded by the protective barrier.
- Written permission is required from the Urban Forester & the Planning Department prior to removal of the Tree Protection Barrier, in order to complete the work, within the boundary. Work performed within the boundary is to be done by hand, (no machinery), and an on-site walk through may be required.

Tree Survey List-Exist. to Remain

Num	Botanical / Common Name	Disposition	Description			Condition	Notes
			HT	SPR	DBH		
#1 FA	Ficus aurea / Strangler Fig	Remain	45'	35'	6"	Good	
#3 PD	Phoenix dactylifera / Date Palm	Remain	35'	25'	20"	Good	
#4 BN	Bismarkia nobilis / Bismarkia Palm	Remain	30'	18'	9"	Good	
#5 PD	Phoenix dactylifera / Date Palm	Remain	35'	25'	20"	Good	
#6 PD	Phoenix dactylifera / Date Palm	Remain	35'	25'	20"	Good	
#7 BN	Bismarkia nobilis / Bismarkia Palm	Remain	15'	12'	9"	Moderate	Curved Trunk
#8 HV	Hyophorbe verschafeltii / Bottle Palm	Remain	14'	8'	10"	Good	
#9 HV	Hyophorbe verschafeltii / Bottle Palm	Remain	14'	8'	10"	Good	
#10 VM3	Veitchia montgomeriana / Veitchia Palm-triple	Remain	25'	18'	306"	Good	
#11 VM	Veitchia montgomeriana / Veitchia Palm	Remain	25'	12'	6"	Good	
#12 VM4	Veitchia montgomeriana / Veitchia Palm-quadr	Remain	25'	20'	406"	Good	
#13 VM	Veitchia montgomeriana / Veitchia Palm	Remain	25'	12'	6"	Good	
#14 VM	Veitchia montgomeriana / Veitchia Palm	Remain	25'	12'	6"	Good	
#15 RE	Roystonia elata / Royal Palm	Remain	35'	22'	17"	Good	
#16 VM2	Veitchia montgomeriana / Veitchia Palm-double	Remain	25'	18'	206"	Good	
#17 VM	Veitchia montgomeriana / Veitchia Palm	Remain	25'	12'	6"	Good	
#18 VM	Veitchia montgomeriana / Veitchia Palm	Remain	25'	12'	6"	Good	
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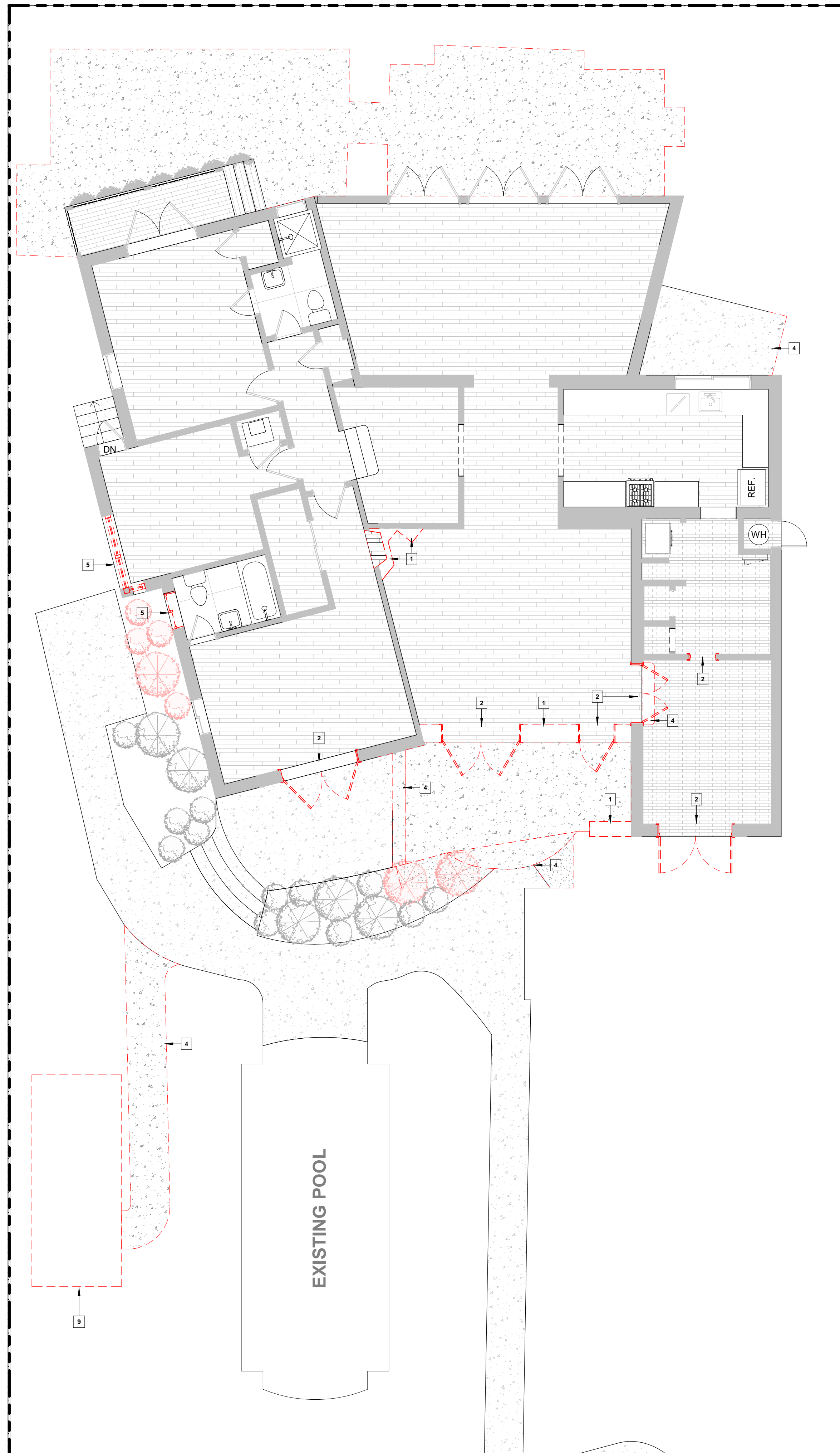


CITY OF MIAMI BEACH  
TREE PROTECTION BARRIER DETAIL  
N.T.S.



**TREE PROTECTION PLAN**

SCALE: 1/8" = 1'-0"



FOR REFERENCE ONLY

1

**GROUND FLOOR DEMOLITION PLAN**

SCALE: 3/16" = 1'-0"

**DEMOLITION LEGEND**

- 1 REMOVE EXISTING WALL
- 2 REMOVE EXISTING DOOR
- 3 REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
- 4 REMOVE FINISH FLOOR
- 5 REMOVE WINDOW
- 6 DEMOLISH STAIR
- 7 REMOVE COLUMN
- 8 REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
- 9 REMOVE ROOF

COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT FIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.

REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.

SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN

**WALL LEGEND**

- 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
  - 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
  - 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.
  - 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
  - 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.
- TO BE DEMOLISHED.
- SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

**NOTE:**

1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.
2. THE EXISTING/REMAINING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.
3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.
4. ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.

**ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION**

**DEMOLITION NOTES**

**02110 DEMOLITION**

1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.
- "TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE-ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
1. EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
  2. DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.
  3. CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.

**SCOPE OF WORK**

CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS.

CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS.

THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.

**EXECUTION**

ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP.

REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

**GENERAL DEMOLITION NOTES**

1. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED TO THAT INSPECTION.
2. DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT. INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
3. TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
4. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
5. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
6. UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
9. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
10. DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS. WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
11. ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
12. G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

PROJECT, ADDRESS AND OWNER:

**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER

DOUGLAS F EATON & W MOLLY  
A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

**Reviewed for CODE COMPLIANCE**

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:


**BOA SET**

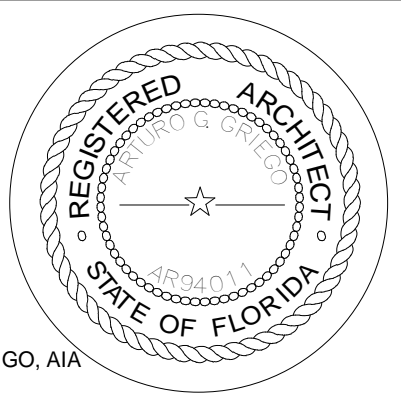
PROJECT No.:  
ISSUE DATE:  
REVISIONS:

**GROUND FLOOR DEMOLITION PLAN**

SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

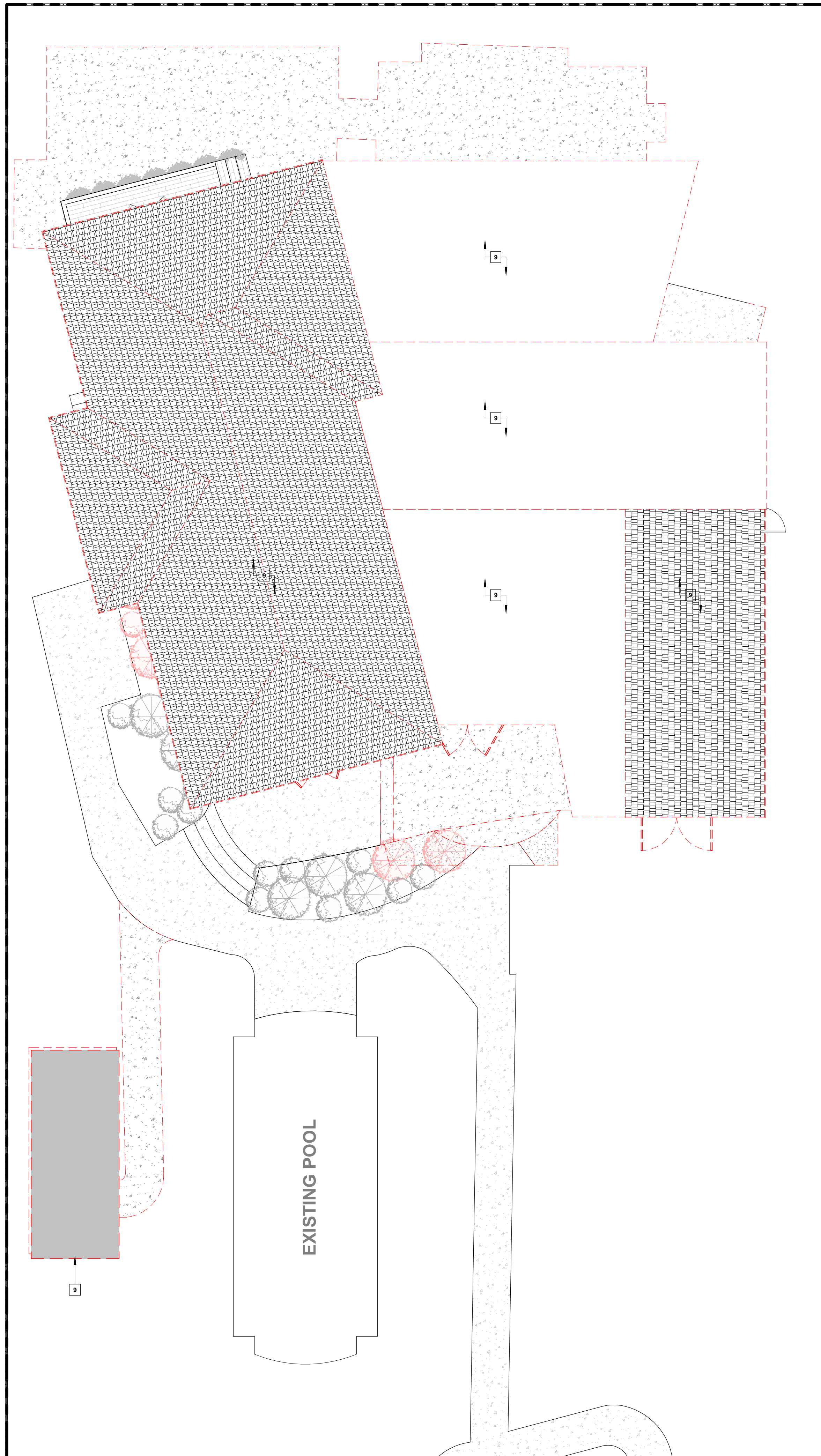


SIGNATURE:  
ARTURO G. GRIEGO, IA  
AR94011

SHEET No.:

**D-1**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



FOR REFERENCE ONLY

1

ROOF DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

DEMOLITION LEGEND

- 1 REMOVE EXISTING WALL
  - 2 REMOVE EXISTING DOOR
  - 3 REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
  - 4 REMOVE FINISH FLOOR
  - 5 REMOVE WINDOW
  - 6 DEMOLISH STAIR
  - 7 REMOVE COLUMN
  - 8 REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
  - 9 REMOVE ROOF
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT FIXTURES, ELECTRICAL WIRES, CONDUITS, 'J' BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN

WALL LEGEND

- 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
  - 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
  - 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.
  - 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
  - 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.
- TO BE DEMOLISHED.
- SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

NOTE:

1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.
2. THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.
3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.
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ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION

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- SCOPE OF WORK**
- CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS.
- CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS.
- THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.
- EXECUTION**
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- REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

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7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
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PROJECT, ADDRESS AND OWNER:

PRIVATE RESIDENCE

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER

DOUGLAS F EATON & W MOLLY  
A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:


BOA SET

PROJECT No.:

ISSUE DATE:

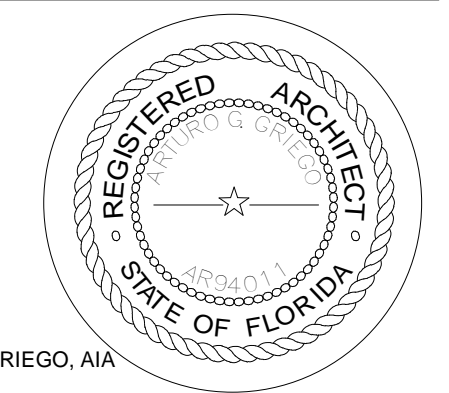
REVISIONS:

ROOF DEMOLITION PLAN

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

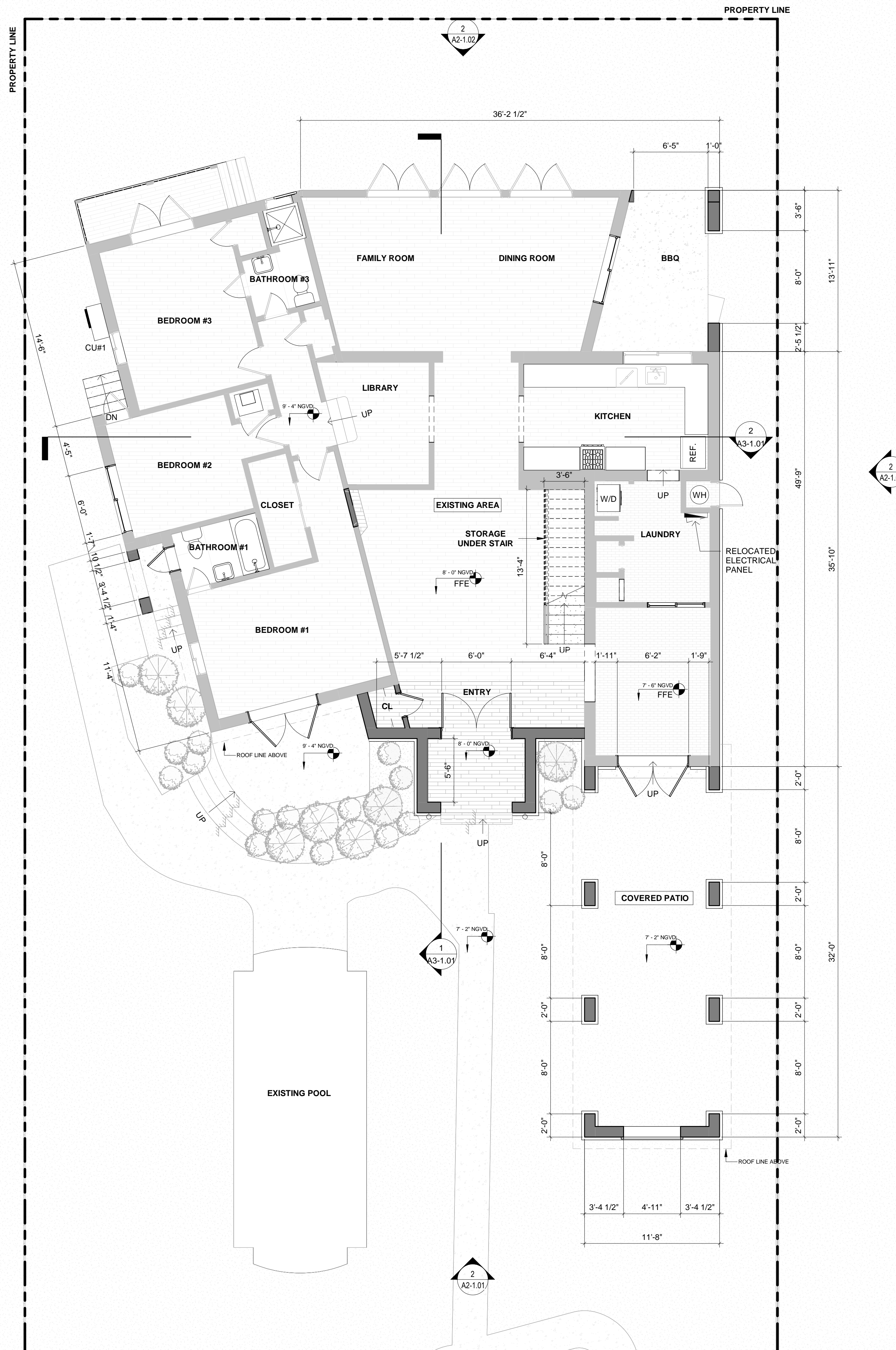
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

D-2

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.





### WALL LEGEND

1		TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
2		EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
3		TYPICAL 4" INTERIOR PARTITION NON-RATED.
4		REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
5		UNIT DEMISING PARTITION 1 HR FIRE RATED.
		TO BE DEMOLISHED.

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

- ### CONSTRUCTION NOTES
- REFER TO DRAWINGS G-2 ADDITIONAL NOTES AND SPECIFICATIONS.
  - GENERAL CONTRACTOR SHALL VISIT THE JOBSITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING ITEMS AND/OR CONDITIONS NOT SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW, AND/OR ARE INFERABLE AND NECESSARY TO BE REMOVED OR MODIFIED, SHALL BE DONE SO WITHOUT ANY ADDITIONAL TIME AND/OR EXPENSE TO THIS CONTRACT.
  - ANY DISCREPANCY IN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT. FAILURE TO DO SO MAY RESULT IN REDO OF FINISHED WORK THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
  - DO NOT SCALE THE DRAWING. USED FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
  - GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS.
  - ALL WORK SHALL BE EXECUTED IN A CLASS 'A' MANNER AND SHALL NOT BE SIGNED OFF UNTIL ACCEPTABLE TO OWNER.
  - ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK. CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR TO THE FABRICATION OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE.
  - ALL SUB CONTRACTORS PERFORMING WORK IN THIS BUILDING SHALL APPLY FOR THE RULES AND REGULATIONS FOR TENANT ALTERATIONS WITH THE BUILDING MANAGER'S OFFICE AND CONFORM ACCORDINGLY.
  - ALL ROUGH CARPENTRY WOODWORK SHALL BE TREATED FOR FIRE RETARDATION WITH U.L. APPROVED MATERIAL. FLAME SPREAD RATING NOT TO EXCEED 25.
  - CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.
  - NEW WALLS ARE DIMENSIONED TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD TO BE 5/8" THK. TYPE 'X' UNLESS OTHERWISE NOTED. GREEN BOARD TO BE USED IN TOILETS WHERE PAINT IS USED AND DUROCK IN TOILETS WHERE TILE IS USED.
  - ALL THERMAFIBER SOUND ATTENUATING BLANKETS SHALL BE A MINIMUM OF 2" THK FOR 2 1/2" STUDS. 4" THK FOR 3 5/8" & 4" STUDS AND 6" THK FOR 6" STUDS UNLESS OTHERWISE NOTED.
  - ALL CEILINGS SEPARATING RETAIL SPACE FROM TENANT ABOVE SHALL BE ONE HOUR FIRE RATED AND PATCHED SMOOTH TO RECEIVE NEW FINISHES. REFER TO REFLECTED CEILING PLAN FOR GWD CEILINGS, AND REFER TO FINISH PLAN FOR FINISH SPECIFICATIONS.
  - GENERAL CONTRACTOR TO SUPPLY SPECIFIED FIRE EXTINGUISHERS. LOCATION OF EXTINGUISHERS AS REQUIRED BY LOCAL AUTHORITY.
  - ILL AND SEAL ALL EXISTING CORE DRILLED HOLES LEFT UNUSED IN THE FLOOR SLAB AND CEILING SLAB.
  - PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION.
  - LAMINATE AND OR PLASTER ALL EXISTING EXPOSED CORE WALLS AND PERIMETER COLUMNS AND WALL SURFACES WHICH ARE DAMAGE OR MISSING WITH ONE NEW LAYER OF GYPSUM BOARD SHIM AS REQUIRED.
  - FIRESTOP AND FIRESAFE ALL EXISTING DEMISING PARTITIONS, CORE WALLS, ETC. AS REQUIRED BY BUILDING DEPARTMENT RULES AND REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES, TO INCLUDE, BUT NOT LIMITED TO, FLOORS, MILLWORK, FIXTURES, ETC., FOLLOWING THE INSTALLATION OF MILLWORK, TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
  - CONTRACTOR TO REBUILD ANY PERIMETER WALLS AS TIGHT AS POSSIBLE TO ANY EXISTING PLUMBING RISERS, PLASTERS OR LAMINATE WITH 5/8" GYPSUM BOARD.
  - ALL METAL STUDS SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE.
  - GENERAL CONTRACTOR SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE.
  - G.C TO SUPPLY AND INSTALL 3/4" F.R. BLOCKING OR APPROVED METAL FLAT STOCK BEHIND ALL GYP. BRD. WALLS, WITH MILLWORK, G.C. SHALL COORDINATE WITH MILLWORKER FOR REQUIRED LOCATIONS & ADEQUANCY OF BLOCKING REQUIREMENTS AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. TO MEET SUCH REQUIREMENTS. SEE MILLWORK SHOP DRAWINGS FOR ALL FIXTURE INFORMATION.

### TERMITE CONTROL

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENCED PEST CONTROL COMPANY.

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**  
 2840 PRAIRIE AVE  
 MIAMI, FL 33140  
 OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

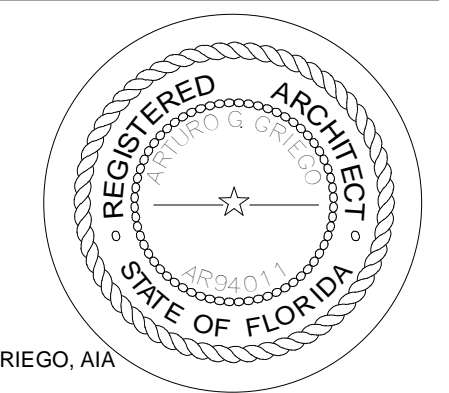

### BOA SET

PROJECT No.:  
 ISSUE DATE:  
 REVISIONS:

PROPOSED FIRST LEVEL FLOOR  
 PLAN  
 SCALE: **As indicated**

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

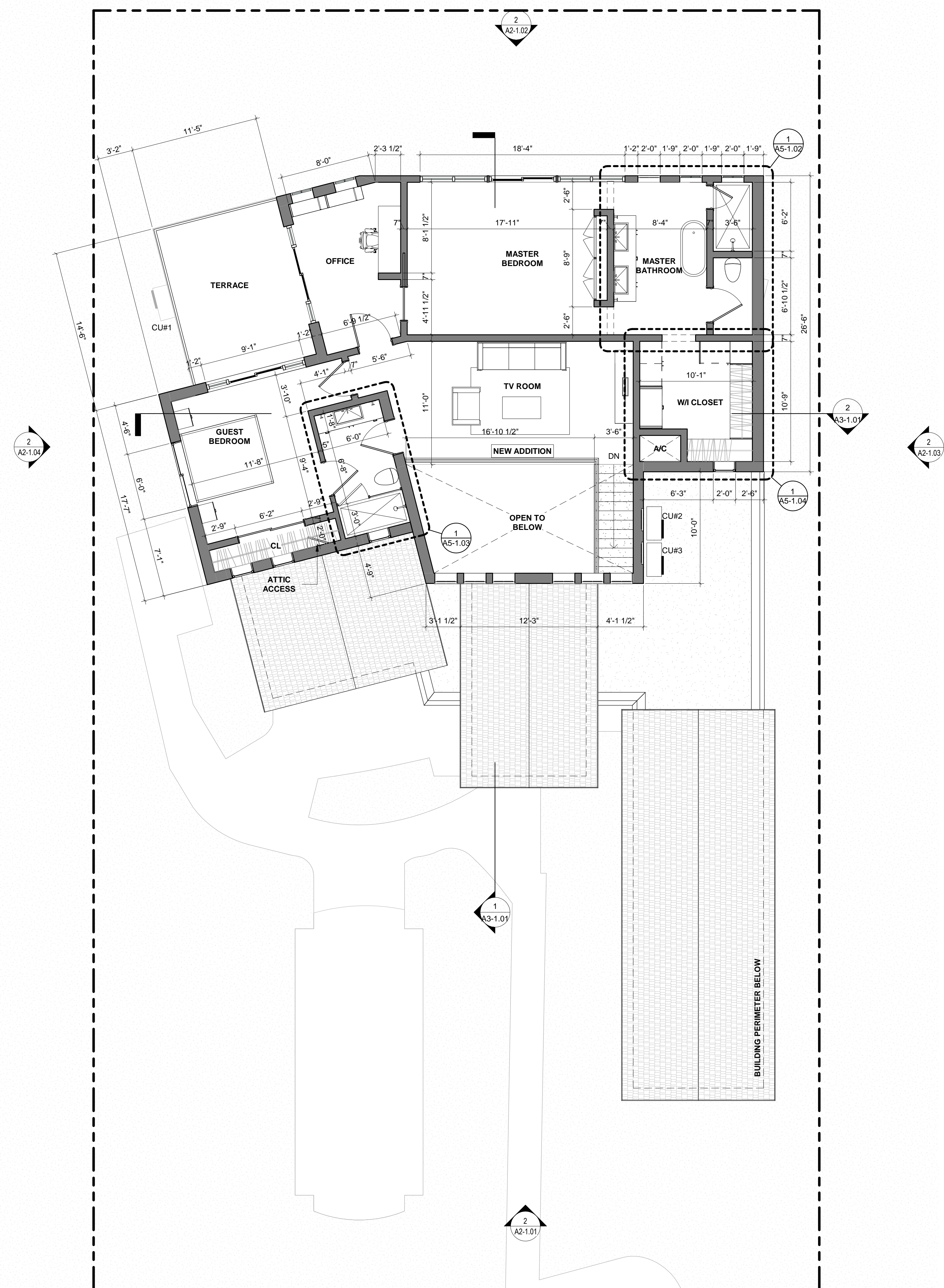
SEAL:



SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

SHEET No.:  
**A1-1.01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THE WRITTEN CONSENT.



### WALL LEGEND

1		TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
2		EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
3		TYPICAL 4" INTERIOR PARTITION NON-RATED.
4		REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
5		UNIT DEMISING PARTITION 1 HR FIRE RATED.
		TO BE DEMOLISHED.

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

- ### CONSTRUCTION NOTES
- REFER TO DRAWINGS G-2 ADDITIONAL NOTES AND SPECIFICATIONS.
  - GENERAL CONTRACTOR SHALL VISIT THE JOBSITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING ITEMS AND/OR CONDITIONS NOT SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW, AND/OR ARE INFERABLE AND NECESSARY TO BE REMOVED OR MODIFIED, SHALL BE DONE SO WITHOUT ANY ADDITIONAL TIME AND/OR EXPENSE TO THIS CONTRACT.
  - ANY DISCREPANCY IN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT, FAILURE TO DO SO MAY RESULT IN REDO OF FINISHED WORK THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
  - DO NOT SCALE THE DRAWING, USED FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE, ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
  - GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS.
  - ALL WORK SHALL BE EXECUTED IN A CLASS 'A' MANNER AND SHALL NOT BE SIGNED OFF UNTIL ACCEPTABLE TO OWNER.
  - ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK, CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR TO THE FABRICATION OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE.
  - ALL SUB CONTRACTORS PERFORMING WORK IN THIS BUILDING SHALL APPLY FOR THE RULES AND REGULATIONS FOR TENANT ALTERATIONS WITH THE BUILDING MANAGER'S OFFICE AND CONFORM ACCORDINGLY.
  - ALL ROUGH CARPENTRY WOODWORK SHALL BE TREATED FOR FIRE RETARDATION WITH U.L. APPROVED MATERIAL. FLAME SPREAD RATING NOT TO EXCEED 25.
  - CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE
  - NEW WALLS ARE DIMENSIONED TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD TO BE 5/8" THK, TYPE 'X'. UNLESS OTHERWISE NOTED, GREEN BOARD TO BE USED IN TOILETS WHERE PAINT IS USED AND DUROCK IN TOILETS WHERE TILE IS USED.
  - ALL THERMAFIBER SOUND ATTENUATING BLANKETS SHALL BE A MINIMUM OF 2" THK FOR 2 1/2" STUDS, 4" THK FOR 3 5/8" & 4" STUDS AND 6" THK FOR 6" STUDS UNLESS OTHERWISE NOTED.
  - ALL CEILINGS SEPARATING RETAIL SPACE FROM TENANT ABOVE SHALL BE ONE HOUR FIRE RATED AND PATCHED SMOOTH TO RECEIVE NEW FINISHES. REFER TO REFLECTED CEILING PLAN FOR GWD CEILINGS, AND REFER TO FINISH PLAN FOR FINISH SPECIFICATIONS.
  - GENERAL CONTRACTOR TO SUPPLY SPECIFIED FIRE EXTINGUISHERS, LOCATION OF EXTINGUISHERS AS REQUIRED BY LOCAL AUTHORITY.
  - ILL AND SEAL ALL EXISTING CORE DRILLED HOLES LEFT UNUSED IN THE FLOOR SLAB AND CEILING SLAB.
  - PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION.
  - LAMINATE AND OR PLASTER ALL EXISTING EXPOSED CORE WALLS AND PERIMETER COLUMNS AND WALL SURFACES WHICH ARE DAMAGE OR MISSING WITH ONE NEW LAYER OF GYPSUM BOARD SHIM AS REQUIRED.
  - FIRESTOP AND FIRESAFE ALL EXISTING DEMISING PARTITIONS, CORE WALLS, ETC. AS REQUIRED BY BUILDING DEPARTMENT RULES AND REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES, TO INCLUDE, BUT NOT LIMITED TO, FLOORS, MILLWORK, FIXTURES, ETC., FOLLOWING THE INSTALLATION OF MILLWORK, TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
  - CONTRACTOR TO REBUILD ANY PERIMETER WALLS AS TIGHT AS POSSIBLE TO ANY EXISTING PLUMBING RISERS, PLASTERS OR LAMINATE WITH 5/8" GYPSUM BOARD.
  - ALL METAL STUDS SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE.
  - GENERAL CONTRACTOR SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE.
  - G.C TO SUPPLY AND INSTALL 3/4" F.R. BLOCKING OR APPROVED METAL FLAT STOCK BEHIND ALL GYP, BRD, WALLS, WITH MILLWORK, G.C SHALL COORDINATE WITH MILLWORKER FOR REQUIRED LOCATIONS & ADEQUANCY OF BLOCKING REQUIREMENTS AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. TO MEET SUCH REQUIREMENTS, SEE MILLWORK SHOP DRAWINGS FOR ALL FIXTURE INFORMATION.

### TERMITE CONTROL

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENCED PEST CONTROL COMPANY.

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**  
 2840 PRAIRIE AVE  
 MIAMI, FL 33140  
 OWNER

DOUGLAS F EATON & W MOLLY  
 A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:  
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 \_\_\_\_\_  
 \_\_\_\_\_

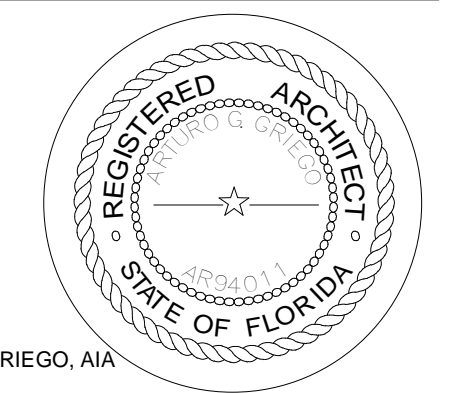
### BOA SET

PROJECT No.:  
 ISSUE DATE:  
 REVISIONS:

PROPOSED SECOND LEVEL FLOOR  
 PLAN  
 SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

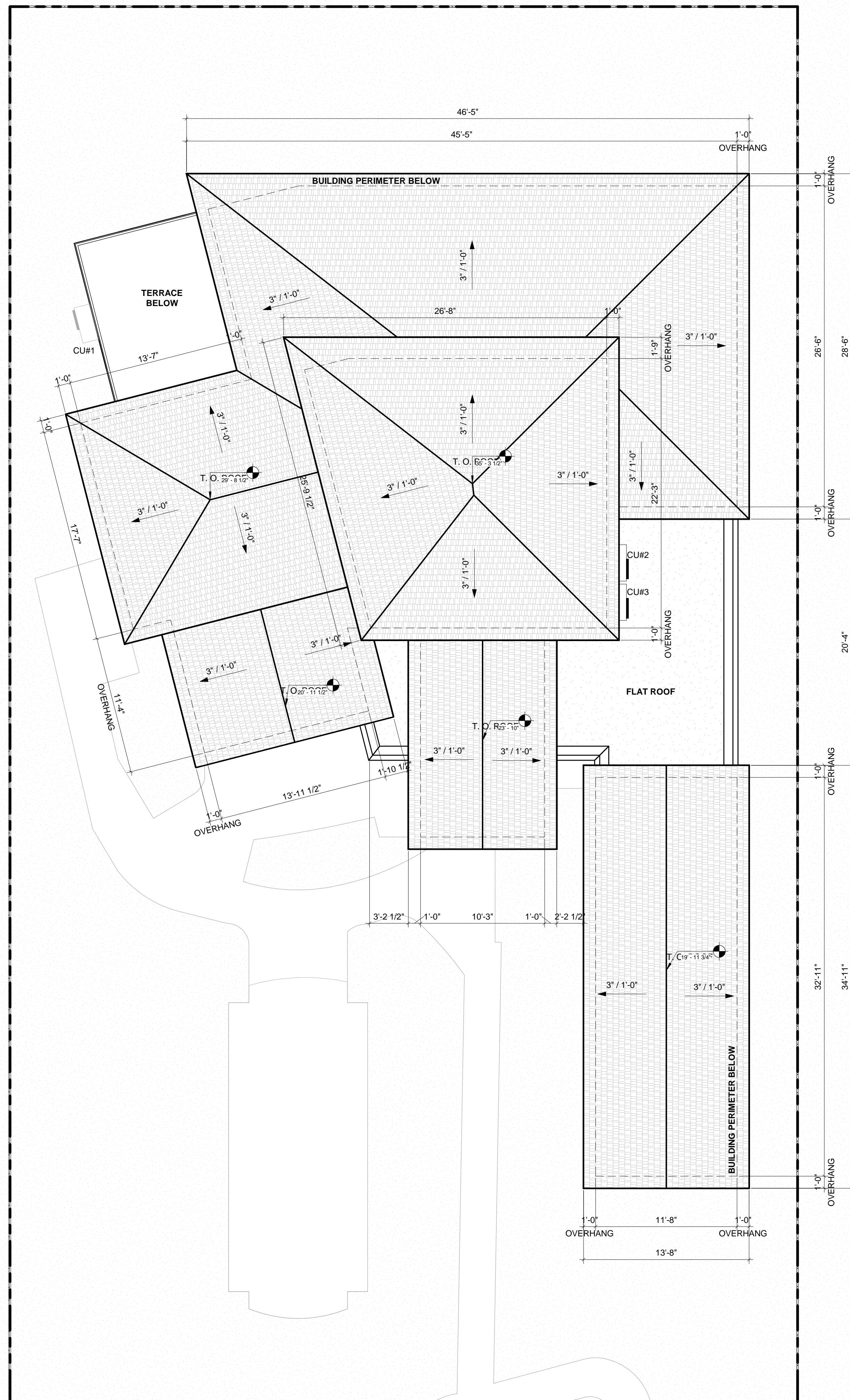


SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

SHEET No.:

## A1-1.02

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THE WRITTEN CONSENT.



### WALL LEGEND

1		TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
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3		TYPICAL 4" INTERIOR PARTITION NON-RATED.
4		REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
5		UNIT DEMISING PARTITION 1 HR FIRE RATED.
		TO BE DEMOLISHED.

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

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### TERMITE CONTROL

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PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**  
 2840 PRAIRIE AVE  
 MIAMI, FL 33140  
 OWNER

DOUGLAS F EATON & W MOLLY  
 A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works _____	___/___/___
Fire Prev. _____	___/___/___
Planning _____	___/___/___
Zoning _____	___/___/___
Building _____	___/___/___
Structural _____	___/___/___
Electrical _____	___/___/___
Plumbing _____	___/___/___
Mech. _____	___/___/___
S. Waste _____	___/___/___

REVISIONS:

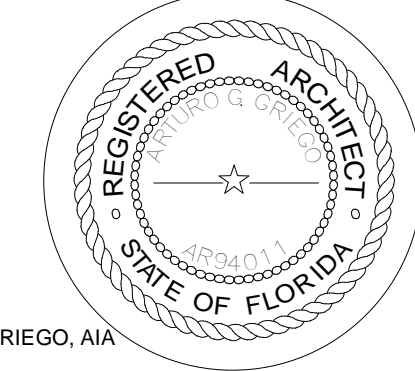
**BOA SET**

PROJECT No.:  
 ISSUE DATE:  
 REVISIONS:

PROPOSED ROOF PLAN  
 SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
 SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011



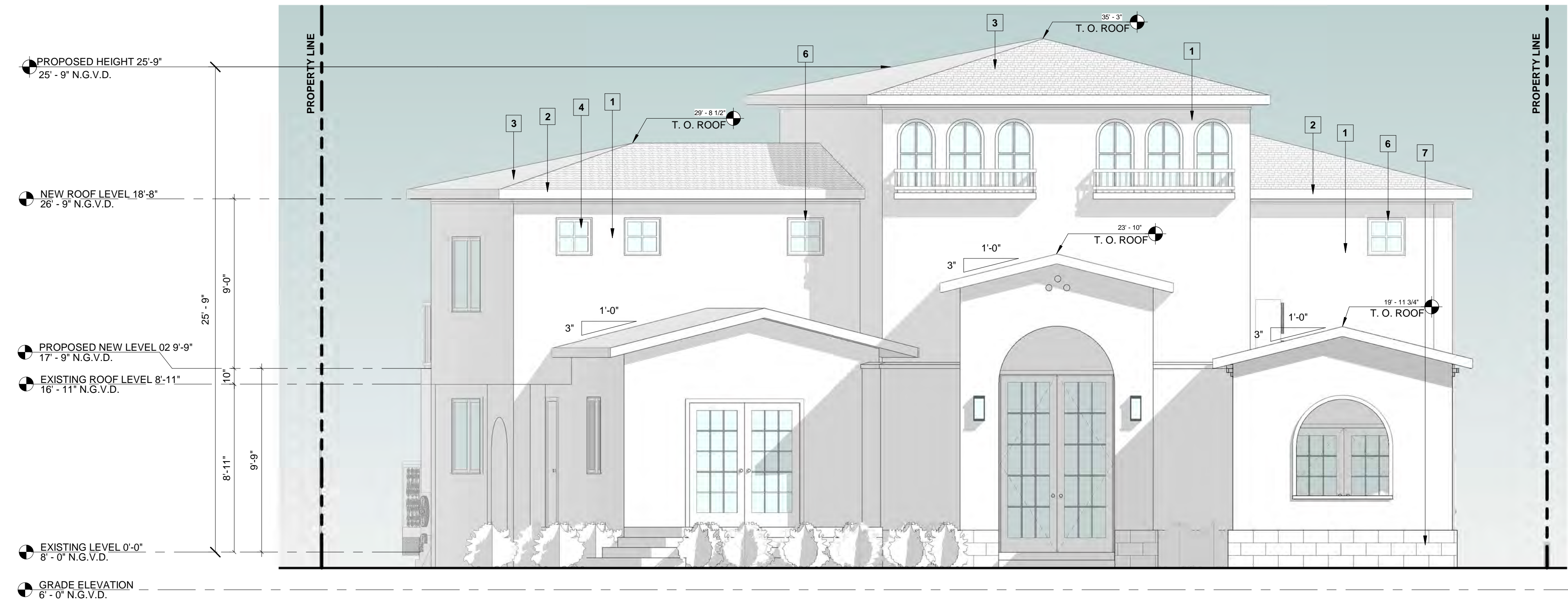
SHEET No.:

**A1-1.03**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THE WRITTEN CONSENT.



**1** EXIST. EAST (FRONT) ELEVATION  
SCALE 1/4" = 1'-0"



**2** PROP. EAST (FRONT) ELEVATION  
SCALE 1/4" = 1'-0"

ELEVATION LEGEND AND NOTES		MATERIAL LEGEND	
UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56' 1. 0'-0" = 11'-0" N.G.V.D. 2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH. 3. REFFER TO SHEET A-6.00 FOR WALL SECTION SPECIFICATIONS. 4. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL		<b>1</b> WHITE STUCCO SMOOTH FINISH (SW 7008 ALABASTER)	<b>5</b> ALUMINUM POWDER COATED RAILING (COLOR BRONZE)
		<b>2</b> BRONZE METAL GUTTER	<b>6</b> ALUMINUM FRAMING / COLOR BRONZE TO MATCH EXISTING
		<b>3</b> SPANISH TILE ROOF	<b>7</b> CORAL STONE
		<b>4</b> LAMINATED GLASS / TINTED GRAY TO MATCH EXISTING	

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER  
DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

**BOA SET**

PROJECT No.:  
ISSUE DATE:  
REVISIONS:  
EAST ELEVATION (EXISTING & PROPOSED)  
SCALE: 1/4" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**A2-1.01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**1** EXIST. REAR (WEST) ELEVATION  
SCALE 1/4" = 1'-0"



**2** PROP. REAR (WEST) ELEVATION  
SCALE 1/4" = 1'-0"

ELEVATION LEGEND AND NOTES		MATERIAL LEGEND	
<p>UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'</p> <p>1. 0'-0" = 11'-0" N.G.V.D.</p> <p>2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH.</p> <p>3. REFFER TO SHEET A-6.00 FOR WALL SECTION SPECIFICATIONS.</p> <p>4. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL</p>		<p>1 WHITE STUCCO SMOOTH FINISH (SW 7008 ALABASTER)</p> <p>2 BRONZE METAL GUTTER</p> <p>3 SPANISH TILE ROOF</p> <p>4 LAMINATED GLASS / TINTED GRAY TO MATCH EXISTING</p>	<p>5 ALUMINUM POWDER COATED RAILING (COLOR BRONZE)</p> <p>6 ALUMINUM FRAMING / COLOR BRONZE TO MATCH EXISTING</p> <p>7 CORAL STONE</p>

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140  
OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

**BOA SET**

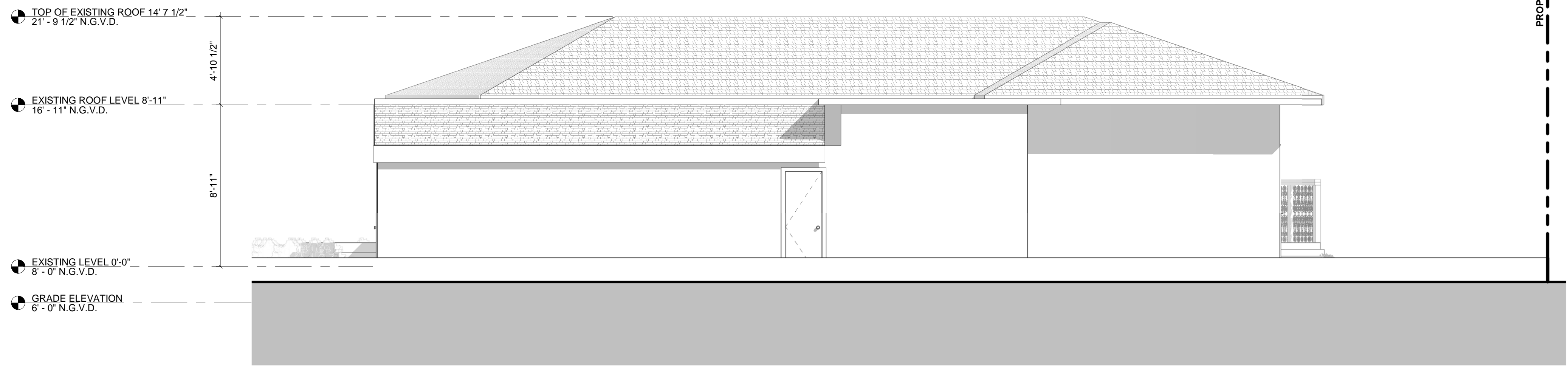
PROJECT No.:  
ISSUE DATE:  
REVISIONS:  
WEST ELEVATION (EXISTING & PROPOSED)  
SCALE: 1/4" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

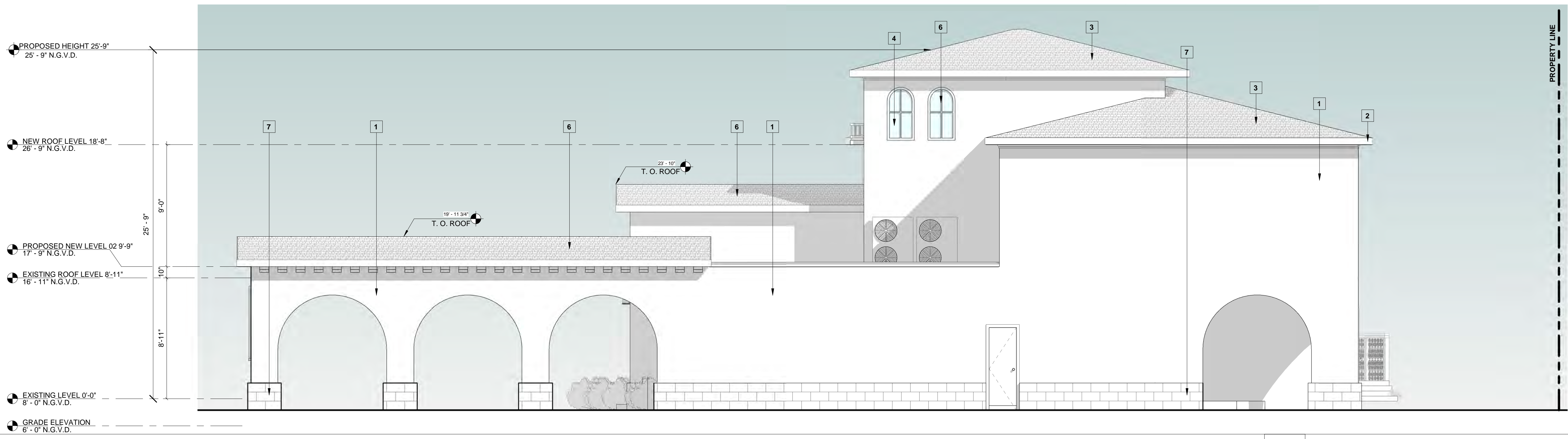
SEAL:  
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**A2-1.02**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**1** EXIST. RIGHT SIDE (NORTH) ELEVATION  
SCALE 1/4" = 1'-0"



**2** PROP. RIGHT SIDE (NORTH) ELEVATION  
SCALE 1/4" = 1'-0"

ELEVATION LEGEND AND NOTES		MATERIAL LEGEND	
<p><b>UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'</b></p> <p>1. 0'-0" = 11'-0" N.G.V.D.</p> <p>2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH.</p> <p>3. REFFER TO SHEET A-6.00 FOR WALL SECTION SPECIFICATIONS.</p> <p>4. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL</p>		<p> 1 WHITE STUCCO SMOOTH FINISH (SW 7008 ALABASTER)</p> <p> 2 BRONZE METAL GUTTER</p> <p> 3 SPANISH TILE ROOF</p> <p> 4 LAMINATED GLASS / TINTED GRAY TO MATCH EXISTING</p>	<p> 5 ALUMINUM POWDER COATED RAILING (COLOR BRONZE)</p> <p> 6 ALUMINUM FRAMING / COLOR BRONZE TO MATCH EXISTING</p> <p> 7 CORAL STONE</p>

PROJECT, ADDRESS AND OWNER:  
**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER  
DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:

G3sec  
975 Arthur Godfrey rd. suite 401  
miami beach florida 33140  
t 305 783 8471 e admin@g3sec.com  
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
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Plumbing	///
Mech.	///
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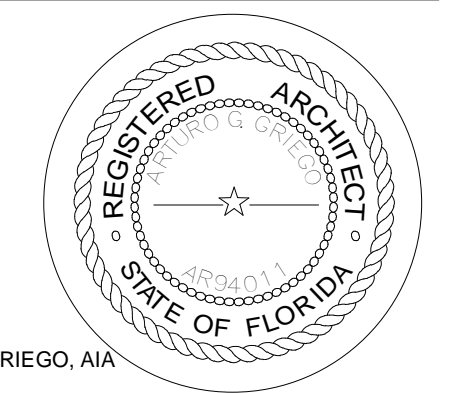
REVISIONS:

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PROJECT No.:  
ISSUE DATE:  
REVISIONS:  
NORTH ELEVATION (EXISTING & PROPOSED)  
SCALE: 1/4" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**A2-1.03**

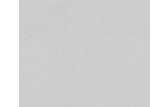
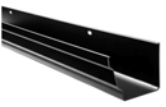





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**1** EXIST. LEFT SIDE (SOUTH) ELEVATION  
SCALE 1/4" = 1'-0"



**2** PROP. LEFT SIDE (SOUTH) ELEVATION  
SCALE 1/4" = 1'-0"

ELEVATION LEGEND AND NOTES		MATERIAL LEGEND	
<p>UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'</p> <p>1. 0'-0" = 11'-0" N.G.V.D.</p> <p>2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH.</p> <p>3. REFFER TO SHEET A-6.00 FOR WALL SECTION SPECIFICATIONS.</p> <p>4. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL</p>		<p> 1 WHITE STUCCO SMOOTH FINISH (SW 7008 ALABASTER)</p> <p> 2 BRONZE METAL GUTTER</p> <p> 3 SPANISH TILE ROOF</p> <p> 4 LAMINATED GLASS / TINTED GRAY TO MATCH EXISTING</p>	<p> 5 ALUMINUM POWDER COATED RAILING (COLOR BRONZE)</p> <p> 6 ALUMINUM FRAMING / COLOR BRONZE TO MATCH EXISTING</p> <p> 7 CORAL STONE</p>

PROJECT, ADDRESS AND OWNER:

**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER:

DOUGLAS F EATON & W MOLLY  
A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:


**BOA SET**

PROJECT No.:

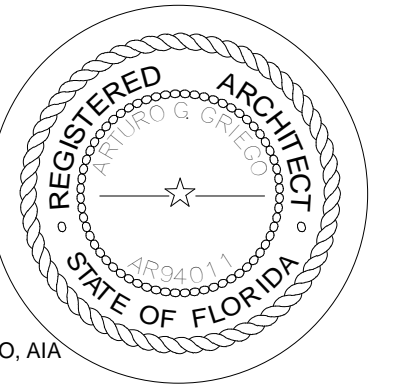
ISSUE DATE:

REVISIONS:

SOUTH ELEVATION (EXISTING & PROPOSED)  
SCALE: 1/4" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

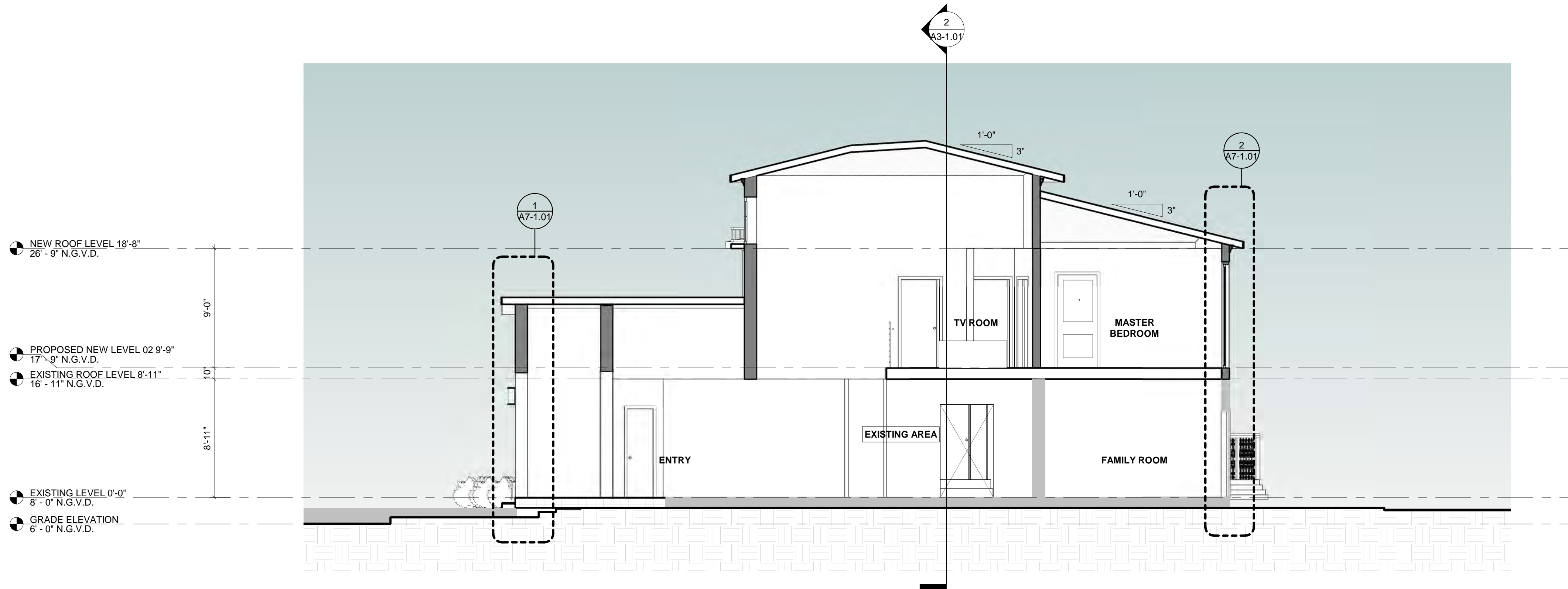


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AR94011

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**A2-1.04**

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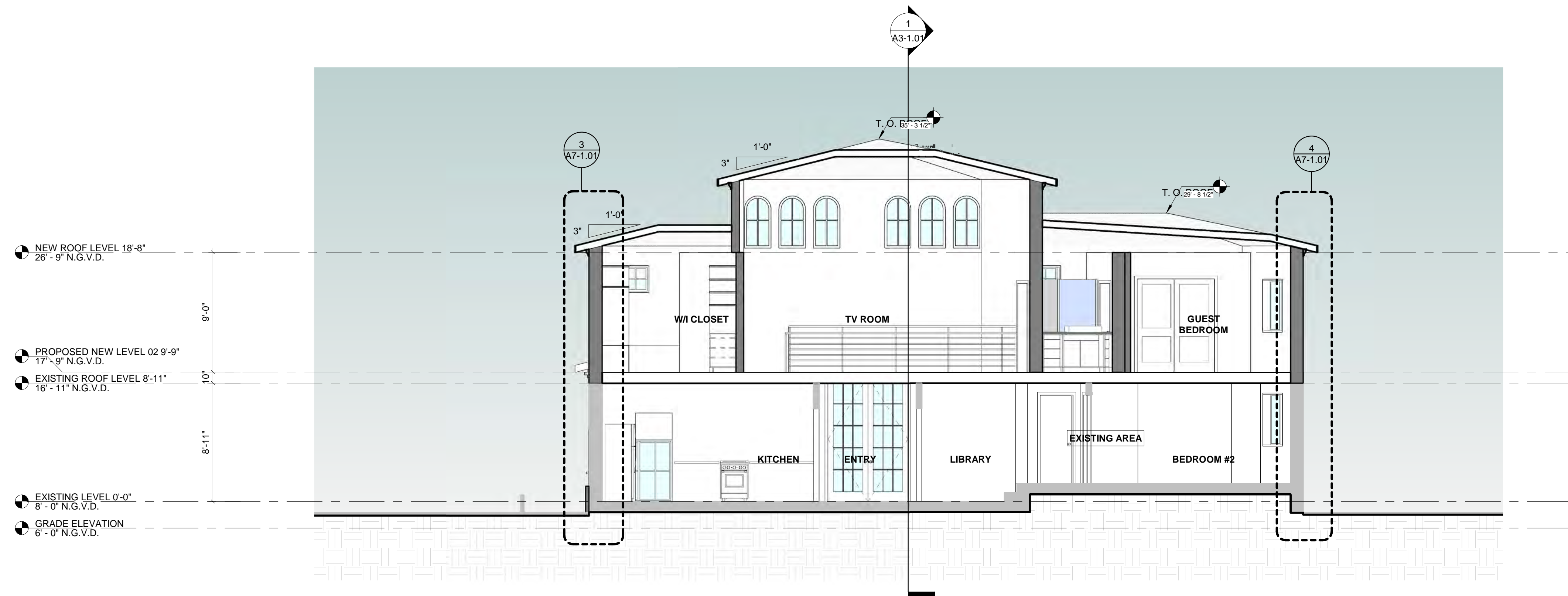


EXISTING AREA

1

LONGITUDINAL SECTION

SCALE 3/16" = 1'-0"



EXISTING AREA

2

CROSS SECTION

SCALE 3/16" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**PRIVATE RESIDENCE**

2840 PRAIRIE AVE  
MIAMI, FL 33140

OWNER

DOUGLAS F EATON & W MOLLY  
A OSENDORF

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:


**BOA SET**

PROJECT No.:

ISSUE DATE:

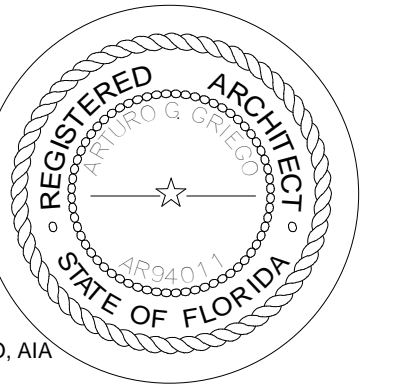
REVISIONS:

LONGITUDINAL & CROSS SECTIONS

SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**A3-1.01**

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