# **PRIVATE RESIDENCE**

# 2840 PRAIRIE AVE MIAMI, FL | 33140

**SECOND SUBMITTAL:** 08/19/2019

#### SCOPE OF WORK

- SECOND STORY ADITTION OF MASTER BEDROOM AND GUEST BEDROOM. - EXTERIOR COVERED TERRACE ADITTION. - NEW ELECTRICAL, NEW MECHANICAL AND NEW PLUMBING FOR ADITTION.

#### LIST OF DRAWINGS

G-0	COVER SHEET
G-1	NOTES, SYMBOLS & ABBREVIATIONS
G-2	SURVEY
G-3	ZONING & LOCATION DIAGRAMS
G-3.1	CONTEXT LOCATION & SITE PLAN
G-3.2	EXISTING AND PROPOSED SITE PLAN
G-4	AREA DIAGRAMS
G-5	AREA DIAGRAMS
G-6	AREA DIAGRAMS
G-7	AREA DIAGRAMS
G-8	AREA DIAGRAMS
G-9	AREA DIAGRAMS
G-10	EXISTING SITE AND CONTEXT PHOTOS
G-11	EXISTING SITE AND CONTEXT PHOTOS
G-12	EXISTING FIRST LEVEL FLOOR PLAN
G-13	EXISTING ROOF LEVEL PLAN
L-1	LANDSCAPE PLAN
D-1	GROUND FLOOR DEMOLITION PLAN
D-2	ROOF DEMOLITION PLAN
A1-1.01	
A1-1.02	PROPOSED SECOND LEVEL FLOOR PLAN
A1-1.03	PROPOSED ROOF PLAN

A2-1.01 EAST ELEVATION (EXISTING & PROPOSED) A2-1.02 WEST ELEVATION (EXISTING & PROPOSED) A2-1.03 NORTH ELEVATION (EXISTING & PROPOSED) A2-1.04 SOUTH ELEVATION (EXISTING & PROPOSED)

A3-1.01 LONGITUDINAL & CROSS SECTIONS



PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



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CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:
MEP:
CIVIL ENGINEER:
LEED CONSULTANT:

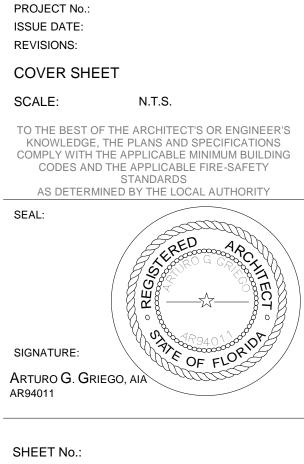
#### Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

**REVISIONS:** 

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#### **BOA SET**



**G-0** 

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L-2	TREE PROTECTION PLAN
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A2-1.02	WEST ELEVATION (EXISTING & PROPOSED)

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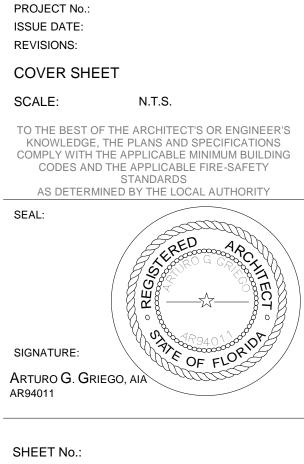
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**REVISIONS:** 

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#### **BOA SET**



**G-0** 

#### ABBREVIATIONS

FUR

MACH

R MECH

MTHR

MULL

MWK

OPNG

OPS

PERF

P. LAM.

PLAS

PLBG

P.T.H.

P.V.C.

PWD

PCPL

R.C.P.

S.M.S.

S.H.

RD RECT.

QTY

OHMS OHWS

&	AND
@	AT
AB	ANCHOR BOLT
ABV	ABOVE
A/C	AIR CONDITIONING
ACC	ACCESS
AD	AREA DRAIN
ADD	ADDENDUM
ACFL	ACCESS FLOOR
ACT	ACOUSTICAL TILE ADHESIVE
ADH ADJ	ADJACENT
ADJT	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AGG	AGGREGATE
ALT	ALTERNATE
ALUM	ALUMINUM
ANC	ANCHOR, ANCHORAGE
ANOD	ANODIZED
AP	ACCESS PANEL
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT(URAL)
ASC	ABOVE SUSPENDED CEILING
ASPH	ASPHALT(IC)
AUTO	AUTOMATIC
AVG	AVERAGE
<	ANGLE
ACOUS.	ACOUSTICAL
В	BASE
BRG	BEARING
BPL	BEARING PLATE
BJT	BEARING PLATE BED JOINT
BEL	BELOW
BET	BETWEEN
BVL	BEVELED
BIT	BITUMINOUS
BD	BOARD
BS	BOTH SIDES
BW	BOTH WAYS
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
B.M.	BENCH MARK
B.O.F.	BOTTOM OF FOOTING
BOT	BOTTOM
BRK	BRICK
BRZ	BRONZE
BRZ BLDG	BUILDING
BUR	BUILT UP ROOFING
BBD	BULLETIN BOARD
B.O	BY OTHER
BRKT	BRACKET
CL	
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
C.F.	COUNTER FLASHING
CG	CORNER GUARD
CHAM	CHAMFER
C.HT	CEILING HEIGHT
C.I.	CAST IRON
C.I.P.	CAST-IN-PLACE
CIRC	CIRCUMFERENCE
CIR	CIRCLE
CJT	
CK	CALK OR CAULK (ING)
CLG	CEILING
CLO.	CLOSET
CLR	CLEAR (ANCE)
CLS	CLOSURE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP.	COMPONENT
CONC	CONCRETE
CONF	CONFERENCE
CONST	CONSTRUCTION
CONT	CONTINUOUS, CONTINUE
CONTR.	CONTRACTOR
CPT	CARPET
CR	CHROMIUM (PLATED)
C.R.	CURTAIN ROD
CSMT	CASEMENT
CT	CERAMIC TILE
CU.FT.	CUBIC FEET (FOOT)
CU.IN.	CUBIC INCH
CU.YD.	CUBIC YARD
CBRD	CHALKBOARD
CONN.	CONNECTION
CORR.	CORRIDOR
CTR.	CENTER
CTSK.	COUNTER SUNK
D	DRAIN
DA	
DBL	DOUBLE
DEM	DEMOLISH, DEMOLITION
DEPT.	DEPARTMENT
DTL	DETAIL
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION
DIV.	DIVISION
DMT	DEMOUNTABLE
DN	DOWN
D.O.	DOOR OPENING
DPR	DAMPER
DR	DOOR
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER DOWNSPOUT
DWG	DRAWING
DWR	DRAWER
DISP.	DISPENCER
D.S.	DOWNSPOUT
E	EAST
EA	EACH
E/A	EXHAUST AIR
E.H.D.	ELECTRIC HAND DRYER
EXP.B EL ELV	EXPANSION BOLT
ELEV.	ELEVATOR
ELEC	ELECTRIC(AL)
EMERG	EMERGENCY
ENCL.	ENCLOSURE
EP	ELECTRICAL PANELBOARD
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EXH	EXHAUST
EXIST.	EXISTING
EXPD	EXPOSED
EXP. JT.	EXPANSION JOINT
EXT	EXTERIOR

FA	FIRE ALARM	М.
FAB	FABRICATED	MACH
FBO	FURNISHED BY OTHERS	MB
FC FD	FLOOR COVERING FLOOR DRAIN	MAT. MAX
FD FE	FIRE EXTINGUISHER	MAX M.B.H.
FEC	FIRE EXTINGUISHER CABINET	MBR
F.E.L.	FIRE EXTINGUISHER LOCKER	MECH
FEM.	FEMALE	MED
FFL	FINISH FLOOR LINE	MFR
FH	FIRE HYDRANT	MFD
FHC	FIRE HOSE CABINET	MIN
FIN	FINISH(ED)	MISC
FJT	FLUSH JOINT	MMB
FLAM. FLASH.	FLAMMABLE FLASHING	MO M.H.
FLASH. FLR	FLOOR(ING)	MOD
FLX	FLEXIBLE	MOV
FLCO	FLOOR CLEANOUT	MRB
FLUR	FLUORESCENT	MRD
F.M.	FRAMED MIRROR	MTD.
FND	FOUNDATION	MTHR
FOC	FACE OF CONC.	MTFR
F.O.M.	FACE OF MASONRY	MTL.
F.O.S.	FACE OF STUDS	MULL
FR	FRAME (ING)	MWK
FRA	FRESH AIR	MAS.
FRG	FORGED	MIR.
FS	FULL SIZE	
FT	FOOT, FEET FOOTING	
FTG FUR	FURRED(ING)	N
FUT	FUTURE	NIC NL
101	TOTORE	
		NO/#
		NOM
GA	GAGE, GAUGE	NMT
GALV.	GALVANIZED	NR
GB	GYPSUM BOARD, GRAB BAR	NRC
GB GC	GRAB BAR GENERAL CONTRACTOR	
GCMU	GLAZED CONC. MASONRY UNIT	N.T.S.
GD	GRADE, GRADING	
GF	GROUND FACE	OA O.C.
GI	GALVANIZED IRON	O.C. OBS
GKT	GASKET(ED)	0.D.
GL	GLASS, GLAZING	OFF
GP	GALVANIZED PIPE	ОН
G.L.	GRID LINE	OHMS
GLB	GLASS BLOCK	OHWS
GLF GN	GLASS FIBER GENERAL NOTES	OJ
GPL	GYPSUM LATH	OP OPNG
GPT	GYPSUM TILE	OPH
G.W.B.	GYPSUM WALL BOARD	OPP
GP.PL.	GYPSUM PLASTER	OPS
GALV	GALVANIZED	
GRN	GRANITE	
GSS	GALVANIZED STEEL SHEET	PAR
GST GT	GLAZED STRUCTURAL TILE	P.B.
GVL	GROUT GRAVEL	PB
• • •	ORAVEL	PBD
		PCC
		PCG
НВ	HOSE BIBB	PED PERF
HBD	HARDBOARD	PERI
HC	HOLLOW CORE	PE
HCPD.	HANDICAPPED	PFB
HDR	HEADER	PFL
HDW	HARDWARE	PFN
HES	HIGH EARLY-STRENGTH	PG
		PK
HH HJT	HANDHOLE HEAD JOINT	PL
HK	HOOK (S)	PL
HM	HOLLOW METAL	P. LAN
HORIZ.	HORIZONTAL	PLAS
H.P.	HIGH POINT	PLBG PNL
HPS	HIGH PRESSURE SODIUM	PNT
HT	HEIGHT	P.P.
HTG	HEATING	PRF
HVAC	HEATING/VENTILATING/	PSC
HWD	AIR CONDITIONING HARDWOOD	PSF
HWH	HOT WATER HEATER	PSI
HR	HOUR	P.T.
		PT PTC
I.D.	INSIDE DIAMETER	P.T.D.
IMP.	IMPERVIOUS	P.T.H.
IN	INCH	PTN
INCL	INCLUDE (ING) (D)	PTR PV
INCIN		PVMT
ILK IPS	INTERLOCK IRON PIPE SIZE	P.V.C.
INS	INSULATE(D),(ION)	PWD
INSC	INSULATING CONC.	PCPL
		PHP PR.
INSF	INSULATING FILL INTERMEDIATE	н IX.
INTM		
INTM INV.	INVERT	
		QT
INV.	INVERT	QT QTY
INV.	INVERT	
INV. INFO.	INVERT INFORMATION	QTY
INV. INFO. JAN.	INVERT INFORMATION JANITOR	QTY R
INV. INFO. JAN. JST.	INVERT INFORMATION JANITOR JOIST	QTY R RAD
INV. INFO. JAN. JST. JC	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET	QTY R
INV. INFO. JAN. JST. JC JF	JANITOR JOIST JOINT FILLER	QTY R RAD RBT
INV. INFO. JAN. JST. JC	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET	QTY R RAD RBT R.C.P.
INV. INFO. JAN. JST. JC JF JT	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT	QTY R RAD RBT R.C.P. RD RECT. REINF
INV. INFO. JAN. JST. JC JF	JANITOR JOIST JOINT FILLER	QTY R RAD RBT R.C.P. RD RECT. REINF REQ
INV. INFO. JAN. JST. JC JF JT KO	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT KNOCK OUT	QTY R RAD RBT R.C.P. RD RECT. REINF REQ RES
INV. INFO. JAN. JST. JC JF JT KO KIT	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT KNOCK OUT KITCHEN	QTY R RAD RBT R.C.P. RD RECT. REINF REQ RES REV
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INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH	QTY R RAD RBT R.C.P. RD RECT. REINF REQ RES REV RFL
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL LAB	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY	QTY R RAD RBT R.C.P. RD RECT. REINF REQ RES REV RFL REFR RH
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER	QTY R RAD RBT R.C.P. RECT. RECT. REINF REQ RES REV RFL REFR RH RL
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER LAMINATE(D)	QTY R RAD RBT R.C.P. RD RECT. REINF REQ RES REV RFL REFR RH RL RM
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INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM LAV LB LBL LC LL LLU. L.L.H. LLV. LMS LP L.P. LPT LT LTL LVR	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER LAMINATE(D) LAVATORY LAG BOLT LABEL LIGHT CONTROL LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIMESTONE LIGHT POLE LOW POINT LIGHT LINTEL LOUVER	QTY R RAD RBT R.C.P. RECT. RECT. RECT. REFR REFR RFL REFR RFL RCOW REF. R.B. S/A SAN SC SCH S.D. SEC
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM LAV LB LBL LC LL LL LL LL LL LL,H. LL.V. LMS LP L.P. LPT LT LTL LVR LH	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LABORATORY LADDER LAMINATE(D) LAVATORY LAG BOLT LABEL LIGHT CONTROL LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIMESTONE LIGHT PROOF LIGHT POLE LOW POINT LIGHT LINTEL LOUVER LEFT HAND	QTY R RAD RBT R.C.P. RECT. RECT. RECT. REFR REFR RFL REFR RFL RCOW REF. R.B. S/A SAN SC SCH S.D. SEC SFGL
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM LAV LB LBL LC LL LAB LAD LAW LB LBL LC LL LL.H. LUR LP LP. LPT LT LTL LVR LH LVD	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER LAMINATE(D) LAVATORY LAG BOLT LABEL LIGHT CONTROL LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIMESTONE LIGHT PROOF LIGHT POLE LOW POINT LIGHT LINTEL LOUVER LEFT HAND LOWER VEHICULAR DRIVE	QTY R RAD RBT R.C.P. RECT. RECT. REF REF REF REF REF REF REF. R.B. S/A SAN SC SCH S.D. SEC SFGL SH
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM LAV LB LBL LC LL LAB LAD LAW LB LBL LC LL LL.H. LUT LT LT LT LT LT LVR LH LVD LW	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER LAMINATE(D) LAVATORY LAG BOLT LABEL LIGHT CONTROL LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIMESTONE LIGHT PROOF LIGHT POLE LOW POINT LIGHT LINTEL LOUVER LEFT HAND LOWER VEHICULAR DRIVE LIGHT WEIGHT	QTY R RAD RECT. RECT. RECT. RECT. REFR REFR REFR REFR REF. S/A SAN SC SCH S.C. S.C. S.C. S.C. S.C. S.C. S.
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM LAV LB LBL LC LL LAB LAD LAW LB LBL LC LL LL.H. LN. LMS LP L.P. LPT LT LTL LVR LH LVD LW LWC	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER LAMINATE(D) LAVATORY LAG BOLT LABEL LIGHT CONTROL LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIMESTONE LIGHT PROOF LIGHT POLE LOW POINT LIGHT LINTEL LOUVER LEFT HAND LOWER VEHICULAR DRIVE LIGHT WEIGHT LIGHTWEIGHT CONC.	QTY R RAD RECT. RECT. RECT. RECT. REFR REFR REFR REFR REF. S/A SAN SC SCH S.C. S. SCH S.S. S. S. S. S. S. S. S. S. S. S. S. S
INV. INFO. JAN. JST. JC JF JT KO KIT KPL KCPL L LAB LAD LAM LAV LB LBL LC LL LAB LAD LAW LB LBL LC LL LL.H. LUT LT LT LT LT LT LVR LH LVD LW	INVERT INFORMATION JANITOR JOIST JANITOR'S CLOSET JOINT FILLER JOINT FILLER JOINT KNOCK OUT KITCHEN KICKPLATE KEENE'S CEMENT PLASTER LENGTH LABORATORY LADDER LAMINATE(D) LAVATORY LAG BOLT LABEL LIGHT CONTROL LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIMESTONE LIGHT PROOF LIGHT POLE LOW POINT LIGHT LINTEL LOUVER LEFT HAND LOWER VEHICULAR DRIVE LIGHT WEIGHT	QTY R RAD RECT. RECT. RECT. RECT. REFR REFR REFR REFR REF. S/A SAN SC SCH S.C. S.S. S.S. S.S. S.S. S.S. S.

MIRROR MACHINE MACHINE BOLT MATERIAL(S) MAXIMUM MOP AND BROOM HOLDER MEMBER MECHANIC(AL) MEDIUM MANUFACTURE(ER) METAL FLOOR DECKING MINIMUM MISCELLANEOUS MEMBRANE MASONRY OPENING MANHOLE MOVABLE MARBLE METAL ROOF DECKING MOUNTED METAL THRESHOLD METAL THRESHOLD METAL FURRING METAL MULLION MILLWORK MASONARY MIRROR	SYM. SPKR. SNR SND SNT SPC. SPEC SQ SSK SS STA STD STG STL STR SUR SUSP SWR SVS SW. S.F. S.Y. T T.B. TEL TEMP THK THR TOIL T.O.B.	SYMMETRICAL SPEAKER SANITARY NAPKIN RECEPTACLE SANITARY NAPKIN RECEPTACLE SANITARY NAPKIN SEALANT SPACE SPECIFICATION(S) SQUARE SERVICE SINK STAINLESS STEEL STATION STANDARD STORAGE, SEATING STORAGE, SEATING STORAGE, SEATING STEEL STRUCTURAL SURFACE SUSPENDED SWITCH ROOM SYSTEM SWITCH SQUARE FOOT (FEE SQUARE YARD TREAD TOWEL BAR TELEPHONE TEMPERED THICK(NESS) THRESHOLD TOILET TOP OF BEAM
NAILABLE NO LONGER REQUIRED NUMBER NOMINAL NONMETALIC NOISE REDUCTION NOISE REDUCTION COEFFICIENT NOT TO SCALE	T.O.F. T.O.S. T.O.W. T.P.D. TPTN TV TYP T.O.C.	TOP OF FOOTING TOP OF SLAB TOP OF WALL TOILET PAPER DISI TOILET PARTITION TRASNFORMER VAULT, TELEVISION TYPICAL TOP OF CONCRETE
OVERALL ON CENTER OBSCURE OUTSIDE DIAMETER OFFICE OVERHEAD OVERHEAD MACHINE SCREW OVERHEAD WOOD SCREW OPEN-WEB JOIST	T.O.D. T.O.P. TER. UC UL	TOP OF CONCRETE TOP OF DECK TOP OF PARAPET TERRAZO UNDERCUT UNDERWRITERS LA UNFINISHED URINAL UNLESS OTHERWIS
OPEN-WEB JOIST OPAQUE OPENING OPPOSITE HAND OPPOSITE OPPOSITE SURFACE PARALLEL PEGBOARD	UVD VB V.C.T. VERT VEST. VIF	UPPER VEHICULAR VINYL BASE VINYL COMPOSITIO VERTICAL VESTIBULE VERIFY IN FIELD
PEGBOARD PANIC BAR PARTICLE BOARD PRECAST CONCRETE POUNDS PER CUBIC FT. PEDESTAL PERFORATE PERIMETER PORCELAIN ENAMEL	VIN V.W.C. W W/ W WC	VINYL VINYL WALLCOVER WIDTH, WIDE WITH WEST, WIDTH, WID WATER CLOSET
PORCELAIN ENAMEL PREFABRICATE(D) POUNDS PER LINEAL FT. PREFINISHED PLATE GLASS PARKING PROPERTY LINE, PLATE PLATE PLASTIC LAMINATE PLASTIC LAMINATE PLASTER PLUMBING PANEL PAINT(ED) POWER POLE PREFORMED PRESTRESSED CONC. POUNDS PER SQUARE FT. POUNDS PER SQUARE FT. POUNDS PER SQUARE FT. POUNDS PER SQUARE INCH PRESSURE TREATED POINT POST -TENSIONED CONCRETE PAPER TOWEL DISPENSER PAPER TOWEL RECEPTOR PAPER TOWEL RECEPTOR PAPER TOWEL RECEPTOR PAPER TOWEL RECEPTOR PAVE (D) (ING) PAVEMENT POLYVINYL CHLORIDE PLYWOOD PORTLAND CEMENT PLASTER PARTIAL HEIGHT PARTITION PAPER		WATER CLOSET WOOD WINDOW DIMENSIO WIRED GLASS WATER HEATER WIRE MESH WITHOUT WATERPROOFING WORKING POINT WASTE RECEPTAC WATER REPELLEN WATERSTOP WAINSCOT WEIGHT WELDED WIRE FAE WITHOUT
QUARRY TILE QUANTITY		
RISER, RUBBER RADIUS RABBET, REBATE REINFORCED CONCRETE PIPE ROOF DRAIN RECTANGULAR REINFORCE(ING) REQUIRED RESILIENT REVISION(S), REVISED REFLECT (ED) (IVE) (OR) REFRIGERATOR RIGHT HAND RAIL(ING) ROOM ROUGH OPENING RIGHT OF WAY RAINWATER CONDUCTOR REFRENCE ROOF RUBBER BASE SOUTH SUPPLY AIR SANITARY SOLID CORE SCHEDULE SOAP DISPENSER SECTION SAFETY GLASS SHELF, SHELVING SOAP HOLDER SHOWER SHEET SIMILAR SLEEVE STRUCTURAL METAL STUD SPRINKLER HEAD	Ē	

#### SANITARY NAPKIN DISPENCER (1-01) SPECIFICATION(S) DOOR NUMBER STAINLESS STEEL **DIMENSIONING CRITERIA** STORAGE, SEATING DIMENSIONS FOR LOCATING PARTITIONS AND C ESTABLISHED BY CRITERIA. ONLY EXCEPTIONS DIMENSIONED. TYPICAL DIMENSIONING CRITERI COLUMN IDENTIFICATION: DETAILS WILL GOVER DIMENSIONS WILL BE SHOWN ON THE SMALL SC ARE REPRESENTED THUS: SQUARE FOOT (FEET) - + -PARTITIONS CENTERED ON COLUMN OR GRID L DIMENSIONED ON THE SMALL SCALE PLANS BUT ACCORDINGLY: TOILET PAPER DISPENCER TOILET PARTITION PARTIT VAULT, TELEVISION TOP OF CONCRETE COLUM TOP OF PARAPET UNDERWRITERS LABORATOR PARTITIONS WITH THE FINISH FACE FLUSH WITH UNLESS OTHERWISE NOTED UPPER VEHICULAR DRIVE COLUMN WILL NOT BE DIMENSIONED ON THE SM BE DRAWN ACCORDINGLY: COL VINYL COMPOSITION TILE REF. PARTIT VERIFY IN FIELD VINYL WALLCOVERING COLUM WEST, WIDTH, WIDE PARTITIONS CENTERED ON WINDOW MULLIONS SMALL SCALE PLANS BUT WILL BE DRAWN ACCO WINDOW DIMENSION PARTIT WATER HEATER WATERPROOFING WORKING POINT \_\_\_\_ WINDO WASTE RECEPTACLE - COLUM WELDED WIRE FABRIC PARTITIONS WITH FINISH FACE LYING ON THE C NOT BE DIMENSIONED ON THE SMALL SCALE PL DRAWN ACCORDINGLY: — EXISTIN COLUM PARTIT 6. FOR OPENINGS IN PARTITIONS OR WALLS: A. WHEN ONE OCCURS AT A COLUMN OF GRID SHOWN ON THE SMALL SCALE PLANS. THE ESTABLISHED BY EITHER CRITERIA OR SCHE B. WHEN NEITHER JAMB OCCURS AT A COLUM WILL BE LOCATED DIMENSIONALLY BY THE D C. WHEN ONE JAMB IS LOCATED BY A PARTITIC FOLLOWING DIAGRAM APPLIES: - DOORS AS SCHEDULED (TYP) CMU PARTITION CMU PARTI 4" TYP. NOT DIMENSIONED FLOOR PLAN METAL STUD PARTITION

DOOR CRITERIA AND GENERAL NOTES	GRAPHIC SYMBOLS
ALL DOORS ARE LISTED IN THE DOOR SCHEDULE	BUILDING SECTION
	01 (A1-1.00
	SHEET NUMBER
	ELEVATION NUMBER
DOOR NUMBER	01 A1-1.00
	SHEET NUMBER
DIMENSIONS FOR LOCATING PARTITIONS AND OPENINGS ARE GENERALLY ESTABLISHED BY CRITERIA. ONLY EXCEPTIONS TO THESE CRITERIA WILL BE DIMENSIONED. TYPICAL DIMENSIONING CRITERIA ARE OUTLINED BELOW.	
COLUMN IDENTIFICATION: DETAILS WILL GOVERN ALL DIMENSIONS AND FEW	LARGE SCALE
DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. COLUMN GRIDS ARE REPRESENTED THUS:	SHEET NUMBER
	P TN 0 8 16 32
COL REF	
PARTITIONS CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN	PLAN
ACCORDINGLY:	
	<ul> <li>FINISH FLOOR</li> <li>COLUMN REFERENCE</li> <li>CENTER</li> </ul>
COLUMN CENTER LINE	——— MATCH
	A WINDOW TYPE 1 EQUIPMENT
	FLOORTHRESHOLD
	DOOR SLOPE
PARTITIONS WITH THE FINISH FACE FLUSH WITH THE FINISH FACE OF THE COLUMN WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY:	SLOPE SLOPE
(COL REF.	ROOM TAG
PARTITION	WALL LEGEND
COLUMN CENTER LINE	NEW METAL STUD FRAMED PARTITION (SEE PLAN FOR THICKNESS)
	NEW METAL STUD FRAMED PARTITION W/INSULATION
PARTITIONS CENTERED ON WINDOW MULLIONS WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS BUT WILL BE DRAWN ACCORINGLY:	(SEE PLAN FOR THICKNESS)
	EXISTING C.M.U. WALL
	MATERIAL SYMBOLS
	EARTH METAL LATH & PLASTER
COLUMN CENTER LINE	GRANULAR FILL METAL
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE	CONCRETE RIGID INSULATION
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL	CONCRETE     RIGID INSULATION       INSULATING CONCRETE     ACOUSTICAL TILE OR BOARD
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       ILIGHTWEIGHT CONCRETE
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE RIGID INSULATION   INSULATING CONCRETE ACOUSTICAL TILE OR BOARD   CONCRETE MASONRY UNITS GYP. BD / PLASTER   METAL LARGE SCALE ILIGHTWEIGHT CONCRETE   ALUMINUM CAST-IN-PLACE CONCRETE
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY: EXISTING CMU COLUMN CENTER LINE	CONCRETERIGID INSULATIONINSULATING CONCRETEACOUSTICAL TILE OR BOARDCONCRETE MASONRY UNITSGYP. BD / PLASTERIMETAL LARGE SCALEILIGHTWEIGHT CONCRETEALUMINUMCAST-IN-PLACE CONCRETEPLYWOOD LARGE SCALEMETAL (SMALL SCALE)
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETERIGID INSULATIONINSULATING CONCRETEACOUSTICAL TILE OR BOARDCONCRETE MASONRY UNITSGYP. BD / PLASTERIMETAL LARGE SCALEIIGHTWEIGHT CONCRETEALUMINUMCAST-IN-PLACE CONCRETEPLYWOOD LARGE SCALEMETAL (SMALL SCALE)FINISH WOODCUT STONE
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY: EXISTING CMU COLUMN CENTER LINE	CONCRETERIGID INSULATIONImage: Solution of the second of
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY: EXISTING CMU COLUMN CENTER LINE PARTITION FOR OPENINGS IN PARTITIONS OR WALLS: A. WHEN ONE OCCURS AT A COLUMN OF GRID LINE, NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE	CONCRETERIGID INSULATIONINSULATING CONCRETEACOUSTICAL TILE OR BOARDCONCRETE MASONRY UNITSGYP. BD / PLASTERMETAL LARGE SCALEILGHTWEIGHT CONCRETEALUMINUMCAST-IN-PLACE CONCRETEPLYWOOD LARGE SCALEMETAL (SMALL SCALE)FINISH WOODCUT STONEFINISH WOODROUGH WOODBLOCKINGERAMIC TILE
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETERIGID INSULATIONImage: Solution of the second of
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PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY: EXISTING CMU COLUMN CENTER LINE PARTITION FOR OPENINGS IN PARTITIONS OR WALLS: A. WHEN ONE OCCURS AT A COLUMN OF GRID LINE, NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE ESTABLISHED BY EITHER CRITERIA OR SCHEDULES: B. WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE, ONE JAMB	CONCRETERIGID INSULATIONINSULATING CONCRETEACOUSTICAL TILE OR BOARDCONCRETE MASONRY UNITSGYP. BD / PLASTERIMETAL LARGE SCALEILIGHTWEIGHT CONCRETEALUMINUMCAST-IN-PLACE CONCRETEPLYWOOD LARGE SCALEMETAL (SMALL SCALE)FINISH WOODCUT STONESOUNTINUOUSROUGH WOODBLOCKINGCERAMIC TILEGLASS LARGE SCALEACOUSTICAL TILECERAMICSOUND INSULATIONCERAMICSOUND INSULATION
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETERIGID INSULATIONINSULATING CONCRETEACOUSTICAL TILE OR BOARDCONCRETE MASONRY UNITSGYP. BD / PLASTERMETAL LARGE SCALELIGHTWEIGHT CONCRETEALUMINUMCAST-IN-PLACE CONCRETEPLYWOOD LARGE SCALEMETAL (SMALL SCALE)FINISH WOODCUT STONECONTINUOUSROUGH WOODBLOCKINGCERAMIC TILEGLASS LARGE SCALEACOUSTICAL TILECERAMICSOUND INSULATION PARTITIONMETAL STUDSOUND INSULATION PARTITIONWOOD STUDGYPSUM WALL BOARDWOOD STUDGYPSUM WALL BOARDWOOD STUDRESILIENT FLOORING
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL RAWN ACCORDINGLY: EXISTING CMU EXISTING CMU COLUMN CENTER LINE PARTITION FOR OPENINGS IN PARTITIONS OR WALLS: A. WHEN ONE OCCURS AT A COLUMN OF GRID LINE, NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE ESTABLISHED BY EITHER CRITERIA OR SCHEDULES: B. WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE, ONE JAMB WILL BE LOCATED DIMENSIONALLY BY THE DETAIL: C. WHEN ONE JAMB IS LOCATED BY A PARTITION AT A RIGHT ANGLE, THE FOORS AS SCHEDULED (TYP)	CONCRETE       INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       ILIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       CUT STONE         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       SOUND INSULATION PARTITION         METAL STUD       WOOD STUD         WOOD STUD       GYPSUM WALL BOARD         PLASTER, SAND, MORTAR,       GYPSUM WALL BOARD
ARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL RAWN ACCORDINGLY:	CONCRETERIGID INSULATIONINSULATING CONCRETEACOUSTICAL TILE OR BOARDCONCRETE MASONRY UNITSGYP. BD / PLASTERMETAL LARGE SCALELIGHTWEIGHT CONCRETEALUMINUMCAST-IN-PLACE CONCRETEPLYWOOD LARGE SCALEMETAL (SMALL SCALE)PLYWOOD LARGE SCALEMETAL (SMALL SCALE)FINISH WOODCUT STONECONTINUOUSROUGH WOODBLOCKINGCERAMIC TILEBLOCKINGCERAMIC TILECERAMICSOUND INSULATION PARTITIONMETAL STUDWUWWWWOOD STUDGYPSUM WALL BOARDWOOD STUDGYPSUM WALL BOARDINSULATION (LOOSE OR BATT)RESILIENT FLOORING
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       SOUND INSULATION PARTITION         WOOD STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       WOUTW         NUSULATION (LOOSE OR BATT)       RESILIENT FLOORING         INSULATION (LOOSE OR BATT)       RESILIENT FLOORING
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       ILGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       WWWW         METAL STUD       WWWW         METAL STUD       WWWW         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       WWWW         METAL STUD       GYPSUM WALL BOARD         METAL STUD       MUWW         METAL STUD       GRUT         MUDON       GYPSUM WALL BOARD         METAL STUD       RESILIENT FLOORING         METAL STUD       MUMW         MUDON       GYPSUM WALL BOARD
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY: EXISTING CMU EXISTING CMU COLUMN CENTER LINE PARTITION FOR OPENINGS IN PARTITIONS OR WALLS: A. WHEN ONE OCCURS AT A COLUMN OF GRID LINE, NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE ESTABLISHED BY EITHER CRITERIA OR SCHEDULES: B. WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE, ONE JAMB WILL BE LOCATED DIMENSIONALLY BY THE DETAIL: C. WHEN ONE JAMB IS LOCATED BY A PARTITION AT A RIGHT ANGLE, THE FOLLOWING DIAGRAM APPLIES:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       SOUND INSULATION PARTITION         METAL STUD       SOUND INSULATION PARTITION         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       GROUT         NSULATION (LOOSE OR BATT)       RESILIENT FLOORING         D.S.H.A       LIFE SAFETY CODES         A.C.I.       A.I.S.C.         FLORIDA FIRE PREVENTION CODE EXISTING 2017
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       SOUND INSULATION PARTITION         METAL STUD       CERAMIC TILE         WOOD STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       GYPSUM WALL BOARD         BLIFE SAFETY CODES       A.C.I.         A.S.C.       FLORIDA FIRE PREVENTION CODE EXISTING 2017         FLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA BUILDING CODE
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       PARTITION         METAL STUD       PARTITION         MOOD STUD       GYPSUM WALL BOARD         MOOD STUD       GYPSUM WALL BOARD         MULATION (LOOSE OR BATT)       NSULATION (LOOSE OR BATT)         DS.H.A LIFE SAFETY CODES A.C.I. A.I.S.C. FLORIDA FIRE PREVENTION CODE EXISTING 2017         FLORIDA FIRE PREVENTION CODE EXISTING 2017
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       SOUND INSULATION PARTITION PARTITION         METAL STUD       SOUND INSULATION PARTITION         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       GYPSUM WALL BOARD         METAL STUD       WUMM         METAL STUD       RESILIENT FLOORING         GROUT       INSULATION (LOOSE OR BATT)         NUSLATION (LOOSE OR BATT)       RESILIENT FLOORING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA BUILDING CODE EXISTING 2017         PLONDAD ELECTRIC CODE       2017 FBC ACCESSIBILITY         MANUFACTURERS SPECS ARE NOT PART OF THIS CONTRACT
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       SOUND INSULATION PARTITION PARTITION         METAL STUD       METAL STUD         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         MUSULATION (LOOSE OR BATT)       RESILIENT FLOORING BATT)         D.S.H.A LIFE SAFETY CODES A.C.I. A.I.S.C.       RLORDE SATING 2017         FLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         2017 FBC MECHANICAL       SUIT FBC A
PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL RAWN ACCORDINGLY:	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       WIMIN         METAL STUD       WIMIN         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         METAL STUD       GYPSUM WALL BOARD         PLASTER, SAND, MORTAR, GROUT       RESILIENT FLOORING         NISULATION (LOOSE OR BATT)       SOUND INSULATION         D.S.H.A LIFE SAFETY CODES A.C.I.       A.C.I.         A.S.C.       FLORDA BUILDING CODE EXISTING 2017 FLORIDA BUILDING CODE EXISTING 2017 FLORIDA BUILDING CODE EXISTING 2017 FLORIDA BUILDING CODE EXISTING 2017 FLORIDA BUILDINGAL         2017 FBC ACCESSIBILITY       MANUFACTURERS SPECS ARE NOT PART OF THIS CONTRACT
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<section-header>ARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL BE RAWN ACCORDINGLY:</section-header>	CONCRETE       RIGID INSULATION         INSULATING CONCRETE       ACOUSTICAL TILE OR BOARD         CONCRETE MASONRY UNITS       GYP. BD / PLASTER         METAL LARGE SCALE       LIGHTWEIGHT CONCRETE         ALUMINUM       CAST-IN-PLACE CONCRETE         PLYWOOD LARGE SCALE       METAL (SMALL SCALE)         FINISH WOOD       CUT STONE         CONTINUOUS       ROUGH WOOD         BLOCKING       CERAMIC TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         GLASS LARGE SCALE       ACOUSTICAL TILE         METAL STUD       SOUND INSULATION PARTITION PARTITION         METAL STUD       METAL STUD         METAL STUD       GYPSUM WALL BOARD         WOOD STUD       GYPSUM WALL BOARD         MUSULATION (LOOSE OR BATT)       RESILIENT FLOORING BATT)         D.S.H.A LIFE SAFETY CODES A.C.I. A.I.S.C.       RLORDE SATING 2017         FLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         PLORIDA FIRE PREVENTION CODE EXISTING 2017       FLORIDA FIRE PREVENTION CODE EXISTING 2017         2017 FBC MECHANICAL       SUIT FBC A
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#### **GENERAL NOTES**

- 1. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR, NO CONTROL OR CHARGE OF THE CONST. MEANS, METHODS, SEQUE PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS.
- 2. ALL WORK SHALL BE ACCORDING WITH THE CITY BUILDING CODE EDITION, AND ALL OTHER LOCAL STATE AND FEDERAL CODES HA JURISDICTION.
- 3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND FIELD ( PRIOR TO COMMENCING WORK. ANY AND ALL DISCREPANCIES SH REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT
- 4. CONTRACTOR SHALL SUPPLY AND INSTALL ALL HARDWARE REQ INSTALLATIONS AS INDICATED AND OR SPECIFIED IN DRAWINGS.
- 5. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE-TR CASING, JAMBS AND TRIM SHALL BE STAIN GRADE OR CLEAR UN SPECIFIED OTHERWISE.
- 6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CUSTOM WORK, CONTRACTOR SHALL REVIEW/APPROVE ALL SUBMITTAL/S DRAWING PRIOR TO SUBMITTING FOR ARCHITECTS REVIEW.
- 7. DO NOT SCALE DRAWING. USE DIMENSION INDICATED IN DRAWIN DIMENSIONS FOR LARGES SCALE DRAWINGS AND DETAILS SHALL PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD.
- 8. IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITI OMISSION FROM THE SPECIFICATIONS OR DRAWINGS, OR SHOUL DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT SHAL NOTIFIED IN ORDER TO PROVIDE CLARIFICATION IN THE 30 DAY FO THE OWNER'S NOTICE TO PROCEED.
- 9. INSULATE MASONRY WALLS, EXTERIOR STUDS WALLS, AND ATTIC ACCORDANCE WITH THE ENERGY CODE CALCULATIONS.
- 10. ALL WINDOW AND DOOR SIZES ARE NORMAL, VERIFY MANUFACTI ACTUAL AND ROUGH OPENING DIMENSIONS.
- 11. ALL REQUIRED TEST SHALL BE PERFORMED BY OWNER. TESTING FOR PRODUCT APPROVAL TO BE PROVIDED BY GENERAL CONTRA INCLUDED IN THEIR BID COST.
- 12. ALL DRYWALL, PLASTER AND STUCCO SHALL RECEIVE TWO COA PREMIUM QUALITY PAINT. WOODS SHALL BE PAINTED OR STAINED BE SELECTED BY OWNER.
- 13. IF DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, DRAWINGS ARE NOT CLARIFIED IN THE FIRST 30 DAYS, THE G.C. THE MOST GENEROUS ITEM.
- 14. THE CONTRACTOR SHALL OBTAIN FROM ALL SUB CONTRACTORS LOCATION OF ALL OPENINGS TO BE PROVIDED BY THEIR RESPEC THE CONTRACTORS SHALL BE RESPONSIBLE FORCOORDINATION SIZE AND DETAIL.
- 15. THE CONTRACTOR SHALL PROVIDE ALL SUPPLEMENTAL MATERIA TO PROPERLY INSTALL, SUPPORT AND BRACE ALL ITEMS AND CO WITHIN WORK.
- 16. THE GENERAL CNTRACTOR GUARANTEES AND WARRANTS THAT PERFORMED SHALL BE FREE FROM DEFECTS IN MATERIAL AND V FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF THE CERT FINAL COMPLETION ANY DEFECTS OR DAMAGE DISCOVERED DUP PERIOD SHALL BE REPAIRED OR REPLACED. AS DIRECTED IN WRI ARCHITECT, AT NO ADDITIONAL COST.
- 17. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH CHAPTE FLORIDA BUILDING CODE.
- 18. FIXED GLASS, GLASS DOOR PANEL AND/OR OPERABLE WINDOW THE FINISH FLOOR SHALL BE SAFETY GLASS.
- 19. CONTRACTOR TO PROVIDE SHORING (RESHORING) DRAWINGS & REVIEW & APPROVAL FOR THE CITY OF POMPANO BEACH.
- 20. GENERAL CONTRACTOR TO PROVIDE DOCUMENTS FOR ALL EXTE ASSEMBLIES, STOREFRONTS, LOUVERS, GRILLES /EGG CRATES / FOR APPROVAL BY THE CITY OF POMPANO BEACH. (ALL OF THE NOT INCLUDED IN THIS PERMIT)
- 21. COMPLETION: CONTRACTOR TO NOTIFY OWNER AND/OR ARCHITE WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. FINA DISBURSEMENT TO CONTRACTOR SHALL NOT BE MADE UNTIL OW LIST HAS BEEN SATISFIED. CONTRACTOR TO PROVIDE OWNER W GUARANTEE ON ALL EQUIPMENT. CONTRACTOR AT COMPLETION SHALL REMOVE FROM THE PREMISES ALL RUBBISH. IMPLEMENTS AND SURPLUS MATERIALS, LEAVE THE PROJECT "BROOM CLEAN"

# SHOP DRAWINGS AND SUBMITT

### (NOT LIMITED)

DOORS- FRAMES, DOOR TYPES, SPECIFICATIONS AND INSTALLAT HARDWARE SCHEDULE WINDOWS AND GLAZING - DETAILS AND SAMPLES

DRYWALL - MATERIALS AND INSTALLATION (MATERIALS AND FIXT MECHANICAL A/C, HEATING AND VENTILATION MATERIALS AND IN SPRINKLER - METAL GUTTERS AND DRAIN SPOUTS ALARMS - ELE MATERIALS AND FIXTURES

AUDIO - ELEVATIONS - MATERIALS AND INSTALLATIONS KITCHEN EQUIPMENT

CABINETS - AS CALLED ON INTERIOR DESIGN DRAWINGS

FINISHES - AS CALLED ON DRAWINGS SUBMIT 6 SET MINIMUM (FOR ARCHITECT APPROVAL)

ALLOW SUFFICIENT TIME FOR PROCESSING (TWO WEEKS) SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR AND AR SHOP DRAWINGS SUBMITTAL REJECTED SHALL BE RESUBMITTED CORRECTIONS

SUBMIT SAMPLES AND COLOR CHART FOR FINISHES SUBMIT ROOFING BOND "10 YEARS" (MATERIALS AND INSTALLATI

ELEVATOR GUARANTEES CONCRETE TEST AND DESIGN MIX MORTAR MIX AND DESIGN ALL SUBCONTRACTORS SHALL GUARANTEE THEIR WORK (MAT.

FOR A MINIMUM PERIOD OF ONE YEAR UNLESS OTHERWISE NOTE

# SECURITY REQUIREMENTS

- 1. WOOD FLUSH TYPE DOORS SHALL BE 1-3/8" THICK MIN. WITH SOL CORE CONSTRUCTION.
- 2. DOORS STOPS OF IN-SWINGING DOORS SHALL BE OF ONE- PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE J
- 3. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEE WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AN DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS N 2-1/2" LONG.
- 4. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLI INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT
- 5. STRAIGHT DEAD BOLTS SHALL HAVE MIN. THROW OF 1" AND AN E OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".

	SITE PLAN, FOUNDATION & GRADING
OR HAVE IENCES OR	1. CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN.
E, LASTED AVING	2. EXCAVATION SHALL BE MADE IN COMPLIANCE WITH OSHA REGULATIONS.
CONDITIONS	3. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING BY THE PROJECT GEO THECHNICAL PRIOR TO PLACEMENT OF REINFORCING STEEL.
HALL BE OF CONST.	4. IF ADVERSE SOIL CONDITION ARE ENCOUNTERED, CONTACT GEOTECHINCAL CONSULTANT.
UIRED FOR REATED. WOOD NLESS	5. CONCRETE SLABS ON GRADE ON EXPANSIVE SOIL OR COMPACTED FILL SHALL BE PLACED ON A 4 INGH FILL OF COARSE AGGREGATE OR ON A 2" SHALL BE PLACED ON A 4 INCH FILL OF COARSE AGGREGATE OR ON A 2" SAND BED COVERED MOISTURE BARRIOR MEMBRANE. THE SLABS SHALL BE AT LEAST 3 1/2" INCHES THICK AND SHALL BE REINFORCED WITH #4 BARS SPACED AT
M FABRICATED SHOP	<ul> <li>INTERVALS NOT EXCEEDING 16 INCHES EACH WAY.</li> <li>6. ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH</li> </ul>
NGS. L TAKE SHALL BE	<ul> <li>ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE SLAB AND THE BASE COURSE OR PREPARED SUBGRADE.</li> <li>7. TERMITE PROTECTION NOTES: TERMITE PROTECTION SHALL BE PROVIDE BY FLORIDA REGISTERED TERMICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.</li> </ul>
TES IN OR LD THERE BE LLL BE FOLLOWING	SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AND SHALL DISPLAY PRODUCT USED IDENTITY OF APPLICATOR, TIME AND DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER
	OF GALLONS USED.  DRAINAGE NOTES
	ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTIES.
G REQUIRED RACTOR AND	2. INSTALL ROOF DRAINS, GUTTERS AND DOWNSPOUT ACCORDING TO PLANS.
TS OF ED. COLOR TO	3. ALL DRAINAGE SHALL BE CONDUCTED TO STREET IN NON-EROSIVE DEVICES 2% min.
OR BETWEEN WILL PROVIDE	<ul> <li>4. BUILT-IN 4" DOWNSPOUT. PROVIDE SOUND INSULATION FOR ALL BUILT IN PIPING.</li> <li>5. BASEMENT WATER SHALL BE DISCHARCED TO LAWN.</li> </ul>
S THE SIZE AND	5. BASEMENT WATER SHALL BE DISCHARGED TO LAWN. GLAZING NOTES
CTIVE TRADE. N, LOCATION,	1. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED INGRESS AND EGRESS DOORS; PANELS IN SLIDING OR SWINGING DOORS; DOORS AND
AL REQUIRED OMPONENTS	ENCLOSURE FOR HOT TUB BATHTUB AND SHOWERS. GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE; IN WALL ENCLOSING STAIRWAY LANDING. EACH LIGHT OF SAFETY GLAZING (PANE) MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS.
WORKMANSHIP TIFICATE OF RING SAID	<ol> <li>ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS IS TO BE CATEGORY II SAFETY GLASS AS PER FBC RESIDENTIAL 2004 SECTION 2406.</li> </ol>
	ROOF NOTES
ER VII OF THE WITHIN 42" OF	1. INSTALL BUILT-UP ROOFING MEMBRANE SYSTEM ACCORDING TO ROOFING SYSTEM MANUFACTURE'S WRITTEN INSTRUCTIONS AND APPLICABLE RECOMMENDATIONS OF NRCA "QUALITY CONTROL GUIDELINES FOR THE
CALC. FOR	APPLICATION OF BUILT-UP ROOFING". 2. ALL ROOF MATERIAL TO BE CLASS A.
ERIOR DOOR AND WINDOWS	3. ROOF DRAINAGE DEVICES WITH OVERFLOW TO HAVE LEAF AND DEBRIS SCREENS. ROOF DRAINAGE TO BE CONVEYED TO STREET VIA NON-EROSIVE DEVICES.
	<ol> <li>ALL ROOF SLOPE TO BE MIN. 1/4" TO 12".</li> <li>CONTRACTOR SHALL PERFORM AN IMPERMEABILITY TEST ON ALL ROOF</li> </ol>
ECT IN AL WNERS PUNCH /ITH WRITTEN	<ul> <li>6. ALL ROOFING TO BE NON REINFORCED EPDM MEMBRANE (RUBBERGUARD)</li> </ul>
N OF WORK S, EQUIPMENT,	ECOWHITE EPDM OR SIMILIAR)
Γ. ΓALS	ELECTRICAL REQUIREMENTS           1. PROVIDE RECEPTACLE WITHIN 6' OF ANY POINT ALONG WALLS IN LIVABLE
	<ul> <li>ROOMS.</li> <li>2. PROVIDE ELECTRICAL OUTLETS ALONG THE WALLS OF COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHEN AT MAXIMUM SPACING</li> </ul>
TIONS	<ul> <li>OF 48". ROOMS.</li> <li>3. THE LIGHTS IN BATHROOMS AND KITCHEN SHALL BE ENERGY EFFICIENT TYPES</li> </ul>
TURES) NSTALLATION ECTRICAL	<ul> <li>MEETING MINIMUM 40 LUMENS PER WATT. E.G. FLUORESCENT TYPES.</li> <li>4. PROVIDE GFI FOR ALL: 125-VOLT, SINGLE PHASE, 15 AND 20 AMP. RECEPTACLES IN BATHROOMS, OUTDOORS, CRAWL SPACES, BASEMENTS AND KITCHEN</li> </ul>
	WITHIN 6' OF A SINK. 5. PROVIDE SEPARATE MEANS FOR DISCONNECT ALL UNDERGROUND
	<ul> <li>CONDUCTORS.</li> <li>6. PROOF ELECTRICAL SYSTEMS, ALL ELECTRICAL WORK SHALL BE INSTALLED BY A LICENSED ELECTRICIAN.</li> </ul>
RCHITECT D SHOWING	FIRE PROTECTION
ION)	1. SMOKE DETECTOR SHALL BE PROVIDED ON THE CEILING OR WALL OF EACH SLEEPING ROOM, AT POINT CENTRALLY LOCATED ON THE WALL OR CEILING OF
AND LABOR) ED OR REQ.	THE HALLWAY OR ROOM GIVING ACCESS TO SLEEPING ROOMS AT THE BASEMENT, GROUND FLOOR AND ALL ELEVATED FLOORS. 2. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM
	2. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW <sub>1</sub> BATTERY SIGNAL.
E JAMB.	3. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
HAVE NON-	MEANS OF EGRESS
EL JAMB STUD ND HOLDING N SHALL BE NO LESS THAN	1. PROYIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN. 24" CLEAR HT. 20" CLEAR WIDTH, 5.7 SQ.FT. AREA. MAX. 44" TO SILL.
ELATCH WITH LE FROM T.	
EMBEDMENT G-LUG	

ECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OUGLAS F EATON & W MOLLY OSENDORF

ITECT



975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670

SULTING ENGINEERS

STRUCTURAL ENGINEER.
MEP:
CIVIL ENGINEER:
LEED CONSULTANT:

viewed for CODE COMPLIANCE

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

ISIONS:

#### **BOA SET**

OJECT No. UE DATE: ISIONS:

TES, SYMBOLS & ABBREVIATIONS

ALE: N.T.S.

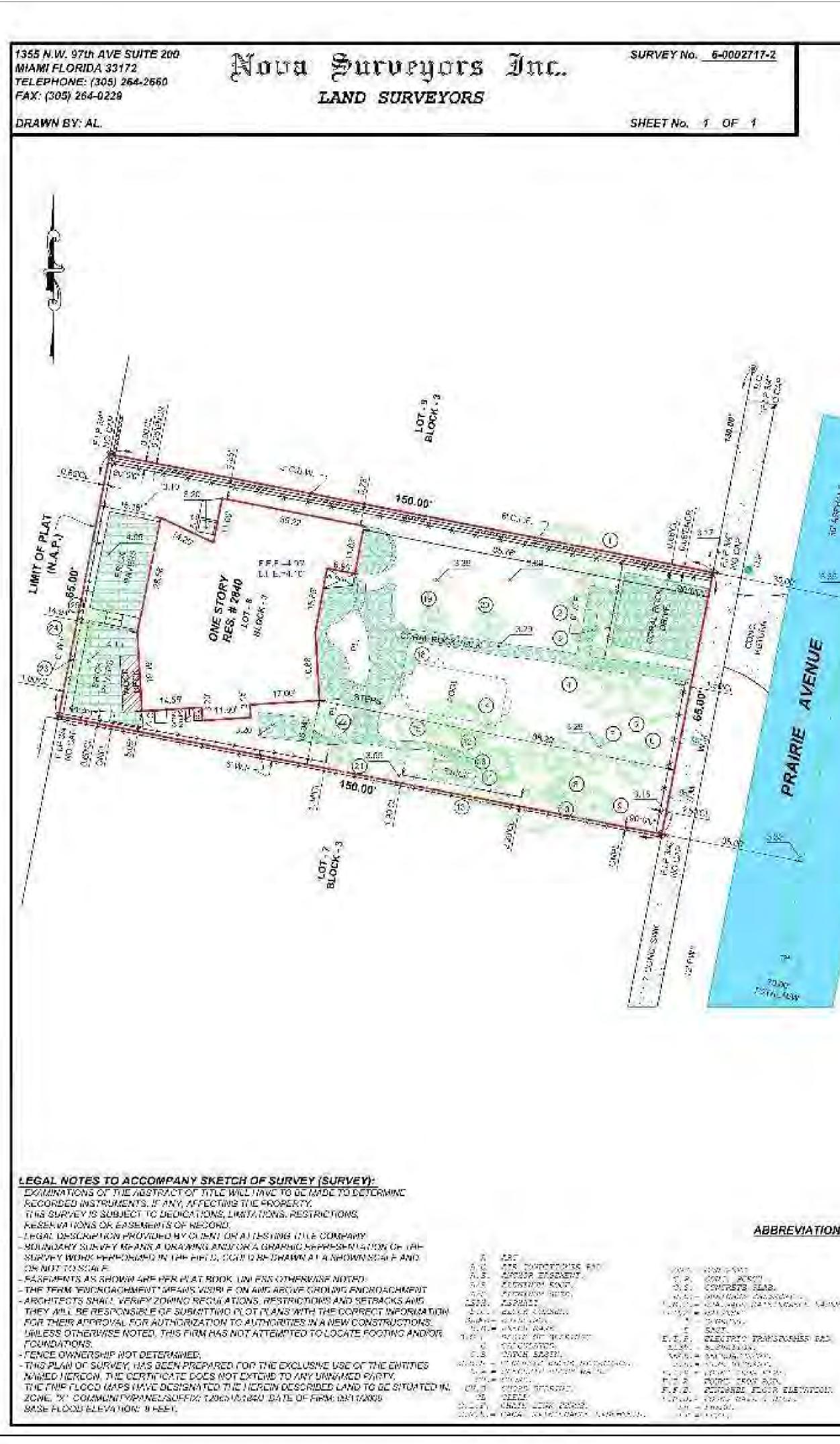
THE BEST OF THE ARCHITECT'S OR ENGINEER'S NOWLEDGE, THE PLANS AND SPECIFICATIONS MPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SIGNATURE:	
	/
SIGNATURE:	
ARTURO G. GRIEGO, AIA	

EET No.:

G-

ORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**BOUNDARY SURVEY** 

GRAPHIC SCALE

( IN FEET )

t inch - 20 ft.

QL. L. I.V



#### LEGAL DESCRIPTION:

SURVEY OF LOT 8, BLOCK 3, OF ACCORDING TO THE PLAT THE PAGE 181, OF THE PUBLIC REC

#### **PROPERTY ADDRESS:**

2840 PRAIRIE AVE MIAMI BEACH, FL 33140

CERTIFICATIONS:

DOUGLAS FEATON & WIMOLLY

#### SURVEYOR'S NOTES:

1]. IF SHOWN, BEARINGS ARE ! DESCRIPTION OF THE PROP TOWNSHIP MAPS

2). IF SHOWN . ELEVATIONS AP ELEV. 8.73 FEET OF N.G.V.D. 3), THE CLOSURE IN THE BOUM

THEREBY CERTIFY: THAT THIS AS RECENTLY SURVEYED AND TECHNICAL STANDARDS AS SE SURVEYORS IN CHAPTER ETG: FLORIDA STATUTES.

花花 VENUE AIRIE Q.

72.00-Sta lin

TREE TABLE					
No.	TREE NAME	DIAMETER ( ')	HEIGHT(')	SPREAD (*)	
1	TICUS	6.00	30.00	20.00	
2	PALM CLUSTER	1.20	40,00	20.00	
2	PALM TREE	2.00	15.00	15.00	
4	PALM TREF	3.00	30,00	25.00	
5	PALM TREE	3.00	30.00	25.00	
6	PALM TREE	7. <del>5</del> 0	15.00	10.00	
7	PALM TREE	1.50	15.00	10.00	
8	PALM TREE	1.50	15.00	10.00	
9	GUANAVANA	0.90	15.00	19.00	
10	PALM TREE	0.90	6.00	6.00	
11	PALM CLUSTER	1.40	30.00	10.00	
12	PALM GLUSTER	*.20	20,00	15.00	
13	PALM CLUSTER	.20	20,00	15.00	
14	PALM CLUSTER	* .20-	20.00	15.00	
15	PALM CLUSTER	1.20	20.00	15.00	
16	PALM CLUSTER	1.20	20.60	15.00	
17	PALM CLUSTER	1.20	20.00	15.00	
18	PALM TREE	2.00	25.00	2,00	
19	PALM TREE	2.00	25,00	7.00	
20	PALM IREE	2.00	25.00	7.00	
21	PALM TREE	2.00	25.00	7.00	
22	UNKNOWN	0.90	30.00	10.00	
23	BLACK OHVE	0.90	15.00	30.00	
24	BLACK OLIVE	0.90	15.00	30.00	
25	BLACK OLIVE	0.90	15.00	30.00	

ABBREVIATIONS AND MEANINGS

A . M. C. - A. M. MARK, DAMES AND STREET AND SHOW SHOW

Parts, 2011. PROCESSOR COLLECT. FROM, PELERAL COLLECTE AND UNDER SE Sect. O' State Sugar The balls and their LN., EG. Mindbe Mid excelle billing. 1.2.5. 134231 51325 512431 512435. Landes with a start the second s M. SENSOR CONSIGNATION AND A STREET AND A ST 2010 - 27378055with = Willie Ober ...... Analy, a third a characterian Maria Analytical and allow a subject and the R. S.R.Fe. No. . 2. S.D. . W.M.L.S. 2-80 800,772 272 = 5.51 atta

WARD - SPATCHEAR  $(f_{i},f_{i})_{i\in I} = (f_{i})_{i\in I} (f_{i})_{i\inI} (f_{i}) (f_{i})_{i\inI} (f_{i}) (f_{i})_{i\inI} (f_{i}) (f_{i}) (f_{i})_{i\inI} (f_{i}) (f_{i}$ 2.5 - 60.20252 $\mathbf{x} \in \{0,1,1,\dots,N,M\} \in \{0,1,\dots,M\}$ 10 . C. S. S. State Phase - White Child Strate 3. 7. 7. SUSTRY OF TRUBUTION SURVE. N.T. SUSTRY OF WEVE Mr. - Marky 10 Yababbay.  $\mathcal{A}_{i}^{(1)}(\mathbf{x}) = \mathcal{A}_{i}^{(1)}(\mathbf{x}) = \mathcal{A}_{i}^{(1)}(\mathbf{x})$ serves - Republic and Antone for P. S. T. MICHT IN RECEIPT STRUCK 2.5. 5112 8008  $\Delta t_{\rm eff} = 2 \Delta t_{\rm eff} t_{\rm eff}$ There is a subscription of the second state of the second Real of a strategy of the strategy of the second second P PSCORIER DOSCASOS

Plan Back Ball. Sectors - Philippediates 1979 - Richard - Grands 1941 - Racins Starsan 1999 - Racins Maria 2001 - 13405. SEC FECTION STS. (1:87. ABIN- NAVARAN 3.1.2. BES SECH SIBB S.B. 19911.  $\begin{array}{c} \mathbf{z}_1 & \mathbf{z}_2 \mathbf{z}_1 \mathbf{z}_2 \mathbf{z}_1 \mathbf{z}_2 \mathbf{z}_2 \mathbf{z}_1 \mathbf{z}_1$ 1 - 1945/95/21. THE REMOVED THE REMOVED ("TE CITATE" U.S. FIELERY FOLS. K.A. MATES MEDER, M.A. HATES MEDER, M.A. HATES MEDER,

Se 2000 Se 23 0 4 6 7	2840 PRAIRIE A MIAMI, FL   331 OWNER DOUGLAS A OSENDO ARCHITECT:	ATE DENCE VE 40 F EATON & W MOLLY RF G3AEC 975 Arthur Godfrey rd. suite 401 miami beach florida 33140
LOCATION SKETCH N.T.S.	CONSULTING ENG	
	STRUCTURAL ENGINEER	
SCRIPTION:	MEP:	
LOT 8, BLOCK 3, OF FIRST ADDITION TO MID GOLF SUBDIVISION TO THE PLAT THEREOF AS RECORDED IN THE PLAT BOOK 7, FITHE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.	CIVIL ENGINEER:	
ADDRESS:	LEED CONSULTANT:	
ANDE - ANDE	LEED CONSULTANT.	
H, FL 33140 TIONS:		
		r CODE COMPLIANCE
FATON & WIMOLLY A OSENDORF	P. Works	ignature Date
I'S NOTES:	Fire Prev	
I, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. BY SAID PLAT IN THE TION: OF THE PROPERTY, IF NOT. THEN BEARINGS ARE REFERRED TO COUNTY.	Planning	//
* MAP'S N : ELEVATIONS ARE REFERRED TO MIAMI-DADE COUNTY, BM # D-131	Zoning Building	
3 FEET OF N.G.V.D. OF 1929. LOCATOR NO.3234NE, SURE IN THE BOUNDARY SURVEY IS ABOVE 1:7590 FT.	Structural	
	Electrical	
RTIFY: THAT THIS 'BOUNDARY SURVEY' OF THE PROPERTY DESCRIBED HEREON,	Plumbing	
LY SURVEYED AND DRAWN UNDER MY SUPERVISION. COMPLIES WITH THE MINIMUM STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND	Mech	//
S IN CHAPTER E1G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472327, ATUTES	S. Waste	//
	REVISIONS:	
	E	OA SET
BY: 07/31/2019		
GEORGE IBARRA (DATE OF FIELD WORK) PROFESSIONAL LAND SURVEYOR NO. 2534	PROJECT No.: ISSUE DATE:	
STATE OF FLORIDA	REVISIONS:	
(VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE	SURVEY SCALE:	
ATTESTING LAND SURVEYOR)	TO THE BEST OF	THE ARCHITECT'S OR ENGINEER HE PLANS AND SPECIFICATIONS
REVISED ON: 07-31-2019 UPDATED TREE SURVEY AND CONSTRUCTION ELEVATIONS		E APPLICABLE MINIMUM BUILDIN HE APPLICABLE FIRE-SAFETY STANDARDS
REVISED ON:	AS DETERMIN SEAL:	ED BY THE LOCAL AUTHORITY
		ERED TAD
$\begin{aligned} \mathbf{w}_{i} &= - \cos \theta  d  \omega^{2} \cos \theta \\ \mathbf{w}_{i} &= \cos \theta \sin \theta \\ \mathbf{w}$		
A SENTERA ANGLE. A MAGLE.	SIGNATURE:	OF FLOR
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	ARTURO G. GRIEG AR94011	GO, AIA WODDESC
$\frac{0.00}{0.00} = 0.000000000000000000000000000000$		
(D) reactions and	SHEET No.:	
(2) Treasant and the second se		G-2
	ALL DRAWING AND WRI WORK OF THE ARCHIT	ITEN MATERIALS HEREIN CONSTITUTE ORIGINA CCT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

G3AEC 975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670 ENGINEERS for CODE COMPLIANCE Signature Date

#### GENERAL SITE INFORMATION:

#### LEGAL DESCRIPTION:

LOT 8, BLOCK 3, FIRST ADDITION TO MID GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 7, PAGE 161 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

#### SCOPE OF WORK:

SECOND STORY ADITTION OF MASTER BEDROOM AND GUEST BEDROOM. EXTERIOR COVERED TERRACE ADITTION. NEW ELECTRICAL, NEW MECHANICAL AND NEW PLUMBING FOR ADITTION.

#### GOVERNING CODES:

FLORIDA BUILDING CODE 2017 EXISTING RESIDENTIAL 6TH EDITION NATIONAL ELECTRIC CODE 2014

#### ZONING GUIDELINES:

#### ZONING: RS-4 (SINGLE FAMILY RESIDENTIAL)

FLOOD ZONE: LOT SIZE: LOT AREA:

\_\_\_\_

AE 65X150 9,750 SQ.FT.

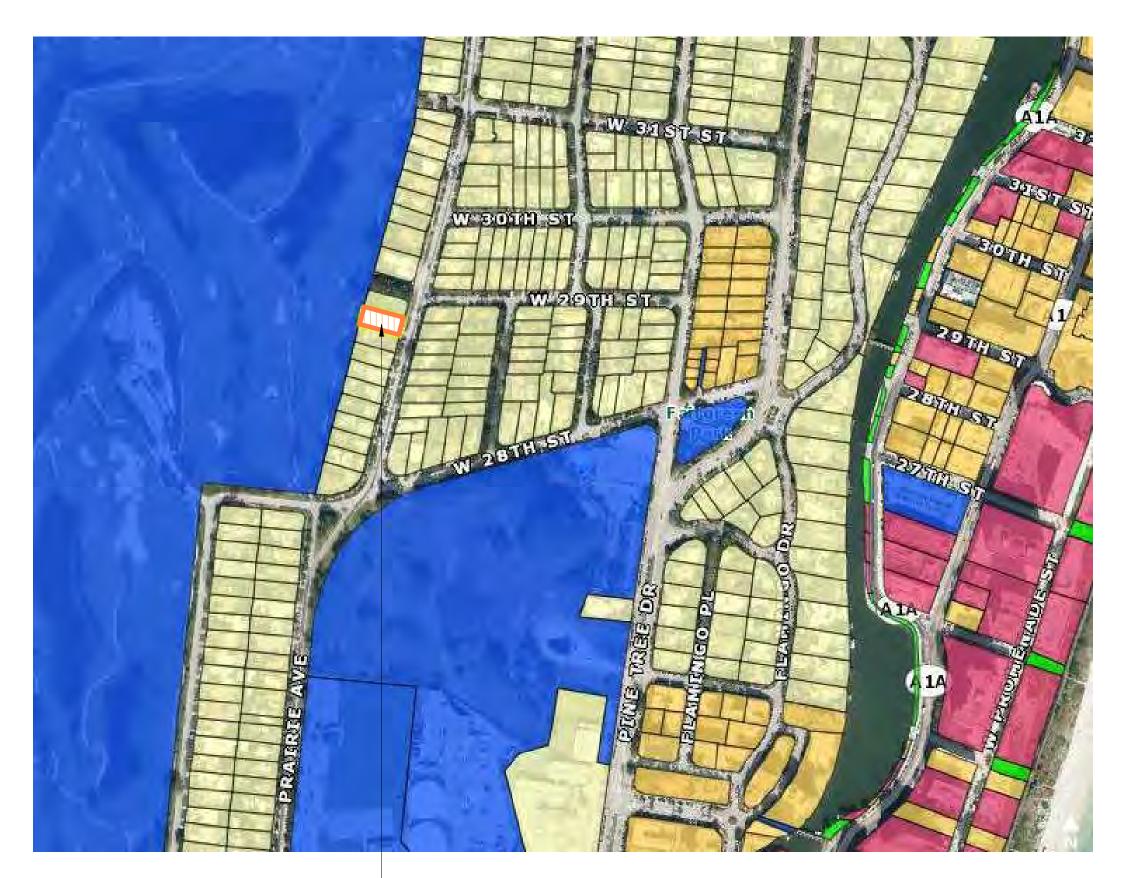
#### SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	PROJECT INFORMATION			
1	ADDRESS:	2840 PRAIRIE AVENUE	MIAMI BEACH, FLORIDA 33140-3409	
2	FOLIO NUMBER(S):	02 - 3227 - 016 - 0090		
3	BOARD AND FILE NUMBERS :	BOA	Z BA 19-0096	
4	YEAR BUILT:	1948	ZONING DISTRICT :	RS-4
5	BASE FLOOD ELEVATION:	8' - 0" N.G.V.D.	GRADE VALUE IN NGVD :	6'-0" N.G.V.D.
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7' - 0" N.G.V.D.	FREE BOARD :	
7	LOT AREA:	9,750 SF.		
8	LOT WIDTH:	65' - 0"	LOT DEPTH :	150' - 0"
9	MAX LOT COVERAGE SF AND %:	2,925 SF 30%	PROPOSED LOT COVERAGE SF AND %:	2,830 SF 29%
10	EXISTING LOT COVERAGE SF AND %:	2,226 SF 22.83%	LOT COVERAGE DEDUCTED (GARAGE- STORAGE) SF:	-
11	FRONT YARD OPEN SPACE SF AND %:	650 SF 50%	REAR YARD OPEN SPACE SF AND %:	1,024 SF 70%
12	MAX UNIT SIZE SF AND %:	4,875 SF 50%	PROPOSED UNIT SIZE SF AND %:	4,393 SF 45%
13	EXISTING FIRST FLOOR UNIT SIZE:	2,226 SF	PROPOSED FIRST FLOOR UNIT SIZE:	2,830 SF
14	EXISTING SECOND FLOOR UNIT SIZE	0 SF	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOT TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRES BOARD APPROVAL)	1,563 SF 55%
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND % :	1,563 SF 16%
16			PROPOSED ROOF DECK AREA SF AND % (NOTE MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	

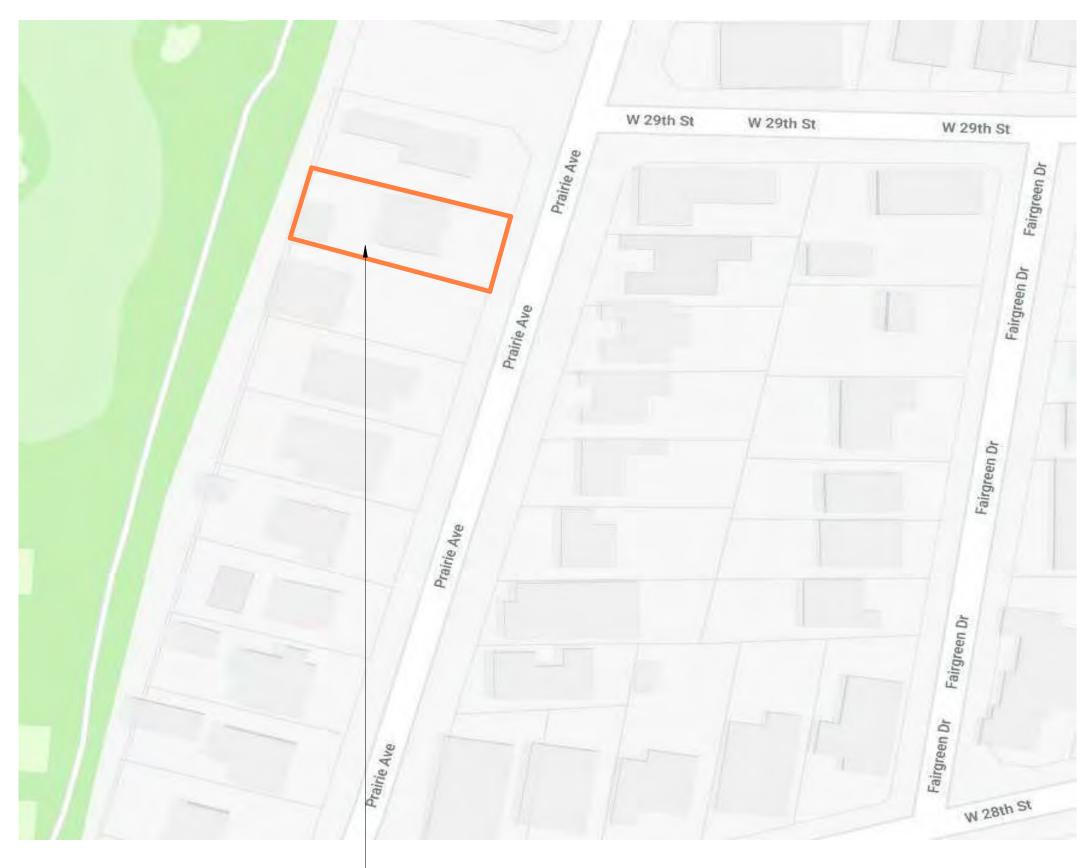
	ZONING INFORMATION/ CALCULATIONS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	27' SLOPED	11' - 8"	25' - 9"	
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20' - 0"	85.45'	53.45'	0
20	FRONT SECOND LEVEL:	30' - 0"	N/A	N/A	0
21	SIDE 1:	10' - 0"	5'-0"	5'-0"	5'-0"
22	SIDE 2 OR (FACING STREET):	10' - 0"	5.07'	5.07'	4.93'
23	REAR:	22' - 6"	14.92'	14.92'	7.58'
	ACCESSORY STRUCTURE SIDE 1:	N/A			
24	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET) :	N/A			
25	ACCESSORY STRUCTURE REAR:	N/A			
26	SUM OF SIDE YARD :				
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?			YES OR NO	
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?			YES OR NO	
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?			YES OR NO	
	ADDITIONAL DATA OR INFORMATION MUST BE PRESENTED IN THE FORMAT OUTLINED IN THIS SECTION				

NOTES:

IF NOT APPLICABLE WRITE N/A



2840 PRAIRIE AVE MIAMI, FL | 33140



- 2840 PRAIRIE AVE MIAMI, FL | 33140



LOCATION MAP  $\bigoplus^{\mathbb{N}}$ 1 N.T.S

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

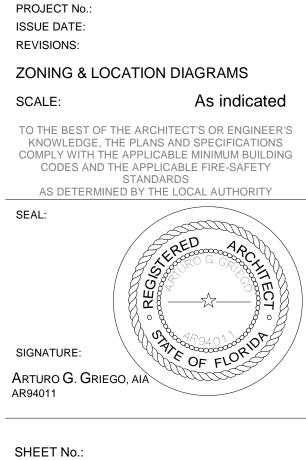
MEP:		
CIVIL ENGINEER:		
LEED CONSULTANT:		

Reviewed for CODE COMPLIANCE

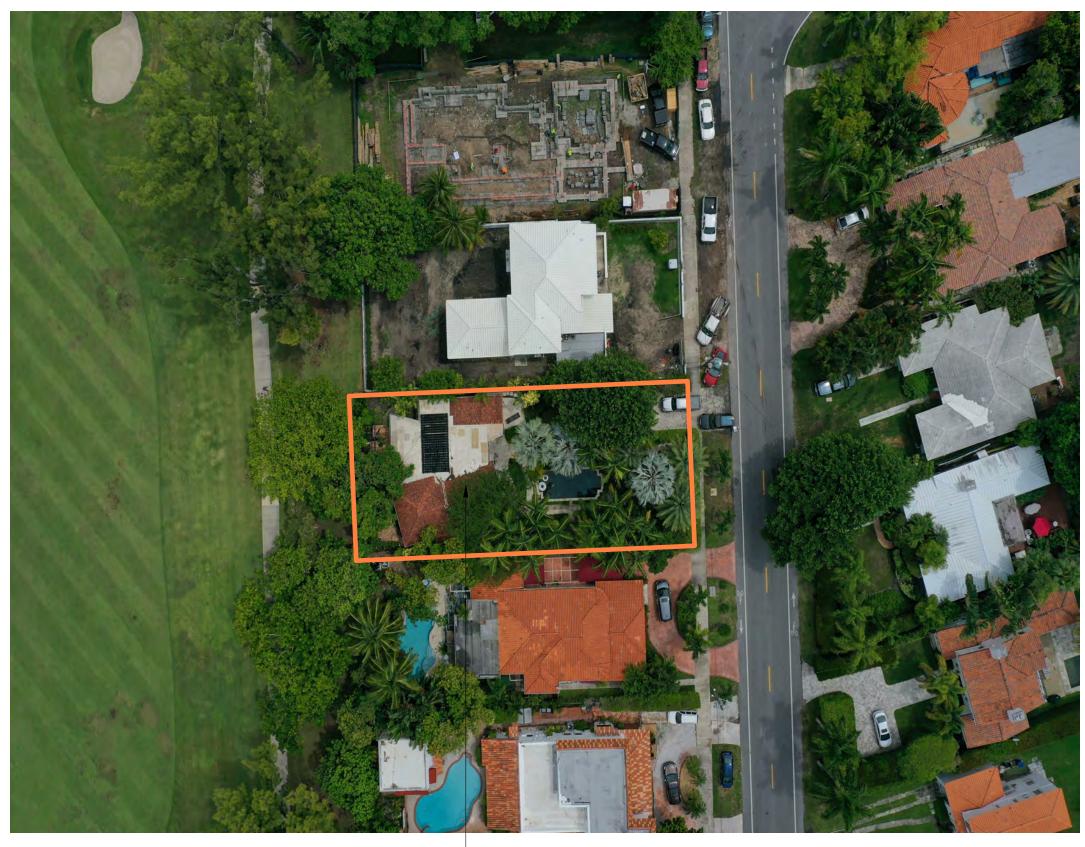
Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

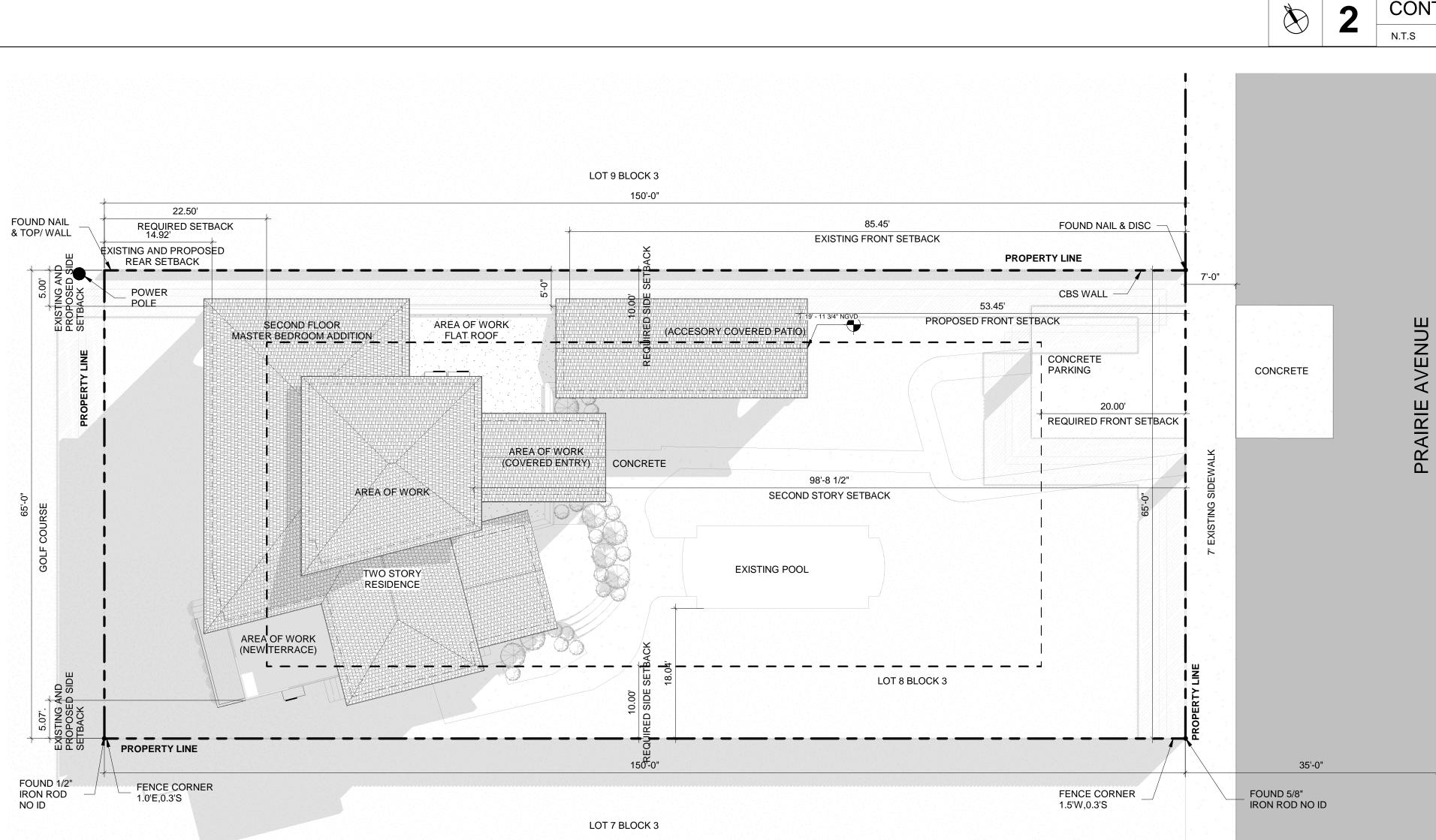
**REVISIONS**:

#### **BOA SET**



**G-3** 





2840 PRAIRIE AVE
 MIAMI, FL | 33140

 $\Diamond$  1

#### CONTEXT LOCATION PLAN

To' RIGHT OF WAY (28' ASPHALT PAVEMENT

PROPOSED SITE PLAN

SCALE: 1" = 10'-0"

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



G3<sub>AEC</sub> 975 Arthur Godfrey rd. suite 401 miami beach florida 33140 **t** 305 763 8471 **e** admin@g3aec.com ₩ www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

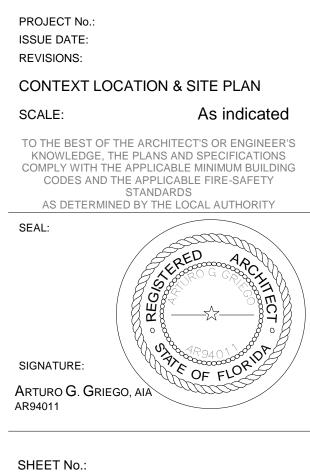
MEP: CIVIL ENGINEER: LEED CONSULTANT:

#### Reviewed for CODE COMPLIANCE

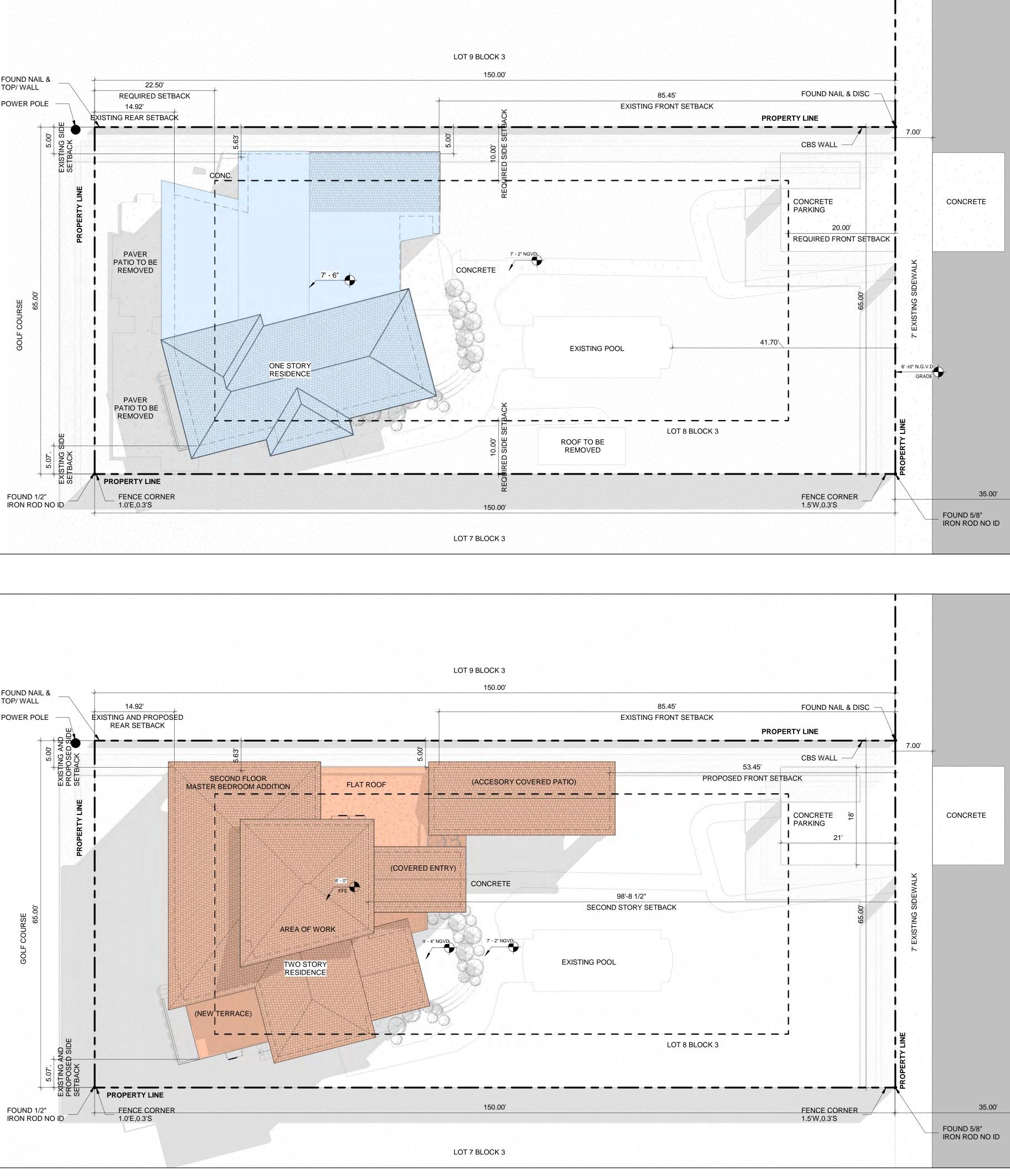
Signa	ature	Date
P. Works		_//
Fire Prev		_//
Planning		//
Zoning		_//
Building		_//
Structural		_//
Electrical		_//
Plumbing		_//
Mech		//
S. Waste		_//

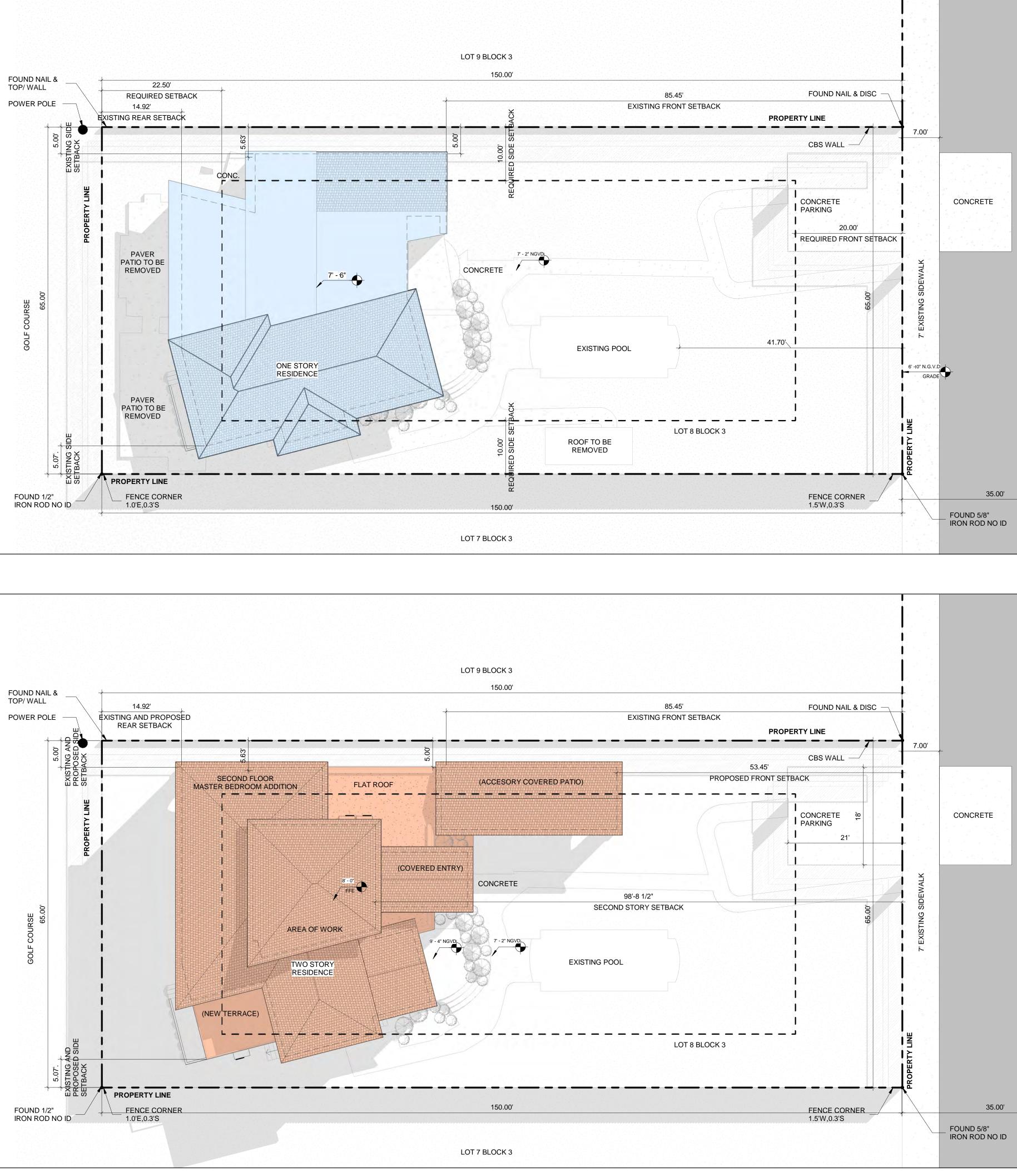
REVISIONS:

#### **BOA SET**



G-3.1





PRAIRIE AVENUE	70' RIGHT OF WAY (28' ASPHALT PAVEMENT			
			1	EXISTING SITE PLAN SCALE: 1" = 10'-0"
PRAIRIE AVENUE	70' RIGHT OF WAY (28' ASPHALT PAVEMENT			
	γ-Ψ_     	R.	•	PROPOSED SITE PLAN
		$\otimes$	2	SCALE: $1" = 10'-0"$

SCALE: 1" = 10'-0"

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

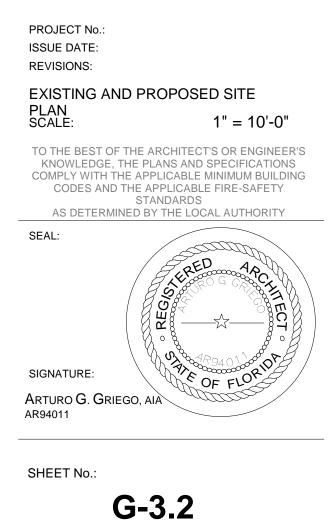
MEP:		
CIVIL ENGINEER:		
LEED CONSULTANT:		

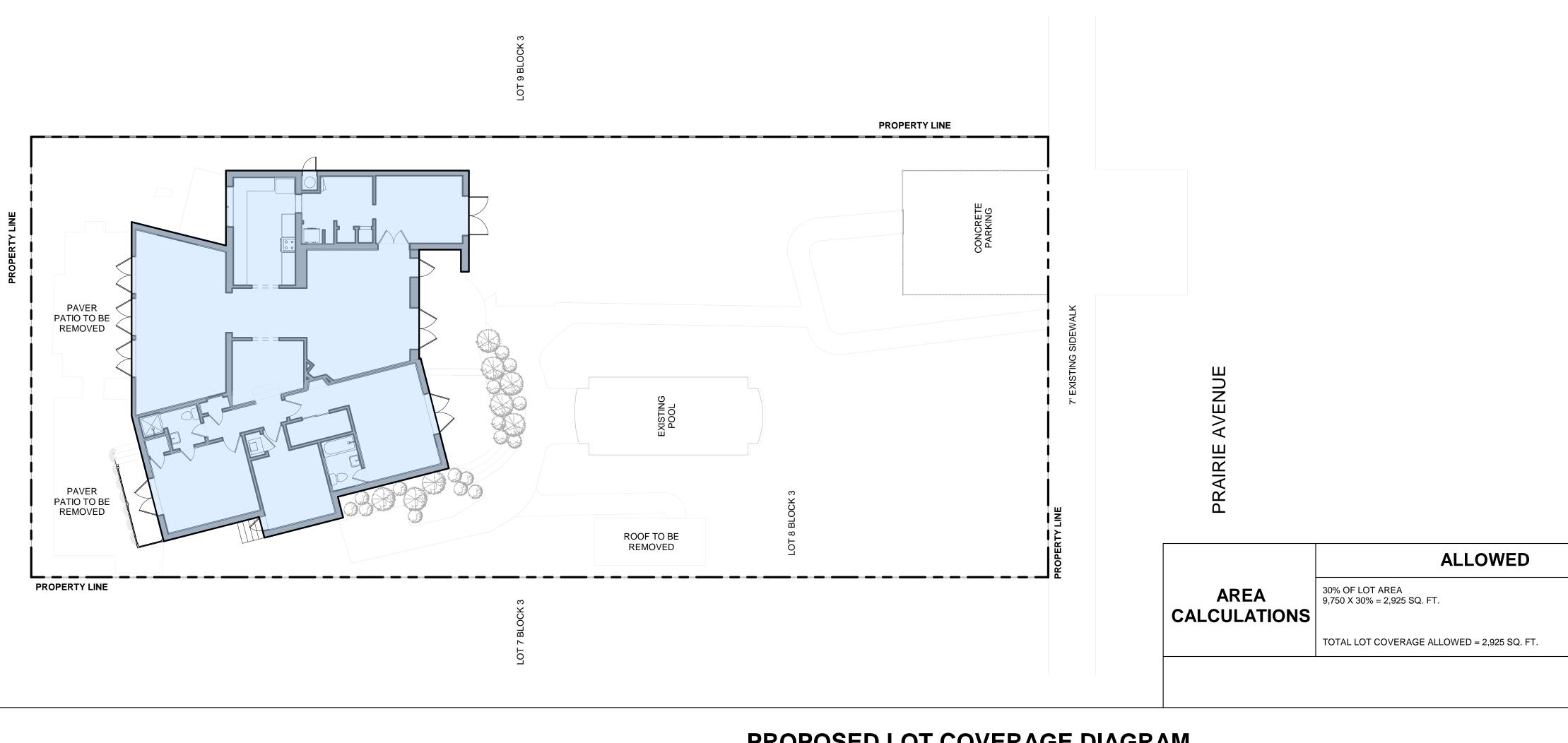
**Reviewed for CODE COMPLIANCE** 

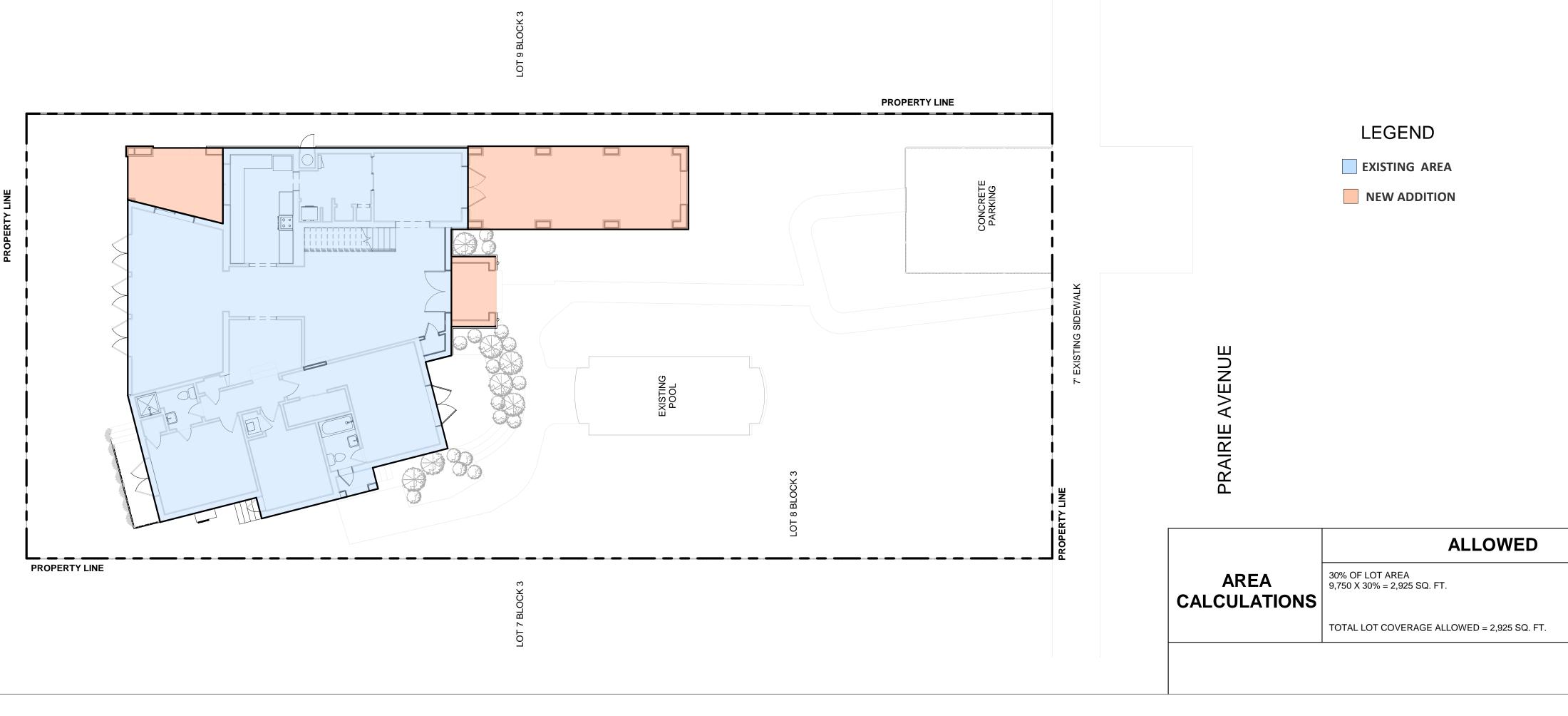
Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

**REVISIONS**:

#### **BOA SET**







## **EXISTING LOT COVERAGE DIAGRAM**

# PROPOSED LOT COVERAGE DIAGRAM

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:



975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

2,226 SQ. FT.
R 2,226 SQ. FT.
R 2

**Reviewed for CODE COMPLIANCE** 

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

**REVISIONS**:



PROJECT No .: ISSUE DATE: **REVISIONS:** 







ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

9 SQ. FT. 1 SQ. FT. SHEET No .: SQ. FT.

		PROVIDE	D
		EXISTING CONSTRUCTION NEW AREA	2,239 SQ. FT. 591 SQ. FT.
		TOTAL LOT COVERAGE PROVIDED =	29% OR 2,830 SQ. FT.
$\langle \rangle$	2	LOT COVERAGE DIAGE	RAM
$\nabla$		SCALE: 1" - 10'.0"	

2	LUT	
	SCALE:	1" = 10'-0"

 $\langle \! \rangle$ 

SCALE: 1" = 10'-0"

## **PROPOSED UNIT SIZE DIAGRAM - LEVEL ONE**



# **EXISTING UNIT SIZE DIAGRAM**

	PROPERTY LINE	
		CONCRETE PARKING
EXISTING POOL		
OOF TO BE REMOVED		

PROJECT, ADDRESS AND OWNER: PRIVATE

# RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140 OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

MEP:
CIVIL ENGINEER:
LEED CONSULTANT:

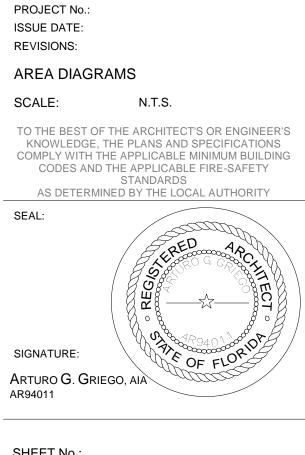
	PROVIDED
	LEVEL 1 2,226 SQ. FT
	TOTAL PROVIDED= 22.83% OR 2,226 SQ. FT.
ѷ 3	UNIT SIZE DIAGRAM LEVEL 01 EXISTING
	SCALE: 1" = 10'-0"

**Reviewed for CODE COMPLIANCE** 

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

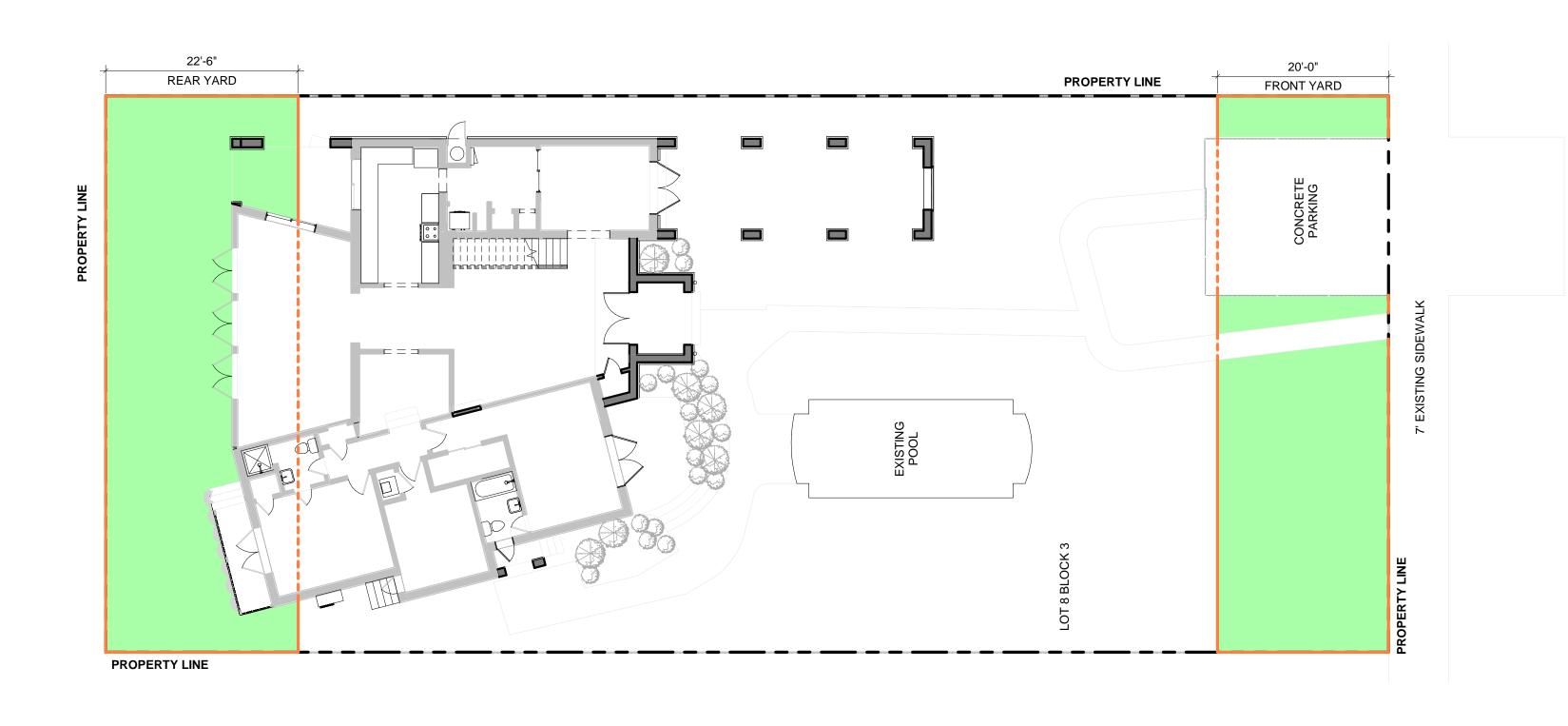
**REVISIONS**:

#### **BOA SET**



SHEET No.:

**G-5** 



# **REQUIRED YARDS OPEN SPACE DIAGRAM**

RAIRIE AVENUE
PRAI

	ALLOWED				PROVIDED	
CALCULATIONS	- FRONT:	650 SF	50% OF REQUIRED FRONT YARD FRONT YARD: 1,300 SF. x 50% = 650 SF		0 SF	- FRONT: 870 SF = 67%
	- REAR:	1,024 SF	70% OF REQUIRED REAR YARD REAR YARD: 1,462 SF. x 70% =  1024 SF		4 SF	- REAR: 1,092 SF = 74%
				$\langle \! \rangle$	1	OPEN SPACE
				$\bigcirc$		N.T.S

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



G3₄₅c 975 Arthur Godfrey rd. suite 401 miami beach florida 33140 **t** 305 763 8471 **e** admin@g3aec.com ₩ www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

MEP:		
CIVIL ENGINEER:		
LEED CONSULTANT:		

Reviewed for CODE COMPLIANCE

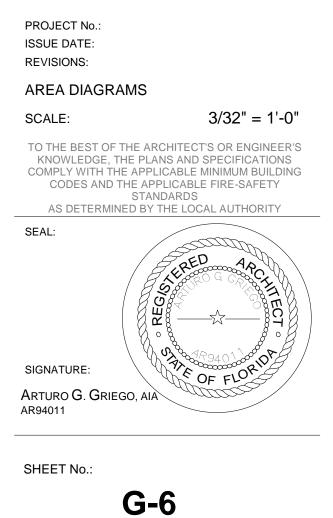
Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

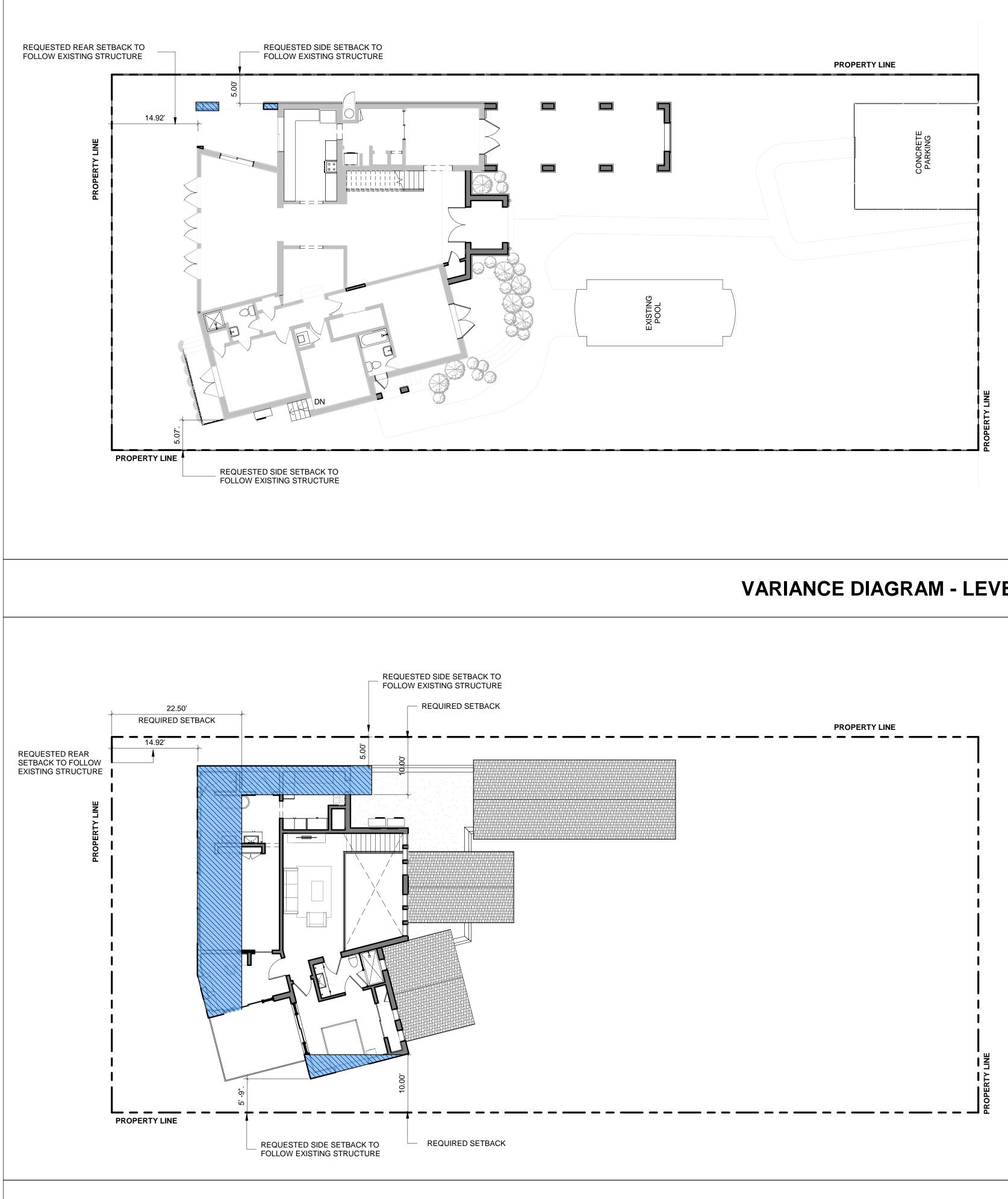
**REVISIONS**:

\_\_\_\_\_

\_\_\_\_\_

#### **BOA SET**





### VARIANCE DIAGRAM - LEVEL TWO

 $\langle \! \rangle$ 

#### VARIANCE DIAGRAM LEVEL 01 SCALE: 1" = 10'-0"

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

2840 PRAIRIE AVE MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY A OSENDORF

ARCHITECT:



975 Arthur Godfrey rd. suite 401 miami beach florida 33140 t 305 763 8471 e admin@g3aec.com w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

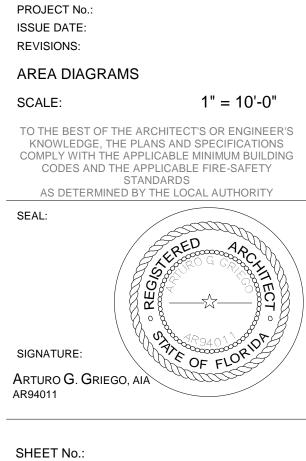
MEP:		
CIVIL ENGINEER:		
LEED CONSULTANT:		

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

**REVISIONS**:

#### **BOA SET**



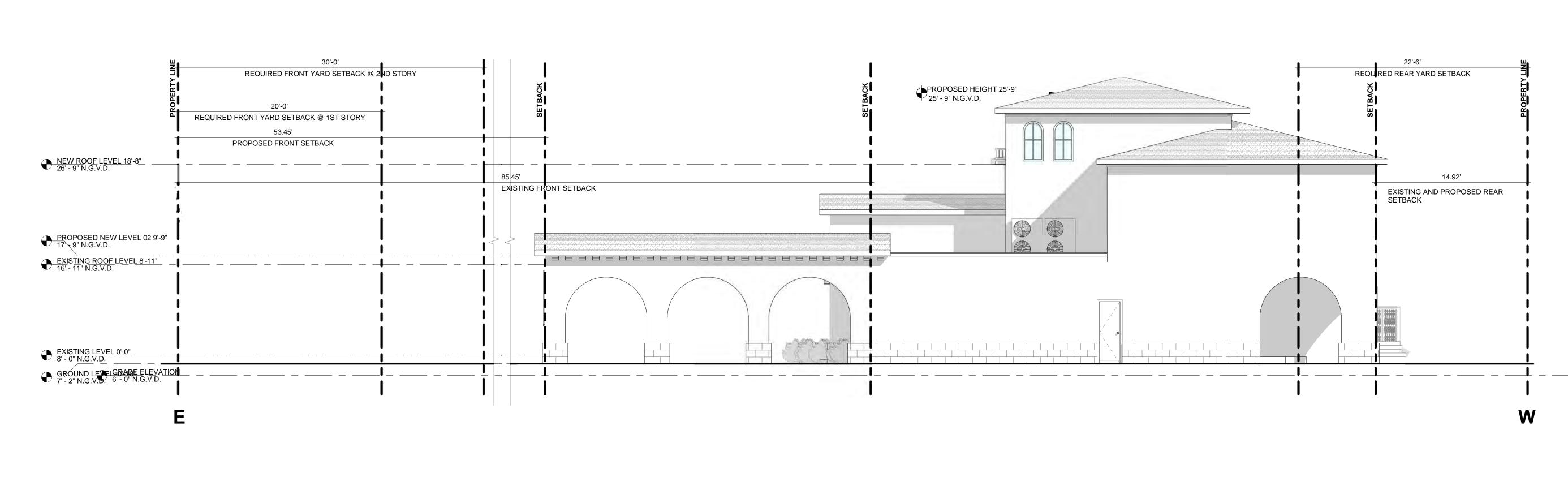
**G-7** 

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.





SCALE: 1" = 10'-0"



# **REQUIRED YARD SECTION DRAWINGS- EAST & WEST**



2

#### NORTH & SOUHT YARDS ELEVATION

SCALE 3/16" = 1'-0"

EAST & WEST YARDS ELEVATION SCALE 3/16" = 1'-0"

PROJECT, ADDRESS AND OWNER:

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CONSULTING ENGINEERS: STRUCTURAL ENGINEER:

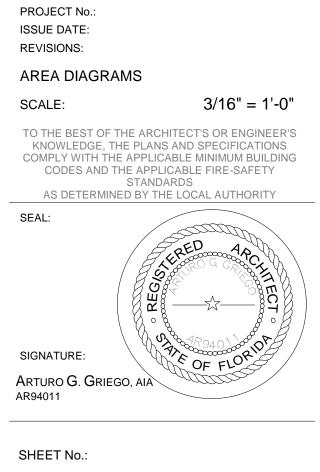
MEP: CIVIL ENGINEER: LEED CONSULTANT:

**Reviewed for CODE COMPLIANCE** 

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

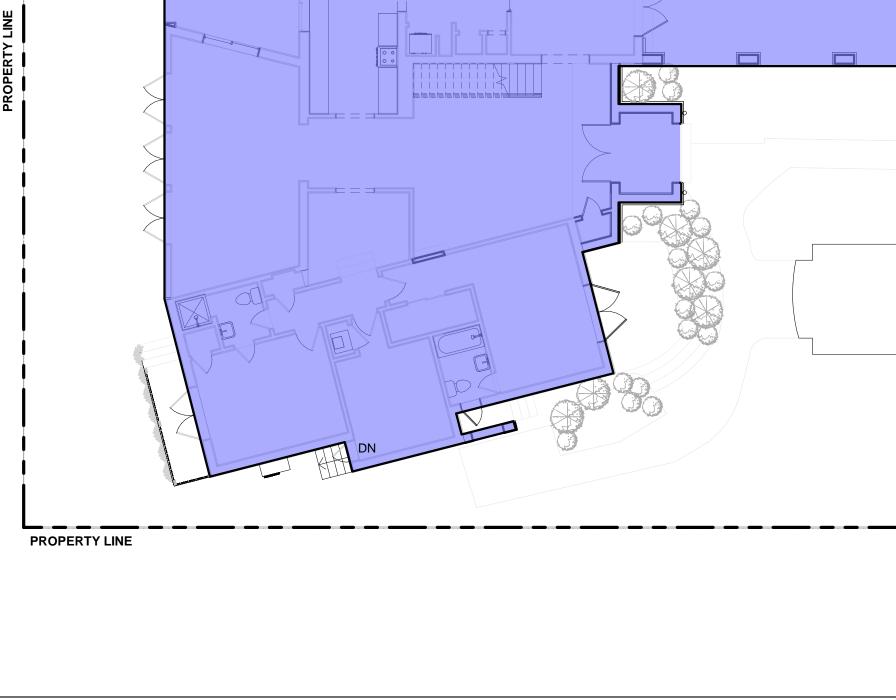
**REVISIONS**:

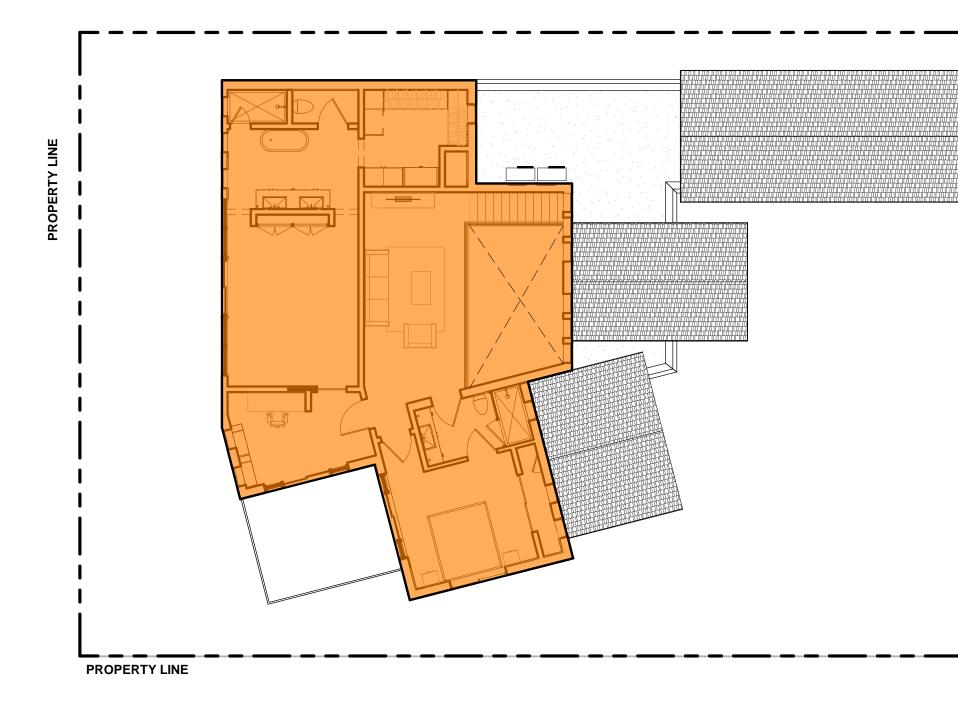
#### **BOA SET**



**G-8** 







			PROPER		
				CONCRETE PARKING	
POOL					
					PROPERTY LINE
	Ì	3	<b>AREA DI</b> SCALE: 1" = 10'-	AGRAM LEVE	L 1 PLAN
			PROPE		
			A = 1563 SF	1564 / 2830 = 55%	
	$\bigotimes$	4	AREA DIA SCALE: 1" = 10'-	AGRAM LEVE <sup>0"</sup>	L 2 PLAN

PROJECT, ADDRESS AND OWNER:

#### PRIVATE RESIDENCE

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CONSULTING ENGINEERS: 

STRUCTURAL ENGINEER:
MEP:
CMIL ENGINEER:
LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	//
Fire Prev	//
Planning	//
Zoning	//
Building	//
Structural	//
Electrical	//
Plumbing	//
Mech	//
S. Waste	//

REVISIONS:

#### **BOA SET**

