

PRIVATE RESIDENCE

2840 PRAIRIE AVE
MIAMI, FL | 33140

SECOND SUBMITTAL: 08/19/2019

SCOPE OF WORK

- SECOND STORY ADITTION OF MASTER BEDROOM AND GUEST BEDROOM.
- EXTERIOR COVERED TERRACE ADITTION.
- NEW ELECTRICAL, NEW MECHANICAL AND NEW PLUMBING FOR ADITTION.

LIST OF DRAWINGS

G-0	COVER SHEET
G-1	NOTES, SYMBOLS & ABBREVIATIONS
G-2	SURVEY
G-3	ZONING & LOCATION DIAGRAMS
G-3.1	CONTEXT LOCATION & SITE PLAN
G-3.2	EXISTING AND PROPOSED SITE PLAN
G-4	AREA DIAGRAMS
G-5	AREA DIAGRAMS
G-6	AREA DIAGRAMS
G-7	AREA DIAGRAMS
G-8	AREA DIAGRAMS
G-9	AREA DIAGRAMS
G-10	EXISTING SITE AND CONTEXT PHOTOS
G-11	EXISTING SITE AND CONTEXT PHOTOS
G-12	EXISTING FIRST LEVEL FLOOR PLAN
G-13	EXISTING ROOF LEVEL PLAN
L-1	LANDSCAPE PLAN
D-1	GROUND FLOOR DEMOLITION PLAN
D-2	ROOF DEMOLITION PLAN
A1-1.01	PROPOSED FIRST LEVEL FLOOR PLAN
A1-1.02	PROPOSED SECOND LEVEL FLOOR PLAN
A1-1.03	PROPOSED ROOF PLAN
A2-1.01	EAST ELEVATION (EXISTING & PROPOSED)
A2-1.02	WEST ELEVATION (EXISTING & PROPOSED)
A2-1.03	NORTH ELEVATION (EXISTING & PROPOSED)
A2-1.04	SOUTH ELEVATION (EXISTING & PROPOSED)
A3-1.01	LONGITUDINAL & CROSS SECTIONS



PROJECT, ADDRESS AND OWNER:

PRIVATE RESIDENCE

2840 PRAIRIE AVE
MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY
A OSENDORF

ARCHITECT:



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CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

REVISIONS:

BOA SET

PROJECT No.:

ISSUE DATE:

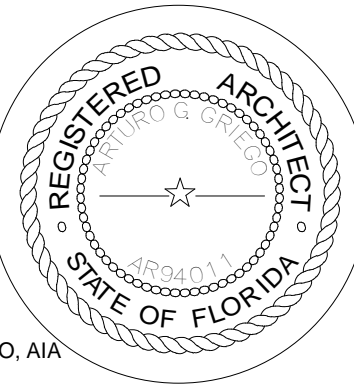
REVISIONS:

COVER SHEET

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
KNOWLEDGE, THE PLANS AND SPECIFICATIONS
COMPLY WITH THE APPLICABLE MINIMUM BUILDING
CODES AND THE APPLICABLE FIRE SAFETY
STANDARDS
AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

G-0

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL
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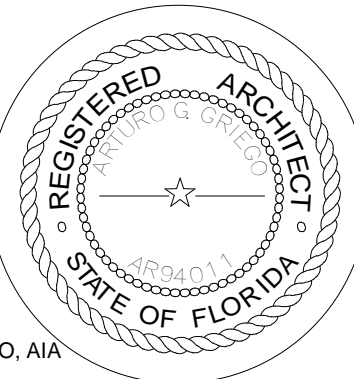
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ABBREVIATIONS									
A	AND	FA	FIRE ALARM	M	MIRROR	SYM	SYMMETRICAL		
B	AT	FAB	FABRICATED	MACH	MACHINE	SPKR	SPEAKER		
AB	ANCHOR BOLT	FBO	FURNISHED BY OTHERS	MB	MACHINE BOLT	SNR	SANITARY NAPKIN RECEPTACLE		
ABV	ABOVE	FCD	FLOOR COVERING	MAT	MATERIAL(S)				
ACC	AIR CONDITIONING	FD	FLOOR DRAIN	MAX	MAXIMUM	SND	SANITARY NAPKIN DISPENSER		
ACC	ACCESS	FE	FIRE EXTINGUISHER	M.B.H	MOP AND BROOM HOLDER	SNT	SEALANT		
AD	AREA DRAIN	FEC	FIRE EXTINGUISHER CABINET	MECH	MECHANIC(AL)	SPC	SPACE		
ADD	ADDENDUM	F.E.L	FIRE EXTINGUISHER LOCKER	MED	MEDIUM	SPEC	SPECIFICATIONS(S)		
ACFL	ACCESS FLOOR	FEM	FEMALE	MFR	MANUFACTURE(ER)	SO	SQUARE		
ACT	ACQUICAL TILE	FFL	FINISH FLOOR LINE	MFD	MANUFACTURE(ER)	SSK	SERVICE SINK		
ADH	ADHESIVE	FH	FIRE HYDRANT	MFO	METAL FLOOR DECKING	SS	STAINLESS STEEL		
ADJ	ADJUST	FAC	FIRE HOSE CABINET	MH	MINIMUM	STA	STATION		
ADJT	ADJUSTABLE	FIN	(FINISHED)	MISC	MISCELLANEOUS	STD	STANDARD		
AF	ABOVE FINISH FLOOR	FJT	FLUSH JOINT	MMB	MEMBRANE	STG	STORAGE, SEATING		
AGG	AGGREGATE	FLAM	FLAMMABLE	MO	MASONRY OPENING	STL	STEEL		
ALT	ALTERNATE	FLASH	FLASHING	MOD	MODULAR, MODULE	STR	STRUCTURAL		
ALUM	ALUMINUM	FLX	FLOORING	MOV	MOVABLE	SUR	SURFACE		
ANC	ANCHOR, ANCHORAGE	FLX	FLEXIBLE	MRB	MARBLE	SUSP	SUSPENDED		
ANOD	ANODIZED	FLCO	FLOOR CLEANOUT	MTR	METAL THRESHOLD	SWR	SWITCH ROOM		
AP	ACCESS PANEL	FLUR	FLUORESCENT	MRD	METAL ROOF DECKING	SYS	SYSTEM		
APPROX	APPROXIMATELY	FRM	FRAMED MIRROR	MTHD	METAL THRESHOLD	SW	SWITCH		
ARCH	ARCHITECTURAL	FND	FOUNDATION	MTR	METAL FURNISH	S.F.	SQUARE FOOT (FEET)		
ASC	ABOVE SUSPENDED CEILING	FOC	FACE OF CONC.	MTR	METAL FURNISH	S.Y.	SQUARE YARD		
ASPH	ASPHALT(IC)	F.O.M	FACE OF MASONRY	MTL	METAL				
AUTO	AUTOMATIC	F.O.S	FACE OF STUDS	MULL	MULLION				
AVG	AVERAGE	FRM (ING)	FRAME (ING)	MWK	MILKWORK	T	TREAD		
ANGLE	ANGLE	FRA	FRESH AIR	MAS	MASONRY	T.B	TOWEL BAR		
ACOUS	ACOUSTICAL	FRG	FORGED	MIR	MIRROR	TEL	TELEPHONE		
		FS	FULL SIZE			TEMP	TEMPERED		
B	BASE	FT	FOOT, FEET			THK	THICKNESS(S)		
BRO	BEARING	FTG	FOOTING	N	NORTH	THR	THRESHOLD		
BPL	BEARING PLATE	FUR	FURRED(ING)	NIC	NOT IN CONTRACT	TOIL	TOILET		
BJT	RED JOINT	FUT	FUTURE	N	NALABLE	T.O.B	TOP OF BEAM		
BEL	BELOW			NLR	NO LONGER REQUIRED	T.O.F	TOP OF FOOTING		
BET	BETWEEN			NOP	NUMBER	T.O.S	TOP OF SLAB		
BVL	BEVELED			NOM	NOMINAL	T.O.W	TOP OF WALL		
BIT	BITUMINOUS	GA	GAGE, GAUGE	NMT	NONMETALIC	T.P.D	TOILET PAPER DISPENSER		
BD	BOARD	GALV	GALVANIZED	NR	NOISE REDUCTION	TPFN	TOILET PARTITION		
BS	BOTH SIDES	GB	GYPNUM BOARD, GRAB BAR	NRC	NOISE REDUCTION COEFFICIENT	TRNSFRM	TRANSFORMER		
BW	BOTH WAYS	GB	GRAB BAR			VAULT	VAULT, TELEVISION		
BLK	BLOCK	GC	GENERAL CONTRACTOR	N.T.S.	NOT TO SCALE	TYP	TYPICAL		
BLKG	BLOCKING	GMU	GLAZED CONC. MASONRY UNIT			T.O.C	TOP OF CONCRETE		
BM	BEAM	GD	GRADE, GRADING	OA	OVERALL	T.O.D	TOP OF DECK		
B.M	BENCH MARK	GF	GROUND FACE	OC	ON CENTER	T.O.P	TOP OF PARAPET		
B.O.F	BOTTOM OF FOOTING	GI	GALVANIZED IRON	OS	OBSCURE	TER	TERRAZO		
BOT	BOTTOM	GKT	GASKET(ED)	O.D	OUTSIDE DIAMETER	UC	UNDERCUT		
BRK	BRICK	GL	GLASS, GLAZING	OFF	OFFICE	UL	UNDERWRITERS LABORATORY		
BRZ	BRONZE	GP	GALVANIZED PIPE	OH	OVERHEAD	UNF	UNFINISHED		
BULDG	BUILDING	GLB	GLASS BLOCK	CHWS	OVERHEAD MACHINE SCREW	UR	URINAL		
BUR	BUILT UP ROOFING	GLF	GLASS FIBER	OJ	OPEN-WEB JOIST	UON	UNLESS OTHERWISE NOTED		
BBO	BULLETPRIN BOARD	GN	GENERAL NOTES	OP	OPENING	UVD	UPPER VEHICULAR DRIVE		
B.O	BY OTHER	GPL	GYPNUM LATH	OPNG	OPENING				
BRKT	BRACKET	GPT	GYPNUM TILE	OPH	OPPOSITE HAND				
		G.W.B	GYPNUM WALL BOARD	OPP	OPOSITE	VB	VINYL BASE		
CL	CENTER LINE	GP-PL	GYPNUM PLASTER	OPS	OPOSITE SURFACE	V.C.T	VINYL COMPOSITION TILE		
CAB	CABINET	GALV	GALVANIZED			VERT	VERTICAL		
CB	CATCH BASIN	GRN	GRANITE			VEST	VESTIBULE		
CEM	CEMENT	GSS	GALVANIZED STEEL SHEET	P	PARALLEL	V.F	VERIFY IN FIELD		
CB	CERAMIC	GST	GLAZED STRUCTURAL TILE	P.B	PEBBLE	VB	VINYL		
C.F	COUNTER FLASHING	GVL	GRAVEL	PB	PANIC BAR	VIN	VINYL WALLCOVERING		
CG	CORNER GUARD	GVL	GRAVEL	PBD	PARTICLE BOARD	V.W.C			
CHAM	CHAMFER			PBC	PRECAST CONCRETE				
CHT	CEILING HEIGHT			PCG	POUNDS PER CUBIC FT.				
C.I	CAST IRON			PED	PEDESTAL	W	WIDTH, WIDE		
C.I.P	CAST-IN-PLACE	HB	HOSE BIBB	PERF	PERFORATE	W/	WITH		
CIRC	CIRCUMFERENCE	HBD	HARBORBOARD	PER	PERIMETER	W/	WEST, WIDTH, WIDE		
CIR	CIRCLE	HC	HOLLOW CORE	PER	PORCELAIN ENAMEL	WC	WATER CLOSET		
CL	CONTROL JOINT	HCPD	HANDICAPPED	PFB	PREFABRICATED(D)	WD	WOOD		
CK	CAULK OR CAULK (ING)	HDR	HARDWARE	PFL	POUNDS PER LINEAL FT.	W.D	WINDOW DIMENSION		
CLG	CEILING	HES	HIGH EARLY-STRENGTH CEMENT	PFN	PREFINISHED	WDW	WINDOW		
CLC	CLOSET			PG	PLATE GLASS	WG	WIRE GLASS		
CLQ	CLEAR (ANCE)	HH	HANDHOLE	PK	PARKING	WM	WIRE MESH		
CLB	CLOSURE	HJT	HEAD JOINT	PL	PROPERTY LINE, PLATE	WO	WITHOUT		
COL	COLUMN	HK	HOOK (S)	P.LAM	PLASTIC LAMINATE	WP	WATERPROOFING		
COMP	COMPONENT	HM	HOLLOW METAL	PLAS	PLASTER	W.R	WASTE RECEPTACLE		
CONC	CONCRETE	HORIZ	HORIZONTAL	PLBG	PLUMBING	WR	WATER REPELLENT		
CONF	CONFERENCE	H.P	HIGH POINT	PNT	PANTEE(ED)	WS	WATERSTOP		
CONST	CONSTRUCTION	HPS	HIGH PRESSURE SODIUM	P.P	POWER POLE	WSCT	WANSCT		
CONT	CONTINUOUS, CONTINUE	HT	HEIGHT	PRF	PREFORMED	WWF	WELDED WIRE FABRIC		
CONTR	CONTRACTOR	HTG	HEATING	PSC	PRESTRESSED CONC.	W/O	WITHOUT		
CARPET	CARPET	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	PSF	POUNDS PER SQUARE FT.				
CR	CHROMIUM (PLATED)			PB	POUNDS PER SQUARE INCH				
C.R	CURTAIN ROD	HWD	HARDWOOD	P.T	PRESSURE TREATED				
CSMT	CASEMENT	HWH	HOT WATER HEATER	PTC	POINT				
CT	CERAMIC TILE	HR	HOUR	PT	POST-TENSIONED CONCRETE				
CLJ.T	CUBIC FEET (FOOT)			P.T.D	PAPER TOWEL DISPENSER				
CUJ.N	CUBIC INCH	LD	INSIDE DIAMETER	P.T.H	PAPER TOWEL HOLDER				
CU.YD	CUBIC YARD	IMP	IMPERVIOUS	PTN	PARTITION				
CBRD	CHALKBOARD	IN	INCH	PTR	PAPER TOWEL RECEPTOR				
CONJ	CONNECTION	INCL	INCLUDE (ING) (D)	PV	PAVE (D) (ING)				
CORR	CORRIDOR	INCN	INTERLOCK	P.VMT	POLYVINYL CHLORIDE				
CTR	CENTER	ILK	IRON PIPE SIZE	P.VC	PLYWOOD				
CTSK	COUNTER SUNK	IPS	INSULATED(ION)	PWD	PORTLAND CEMENT PLASTER				
		INS	INSULATING CONC.	ASC	PARTIAL HEIGHT PARTITION				
		INT	INTERIOR	PH	PAIR				
DA	DOUBLE ACTING	INSF	INSULATING FILL						
DBL	DOUBLE	INTM	INTERMEDIATE						
DEM	DEMOLISH, DEMOLITION	INV	INVERT						
DEPT	DEPARTMENT	INFO	INFORMATION	QT	QUARRY TILE				
DTL	DETAIL			QTY	QUANTITY				
DIAG	DIAGONAL								
DA	DIAMETER	JAN	JANITOR	R	RISER, RUBBER				
DM	DIMENSION	JST	JOIST	RAD	RADIUS				
DIV	DIVISION	JC	JANITOR'S CLOSET	RBT	RABBIT, REBATE				
DMT	DEMOUNTABLE	JF	JOINT FILLER	R.C.P	REINFORCED CONCRETE PIPE				
DN	DOWN	JT	JOINT	RECT	RECTANGULAR				
D.O	DOOR OPENING			RENF	REINFORCE(ING)				
DPR	DAMPER			REQ	REQUIRED				
DR	DOOR	KO	KNOCK OUT	RES	RESILIENT				
D.F	DRINKING FOUNTAIN	KIT	KITCHEN	REV	REVISION(S), REVISED				
DA	DIAMETER DOWNSPOUT	KPL	KICKPLATE	REF	REFLECT (ED) (IVE) (OR)				
DWG	DRAWING	KCPL	KEENE'S CEMENT PLASTER	REFR	REFRIGERATOR				
DWR	DRAWER			RH	RIGHT HAND				
DISP	DISPENSER			RL	RAIL(ING)				
D.S	DOWNSPOUT	L	LENGTH	RM	ROOM				
		LAB	LABORATORY	RN	ROUGH OPENING				
		LAD	LADDER	ROW	RIGHT OF WAY				
E	EAST	LAM	LAMINATED(D)	RWC	RAINWATER CONDUCTOR				
EA	EACH	LAV	LAVATORY	REF	REFERENCE				
E/A	EXHAUST AIR	LB	LAB BOLT	R.F.	ROOF				
E.H.D	ELECTRIC HAND DRYER	LC	LIGHT CONTROL	R.B	RUBBER BASE				
EXP.B	EXPANSION BOLT	LL	LIVE LOAD						
EL.ELV	ELEVATION	LL.H	LONG LEG HORIZONTAL	S	SOUTH				
ELEV	ELEVATOR	LL.V	LONG LEG VERTICAL	S/A	SUPPLY AIR				
ELEC	ELECTRICAL(S)	LMS	LIMESTONE	SAN	SANITARY				
EMERG	EMERGENCY	LP	LIGHT POLE	SC	SOLID CORE				
ENCL	ENCLOSURE	L.P.	LOW POINT	SCH	SCHEDULE				
EP	ELECTRICAL PANELBOARD	LPT	LOW POINT	SD	SOAP DISPENSER				
EQ	EQUAL	LT	LIGHT	SEC	SECTION				
EQUIP	EQUIPMENT	LTL	LINTEL	SGL	SAFETY GLASS				
EW	EACH WAY	LVR	LOUVER	SH	SHIELD, SHELVEING				
EXH	EXHAUST	LH	LEFT HAND	S.H	SOAP HOLDER				
EXIST	EXISTING	LVD	LOWER VEHICULAR DRIVE	SHW	SHOWER				
EXPD	EXPANDED	LW	LIGHT WEIGHT	SMT	SHEET				
EXP.JT	EXPANSION JOINT	LWC	LIGHTWEIGHT CONC.	SHT	SIMILAR				
EXT	EXTERIOR	LWR	LOCKER	S.M.S	STRUCTURAL METAL STUD				
				S.H.	SPRINKLER HEAD				

DOOR CRITERIA AND GENERAL NOTES

1. ALL DOORS ARE LISTED IN THE DOOR SCHEDULE

2. PARTITIONS CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY:

3. PARTITIONS WITH THE FINISH FACE FLUSH WITH THE FINISH FACE OF THE COLUMN WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY:

4. PARTITIONS CENTERED ON WINDOW MULLIONS WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY:

5. PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE

6. FOR OPENINGS IN PARTITIONS OR WALLS:

A. WHEN ONE OCCURS AT A COLUMN OF GRID LINE, NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE ESTABLISHED BY EITHER CRITERIA OR SCHEDULES.

B. WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE, ONE JAMB WILL BE LOCATED DIMENSIONALLY BY THE DETAIL:

C. WHEN ONE JAMB IS LOCATED BY A PARTITION AT A RIGHT ANGLE, THE FOLLOWING DIAGRAM APPLIES:

7. DIMENSIONS ON PLANS ARE SHOWN TO THE FACE OF MASONRY UNITS, FACE OF CONCRETE AND TO THE CENTERLINE OF METAL STUDS.

GRAPHIC SYMBOLS

WALL LEGEND

MATERIAL SYMBOLS

CODES AND STANDARDS

D.S.H.A
LIFE SAFETY CODES
A.C.I.
A.I.S.C.
F.L.A.C.I.
FLORIDA FIRE PREVENTION CODE EXISTING 2017
FLORIDA BUILDING CODE EXISTING 2017
2011 NATIONAL ELECTRIC CODE
2017 FBC MECHANICAL
2017 FBC PLUMBING
2017 FBC ACCESSIBILITY

MANUFACTURERS SPECS ARE NOT PART OF THIS CONTRACT
DADE COUNTY PRODUCT APPROVAL REQUIREMENTS
ALL CODES AS PER LATEST EDITIONS AND REVISIONS. SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL PLANS FOR REFERENCED CODES.

SECURITY REQUIREMENTS

1. WOOD FLUSH -TYPE DOORS SHALL BE 1-3/8" THICK MIN. WITH SOLID WOOD CORE CONSTRUCTION.

2. DOORS STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.

3. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.

4. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.

5. STRAIGHT DEAD BOLTS SHALL HAVE MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".

GENERAL NOTES

1. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OR CHARGE OF THE CONST. MEANS, METHODS, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS.

2. ALL WORK SHALL BE ACCORDING WITH THE CITY BUILDING CODE, LATEST EDITION, AND ALL OTHER LOCAL, STATE AND FEDERAL CODES HAVING JURISDICTION.

3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO COMMENCING WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONST.

4. CONTRACTOR SHALL SUPPLY AND INSTALL ALL HARDWARE REQUIRED FOR INSTALLATIONS AS INDICATED AND OR SPECIFIED IN DRAWINGS.

5. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE-TREATED. WOOD CASING, JAMBS AND TRIM SHALL BE STAIN GRADE OR CLEAR UNLESS SPECIFIED OTHERWISE.

6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CUSTOM FABRICATED WORK. CONTRACTOR SHALL REVIEW/APPROVE ALL SUBMITTALS/SHOP DRAWING PRIOR TO SUBMITTING FOR ARCHITECTS REVIEW.

7. DO NOT SCALE DRAWING. USE DIMENSION INDICATED IN DRAWINGS. DIMENSIONS FOR LARGES SCALE DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD.

8. IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITIES IN OR OMISSION FROM THE SPECIFICATIONS OR DRAWINGS, OR SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT SHALL BE NOTIFIED IN ORDER TO PROVIDE CLARIFICATION IN THE 30 DAY FOLLOWING THE OWNER'S NOTICE TO PROCEED.

9. INSULATE MASONRY WALLS, EXTERIOR STUDS WALLS, AND ATTIC SPACE IN ACCORDANCE WITH THE ENERGY CODE CALCULATIONS.

10. ALL WINDOW AND DOOR SIZES ARE NORMAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS.

11. ALL REQUIRED TEST SHALL BE PERFORMED BY OWNER. TESTING REQUIRED FOR PRODUCT APPROVAL TO BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN THEIR BID COST.

12. ALL DRYWALL, PLASTER AND STUCCO SHALL RECEIVE TWO COATS OF PREMIUM QUALITY PAINT. WOODS SHALL BE PAINTED OR STAINED. COLOR TO BE SELECTED BY OWNER.

13. IF DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, OR BETWEEN DRAWINGS ARE NOT CLERIFIED IN THE FIRST 30 DAYS, THE G.C. WILL PROVIDE THE MOST GENEROUS ITEM.

14. THE CONTRACTOR SHALL OBTAIN FROM ALL SUB CONTRACTORS THE SIZE AND LOCATION OF ALL OPENINGS TO BE PROVIDED BY THEIR RESPECTIVE TRADE. THE CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION, LOCATION, SIZE AND DETAIL.

15. THE CONTRACTOR SHALL PROVIDE ALL SUPPLEMENTAL MATERIAL REQUIRED TO PROPERLY INSTALL, SUPPORT AND BRACE ALL ITEMS AND COMPONENTS WITHIN WORK.

16. THE GENERAL CNTRACTOR GUARANTEES AND WARRANTS THAT ALL WORK PERFORMED SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF THE CERTIFICATE OF FINAL COMPLETION. ANY DEFECTS OR DAMAGE DISCOVERED DURING SAID PERIOD SHALL BE REPAIRED OR REPLACED, AS DIRECTED IN WRITING BY THE ARCHITECT, AT NO ADDITIONAL COST.

17. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH CHAPTER VII OF THE FLORIDA BUILDING CODE.

18. FIXED GLASS, GLASS DOOR PANEL AND/OR OPERABLE WINDOW WITHIN 42" OF THE FINISH FLOOR SHALL BE SAFETY GLASS.

19. CONTRACTOR TO PROVIDE SHORING (RESHORING) DRAWINGS & CALC. FOR REVIEW & APPROVAL FOR THE CITY OF POMPAÑO BEACH.

20. GENERAL CONTRACTOR TO PROVIDE DOCUMENTS FOR ALL EXTERIOR DOOR ASSEMBLIES, STOREFRONTS, LOUVERS, GRILLES/EGG CRATES AND WINDOWS FOR APPROVAL BY THE CITY OF POMPAÑO BEACH. (ALL OF THE ABOVE WERE NOT INCLUDED IN THIS PERMIT)

21. COMPLETION: CONTRACTOR TO NOTIFY OWNER AND/OR ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. FINAL DISBURSEMENT TO CONTRACTOR SHALL NOT BE MADE UNTIL OWNERS PUNCH LIST HAS BEEN SATISFIED. CONTRACTOR TO PROVIDE OWNER WITH WRITTEN GUARANTEE ON ALL EQUIPMENT. CONTRACTOR AT COMPLETION OF WORK SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVE THE PROJECT "BROOM CLEAN".

SHOP DRAWINGS AND SUBMITTALS (NOT LIMITED)

DOORS- FRAMES, DOOR TYPES, SPECIFICATIONS AND INSTALLATIONS
HARDWARE SCHEDULE
WINDOWS AND GLAZING - DETAILS AND SAMPLES
DRYWALL - MATERIALS AND INSTALLATION (MATERIALS AND FIXTURES)
MECHANICAL A/C, HEATING AND VENTILATION MATERIALS AND INSTALLATION
SPRINKLER - METAL GUTTERS AND DRAIN SPOUTS ALARMS - ELECTRICAL MATERIALS AND FIXTURES
AUDIO - ELEVATIONS - MATERIALS AND INSTALLATIONS
KITCHEN EQUIPMENT
CABINETS - AS CALLED ON INTERIOR DESIGN DRAWINGS
FINISHES - AS CALLED ON DRAWINGS
SUBMIT 6 SET MINIMUM (FOR ARCHITECT APPROVAL)
ALLOW SUFFICIENT TIME FOR PROCESSING (TWO WEEKS)
SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR AND ARCHITECT
SHOP DRAWINGS SUBMITTAL REJECTED SHALL BE RESUBMITTED SHOWING CORRECTIONS
SUBMIT SAMPLES AND COLOR CHART FOR FINISHES
SUBMIT ROOFING BOND "10 YEARS" (MATERIALS AND INSTALLATION)
ELEVATOR GUARANTEES CONCRETE TEST

1355 N.W. 97th AVE SUITE 200
MIAMI FLORIDA 33172
TELEPHONE: (305) 264-2660
FAX: (305) 264-0229

Nova Surveyors Inc.

LAND SURVEYORS

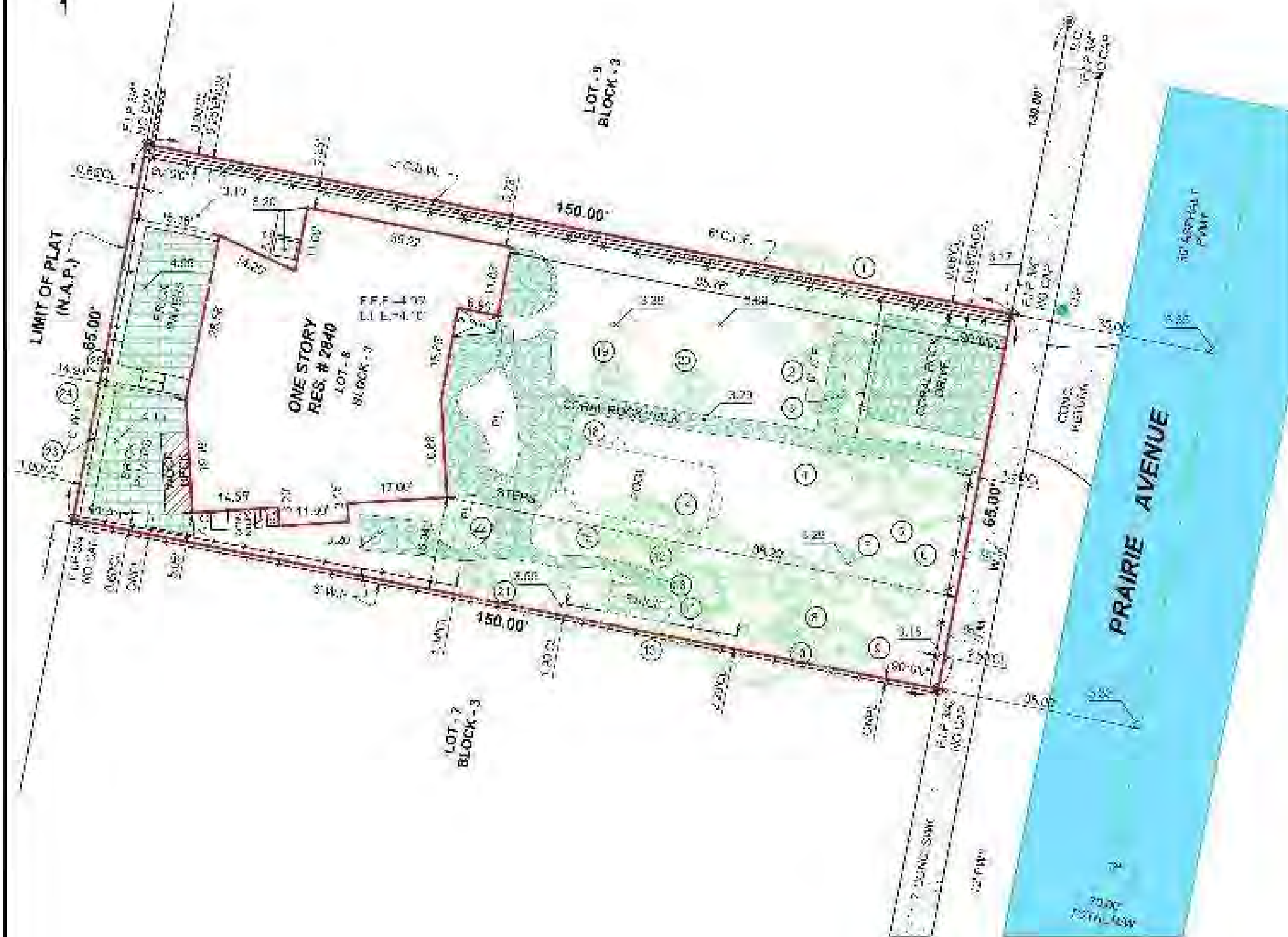
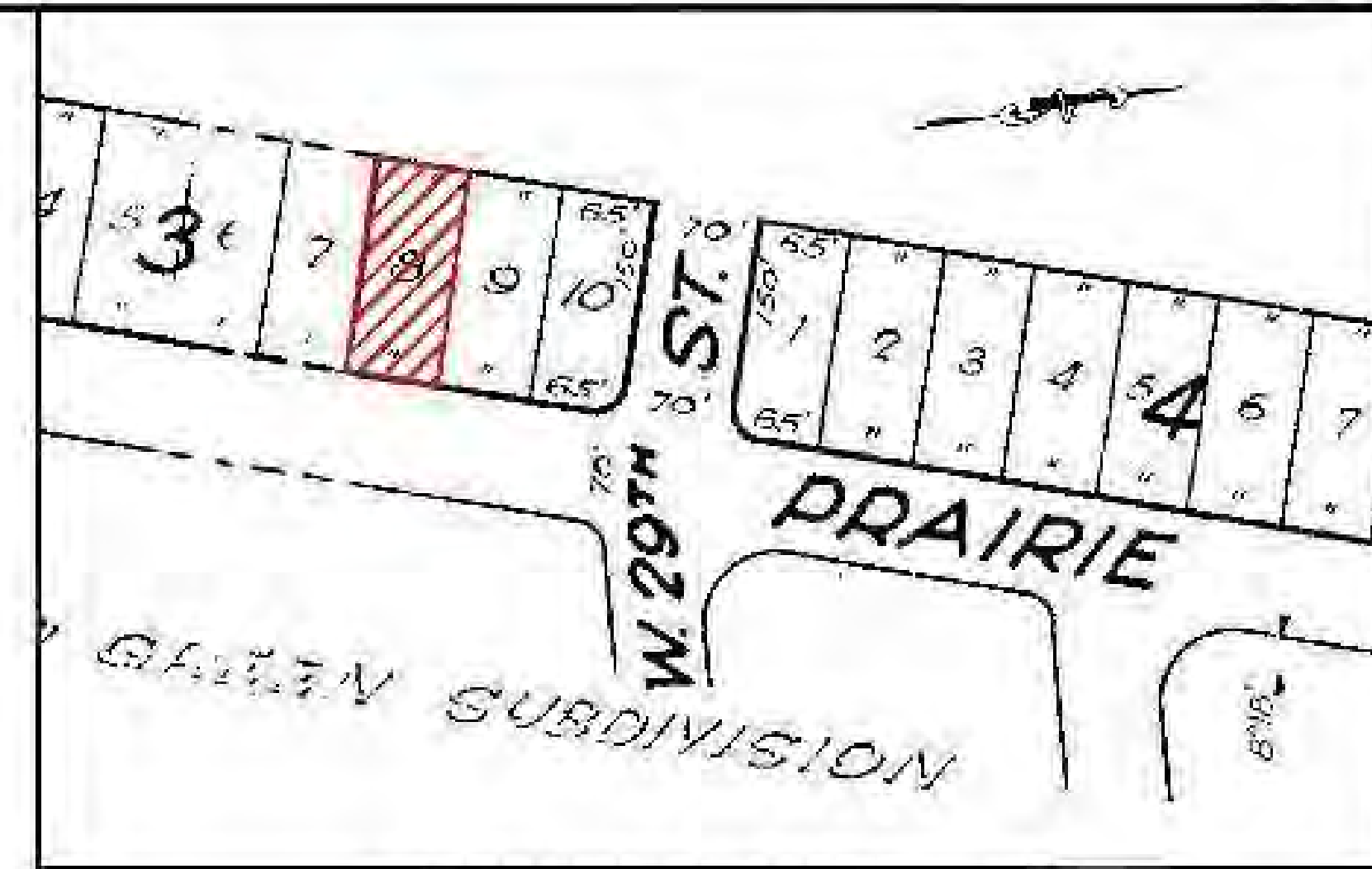
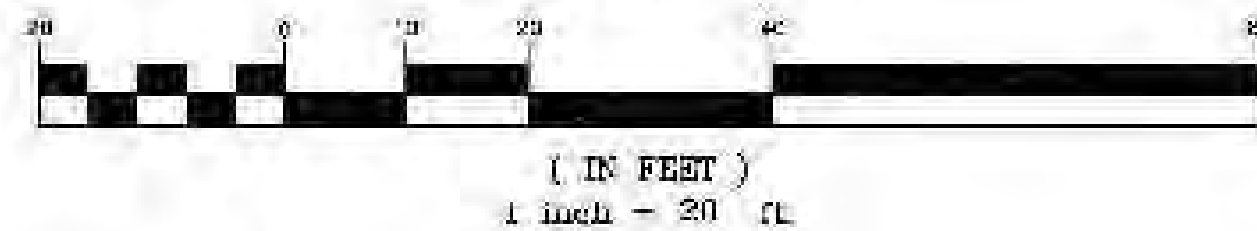
SURVEY No. 5-0002717-2

SHEET No. 1 OF 1

DRAWN BY: AL

BOUNDARY SURVEY

GRAPHIC SCALE



TREE TABLE				
No.	TREE NAME	DIAMETER (")	HEIGHT (')	SPREAD (')
1	FIGUS	6.00	30.00	20.00
2	PALM CLUSTER	1.20	40.00	20.00
3	PALM TREE	2.00	15.00	15.00
4	PALM TREE	3.00	30.00	25.00
5	PALM TREE	3.00	30.00	25.00
6	PALM TREE	1.50	15.00	10.00
7	PALM TREE	1.50	15.00	10.00
8	PALM TREE	1.50	15.00	10.00
9	GUANAVANA	0.90	15.00	10.00
10	PALM TREE	0.90	5.00	5.00
11	PALM CLUSTER	1.40	30.00	10.00
12	PALM CLUSTER	1.20	20.00	15.00
13	PALM CLUSTER	1.20	20.00	15.00
14	PALM CLUSTER	1.20	20.00	15.00
15	PALM CLUSTER	1.20	20.00	15.00
16	PALM CLUSTER	1.20	20.00	15.00
17	PALM CLUSTER	1.20	20.00	15.00
18	PALM TREE	2.00	25.00	7.00
19	PALM TREE	2.00	25.00	7.00
20	PALM TREE	2.00	25.00	7.00
21	PALM TREE	2.00	25.00	7.00
22	UNKNOWN	0.90	30.00	10.00
23	BLACK OLIVE	0.90	15.00	30.00
24	BLACK OLIVE	0.90	15.00	30.00
25	BLACK OLIVE	0.90	15.00	30.00

LEGAL DESCRIPTION:

SURVEY OF LOT 8, BLOCK 3, OF FIRST ADDITION TO MID GOLF SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE PLAT BOOK 7, PAGE 181, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

2840 PRAIRIE AVE
MIAMI BEACH, FL 33140

CERTIFICATIONS:

DOUGLAS F EATON & W MOLLY A OSENDORF

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY TOWNSHIP MAPS.
- IF SHOWN, ELEVATIONS ARE REFERRED TO MIAMI-DADE COUNTY, BM # D-131, ELEV. 8.73 FEET OF N.G.V.D. OF 1929, LOCATOR NO. 3234NE.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: GEORGE IBARRA (DATE OF FIELD WORK)
PROFESSIONAL LAND SURVEYOR NO. 2534
STATE OF FLORIDA

(VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR)

REVISED ON: 07-31-2019 UPDATED TREE SURVEY AND CONSTRUCTION ELEVATIONS

REVISED ON:

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY (SURVEY):

- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO EASEMENTS, EMBODIMENTS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTION PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, SCALE OR DRAWN AT A SHOWN SCALE AND OR NOT TO SCALE.
- PERMITS AS SHOWN ARE PER PLAT BOOK (UNLESS OTHERWISE NOTED).
- THE TERM "ENCROACHMENT" MEANS VIOLATION OF ANY ABOVE CROWD ENCROACHMENT.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS AND THEY WILL BE RESPONSIBLE OF SUBMITTING PLAT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN A NEW CONSTRUCTION. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THE FIRM FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE "X" COMMUNITY FLOOD HAZARD ZONE (1980) DATE OF FIRM (1980) BASE FLOOD ELEVATION: 8 FEET.

ABBREVIATIONS AND MEANINGS

SYMBOL	MEANING	SYMBOL	MEANING	SYMBOL	MEANING	SYMBOL	MEANING
1	1" = 1'00"	1	1" = 1'00"	1	1" = 1'00"	1	1" = 1'00"
2	2" = 2'00"	2	2" = 2'00"	2	2" = 2'00"	2	2" = 2'00"
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GENERAL SITE INFORMATION:

LEGAL DESCRIPTION:

LOT 8, BLOCK 3, FIRST ADDITION TO MID GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 7, PAGE 161 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK:

SECOND STORY ADITION OF MASTER BEDROOM AND GUEST BEDROOM.
EXTERIOR COVERED TERRACE ADDITION.
NEW ELECTRICAL, NEW MECHANICAL AND NEW PLUMBING FOR ADDITION.

GOVERNING CODES:

FLORIDA BUILDING CODE 2017 EXISTING RESIDENTIAL 6TH EDITION
NATIONAL ELECTRIC CODE 2014

ZONING GUIDELINES:

ZONING: RS-4 (SINGLE FAMILY RESIDENTIAL)

FLOOD ZONE:AE

LOT SIZE:65X150

LOT AREA:9,750 SQ.FT.

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	PROJECT INFORMATION			
1	ADDRESS:	2840 PRAIRIE AVENUE MIAMI BEACH, FLORIDA 33140-3409		
2	FOLIO NUMBER(S):	02 - 3227 - 016 - 0090		
3	BOARD AND FILE NUMBERS :	BOA	Z BA 19-0096	
4	YEAR BUILT:	1948	ZONING DISTRICT :	RS-4
5	BASE FLOOD ELEVATION:	8' - 0" N.G.V.D.	GRADE VALUE IN NGVD :	6'-0" N.G.V.D.
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7' - 0" N.G.V.D.	FREE BOARD :	
7	LOT AREA:	9,750 SF.		
8	LOT WIDTH:	65' - 0"	LOT DEPTH :	150' - 0"
9	MAX LOT COVERAGE SF AND %:	2,925 SF 30%	PROPOSED LOT COVERAGE SF AND %:	2,830 SF 29%
10	EXISTING LOT COVERAGE SF AND %:	2,226 SF 22.83%	LOT COVERAGE DEDUCTED (GARAGE- STORAGE) SF:	-
11	FRONT YARD OPEN SPACE SF AND %:	650 SF 50%	REAR YARD OPEN SPACE SF AND %:	1,024 SF 70%
12	MAX UNIT SIZE SF AND %:	4,875 SF 50%	PROPOSED UNIT SIZE SF AND %:	4,393 SF 45%
13	EXISTING FIRST FLOOR UNIT SIZE:	2,226 SF	PROPOSED FIRST FLOOR UNIT SIZE:	2,830 SF
14	EXISTING SECOND FLOOR UNIT SIZE	0 SF	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOT TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRES BOARD APPROVAL)	1,563 SF 55%
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND % :	1,563 SF 16%
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	

	ZONING INFORMATION/ CALCULATIONS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	27' SLOPED	11' - 8"	25' - 9"	
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20' - 0"	85.45'	53.45'	0
20	FRONT SECOND LEVEL:	30' - 0"	N/A	N/A	0
21	SIDE 1:	10' - 0"	5'-0"	5'-0"	5'-0"
22	SIDE 2 OR (FACING STREET):	10' - 0"	5.07'	5.07'	4.93'
23	REAR:	22' - 6"	14.92'	14.92'	7.58'
	ACCESSORY STRUCTURE SIDE 1:	N/A			
24	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A			
25	ACCESSORY STRUCTURE REAR:	N/A			
26	SUM OF SIDE YARD :				
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?			YES OR NO	
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?			YES OR NO	
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?			YES OR NO	
	ADDITIONAL DATA OR INFORMATION MUST BE PRESENTED IN THE FORMAT OUTLINED IN THIS SECTION				

NOTES:

IF NOT APPLICABLE WRITE N/A



2840 PRAIRIE AVE
MIAMI, FL | 33140

PROJECT, ADDRESS AND OWNER:

**PRIVATE
RESIDENCE**

2840 PRAIRIE AVE
MIAMI, FL | 33140

OWNER

DOUGLAS F EATON & W MOLLY
A OSENDORF

ARCHITECT:



G3sec
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3sec.com
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

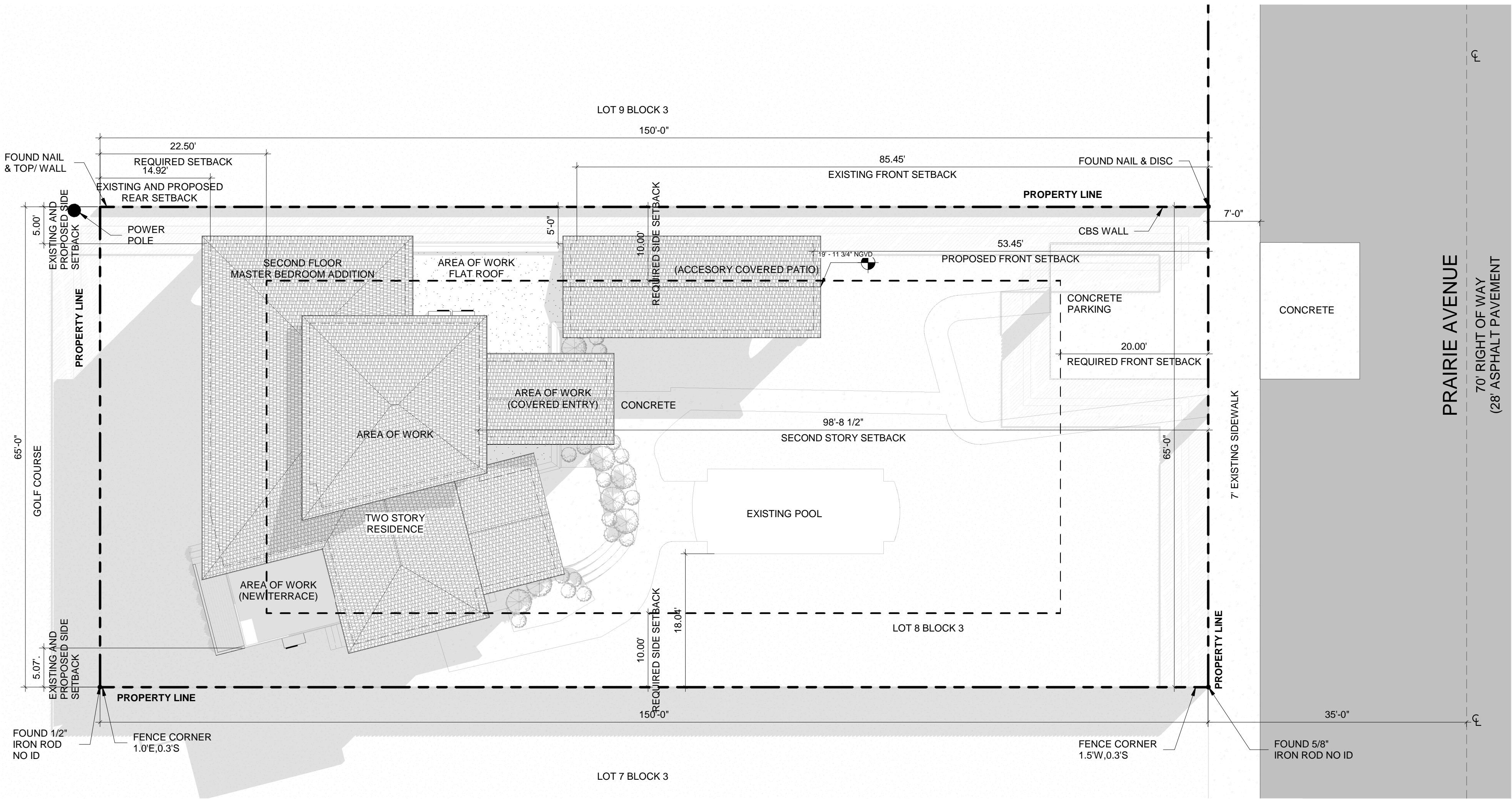
LEED CONSULTANT:



2

CONTEXT LOCATION PLAN

N.T.S



1

PROPOSED SITE PLAN

SCALE: 1" = 10'-0"

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

BOA SET

PROJECT No.:

ISSUE DATE:

REVISIONS:

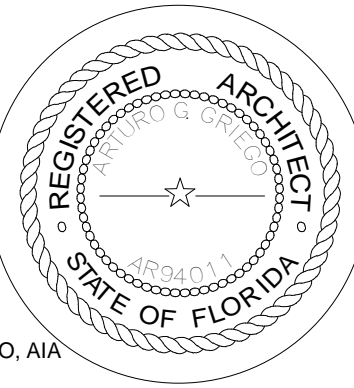
CONTEXT LOCATION & SITE PLAN

SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
KNOWLEDGE, THE PLANS AND SPECIFICATIONS
COMPLY WITH THE APPLICABLE MINIMUM BUILDING
CODES AND THE APPLICABLE FIRE SAFETY
STANDARDS

AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



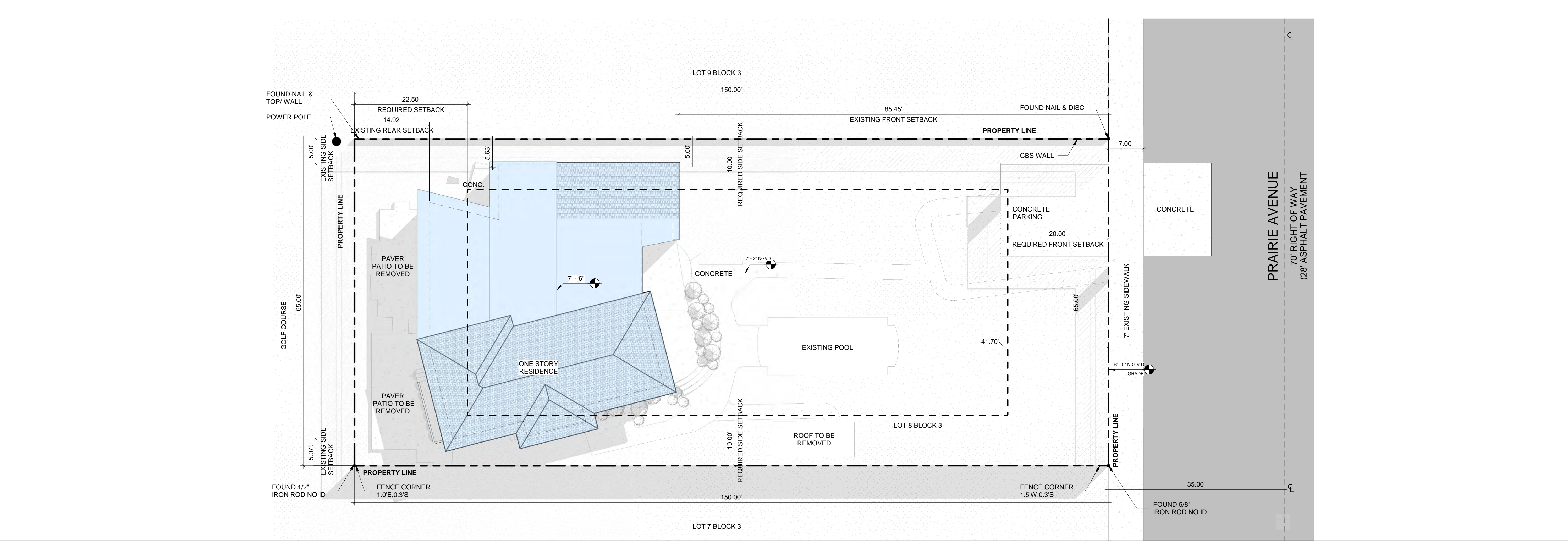
SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

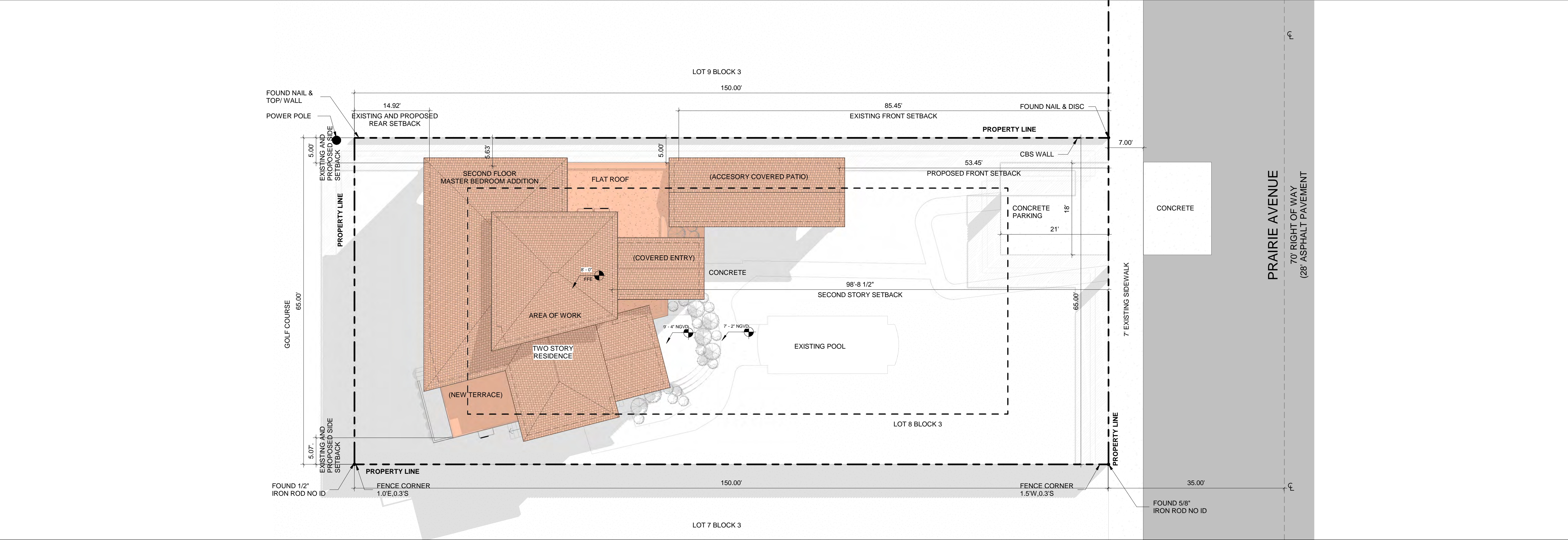
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1 EXISTING SITE PLAN
SCALE: 1" = 10'-0"



2 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

PROJECT, ADDRESS AND OWNER:
PRIVATE RESIDENCE

2840 PRAIRIE AVE
MIAMI, FL 133140
OWNER

DOUGLAS F EATON & W MOLLY
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CONSULTING ENGINEERS:
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

BOA SET

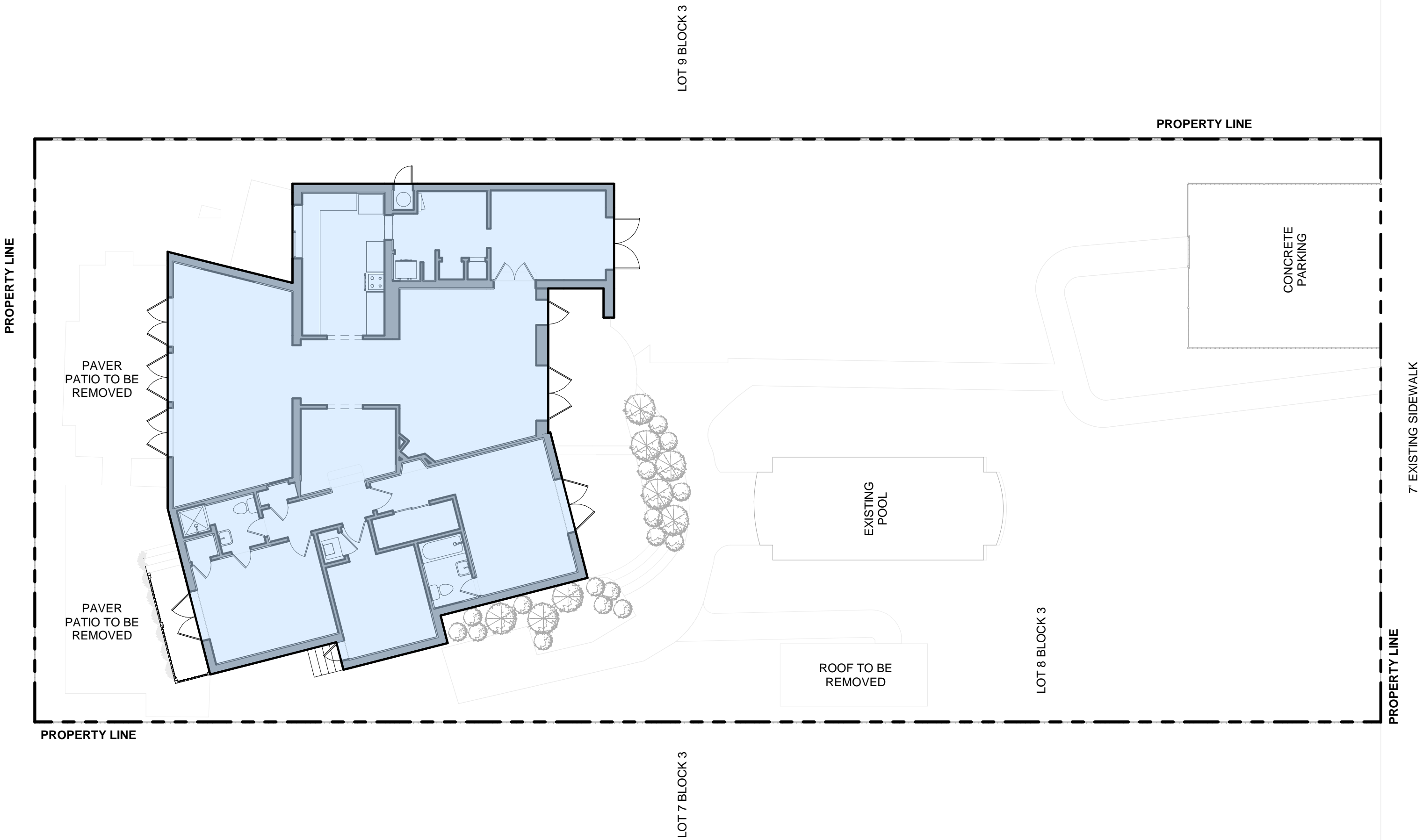
PROJECT No.:
ISSUE DATE:
REVISIONS:
EXISTING AND PROPOSED SITE
PLAN
SCALE: 1" = 10'-0"
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
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SHEET No.:
G-3.2

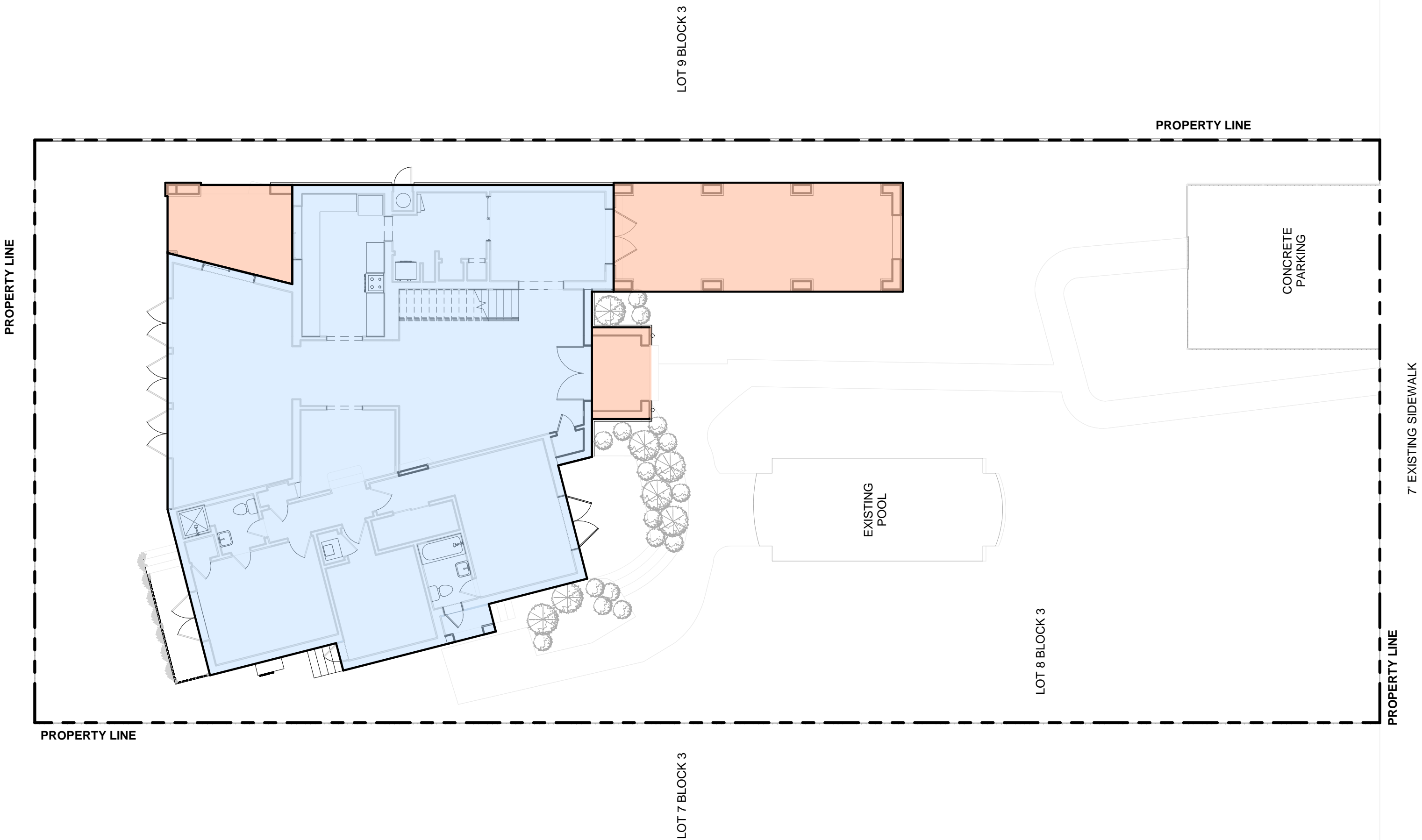
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EXISTING LOT COVERAGE DIAGRAM



AREA CALCULATIONS	ALLOWED	PROVIDED
	30% OF LOT AREA 9,750 X 30% = 2,925 SQ. FT. TOTAL LOT COVERAGE ALLOWED = 2,925 SQ. FT.	EXISTING CONSTRUCTION 2,226 SQ. FT. TOTAL LOT COVERAGE PROVIDED = 22.83% OR 2,226 SQ. FT.
		<div><div></div><div>1</div></div> EXISTING LOT COVERAGE
		SCALE: 1" = 10'-0"

PROPOSED LOT COVERAGE DIAGRAM



LEGEND		
<div><div></div> EXISTING AREA</div> <div><div></div> NEW ADDITION</div>		
AREA CALCULATIONS	ALLOWED	PROVIDED
	30% OF LOT AREA 9,750 X 30% = 2,925 SQ. FT. TOTAL LOT COVERAGE ALLOWED = 2,925 SQ. FT.	EXISTING CONSTRUCTION 2,238 SQ. FT. NEW AREA 591 SQ. FT. TOTAL LOT COVERAGE PROVIDED = 29% OR 2,830 SQ. FT.
		<div><div></div><div>2</div></div> LOT COVERAGE DIAGRAM
		SCALE: 1" = 10'-0"


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CONSULTING ENGINEERS:
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

REVISIONS:

BOA SET

PROJECT No.:
ISSUE DATE:
REVISIONS:
AREA DIAGRAMS
SCALE: As indicated
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
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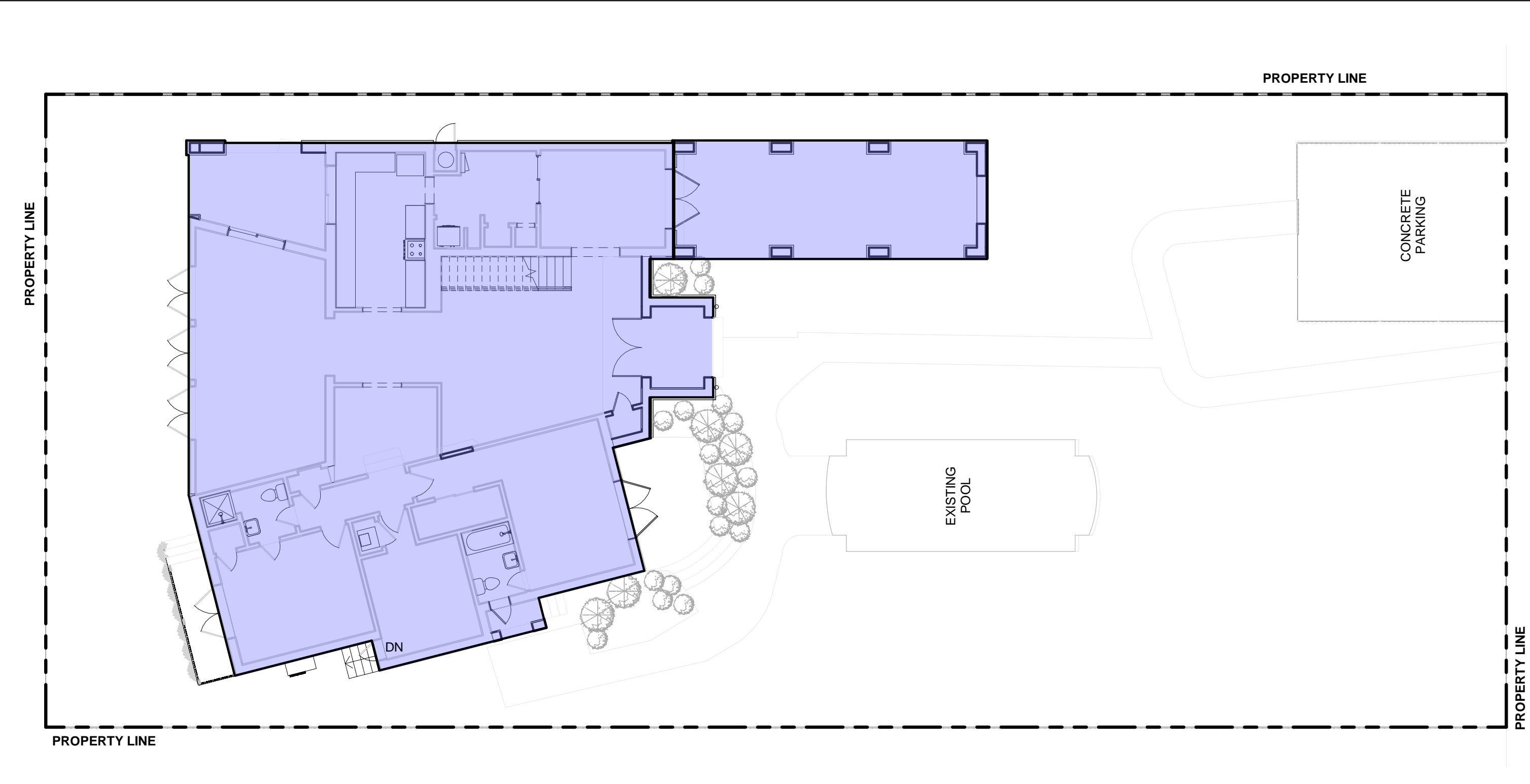
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PROPOSED UNIT SIZE DIAGRAM - LEVEL ONE



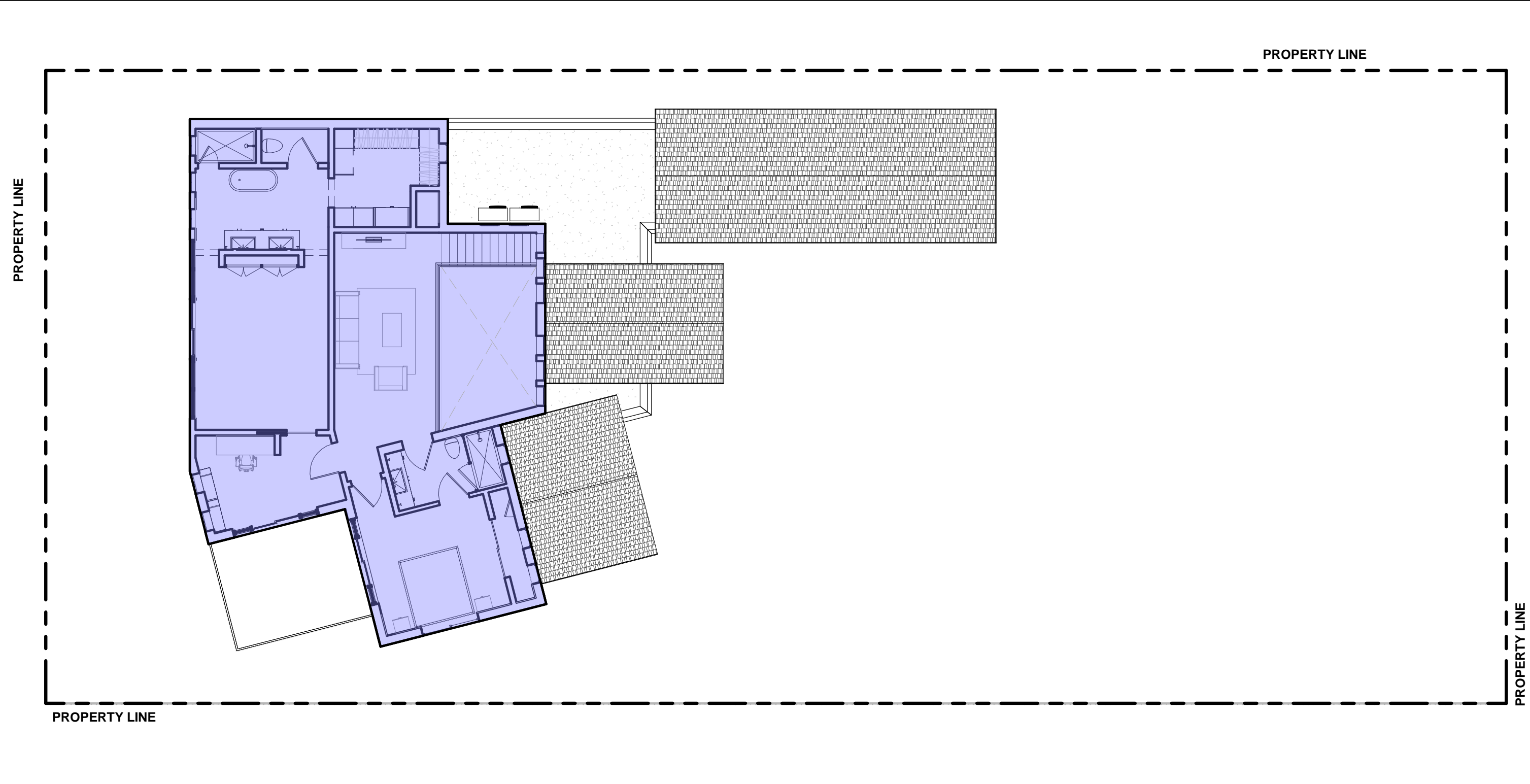
AREA CALCULATIONS	ALLOWED	PROVIDED
	50% OF LOT AREA 9,750 X 50% = 4,875 SQ. FT.	LEVEL 1 2,830 SQ. FT.
	TOTAL LOT ALLOWED = 4,875 SQ. FT.	TOTAL PROVIDED 2,830 SQ. FT.

**1**

UNIT SIZE DIAGRAM LEVEL 01

SCALE: 1" = 10'-0"

PROPOSED UNIT SIZE DIAGRAM - LEVEL TWO



AREA CALCULATIONS	ALLOWED	PROVIDED
	50% OF LOT AREA 9,750 X 50% = 4,875 SQ. FT.	LEVEL 1 2,830 SQ. FT. LEVEL 2 1,563 SQ. FT.
	TOTAL LOT ALLOWED = 4,875 SQ. FT.	TOTAL PROVIDED 4,393 SQ. FT. 45% OF LOT AREA

**2**

UNIT SIZE DIAGRAM LEVEL 02

SCALE: 1" = 10'-0"

EXISTING UNIT SIZE DIAGRAM



AREA CALCULATIONS	ALLOWED	PROVIDED
	50% OF LOT AREA 9,750 X 50% = 4,875 SQ. FT.	LEVEL 1 2,226 SQ. FT.
	TOTAL LOT ALLOWED = 4,875 SQ. FT.	TOTAL PROVIDED= 22.83% OR 2,226 SQ. FT.

**3**

UNIT SIZE DIAGRAM LEVEL 01 EXISTING

SCALE: 1" = 10'-0"

PROJECT, ADDRESS AND OWNER:

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OWNER

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ARCHITECT:



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CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for **CODE COMPLIANCE**

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

REVISIONS:

BOA SET

PROJECT No.:

ISSUE DATE:

REVISIONS:

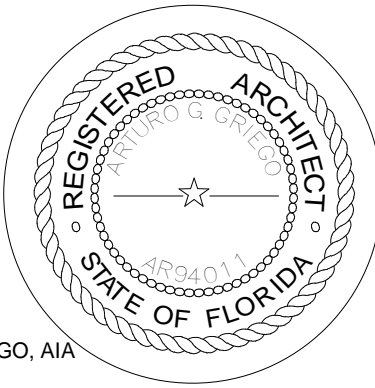
AREA DIAGRAMS

SCALE: N.T.S.

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STANDARDS

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SEAL:



SIGNATURE:

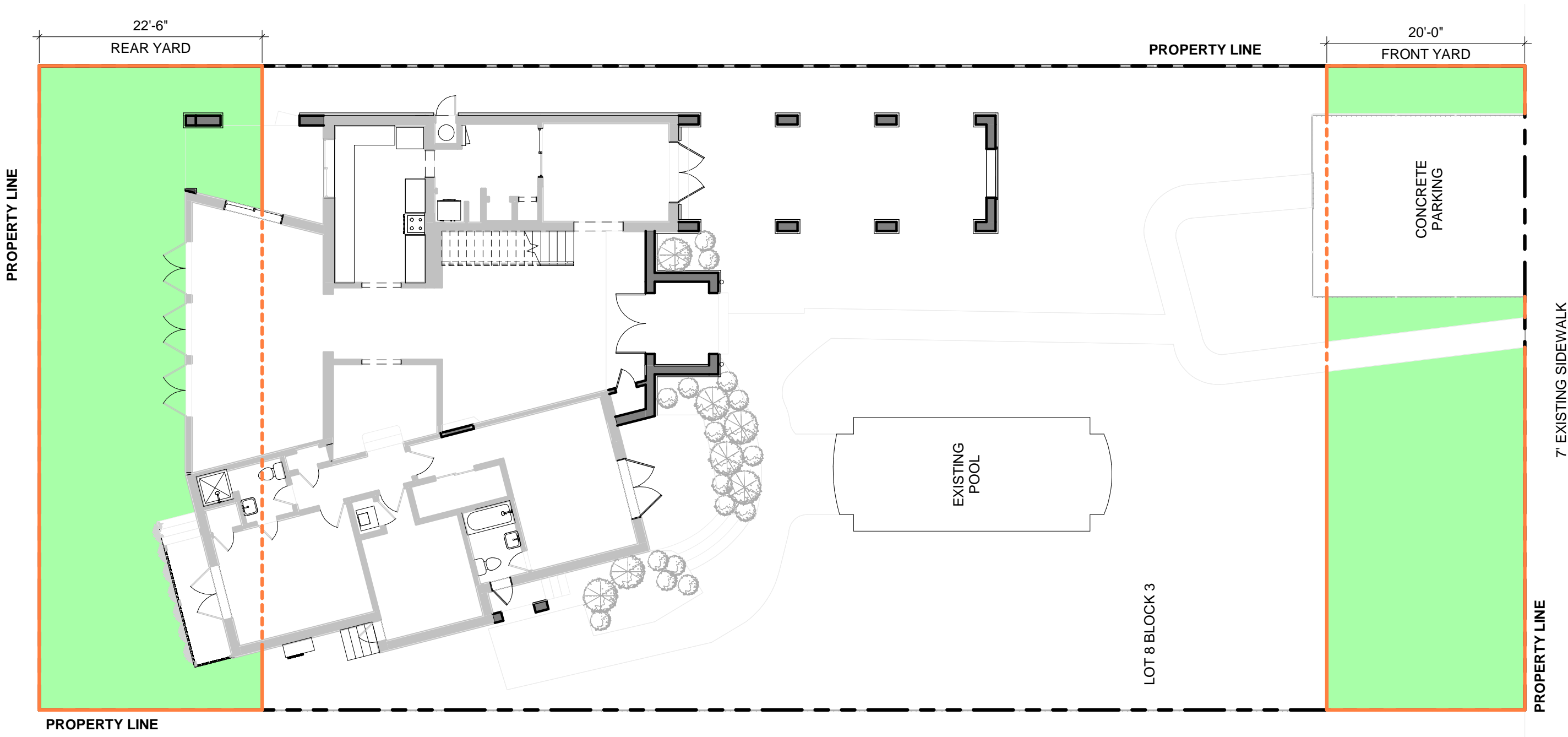
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REQUIRED YARDS OPEN SPACE DIAGRAM



CALCULATIONS	ALLOWED		PROVIDED
	- FRONT: 650 SF	50% OF REQUIRED FRONT YARD FRONT YARD: 1,300 SF. x 50% = 650 SF	- FRONT: 870 SF = 67%
	- REAR: 1,024 SF	70% OF REQUIRED REAR YARD REAR YARD: 1,462 SF. x 70% = 1024 SF	- REAR: 1,092 SF = 74%
			1
		OPEN SPACE	
		N.T.S	


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CONSULTING ENGINEERS:
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

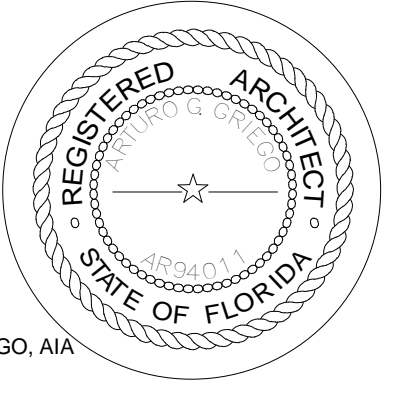
Reviewed for CODE COMPLIANCE

Signature	Date
P. Works _____	__/__/__
Fire Prev. _____	__/__/__
Planning _____	__/__/__
Zoning _____	__/__/__
Building _____	__/__/__
Structural _____	__/__/__
Electrical _____	__/__/__
Plumbing _____	__/__/__
Mech. _____	__/__/__
S. Waste _____	__/__/__

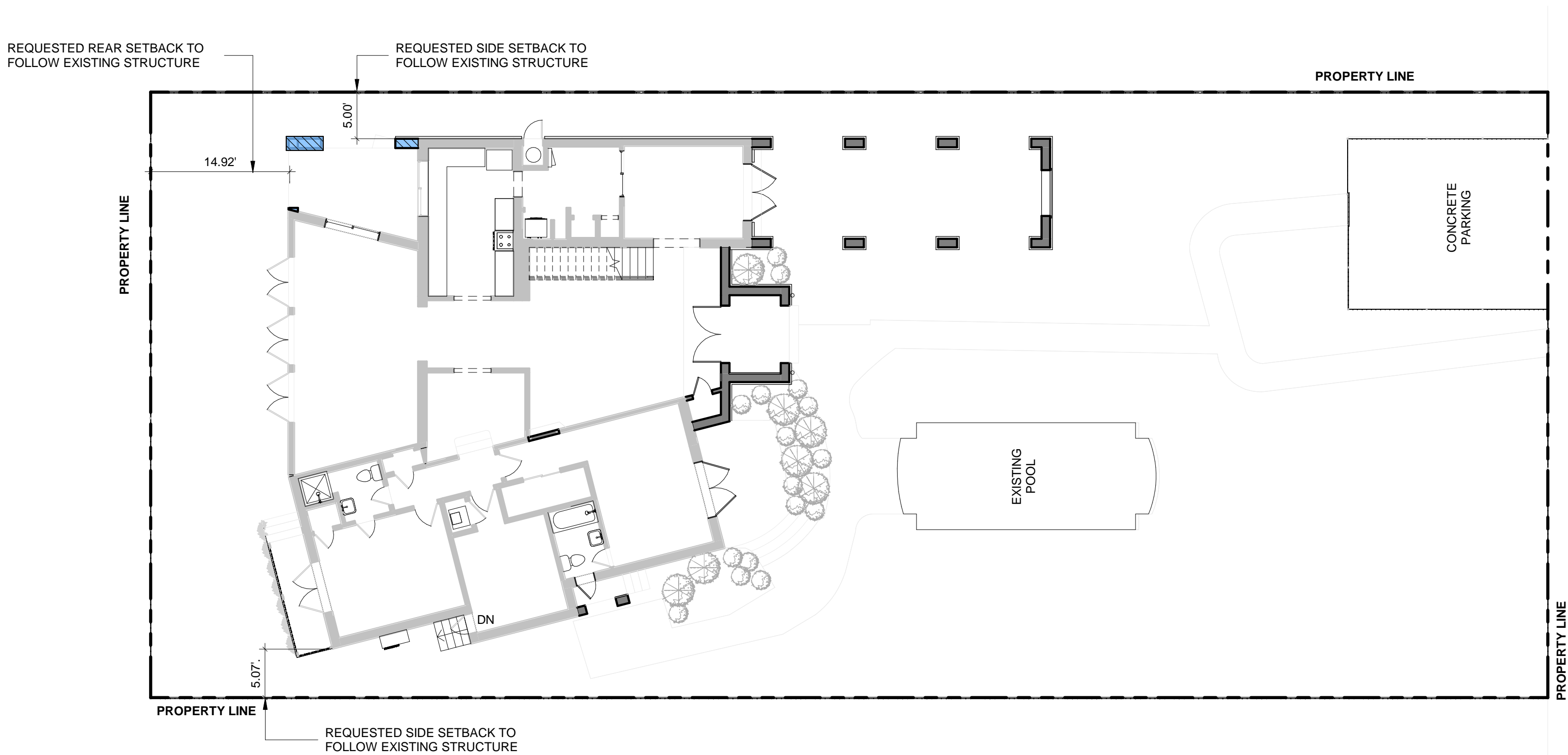
REVISIONS:

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PROJECT No.:
ISSUE DATE:
REVISIONS:
AREA DIAGRAMS
SCALE: 3/32" = 1'-0"
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
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SEAL:

SIGNATURE:
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VARIANCE DIAGRAM - LEVEL ONE

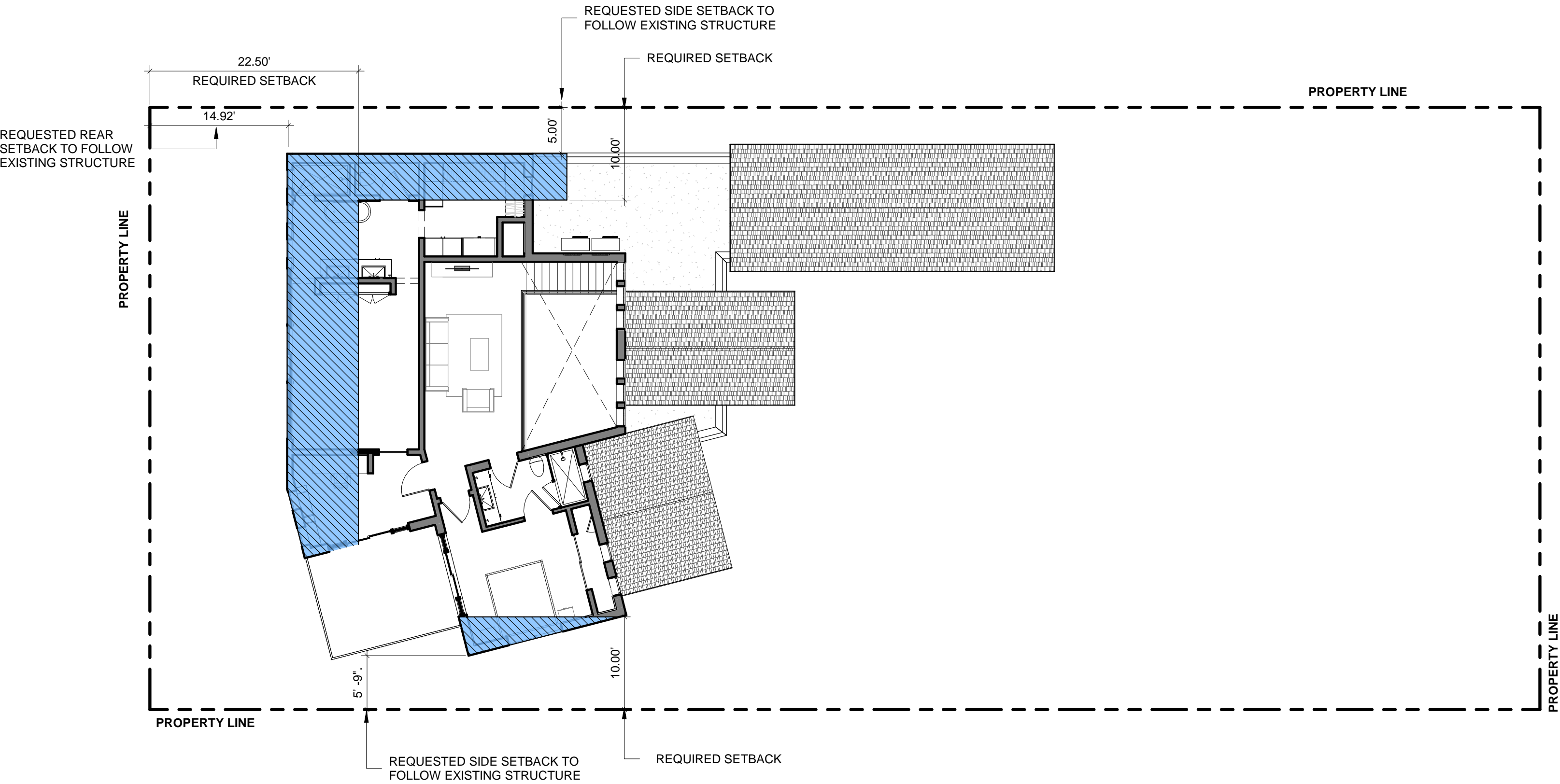


**1**

VARIANCE DIAGRAM LEVEL 01

SCALE: 1" = 10'-0"

VARIANCE DIAGRAM - LEVEL TWO



**2**

VARIANCE DIAGRAM LEVEL 02

SCALE: 1" = 10'-0"


PROJECT, ADDRESS AND OWNER:
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CONSULTING ENGINEERS:
STRUCTURAL ENGINEER:

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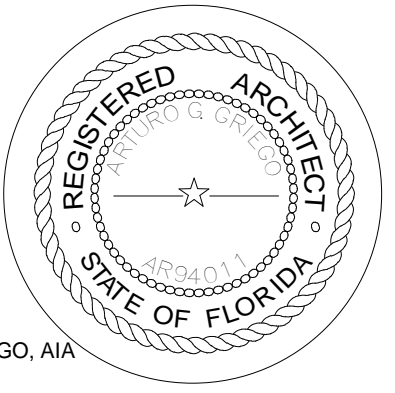
Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

REVISIONS:

BOA SET

PROJECT No.:
ISSUE DATE:
REVISIONS:
AREA DIAGRAMS
SCALE: 1" = 10'-0"
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
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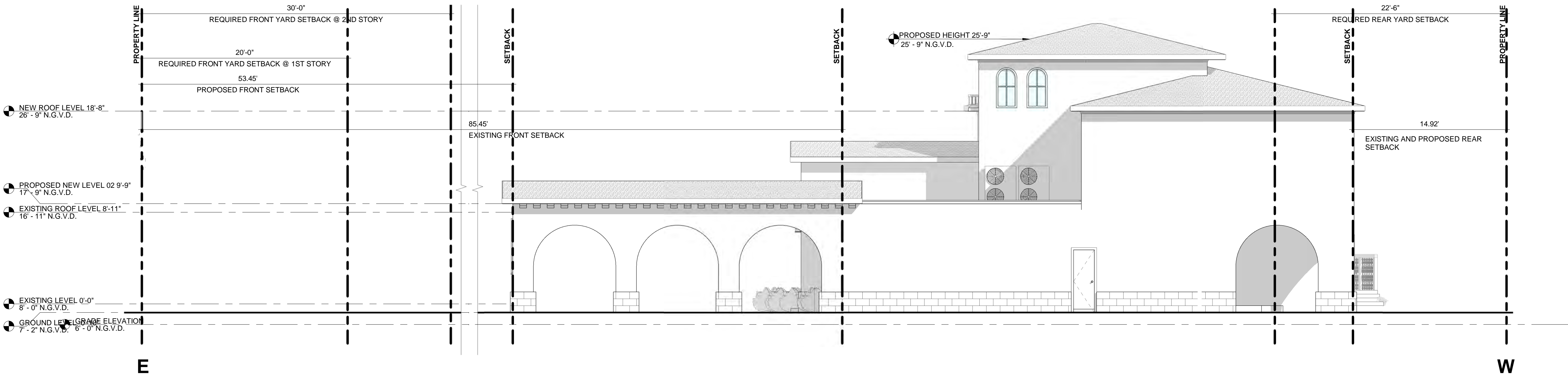
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REQUIRED YARD SECTION DRAWINGS- NORTH & SOUTH



1 NORTH & SOUHT YARDS ELEVATION
SCALE 3/16" = 1'-0"

REQUIRED YARD SECTION DRAWINGS- EAST & WEST




2 EAST & WEST YARDS ELEVATION
SCALE 3/16" = 1'-0"

PROJECT, ADDRESS AND OWNER:
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RESIDENCE**

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OWNER

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CONSULTING ENGINEERS:
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

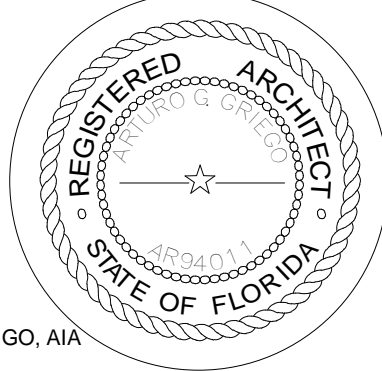
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Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

REVISIONS:

BOA SET

PROJECT No.:
ISSUE DATE:
REVISIONS:
AREA DIAGRAMS
SCALE: 3/16" = 1'-0"
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
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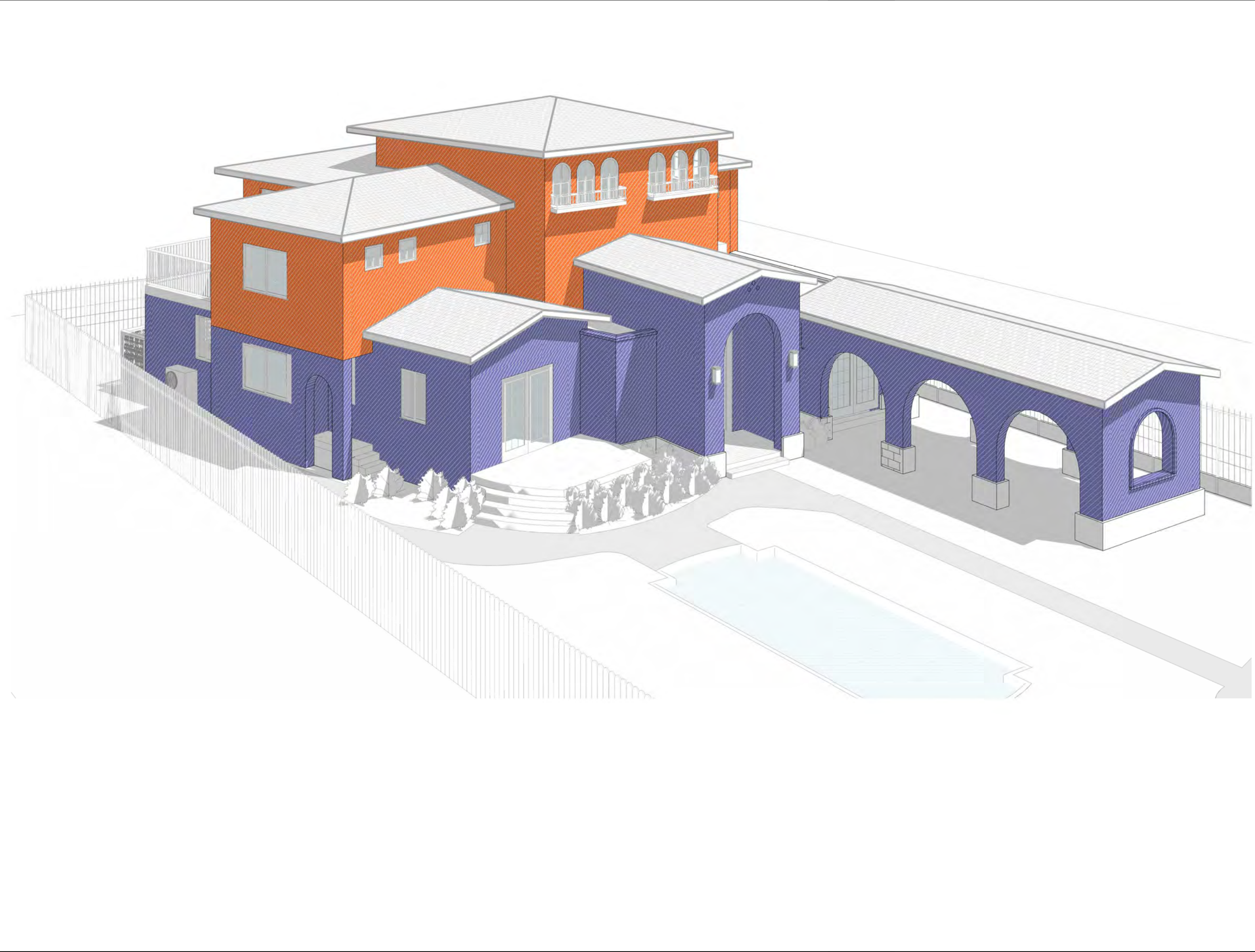
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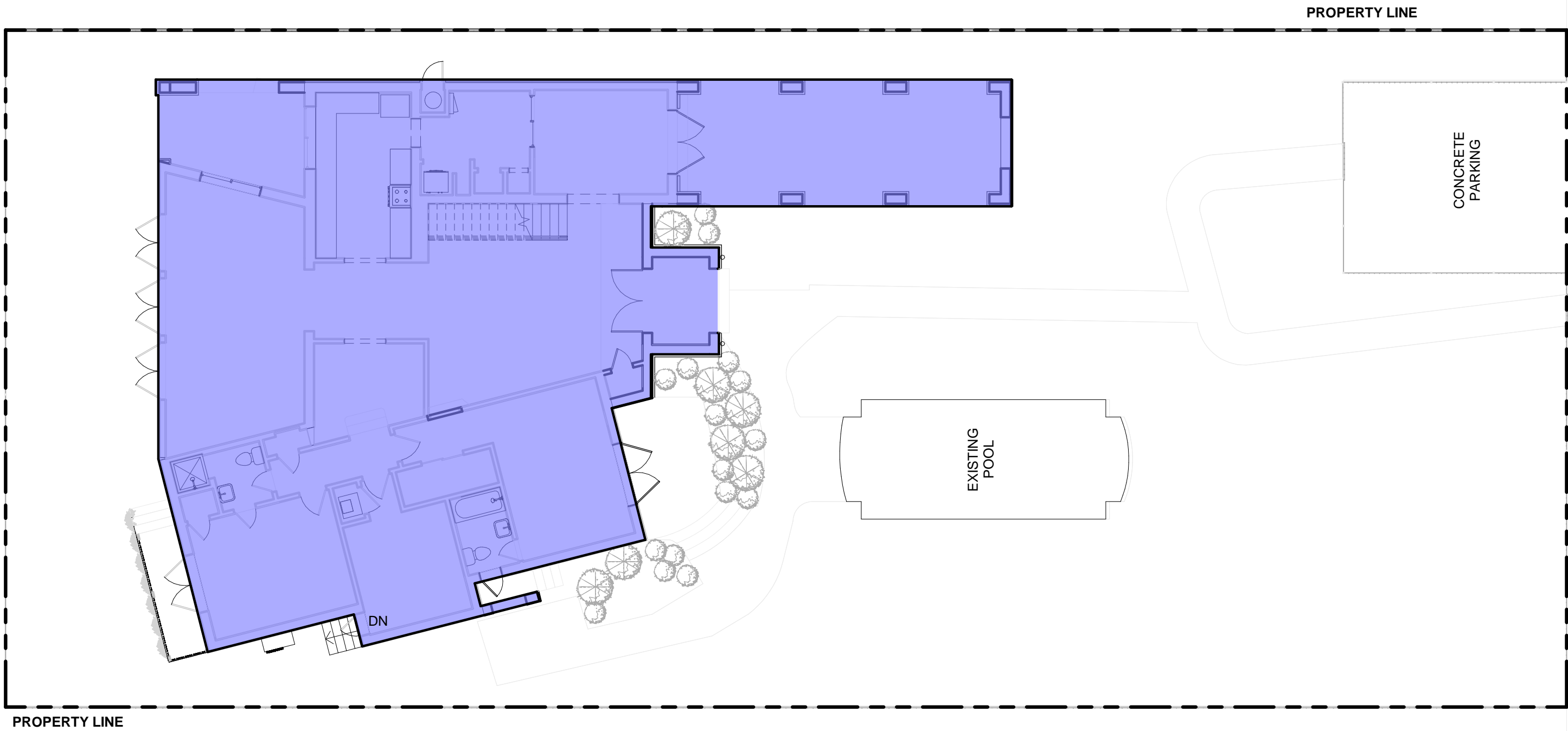


VOLUME CALCULATIONS	
<div></div>	14,590 CF
<div></div>	28,919 CF
	43,509 CF TOTAL

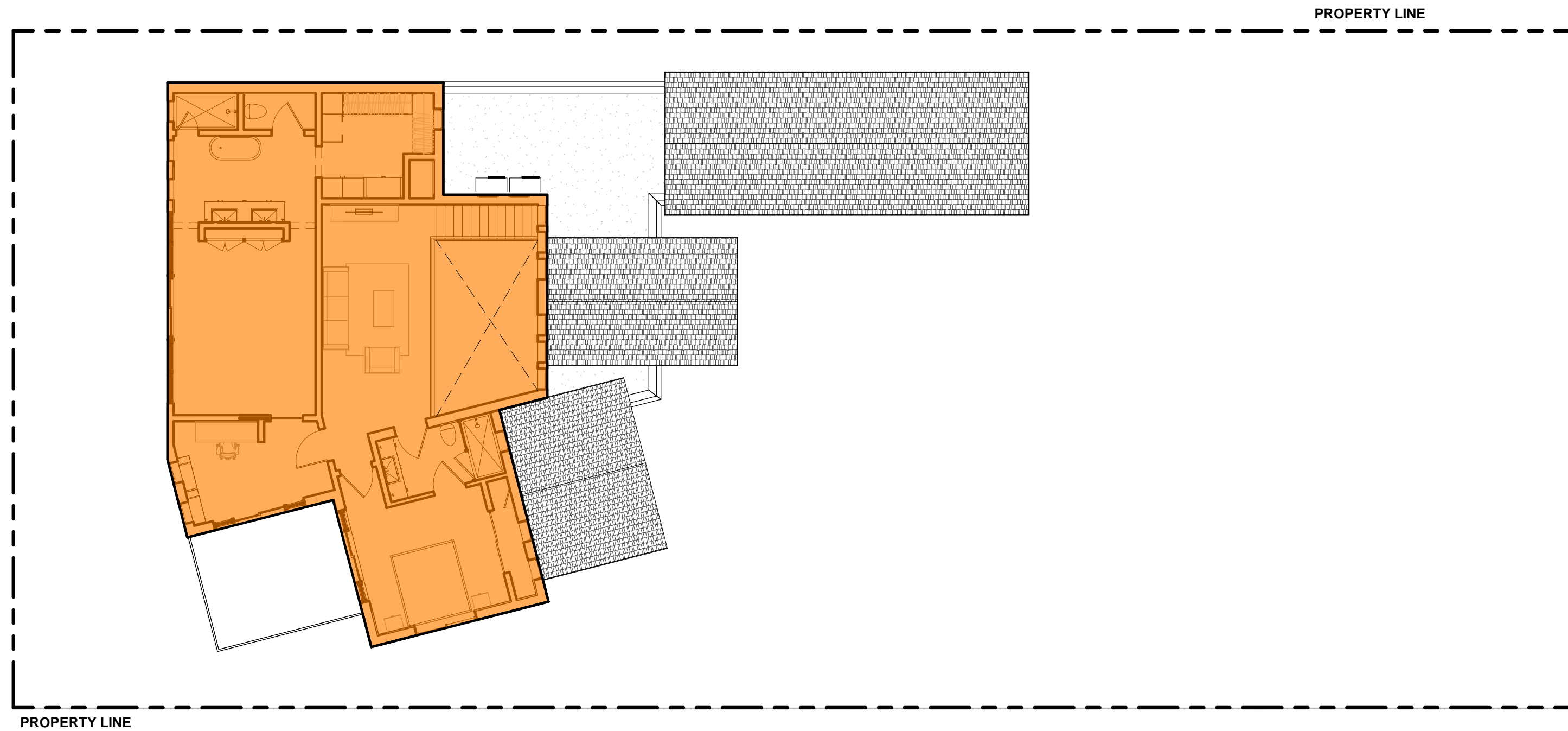
2	VOLUME DIAGRAM
	N.T.S



1	VOLUME DIAGRAM
	N.T.S



	3	AREA DIAGRAM LEVEL 1 PLAN
		SCALE: 1" = 10'-0"



1ST FLOOR PLAN = 2830 SF	
2ST FLOOR AREA = 1563 SF	1564 / 2830 = 55%
	4
	AREA DIAGRAM LEVEL 2 PLAN
	SCALE: 1" = 10'-0"

PROJECT, ADDRESS AND OWNER:

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CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

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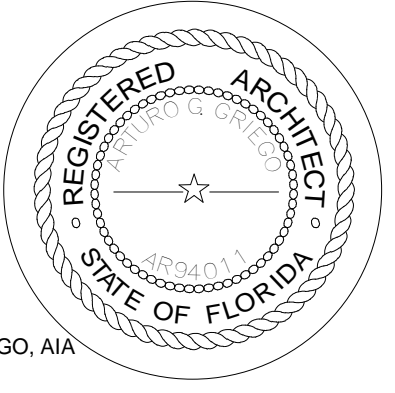
Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
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Structural	__/__/__
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Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

REVISIONS:

BOA SET

PROJECT No.:
ISSUE DATE:
REVISIONS:
AREA DIAGRAMS
SCALE: N.T.S. As indicated
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