

ESSEX HOUSE: ANNEX & BRIDGE

1001 Collins Avenue
Miami Beach, FL 33139

SCOPE OF WORK

- Preservation of the existing three-story front wing of the Essex Annex.
- Demolition of the existing two-story center wing and rear wing of the Essex Annex.
- Construction of a new below-grade basement below the footprint of the existing center wing and rear wing, extending partially below the courtyard.
- Construction of a new three-story center wing with rooftop pool deck, including a reconstruction of the existing south facade of the center wing.
- Construction of a new four-story rear wing.
- Construction of a new bridge above the public alley (Ocean Court), connecting the new roof deck of the Essex Annex to the existing roof deck of the Clevelander Hotel.
- Construction of a new elevated courtyard between the Essex Annex and the existing Essex House (main hotel building).
- Proposed work in the Essex House will be limited to interior only; specifically, the conversion of existing back-of-house and administrative areas on the ground floor to additional hotel rooms. Existing lobby and front-of-house areas will be preserved in their existing condition.

HISTORIC PRESERVATION BOARD FINAL SUBMITTAL

*Application for HPB Certificate of Appropriateness for
Partial Demolition, Design, and Variance Request*

August 5th, 2019
STA Project #3810

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3526 NORTH MIAMI AVE.
MIAMI, FL 33127
TEL: 305.571.1811
Todd Tragash, A.I.A. Florida Registration Number #11053

HISTORIC PRESERVATION BOARD: FINAL SUBMITTAL - 08/05/2019

City of Miami Beach Planning Dept.
1700 Convention Center Drive
Miami Beach, FL, 33139



Project # 3810
1001 Collins Avenue
Miami Beach, FL, 33139

A-0.0

COVER SHEET

ITEMS CORRESPONDING TO SCHEDULE B-II

- PER TITLE COMMENT:
 5. Order before the City of Miami Beach Historic Preservation Board filed June 25, 2015 in Official Records Book 29871, page 2952 of the Public Records of Miami-Dade County, Florida. THE SURVEYED PROPERTY LIES WITHIN THIS ITEM. HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.
- PER PROPERTY INFORMATION REPORT:
 1. LIMITED LIABILITY COMPANY AFFIDAVIT October 9, 2018 311724031 THE SURVEYED PROPERTY LIES WITHIN THIS ITEM. HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON. THE FOLLOWING ITEMS ARE ADDITIONAL DOCUMENTS COVERING CAPTION PROPERTY
 2. PLAT March 29, 1913 FB 28 THE SURVEYED PROPERTY LIES WITHIN THIS ITEM. HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.
 3. RESOLUTION FILE NO. 7304 June 25, 2015 296710202 THE SURVEYED PROPERTY LIES WITHIN THIS ITEM. HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.

ZONING INFORMATION

THE SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION PURSUANT TO TABLE ITEM 6a.

VICINITY MAP - NOT TO SCALE



MISCELLANEOUS NOTES

- (EN1) SURVEY PREPARED BY: NV5, L.S. 7386, 8111 BLAINE COURT, SUITE B, SARASOTA, FL 34240. PHONE: (800)787-4006, FAX: (941)379-3383 OR EMAIL: MIKE.YUKODER@NV5.COM
- (EN2) AN ADDRESS OF 1001 COLLINS AVENUE WAS POSTED ON THE SURVEYED PROPERTY.
- (EN3) THE SURVEYED PROPERTY CONTAINS AN AREA OF 0.479 ACRES (20,960 SQUARE FEET), MORE OR LESS.
- (EN4) ONLY OBSERVABLE SURFACE AND ABOVE GROUND STRUCTURES WERE LOCATED. NO UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATION FOOTINGS, WERE LOCATED. SOME FEATURES SHOWN ON THIS PLAN MAY BE SHOWN OUT OF SCALE FOR CLARITY. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
- (EN5) THERE ARE 0 STRIPED REGULAR PARKING SPACES AND 0 STRIPED HANDICAPPED PARKING SPACES FOR A TOTAL OF 0 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY.
- (EN6) ONLY OBSERVABLE ABOVE GROUND UTILITIES WERE LOCATED. NO UNDERGROUND UTILITIES WERE LOCATED. ALWAYS CALL SURSHRE 811 BEFORE YOU DIG. THEY NOTIFY UTILITY COMPANIES WHERE YOU ARE PLANNING TO DIG. THE UTILITY SENDS A LOCATOR TO MARK THE APPROXIMATE LOCATION OF UNDERGROUND LINES, PIPES AND CABLES ON THE SURVEYED PROPERTY. THE PROCESS TAKES TWO FULL BUSINESS DAYS - DAY 1 STARTS THE DAY AFTER YOU CALL. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- (EN7) AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS.
- (EN8) AT THE TIME OF SURVEY, THE SURVEYOR WAS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
- (EN9) THE SURVEYOR WAS NOT PROVIDED ANY DOCUMENTATION, WAS NOT MADE AWARE AND DID NOT OBSERVE ANY GROUND MARKINGS ON THE SURVEYED PROPERTY WITH REGARDS TO WETLANDS ON THE SURVEYED PROPERTY. NO ENVIRONMENTAL ASSESSMENT OR AUDIT WAS PERFORMED ON THE SURVEYED PROPERTY BY BOCK AND CLARK CORP.
- (EN10) THE SURVEYED PROPERTY HAS ACCESS TO COLLINS AVENUE, A 60 FOOT WIDE DEDICATED PUBLIC RIGHT-OF-WAY, 15TH STREET, A 50 FOOT WIDE DEDICATED PUBLIC RIGHT-OF-WAY AND A 25 FOOT WIDE UNNAMED DEDICATED PUBLIC ALLEY, AS SHOWN HEREON.
- (EN11) OWNERSHIP OF FENCES, IF ANY, WAS NOT DETERMINED UNDER THE SCOPE OF THIS SURVEY.
- (EN12) THERE ARE NO GAPS, GORES, OVERLAPS OR HATUS INHERENT TO THE SURVEYED PROPERTY BASED ON THE FIELD SURVEY PERFORMED AND THE TITLE COMMITMENTS PROVIDED.
- (EN13) BEARINGS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF 15TH STREET, MIAMI-DADE COUNTY, FLORIDA, ASSUMED TO BEAR N 79°20'17" W.
- (EN14) THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR CONSTRUCTION DESIGN PURPOSES.
- (EN15) JOINDER INFORMATION SHOWN HEREON WAS OBTAINED FROM THE COUNTY'S PROPERTY APPRAISER WEB SITE.
- (EN16) AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A BURIAL GROUND OR CEMETERY.
- (EN17) THE FINISHED FLOOR & SPOT ELEVATIONS SHOWN HEREON ARE BASED ON MIAMI-DADE COUNTY BENCHMARK 8-310-R, WITH AN ELEVATION OF 8.12 FEET (NOV20) AND ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY.

RECORD DESCRIPTION

"ESSEX HOTEL"
 Lots 9, 10, and 11, LESS the Northern one (1) foot of Lot 11, Block 15, of OCEAN BEACH FLORIDA ADDITION NO. 2, A SUBDIVISION, according to the plat thereof, as recorded in Plat Book 2, Page 56, of the Public Records of Miami - Dade County, Florida.
 THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 7149842, DATED JULY 27, 2018 & PROPERTY INFORMATION REPORT, FILE NO. 7747238, DATED 7/5/2019.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE AE (EL. 8) (NOV20) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 12081, MAP NUMBER 12080C018, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 11, 2009 AND IS IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) BY PERMITS CREATED ON JUNE 27, 2018. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
06/27/2019	FIRST DRAFT		
07/09/2019	NETWORK, CLIENT & TREE #S		
07/22/2019	CLIENT		

SIGNIFICANT OBSERVATIONS

NONE APPARENT

LEGAL

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 THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

ALT/NSPS LAND TITLE SURVEY

for
Miami Beach
 NV5 Project No. 201902224-002
 Parcel 2 "Essex House"
 1001 Collins Avenue, Miami Beach, FL

BASED UPON TITLE COMMITMENT NO. 7149842
 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY
 BEARING AN EFFECTIVE DATE OF JULY 27, 2018 @ 11:00 P.M.
 & PROPERTY INFORMATION REPORT, FILE NO. 7747238, DATED 7/5/2019

Surveyor's Certification
 To Fidelity National Title Insurance Company, and Bock & Clark Corporation, an NV5 Company:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5a, 6b, 7a, 7b, 7c, 8, 9, 13, 14, 16, 17, 18 and 25 of Table A thereof. The field work was completed on June 25, 2019.

ALSO:
 I, MARK G. LEIST, HEREBY CERTIFY THAT THIS SKETCH OR THE BOUNDARY SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 472 OF THE FLORIDA STATUTES AND CHAPTER 51-17 OF THE FLORIDA ADMINISTRATIVE CODE.

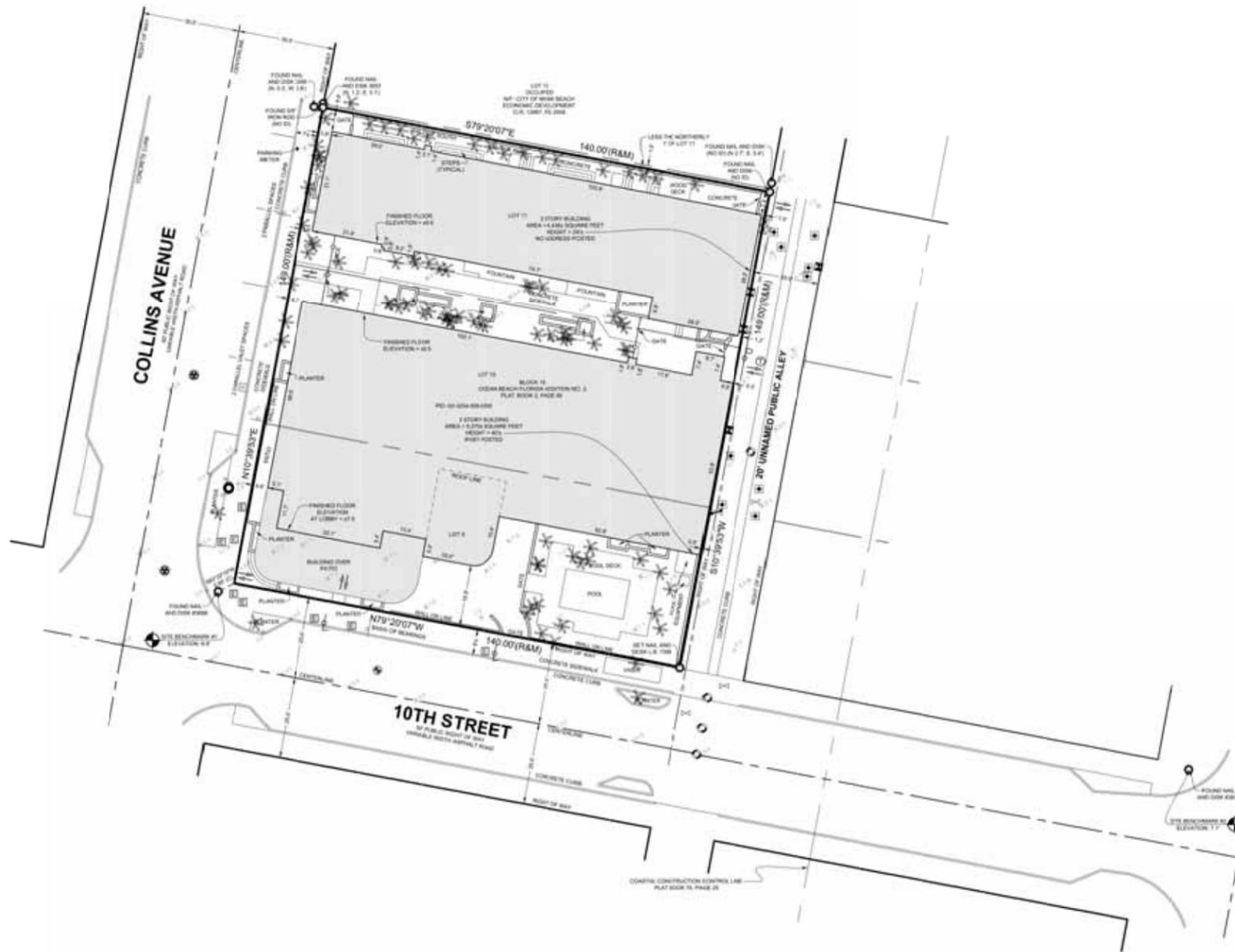
Mark G. Leist 07-22-2019 DATE
 MARK G. LEIST
 REGISTRATION NO. PSM 5636
 IN THE STATE OF FLORIDA
 DATE OF FIELD SURVEY: JUNE 25, 2019
 DATE OF LAST REVISION: JULY 22, 2019
 NETWORK PROJECT NO. 201902224-002 RLS
 THIS SURVEY IS CERTIFIED TO DATE OF FIELD SURVEY, NOT DATE OF SIGNATURE, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. SHEET 1 OF 3

Bock & Clark Corporation
 an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)
 3550 W. Market Street, Suite 200, Akron, Ohio 44333
 www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT
 FLORIDA PROJECT NO. 52019002301



LEGEND OF SYMBOLS & ABBREVIATIONS

POWER POLE	TRAFFIC SIGNAL BOX	SANITARY MANHOLE
LIGHT POLE	SIGNAL LIGHT POLE	CLEAN OUT
GUY WIRE	SIGNAL LIGHT	GAS MANHOLE
ELECTRIC MANHOLE	VAULT	GAS VALVE
ELECTRIC METER	SGN (AS NOTED)	GAS METER
ELECTRIC VAULT	TOWER	HANDICAPPED PARKING
TRANSFORMER	MONITORING WELL	METERED END SECTION
AIR CONDITIONER UNIT	FLAG POLE	BENCHMARK
TELEPHONE MANHOLE	WATER VALVE	(R) RECORD
CABLE BOX	FIRE HYDRANT	(M) MEASURED
STORM DRAIN MANHOLE	SIAMSESE FIRE HYDRANT	(C) CALCULATED
STORM DRAIN INLET	WATER MANHOLE	(P) PLAT
STORM PIPE	BACKFLOW PREVENTER	PG PAGE
GREASE TRAP	WATER METER	O.R. OFFICIAL RECORDS
SET 3/4" IRON ROD & CAP 1.5' DEEP UNLESS OTHERWISE NOTED	WELL HEAD	P.B. PLAT BOOK
8" - 12" PALM TREE	POINT OF ACCESS	F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
		N.F. NOW OR FORMERLY
	OVERHEAD WIRES	

BOUNDARY & IMPROVEMENTS

SEE SHEET 3 OF 3 FOR TREE NUMBER DETAIL



N|V|5 ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
Miami Beach
 DATE OF FIELD SURVEY: JUNE 25, 2019
 NETWORK PROJECT NUMBER: 201902224-002 RLS
1-(800)-SURVEYS (787-8397)
 TRANSACTION SERVICES
 www.bockandclark.com mayefeltyou@bockandclark.com www.NV5.com
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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1001 COLLINS AVE, MIAMI BEACH, FL 33139		
2	Board and file numbers :			
3	Folio number(s):	02-3234-008-0200		
4	Year constructed:	1937	Zoning District:	MXE - MIXED USE ENTERTAINMENT
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	6.1' NGVD
6	Adjusted grade (Flood+Grade/2):	7.1' NGVD	Lot Area:	20,860
7	Lot width:	149'	Lot Depth:	140'
8	Minimum Unit Size	206 sf	Average Unit Size	275 sf
9	Existing use:	HOTEL	Proposed use:	HOTEL

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	28'-4" (Annex)	44'-2" (Annex)	N/A
11	Number of Stories	N/A	3 (Annex)	4 (Annex)	N/A
12	FAR	2.0 (41,720 SF)	1.73 (36,050 SF)	2.0 (41,720 SF)	N/A
13	Gross square footage	N/A	10,074 (Annex)	23,254 (Annex)	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A	N/A
16	Number of units Hotel	N/A	70	108	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A	N/A	42'-7"	N/A
20	Side Setback:	N/A	N/A	5'-0"	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	0'-0"	N/A
At Grade Parking:					
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
Pedestal:					
29	Front Setback:	20'	3'-10"	3'-10" (Existing)	N/A
30	Side Setback:	5'	7'-0"	5'-0"	N/A
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	19'-9"	18'-11"	18'-11" (Existing)	N/A
33	Rear Setback:	0'	1'-1"	0'-0"	N/A
Tower:					
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	DISTRICT #1			
40	Total # of parking spaces	18*	0	0	N/A
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
43	Parking Space Dimensions	N/A	N/A	N/A	N/A
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	N/A
45	ADA Spaces	N/A	N/A	N/A	N/A
46	Tandem Spaces	N/A	N/A	N/A	N/A
47	Drive aisle width	N/A	N/A	N/A	N/A
48	Valet drop off and pick up	N/A	2 (on-street)	Existing to Remain	N/A
49	Loading zones and Trash collection areas	3	3 (on-street)	Existing to Remain	N/A
50	racks	N/A	N/A	N/A	N/A

*The applicant will seek a reduction via waiver to reduce the parking requirement from 1 space per unit to 0.5 spaces per unit, resulting in 9 required spaces.
The applicant will also seek a reduction by implementing alternative parking incentives; specifically, the parking requirement may be reduced by 3 spaces by way of a curb-side dropoff stall, resulting in 6 required spaces.
Finally, the applicant will seek a variance for an additional 20% reduction, resulting in 5 required spaces.

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	EXISTING RESTAURANT IN ESSEX HOUSE TO REMAIN AS-IS. NOT PART OF THIS APPLICATION.			
52	Number of seats located outside on private property	N/A	N/A	N/A	N/A
53	Number of seats inside	N/A	N/A	N/A	N/A
54	Total number of seats	N/A	N/A	N/A	N/A
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
56	Total occupant content	N/A	N/A	N/A	N/A
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A

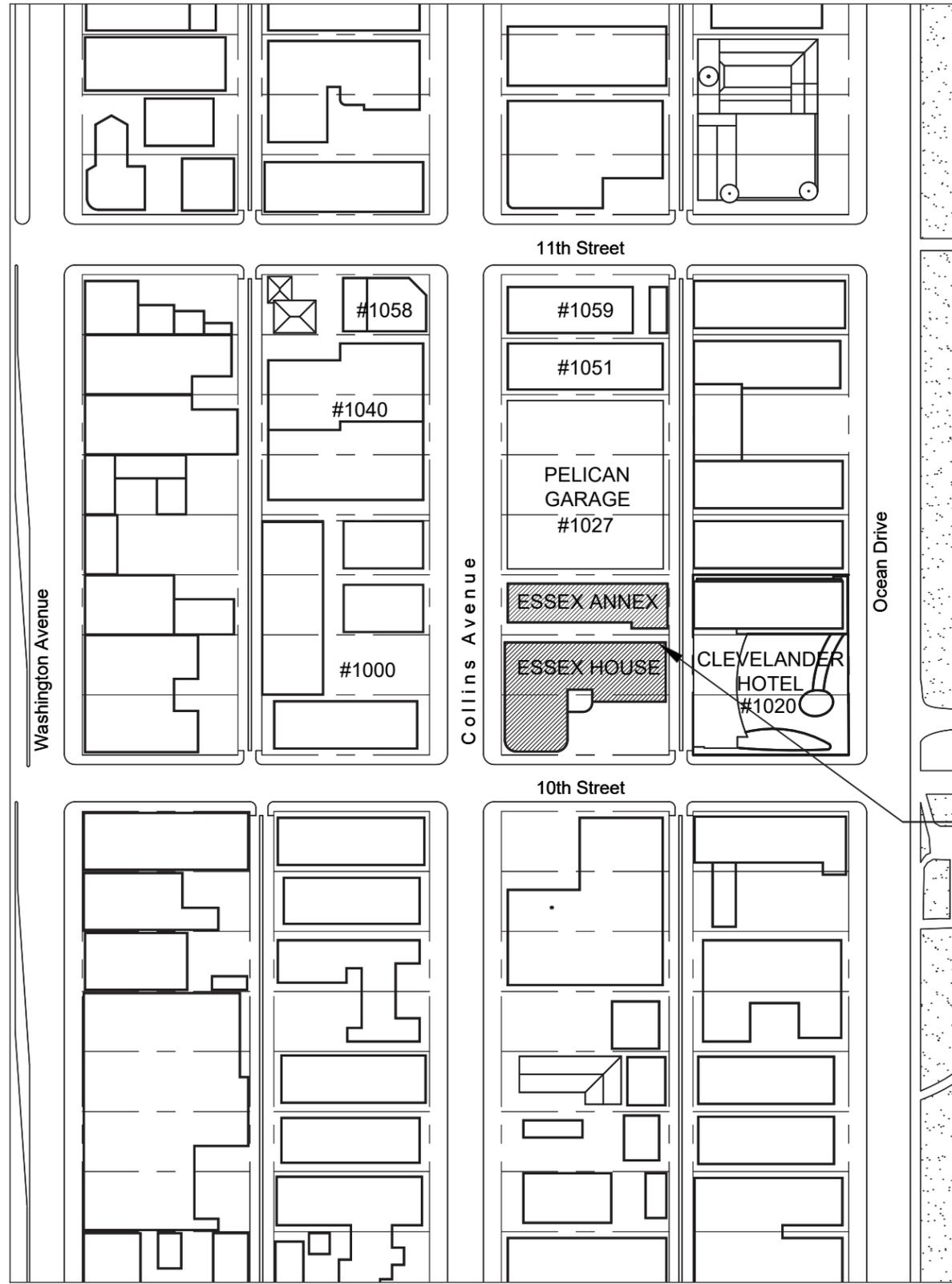
58	Proposed hours of operation	N/A			
59	Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	N/A			
60	Is dancing and/or entertainment proposed? (see CMB 141-1361)	N/A			
61	Is this a contributing building?	YES			
62	Located within a Local Historic District?	YES			

Notes:

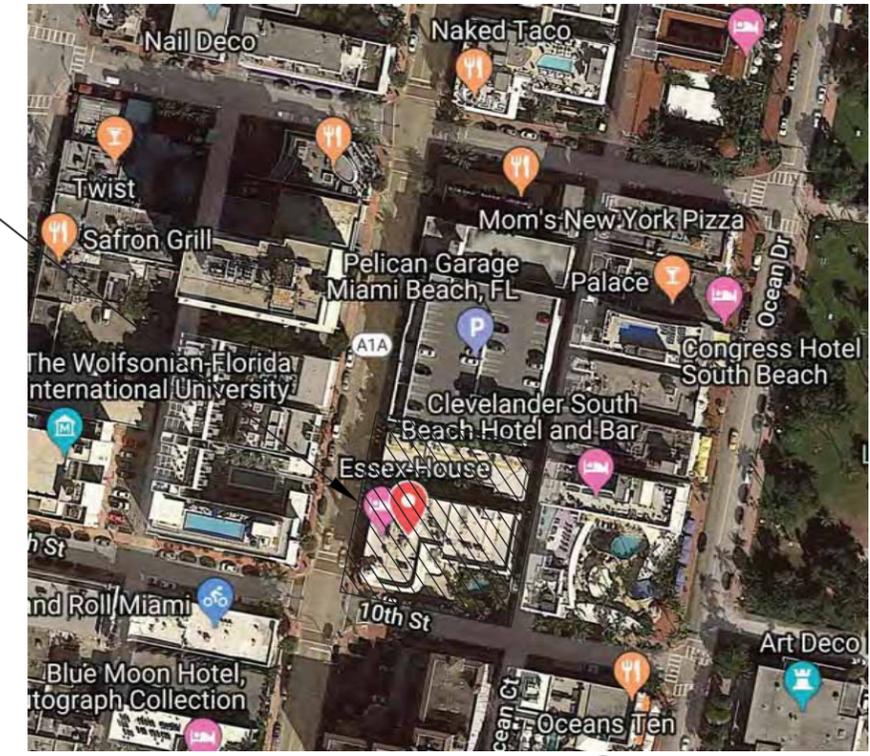
If not applicable write N/A

All other data information may be required and presented like the above format.





1 LOCATION MAP
SCALE: N.T.S.



2 AERIAL MAP
SCALE: N.T.S.

3 LOCATION PLAN
SCALE: N.T.S.



ESSEX HOUSE HOTEL
1001 COLLINS AVENUE, MIAMI BEACH

Occupying two lots at the northeast corner of Collins Avenue and Tenth Street, the three-story Essex House is an exemplary Art Deco-style hotel, designed in 1938 by renowned Miami Beach architect Henry Hohauser and associate Frederick A. Gibbs (see Biographies following). The original owners were Maurice L. Fleischman, who had previously built and operated movie theaters in the New York City area, and William G. Mechanic, from Baltimore.¹ In 1937, Henry Hohauser had designed the Warwick Apartments for William Mechanic at 1021 Collins Avenue. After the Essex House was built next door, the two buildings were advertised together, and both were managed by Mechanic.²

The building permit for the Essex House, issued on September 1, 1938, identifies the owners as the "Hotel Essex Corporation," but Hohauser's original plans, most likely drawn earlier, name the hotel as the Ansonia. This name was probably rejected because the Ansonia Apartments had stood on 21st Street since 1921. In the 1930s, many Miami Beach hotels adopted the names of prestigious hotels in the north, and the famous Essex House in New York no doubt inspired this one.

At the time the Miami Beach Essex House was being planned, the futuristic designs for the much-anticipated 1939 World's Fair in New York City had been completed and were being publicized. Hohauser himself said that they directly influenced his design of the Essex House:

Mr. Hohauser calls the design his 1939 creation because, while it is of the modern architectural type, it shows distinct influences of the 1939 World's Fair exposition plans. Even the uninitiated will gain this impression from the pylon-like illuminated sign.³

¹ "Hotel Plans Reflect World's Fair Trends," *Miami Herald*: Sept. 18, 1938.

² Lorenz More, *Florida Hotel and Travel Guide*, 1942; p. 321.

³ "Essex House Project Will Cost \$145,000." *Miami Daily News*: Sept. 18, 1938, p. D-1.

Three sheets of Hohauser's original plans (#11507) were found in the Miami Beach Building Department records. These are partly fragmented and illegible, but include details of the hotel's distinctive corner tower and signage pylon, a roof and plot plan, exterior and lobby interior elevations, and the second-floor plan. The building footprint is roughly L-shaped, with its setback along Tenth Street creating "a large landscaped patio."⁴ The permit card indicates that in 1939, less than a year after the hotel's completion, Henry Hohauser also designed the addition of a "Recreation Room and Card Room." Its floor plan and south elevation were found on Microfilm #12988. This small room was nestled into the crook of the "L," to the east of the lobby, with its convex south wall projecting into the patio.

Shortly after the hotel's completion, in February 1939, photographer Gleason Romer took several pictures of the Essex House that remain in the Miami Public Library (Romer archive #A468 j, l and m). The exterior view, seen from the southwest, shows the building's rounded corner; towering signage pylon; decorative roundels, possibly of black Vitrolite, on the south and west parapets; casement windows, and three octagonal windows along Collins Avenue; eyebrows on all three stories; channel-letter signage over the corner entrance; and the front porch, supported by plain cylindrical columns.

Romer also took two pictures of the lobby, looking toward the south and east. Distinctive features here include the patterned terrazzo floor; a ceramic material called scagliola as facing on the reception desk, wainscoting, and mantel; decorative crown molding; decorative metalwork on the lobby stairway; a large window, etched with a tropical scene, that still survives at the southeast corner; and, above the convex, ziggurat-shaped faux fireplace, a magnificent mural of a Seminole poling a boat through the Everglades. This mural was painted by local artist Earl LaPan, who created another mural at the Victor Hotel

⁴ *Ibid.*

on Ocean Drive, and bas-relief sculptures on the exterior of the Bancroft Hotel and in the lobby of the Shore Club on Collins Avenue.

During World War II, the Essex House was one of hundreds of Miami Beach buildings that were leased by the U.S. Army Air Forces to serve as training facilities for thousands of new recruits. Hotels became barracks, restaurants were mess halls, theaters became classrooms, and the troops trained on the beach and golf courses. The Essex House, with 65 rooms, housed 201 soldiers, in bunk beds.⁵ The hotel returned to civilian use on July 24, 1944. Subsequent alterations to the building were few. According to the permit card, in 1953 the card room and terrace were extended by architect Norman Giller, but no plans were found on file. In 1957, original casement windows were replaced by jalousies.

Completed in early 1939, Hohauser's Essex House was the first of four distinctive "corner hotels" that lined up along this stretch of Collins Avenue. Architect L. Murray Dixon designed the other three, all in 1939: the Tiffany at Eighth Street, the Tudor at Eleventh Street, and the Senator (demolished in 1988) at Twelfth Street. All had rounded corners and soaring pylons, complementing the Essex House.

---Carolyn Klepser, researcher
October 28, 2014

⁵ "Investigation of the National Defense Program," Senate Resolution 6; Jan. 4, 1944; online.

ARCHITECTS BIOGRAPHIES

Henry Hohauser (1889-1963)

Born in New York City and educated at Pratt Institute in Brooklyn, N.Y., Hohauser came to Miami in 1932. He was a practicing architect in Miami Beach for over 20 years and was one of the most prolific. His firm designed over 300 buildings in the Miami area and he is "generally credited with being the originator of modernism in Miami Beach."⁶ His fine execution of the Art Deco style in so many beloved buildings has contributed enormously to the success of the Miami Beach Architectural District and to its listing in the National Register of Historic Places in 1979.

Just a few of Hohauser's buildings in Miami Beach's historic districts include:

Park Central Hotel	640 Ocean Drive
Colony Hotel	736 Ocean Drive
Edison Hotel	960 Ocean Drive
Cardozo Hotel	1300 Ocean Drive
Collins Park Hotel	2000 Park Ave.
Park Washington Hotel	1020 Washington Ave.

Frederick A. Gibbs was born in Miami in 1910 and studied at the Carnegie Institute of Technology in Pittsburgh. He returned to Miami and worked in association with Henry Hohauser, 1934-41.⁷ In 1946 he partnered with Edward A. MacKay, and between 1947 and 1965 the firm MacKay & Gibbs designed many fine buildings in the Postwar Modern style in Miami Beach, including:

Sherbrooke Apts.	901 Collins Ave.
Surfcomber/Seacomber	1717-1737 Collins Ave.
Tradewinds Apts.	2315-35 Pinetree Dr.

Later in the 1960s, the firm of Gibbs & Wang designed several larger apartment buildings on upper Collins Avenue, including:

Carriage Club South	5001 Collins Ave.
Seacoast Towers West	5700 Collins Ave.

⁶ Howard Kleinberg, Miami Beach: A History; Centennial Press, Miami, 1994, p.129.

⁷ Application for AIA membership, "Gibbs, Frederick A.," AIA, Coral Gables, Fla.





ESSEX HOUSE LOBBY, 1938.
ROMER COLLECTION, MIAMI-DADE PUBLIC LIBRARY.



ROMER ARCHIVE # A.468M. MIAMI-DADE PUBLIC LIBRARY
ESSEX HOUSE. LOBBY AND DESK.



ESSEX HOUSE. 1001 COLLINS AVE, MIAMI BEACH, 1938.
COLLECTION ALLAN T. SHULMAN.



ROMER ARCHIVE # A.440g. MIAMI-DADE PUBLIC LIBRARY.
WARWICK APTS. EXTERIOR VIEW. 1021 COLLINS AVE. M.B TAKEN FOR HENRY HOHAUSER, ARCHT.
JUNE 22, 1940.



ESSEX HOUSE. 1001 COLLINS AVE, MIAMI BEACH, 1938.
ROMER COLLECTION, MIAMI-DADE PUBLIC LIBRARY.





ESSEX HOUSE

1001 Collins Avenue. Built 1938, opened 1939. Concrete block construction, semi-fireproof. Steam and electric heat. 4 floors, elevator. 70 rooms, all with bath. Open all year. W. G. Mechanic, proprietor. Melvin Berenson, manager.

Handsome building of impressive ultra-modern architecture on splendid corner site, a few steps to beautiful Lummus Park and the ocean. Wide veranda circling three sides, palm patio on ocean side.

Spacious lobby and lounges with unusually attractive furnishings and striking tropical murals. Restful reading room, smart card room. Roof solarium, graduate masseurs and masseuses from Saratoga Spa. Inside patio.

Music, dancing, outings, games, parties arranged by congenial hostess and trained staff. Every form of amusement and activity in immediate vicinity. Guests may bathe directly from rooms.

Luxurious guest rooms with ultra-modern furnishings, cross ventilation, innerspring bedding, combination tub-shower baths, 24-hour telephone service, large closets with louver doors, soothing illumination, venetian blinds, bed lamps, full carpeting.

Garage near. Parking space. Hotel car for station transfers. Carefully trained personnel, all bonded. Insured vaults for valuables. Children of school age accepted.

Rates (EP) — Nov. 15-Dec. 14: single \$2-\$3, double \$2.50-\$4. Dec. 15-Jan. 14: single \$3-\$5, double \$4-\$6. Jan. 15-Mar. 10: single or double \$7-\$10. Mar. 11-31: single \$2.50-\$4, double \$3-\$5. April 1-Nov. 14: single \$1.50, double \$2. Season (Nov. 1-May 1): single \$500, double \$550-\$800. Weekly, monthly rates.

at Miami Beach
FOR HOTEL ACCOMMODATIONS

The ESSEX HOUSE

Ideal Location • 100 Feet to the Beach
Surf Bathing Direct From Your Room
Luxuriously Furnished • All Outside Rooms
Roof Solarium • Sun Deck • Garden Patio

FOR APARTMENT ACCOMMODATIONS

The adjoining **Warwick**

WM. G. MECHANIC
Owner and Manager

Special Rates Now Available!
The Choice Of Discriminating
Vacationers. Take Advantage
Of The Low Rates Now In Effect.

COLLINS AVENUE AT 10th STREET

EVANS HOTEL

953 Collins Ave. Built 1935. 6 floors, elevators. 165 rooms, all with bath. Open: Nov. 1-May 1. Arthur Evans, manager.

Rates (per double room, 2 persons, per week)—Nov. 1-Jan. 14 and Mar. 16-closing: \$30-\$40 EP, \$80-\$100 AP. Jan. 15-Mar. 15: \$50-\$70 EP, \$100-\$120 AP. AP—Room, breakfast, dinner.

FAIRMONT HOTEL

1000 Collins Ave. Built 1937. 3 floors, elevators. 50 rooms, all with bath. Open all year. Ben E. Frank, manager.

Rates (EP, single or double)—Dec. 16-Jan. 14 and Mar. 2-Apr. 1: \$4, \$5 per day. Jan. 15-Mar. 1: \$8, \$9 per day. Apr. 2-Dec. 15: \$8-\$12 per week.

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MIAMI PUBLIC LIBRARY. FLORIDA ROOM.
FLORIDA GUIDE CO., 1942.



Victor Hotel

VICTOR HOTEL

1144 Ocean Drive. Built 1937. Steel and concrete construction, fireproof, soundproof. Steam heat. 8 floors, elevator. 100 rooms, all with bath. Open all year. Louis Adler, owner-manager.

An impressive ultra-modern hotel in the Lummus Park area, directly facing beautiful landscaped park and ocean beach. Enjoys unobstructed position with no adjoining buildings, every room having view of the ocean. Special locker rooms and beach service for bathers. Roof sun deck, fully equipped solarium.

Spacious, handsomely appointed public rooms, including 2 lobbies, lounge, recreation room, card room. Buccaneer Dining Room, built in a huge rotunda at the side of the hotel, is one of the largest and finest in Miami Beach. Large tropical patio on south side of building.

Exquisitely decorated guest rooms, ultra-modern furnishings, innerspring beds, tiled tub-shower baths, large windows. Ping-pong and other patio games. Social hostess, music, dancing, entertainment, sound movies. Hotel car for station transfers (free). Free parking space.

The Victor Hotel operates on both the European and American plans. Dietary laws observed. All rates on application.

VERSAILLES HOTEL

3425 Collins Ave. Built 1940. Concrete-steel, fireproof. Steam heat. 14 floors, elevators. 141 rooms, all with bath. Open: Dec. 15-Apr. 20. Fred Abel, manager.

Rates (EP)—Dec. 15-Jan. 19 and Mar. 21-Apr. 15: single \$9-\$15, double \$14-\$20. Jan. 20-Mar. 20: single or double \$20-\$28. Clientele—Restricted.

WALDORF TOWERS HOTEL

860 Ocean Drive. Built 1937. 3 floors, elevator. 56 rooms, all with bath. Open all year. M. Simon, manager.

Rates (EP, per room)—Dec. 1-15: \$3-\$7. Dec. 16-Jan. 20 and Mar. 26-May 1: \$4-\$7. Jan. 21-Mar. 25: \$8-\$12.

WARWICK APARTMENTS

1021 Collins Ave. Built 1938. Modern design, semi-fireproof. Steam and electric heat. Adjoins Essex House, with landscaped patio between. 20 units, studio and bedroom apartments, attractively decorated, all with bath, accommodate 2 to 6 persons each. Complete hotel service if desired. Open all year. W. G. Mechanic, manager.

Rates (Season, Nov. 1-May 1)—Studio apts. \$550, bedroom apts. \$700, corner apts. \$800. Also quotations shorter stays. Summer: \$25-\$30 month.

WHITE HOUSE

1451 Ocean Drive. Built 1939. 104 rooms, all with bath. Open all year. Leo Radoff, manager.

Rates (EP, double rooms, single \$1 less)—Dec. 1-15: \$4-\$7. Dec. 15-Jan. 14: \$8-\$14. Jan. 15-Mar. 31: \$12-\$18. April: \$5 \$10. Summer: single \$2.50, double \$3.

**WESTCHESTER
NORMANDY APARTMENTS**

Delightful modern apartments on beautiful Normandy Isle—private swimming pool, dock, pier, beautiful gardens—the best way to live in Miami Beach and really enjoy it.

For description and rates see Page 374

1022 BAY DRIVE MIAMI BEACH

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MIAMI PUBLIC LIBRARY. FLORIDA ROOM.
FLORIDA GUIDE CO., 1942.



Owner HOTEL ESSEX CORP. Mailing Address Permit No. 11507 Date Sept. 1-1938
 Lot 9 & 10 Block 15 Subdivision Ocean Beach Address 1001 Collins Avenue
 General Contractor Prufert-Wien Construction Co. Address
 Architect Henry Hobauser Address 1-01st Elevator
 Front 85-10 Depth 134-8 Height 42' Stories 3 Use Hotel- 66 rooms
 Type of construction c-b-s- Cost \$ 80,000.00 Foundation spread footing Roof Flat

Plumbing Contractor Stolpman # 11355 Address Date Oct. 6-1938
 Plumbing Fixtures 213 Rough approved by Gas OK JJ Farrey- Oct. 22-1938 Date
 Gas Stoves 7
 Gas Heaters Address Date
 Final approved by Date
 Sewer connection - 1 -- Septic tank Make Date

Electrical Contractor F.C. Ast Electric # 11569 Address Date Oct. 19-1938
 Switch 155 Range Motors 2 Fans Temporary service -Sept. 1-1938
 OUTLETS Light 161 HEATERS Water " F C AST - # 11307
 Receptacles 160 Space " " " " # 11319 -Sept. 2-1938
 Centers of Distribution 10

Electrical Contractor F.C. AST ELECTRIC Co. # 11963 Address Date Dec. 1-1938
 No. fixtures set 165 Final approved by Date
 Date of service #11963- AST- 1 temporary service- Dec. 1-1938

Alterations or repairs # 11672 - 2 SIGNS- Neon Sign & Service- \$ 500.00 Oct. 15-1938
 Elec. permit # 11545- Neon Sign & Service- 3 neon transformers Date Oct. 15-1938
 Elec. permit # 12182- AST- 140 light outlets - 78 fixtures- 4 centers - Dec. 20-1938
 Elec. permit # 12184- Triangle Electric Co. - 5 neon transformers Dec. 20-1938

BUILDING PERMIT # 12172- 2 Neon Signs- Neon Sign & Service- \$ 400.00- Jan. 11-1939 -
 Elec. permit # 12324 - AST- 2 sign outlets; 1 center of distribution- Jan. 10-1939
 Elec. permit # 12345- Triangle Electric - 2 neon transformers- Jan. 11-1939

METRO ORD. # 75-34
 RECERTIFICATION DATE: 4-16-78
 PERMITS RETURNED TO OWNER JULY 29, 1944

Lot 9 & 10 Block 15 Subdivision OCEAN BEACH ADDN #3 1001 Collins Avenue
 ALTERATIONS & ADDITIONS

Building Permits: # 38784 Five 1/2 HP Mitchell window air condition units- Seaboard Air Conditioning Co. - Owner, Mechanic -OK-A. Flaag 9-11-52 \$ 1,000.... June 25, 1952
 # 39226 Flat Metal sign - Neon Sign & Service - \$ 250... Aug. 19, 1952
 # 42272 Enlarging Card Room -and- Extending Terrace & Fence: H.M. Giller, arch: \$ 2,000: July 29, 1953
 # 45737 Painting....V. J. Allison \$ 800.00 Sept. 7, 1954
 #54286 Miami Beach Jalousie Co: Remove 108 casement windows & replace with jalousies - \$2000.00 - August 26, 1957
 #78956 Navaldo Painting Co.: High pressure clean and paint exterior. \$2,000. 9/18/67 OK WHITE 1/10/68

Plumbing Permits: #37511 Florida Fuel Oil: one hot water boiler November 3, 1955

Electrical Permits: # 36929 Emanuel Electric Co: 10 motors- July 7, 1952 OK- Heginniss 8-26-52
 # 37318 Neon Sign & Service: 1 neon transformer - Aug. 19, 1952
 # 40277 Emanuel Electric: 1 Switch Outlet, 2 Receptacles, 2 Light Outlets, 2 Fixtures: Aug 28, 1953 OK 1/14/54 HOR
 #50582 E & S Elec: 1 Vibration - Aug. 6, 1957

ALTERATIONS & ADDITIONS

Building Permits: # 12988- Recreation Room and Card Room- Jesse Montr, contractor-\$1,000.00- Henry Hobauser- architect- Sep. 26-1939 *
 # 16289 - Painting outside- George Poeter, painter- \$ 200: - Oct. 15, 1941
 # 18745. Painting (inside) Renovation after Army occupation.. \$ 1,000.... M. Kalof, painter July 29, 1944 --
 # 19650 Repairs.. Giller Contracting Company \$ 175..... January 23, 1945
 # 19975 Garage building - (owner) \$ 100..... May 1, 1945
 # 25087 Air Cooling - Koldaire, Inc. \$ 4,000... August 4, 1947
 # 25871 Painting- outside - Elmar Rasmat..... \$ 1,000..... Nov. 1, 1947
 # 30940 Painting - Simon H. Burr, contractor \$ 600..... October 4, 1949
 # 32031 Concrete block wall- dot over 1/4 ft. high- Owner \$ 200... Feb. 20, 1950 (W.G. Meacham)
 # 32578 Remodeling 12 hotel rooms into 6 apartment units- all work inside of building- Gerard Pitt, architect; Owner building \$ 700..... MAY 17, 1950
 # 37093 Roof repairs - Pearce Mu Roof Coating Co., contr. \$ 125..... Oct. 1, 1951
 # 37355 Painting - exterior - Samuel Pollock, contr. \$ 1,000....Nov. 5, 1951

Plumbing Permits: # 12560- Stolpman- 1 sink - Oct. 13-1939
 # 16763 - Schweitzer - 3 lavatories- Sept. 3, 1942
 # 29792 Futch & Roberts - 6 Sinks, May 22, 1950

Electrical Permits: # 13500- AST- 1 switch, 5 light outlets; 5 receptacles; 5 fixtures- Oct. 9-1939
 # 20543 - Biscayne Electric: 1 receptacle. October 2, 1944
 # 24610 Straw: 3 motors, 3 centers of Distribution, 1 Service-Equipment---August 5, 1947
 # 31409 Unity Electric: 3 refrigerator outlets, 3 range outlets - June 1, 1950

ALTERATIONS & ADDITIONS

Building Permits:
 #54703 Vilare Painting: Entire exterior painting - \$1450.00 - Oct. 16, 1957
 # 65332 Gordon Roofing Co.: Replace a section approx. 25 sq. - \$450. - 11/13/61
 #68383 Acme Supply Co.: reroof - \$2,000 - 11/6/62
 #74692 Omer, Essex Hotel: Paint exterior - \$400 - 8/31/55
 #8481 - E. Powers - Exterior Painting \$100.00 5/15/70
 #1401 - Nestor Air Cond. - 5 air cond wind 8,500 BTU 11/13/70
 #85715 - Owner - Enclose stairway. \$300.00 12/2/70
 #00517 - W.E. Morris Roofing - Reroofing Card Room - \$200.00 2/4/72
 #3475-Jose Navarro-Pressure cleaning and exterior painting-\$2800-6-27-73
 #03175- Amber Oil Corp.- 450,000BTU hot water boilers- 1-6-75
 #44889 - Pitch Plumb - 10 rgh - 10 set sink residence - 10 gas stoves
 Plumbing Permits:
 5/8/81 - #59473 - All Temp Plumbing - Riser x7 - \$112.00

Electrical Permits:
 #54399: P & R Air Conditioning: Install 10-3/4 Ton window unit 9/9/57 OK 10-31-57 Flaag
 #60773 Jones Elec: Telephone booth outlet - 4/1/64
 #70673-Mack Electric-Fire Damage-7-18-73
 #71214-Electrotech Contr.- 13 outlets-3-25-74
 #77267--Ocean Electric--Service repair--6/30/81

1 BUILDING CARD: 1001 COLLINS AVE (MAIN BLDG)
 SCALE: N.T.S.

WARWICK APARTMENTS

Owner WL, MECHANIC Mailing Address Permit No. 10367

Lot 11 Block 15 Subdivision Ocean Beach #2 No. 1021 Street Collins ave. Date Oct. 4-1937

General Contractor Masterbilt Housing Corp. Address

Architect Henry Hchauser Address 1188

Front 35 Depth 106 Height Stories 3 Use APARTMENT 16 units

Type of construction c-b-s- Cost \$ 41,000.00 Foundation spread footing Roof flat

Certificate of occupancy #99

Plumbing Contractor Marwkoitz & Resnick # 10450 Address Date Oct. 5-1937

No. fixtures 73 Rough approved by Gas OK JJ Farrey- 10- 25-1937 Date

Gas Receptacles Gas 18

Plumbing Contractor Address Date

No. fixtures set Final approved by Date

Sewer connection -- 1 -- Septic tank Make Date

Electrical Contractor Greater Miami Elec. Co. # 9557 Address Date Oct. 16-1937

No. outlets 105 Heaters Stoves Motors Fans Temporary service- Oct. 8-1937

106-receptacles- 18 refrigerators- # lights & saw- Greater Miami Elec

Rough approved by 19 centers Date # 9509

Electrical Contractor Greater Miami Elec. Co. # 9950 Address Date Nov. 22-1937

No. fixtures set 105 - Final approved by #10021- Greater Miami Elec. Co. - 1 motor- 11/29th-1937--

Date of service December 2nd, 1937 #10105- Greater Miami Elec. Co. 19 centers of dist. 12-7-1937

Alterations or repairs ELCTRIC # 18700-- U.S.A.F.P.T.O. 1 master meter Date 7-9-1942

Electrical # 20269... USAAPTTC.. Restoration of metering... May 24, 1944

BUILDING PERMIT # 18545 - Painting - outside and in - Owner - \$ 1,000.....Aug. 30, 1944

BUILDING PERMIT # 22528- Painting windows- Morris Kalof- \$200.00 ---May 29, 1946

METRO ORD. # 75-34
RECERTIFICATION DATE: 5-31-28

BUILDING PERMITS: #SB881355 - 8-24-88 - Gerald Attardi - Exploratory permit - \$5,000.00

BUILDING PERMIT # 31556 Flat wall sign - Neon Sign & Service, contr. \$ 100...Nov. 29, 1949

#88314-Owner-Repairing fire damage-non-structural-\$6000-7-13-73

Plumbing 56121-Peoples Gas-meter set(gas)5-25-78

#56166-Super Plumbing- 1 heater-new installation, 1 repair-6-8-78

ELECTRICAL PERMIT # 30260 Neon Sign & Service: 1 neon transformers - Nov. 29, 1949 Meginniss 2-14-50

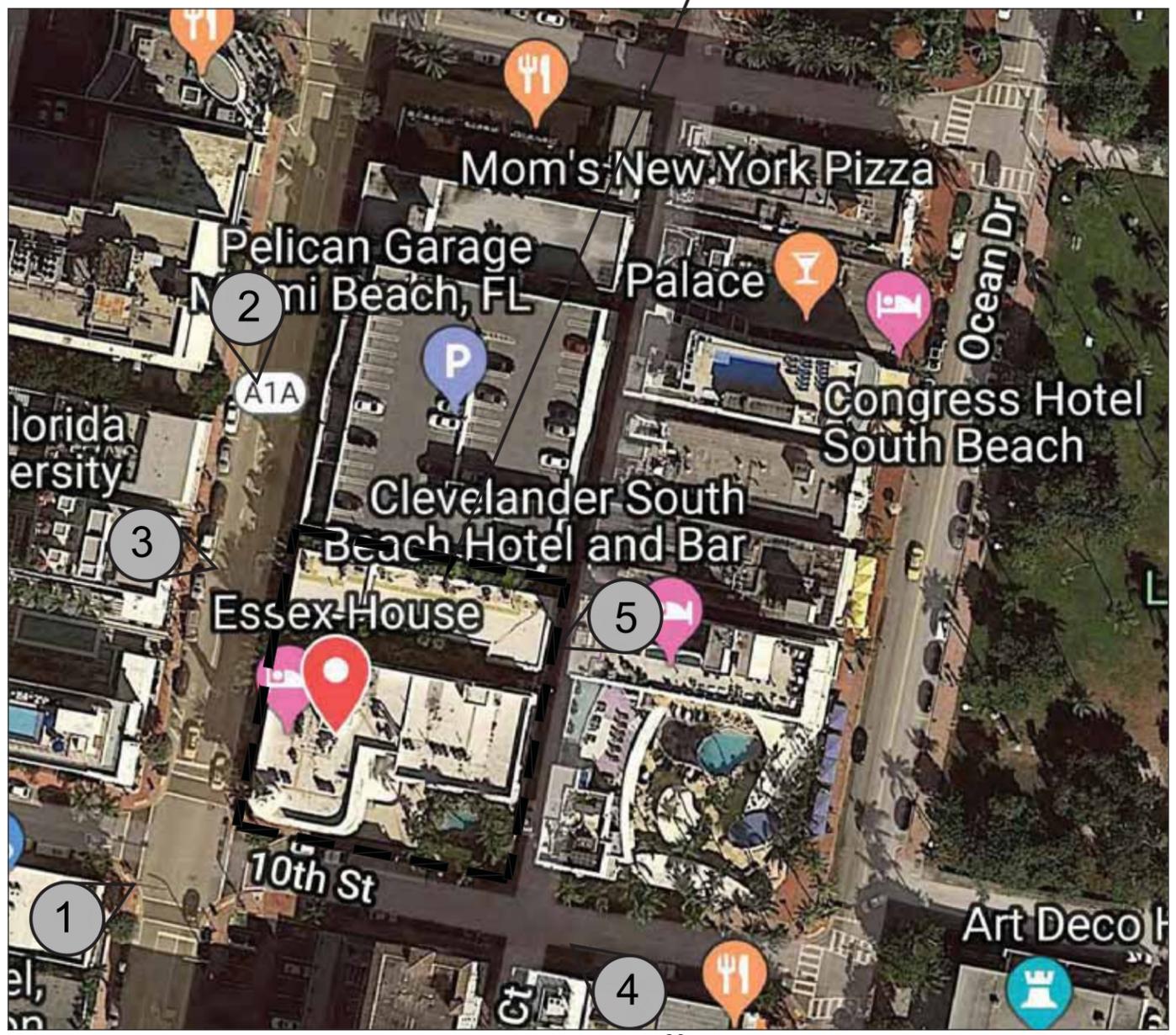
COASTAL CONTROL ZONE
CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK COST	CUMULATIVE WORK COST	APPRAISED BLDG. VALUE BEFORE REMODEL	COMMENTS	BUILDING PERMIT NO.
8-24-88	ISSUED	OF WORK	Exploratory	\$5,000.00			SB881355

1 BUILDING CARD: 1021 COLLINS AVE (ANNEX)
SCALE: N.T.S.



1001 COLLINS AVE



1 AERIAL VIEW / PHOTO KEY PLAN
SCALE: N.T.S.



1 COLLINS AVE & 10TH ST
SCALE: N.T.S.





2 COLLINS AVE: FACING SE
SCALE: N.T.S.



3 COLLINS AVE: FACING EAST
SCALE: N.T.S.



4 10TH ST: FACING NW
SCALE: N.T.S.



5 OCEAN CT: FACING SW
SCALE: N.T.S.

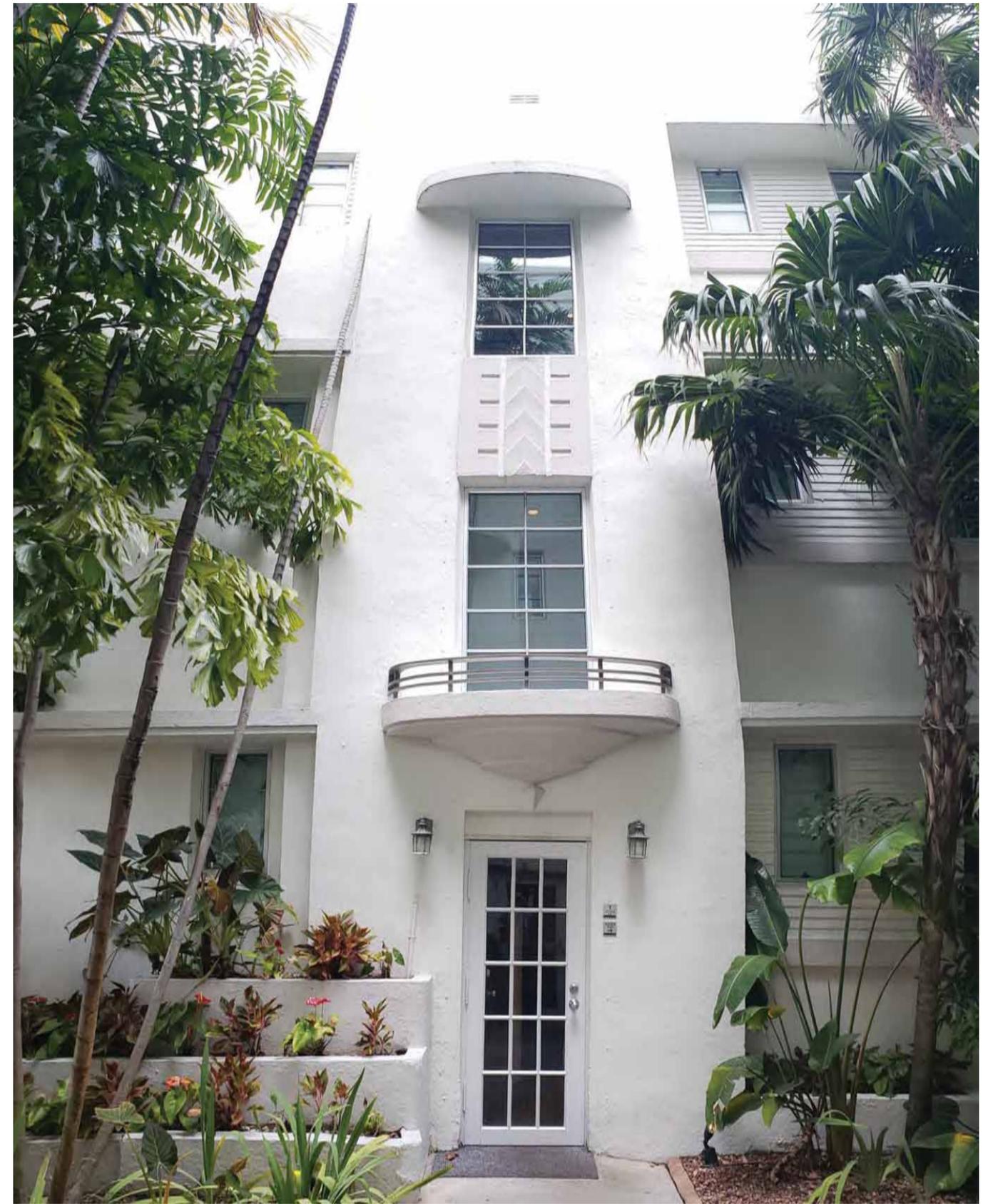




1 COURTYARD: FACING EAST
SCALE: N.T.S.



2 COURTYARD FACING NE
SCALE: N.T.S.



3 COURTYARD: EXISTING STAIRWELL ENTRY
SCALE: N.T.S.





1 EXISTING LOBBY
SCALE: NTS



2 EXISTING LOBBY
SCALE: NTS



3 LOBBY: HISTORIC PHOTO
SCALE: NTS



4 EXISTING LOBBY
SCALE: NTS



5 EXISTING LOBBY
SCALE: NTS





1

1000 COLLINS AVE

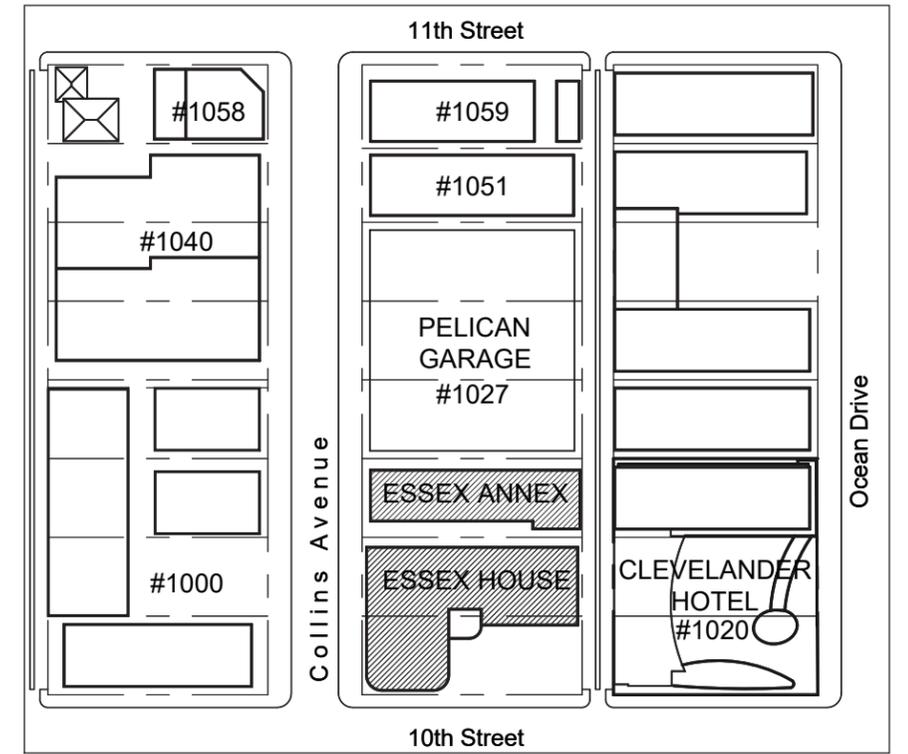
SCALE: N.T.S.



2

1000 COLLINS AVE

SCALE: N.T.S.



3

LOCATION PLAN

SCALE: 1/128"=1'-0"



4

1040 COLLINS AVE

SCALE: N.T.S.



5

1058 COLLINS AVE

SCALE: N.T.S.



6

1059 COLLINS AVE

SCALE: N.T.S.

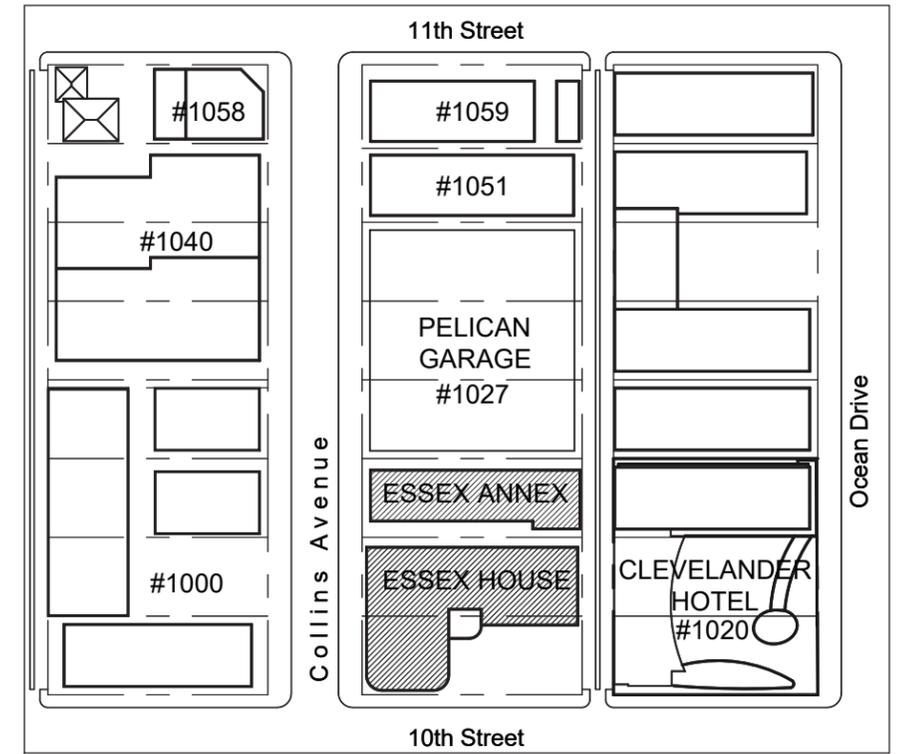




1 1051 COLLINS AVE
SCALE: N.T.S.



2 1027 COLLINS AVE
SCALE: N.T.S.



3 LOCATION PLAN
SCALE: 1/128"=1'-0"

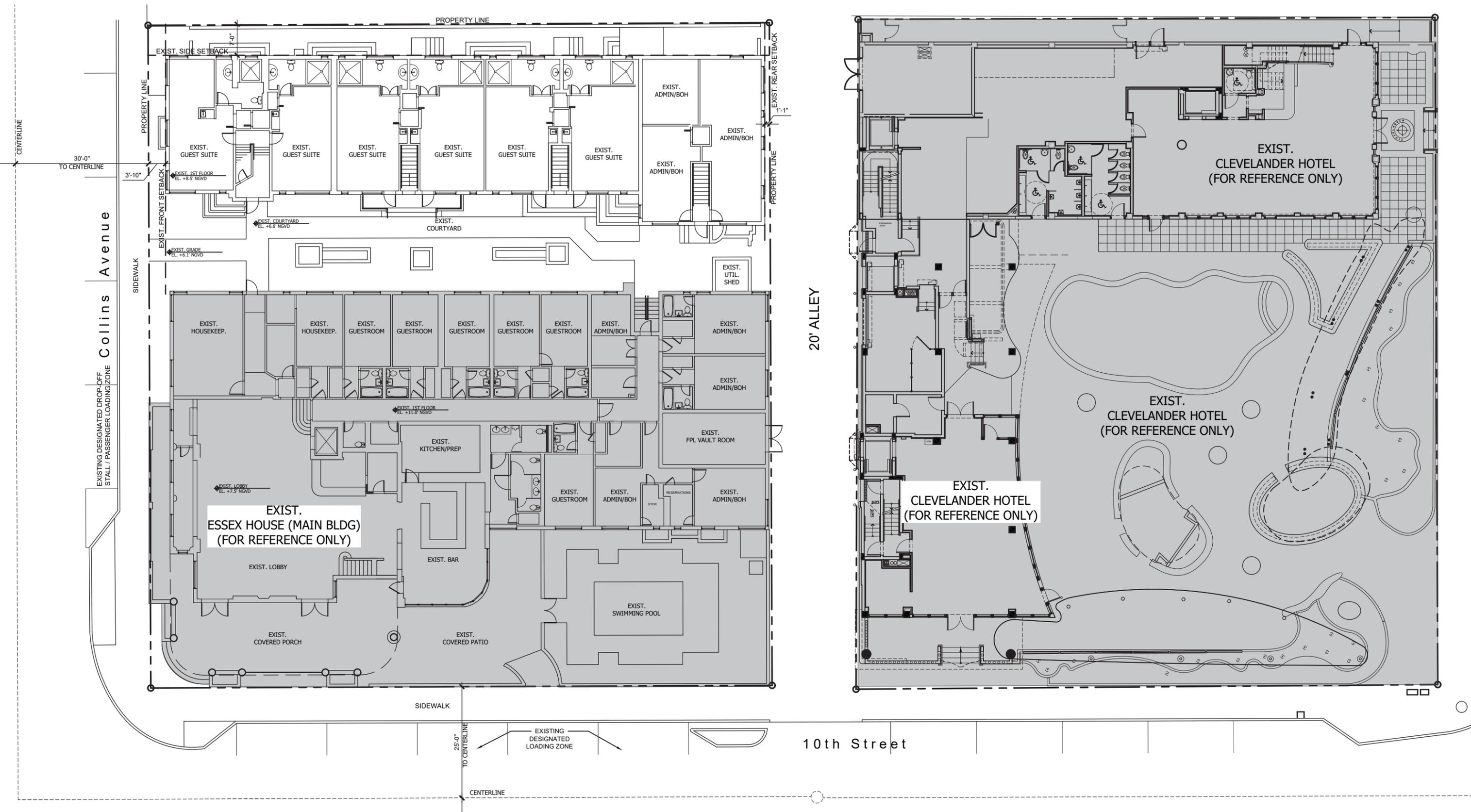


4 1020 OCEAN DRIVE
SCALE: N.T.S.



5 1020 OCEAN DRIVE
SCALE: N.T.S.





1

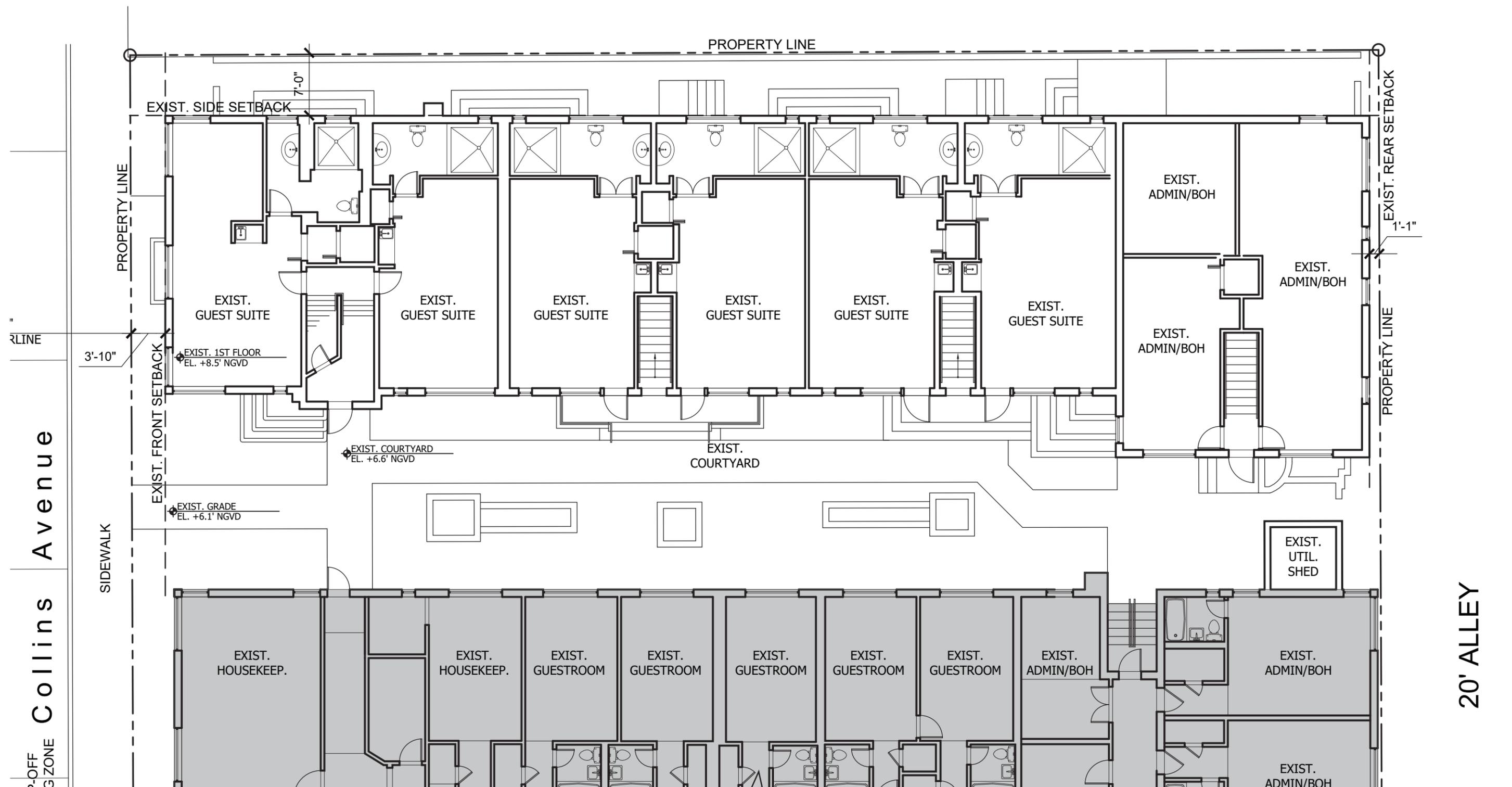
EXISTING SITE PLAN

SCALE: 1" = 20'



EXISTING TO REMAIN
NOT IN SCOPE OF WORK





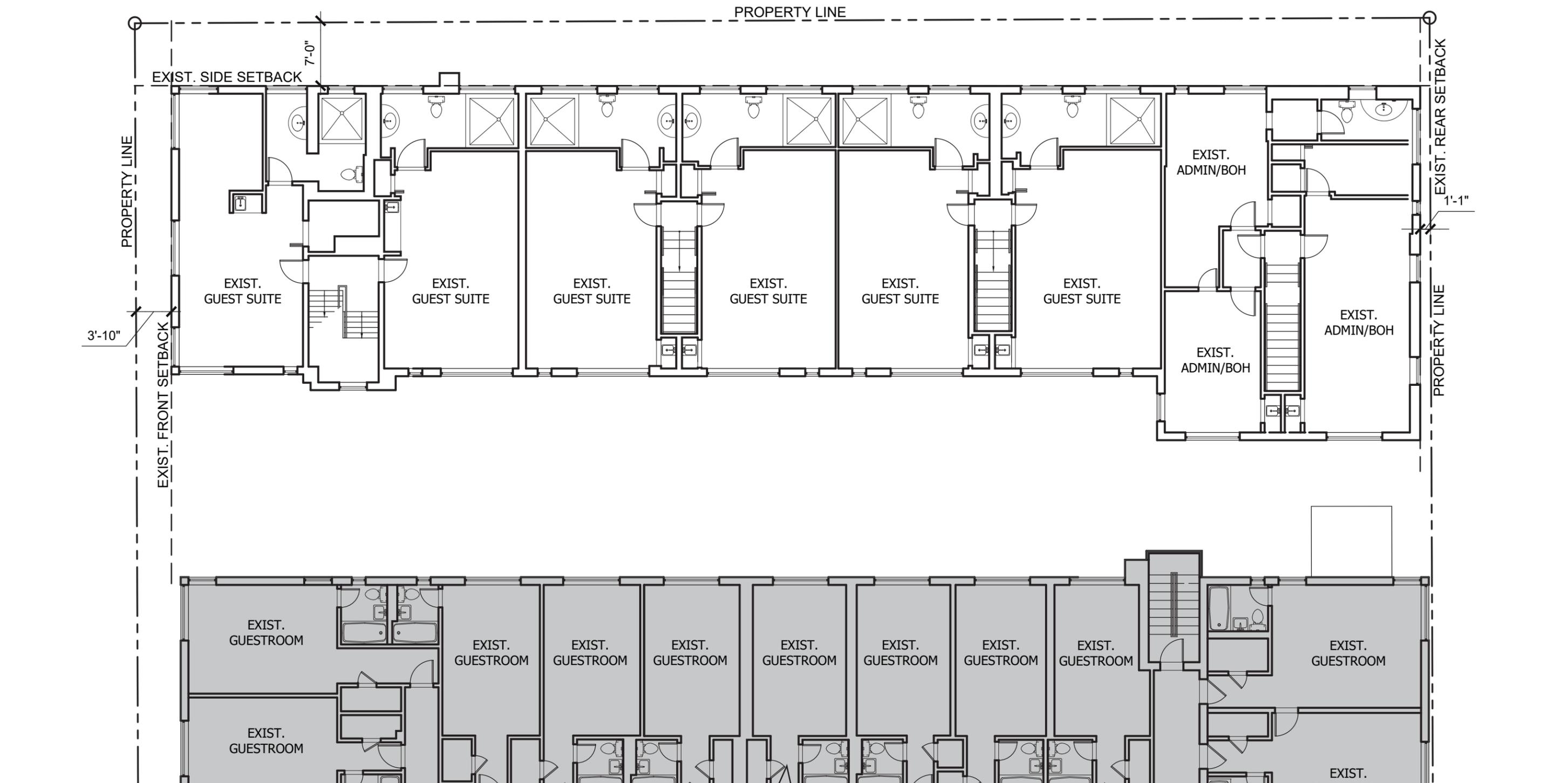
1 EXISTING GROUND FLOOR PLAN

SCALE: 3/32"=1'-0"



EXISTING TO REMAIN
NOT IN SCOPE OF WORK





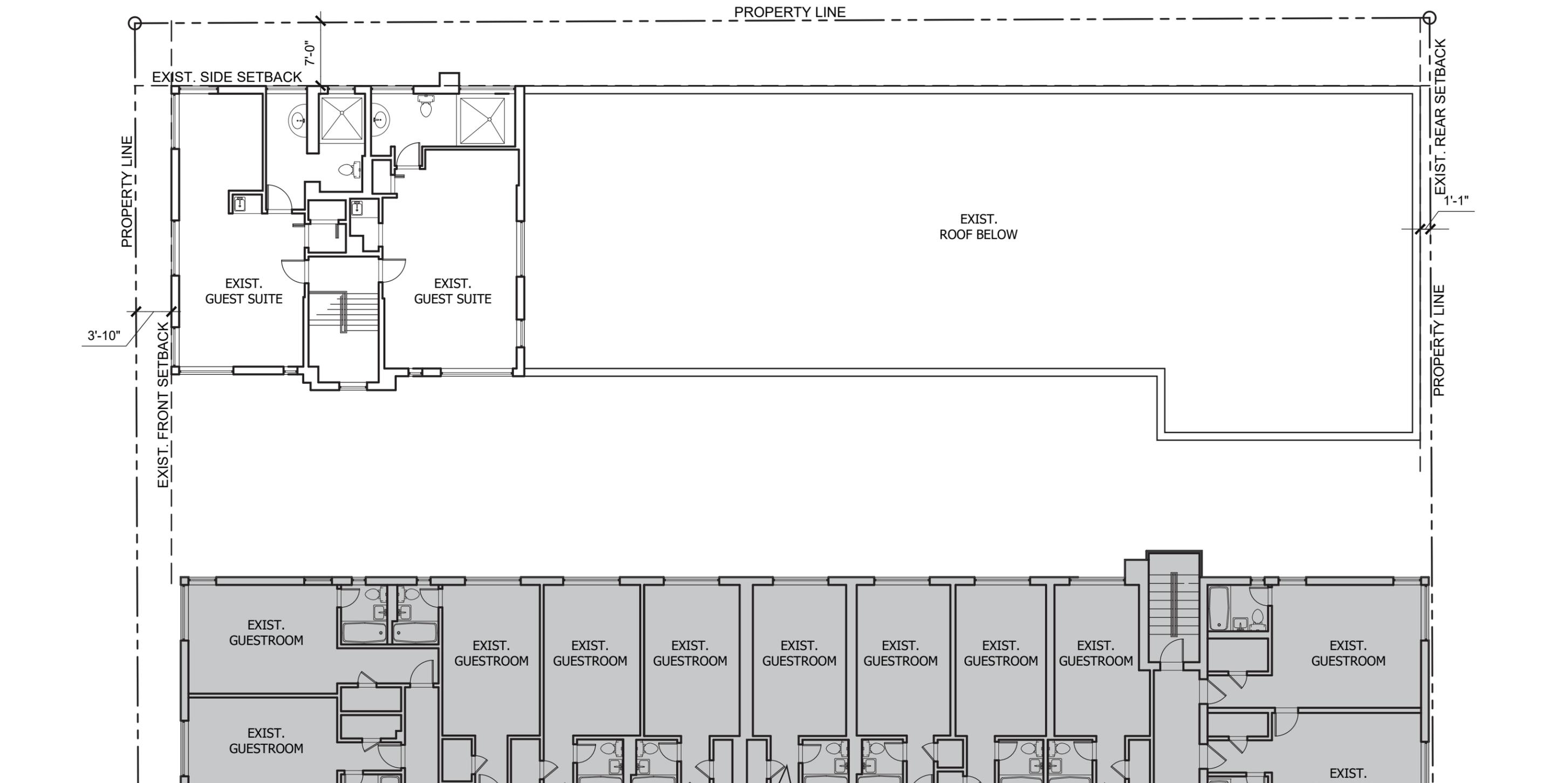
1 EXISTING SECOND FLOOR PLAN

SCALE: 3/32"=1'-0"



EXISTING TO REMAIN
NOT IN SCOPE OF WORK

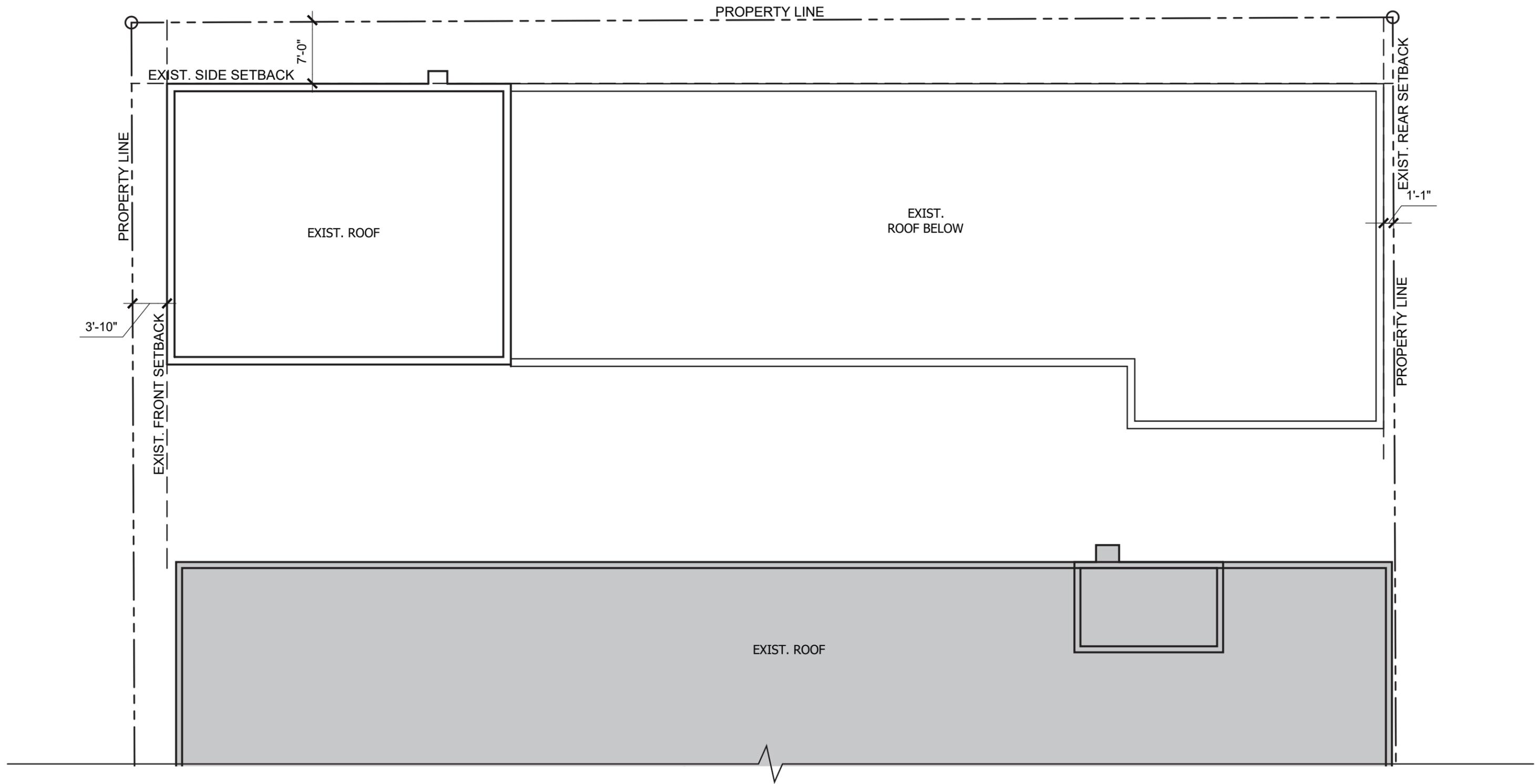




1 EXISTING THIRD FLOOR PLAN
SCALE: 3/32"=1'-0"

EXISTING TO REMAIN
NOT IN SCOPE OF WORK

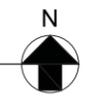




1

EXISTING ROOF PLAN

SCALE: 3/32"=1'-0"

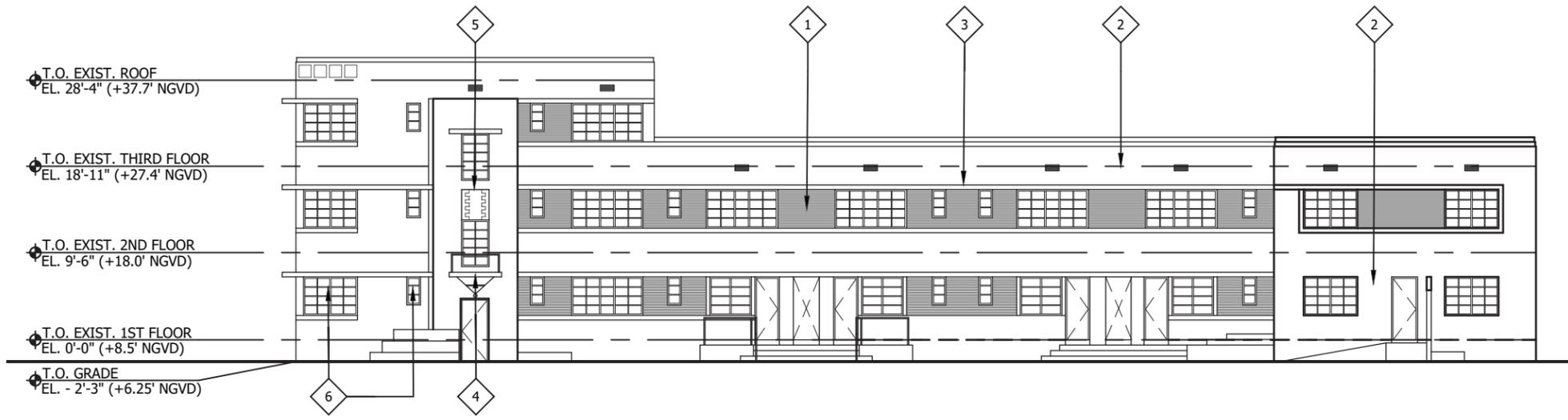


EXISTING TO REMAIN
NOT IN SCOPE OF WORK

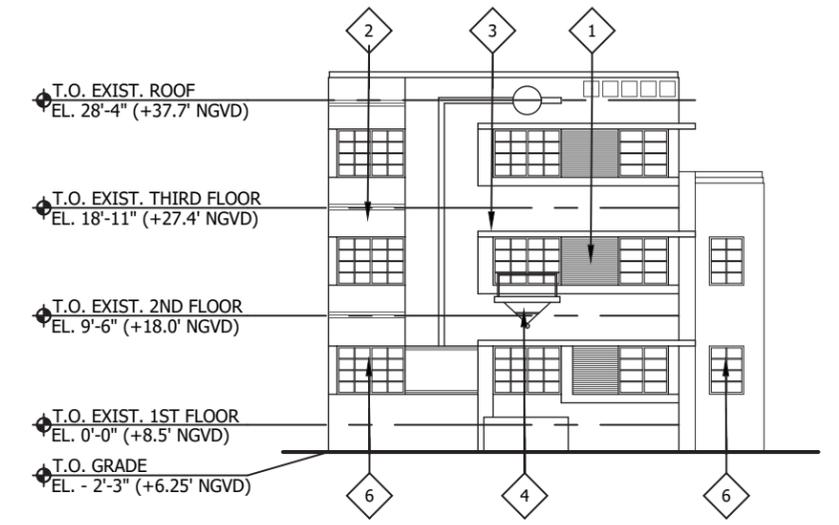


EXISTING ELEVATION LEGEND

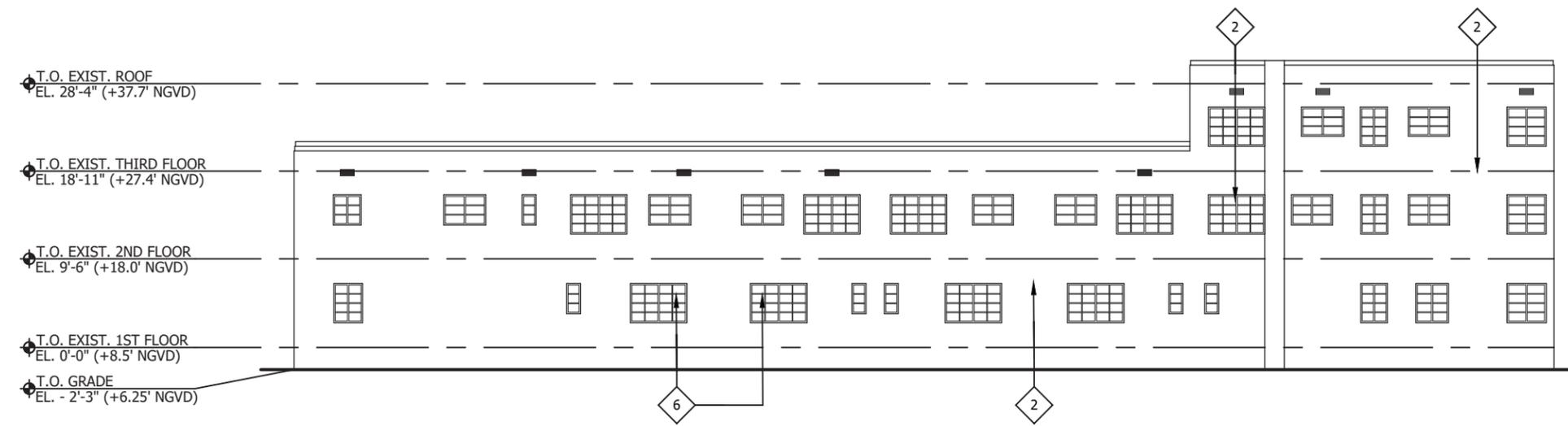
- 1 — EXISTING DECORATIVE STUCCO BANDS, TYP.
- 2 — EXISTING PAINTED STUCCO WALLS, TYP.
- 3 — EXISTING PAINTED STUCCO EYEBROW, TYP.
- 4 — EXISTING DECORATIVE BALCONETTE
- 5 — EXISTING ORNAMENTAL RELIEF
- 6 — EXISTING CASEMENT WINDOW TYP.



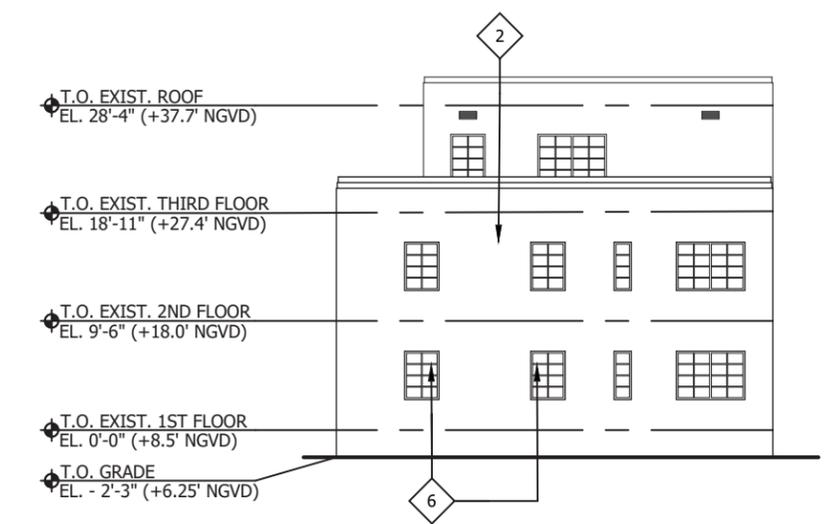
D EXISTING ANNEX SOUTH ELEVATION
SCALE: 1/16"=1'-0"



C EXISTING ANNEX WEST ELEVATION
SCALE: 1/16"=1'-0"



B EXISTING ANNEX NORTH ELEVATION
SCALE: 1/16"=1'-0"

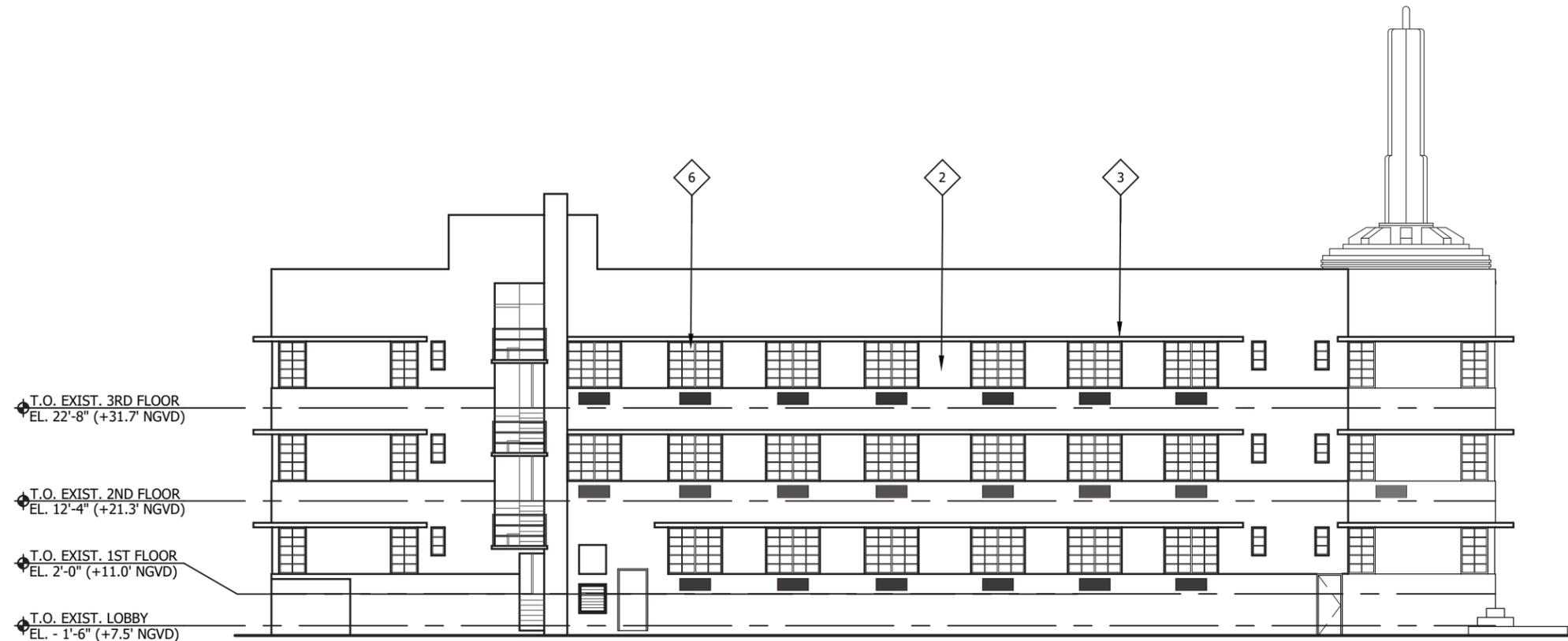


A EXISTING ANNEX EAST ELEVATION
SCALE: 1/16"=1'-0"

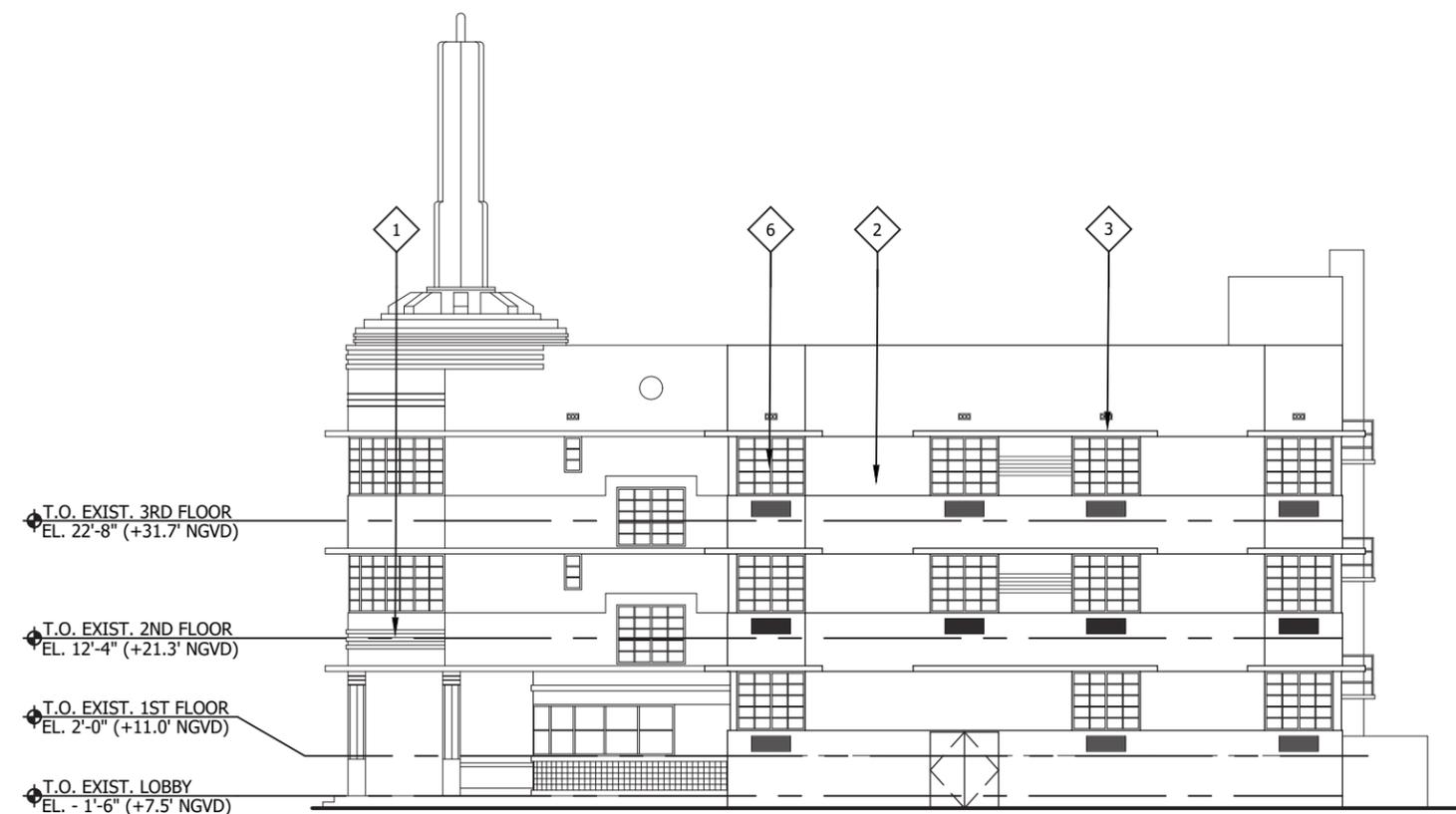


EXISTING ELEVATION LEGEND

- 1 — EXISTING DECORATIVE STUCCO BANDS, TYP.
- 2 — EXISTING PAINTED STUCCO WALLS, TYP.
- 3 — EXISTING PAINTED STUCCO EYEBROW, TYP.
- 4 — EXISTING DECORATIVE BALCONETTE
- 5 — EXISTING ORNAMENTAL RELIEF
- 6 — EXISTING CASEMENT WINDOW TYP.



A EXISTING ESSEX HOUSE NORTH ELEVATION: FOR REFERENCE ONLY
SCALE: 1/16"=1'-0"

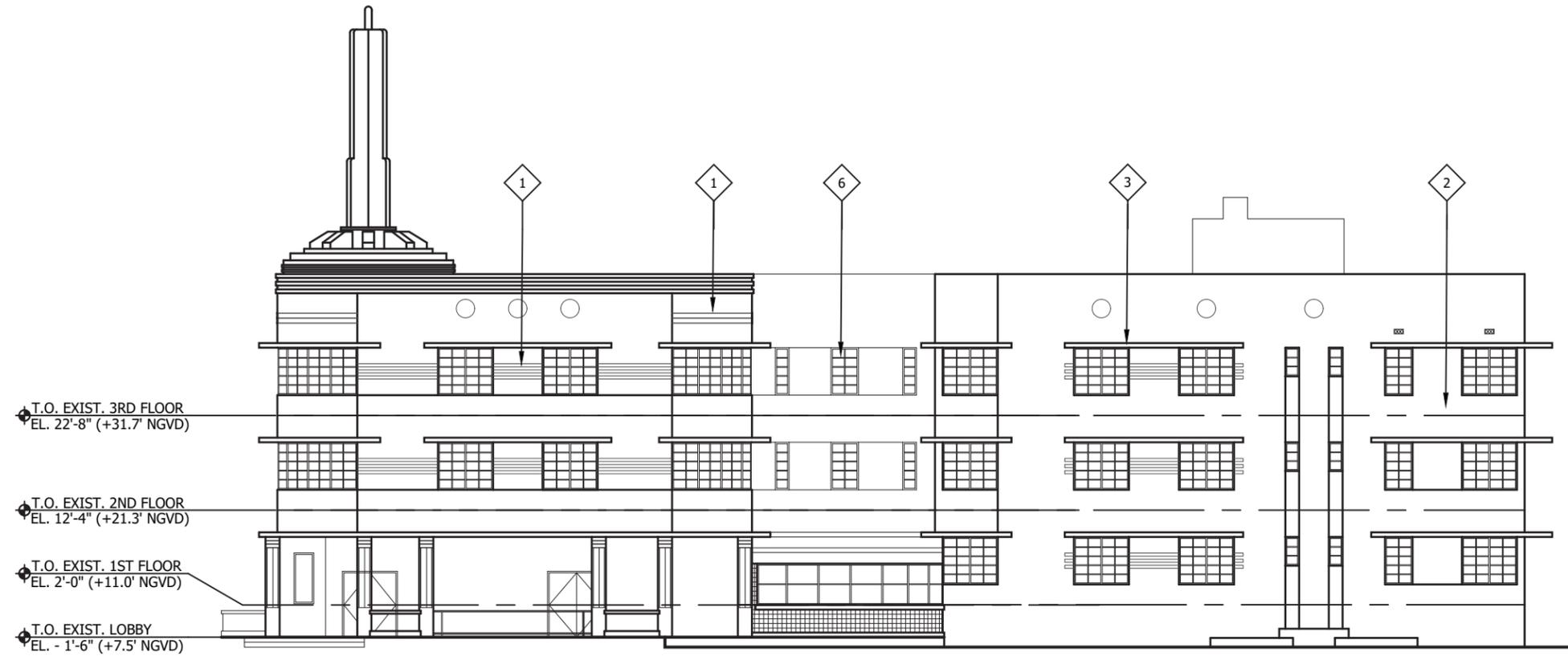


B EXISTING ESSEX HOUSE EAST ELEVATION: FOR REFERENCE ONLY
SCALE: 1/16"=1'-0"

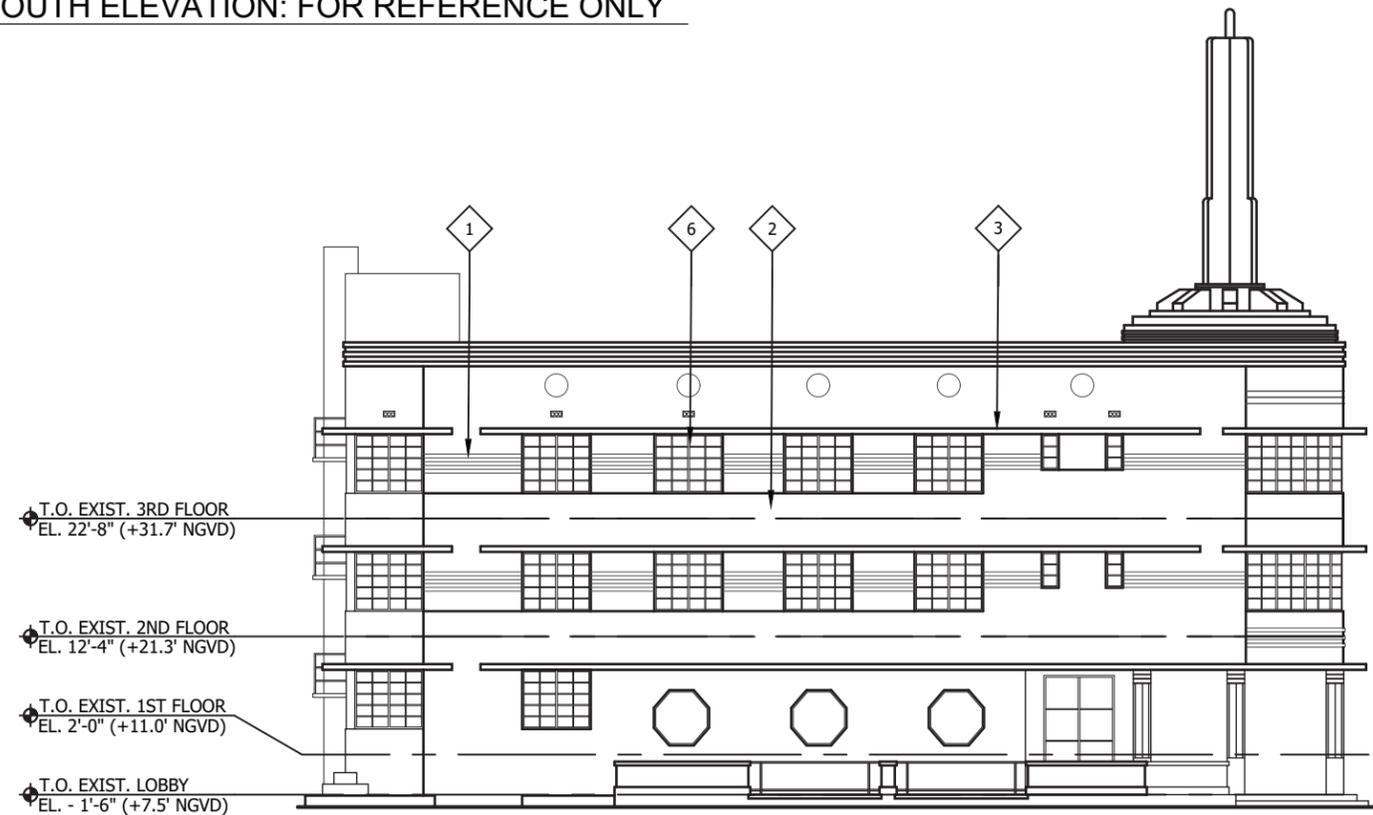


EXISTING ELEVATION LEGEND

- 1 — EXISTING DECORATIVE STUCCO BANDS. TYP.
- 2 — EXISTING PAINTED STUCCO WALLS, TYP.
- 3 — EXISTING PAINTED STUCCO EYEBROW, TYP.
- 4 — EXISTING DECORATIVE BALCONETTE
- 5 — EXISTING ORNAMENTAL RELIEF
- 6 — EXISTING CASEMENT WINDOW TYP.

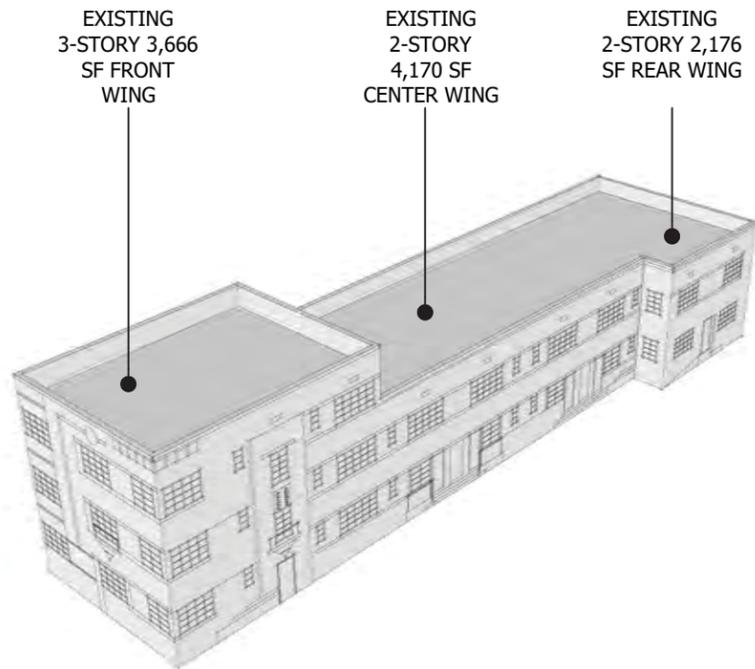


C EXISTING ESSEX HOUSE SOUTH ELEVATION: FOR REFERENCE ONLY
SCALE: 1/16"=1'-0"

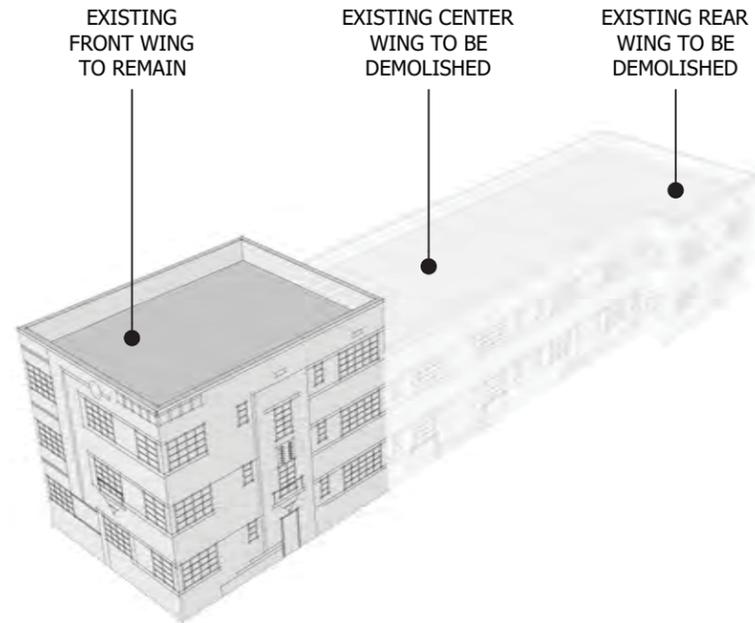


D EXISTING ESSEX HOUSE WEST ELEVATION: FOR REFERENCE ONLY
SCALE: 1/16"=1'-0"

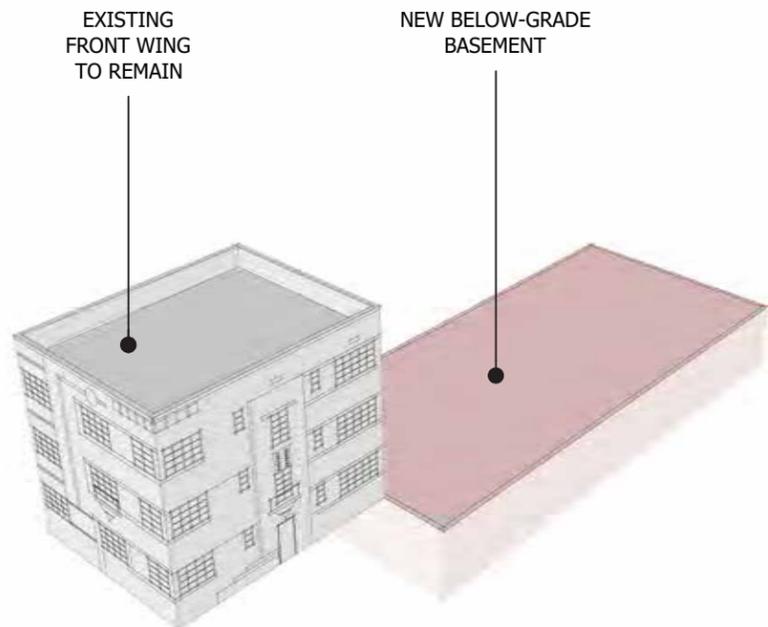




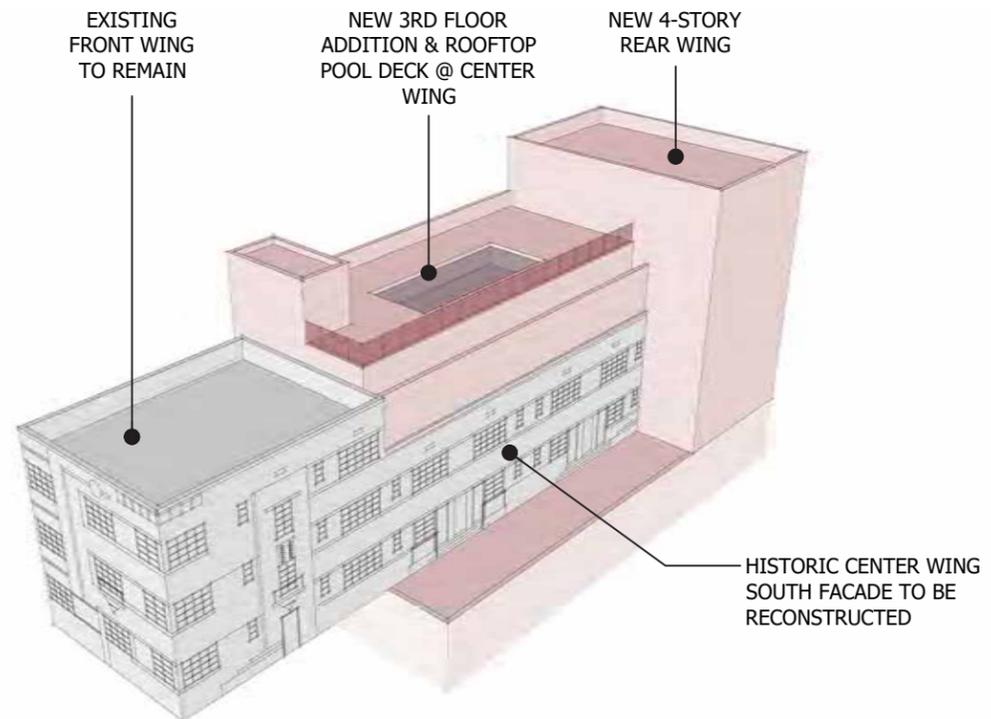
A EXISTING ANNEX BUILDING
SCALE: N.T.S.



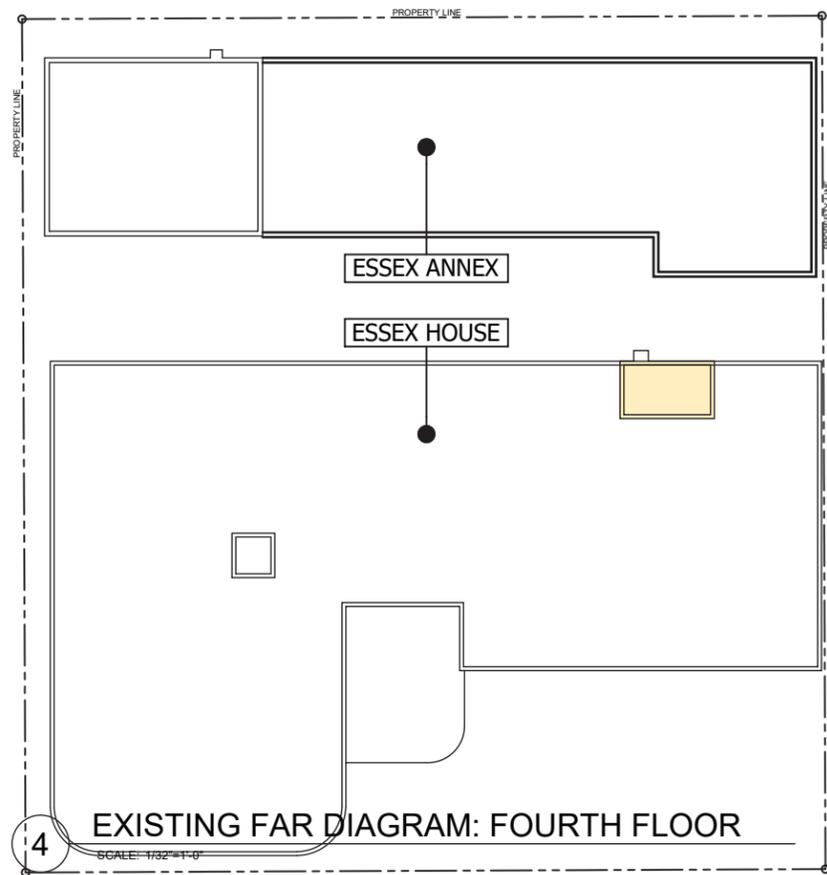
B PROPOSED SELECTIVE DEMOLITION
SCALE: N.T.S.



C PROPOSED BASEMENT CONSTRUCTION
SCALE: N.T.S.

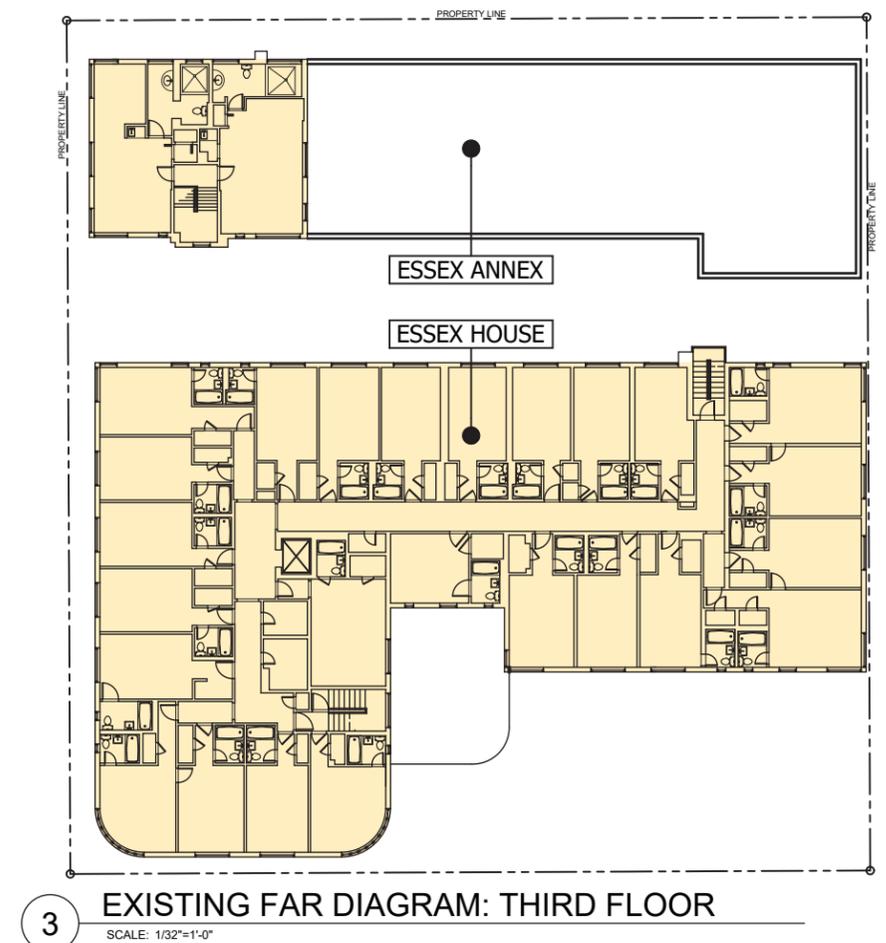
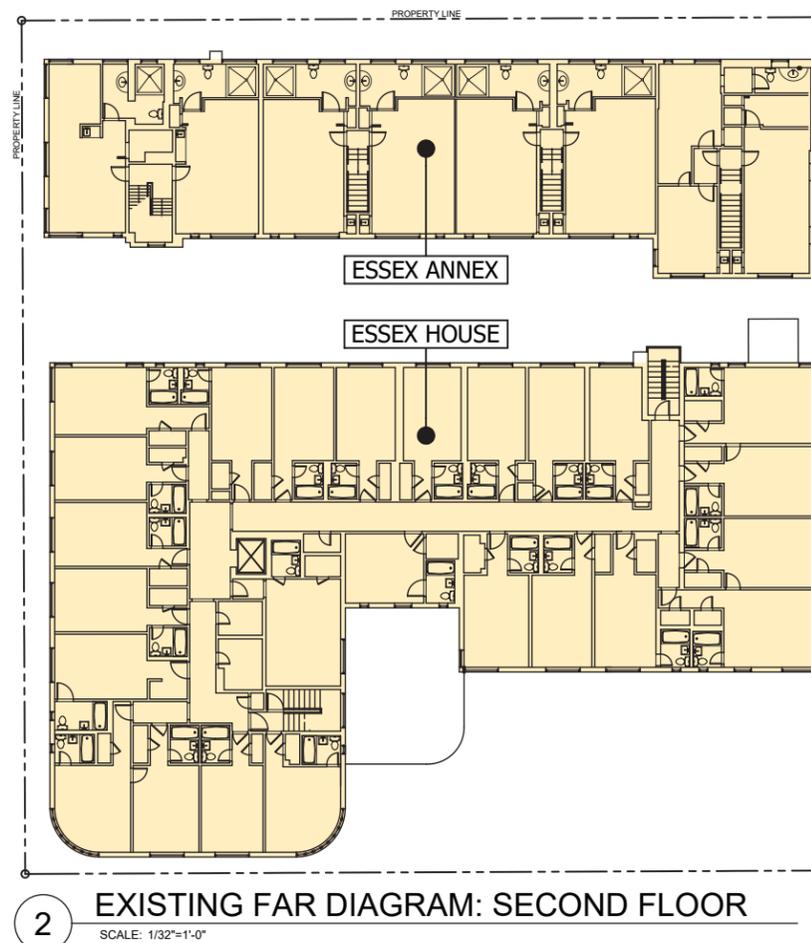
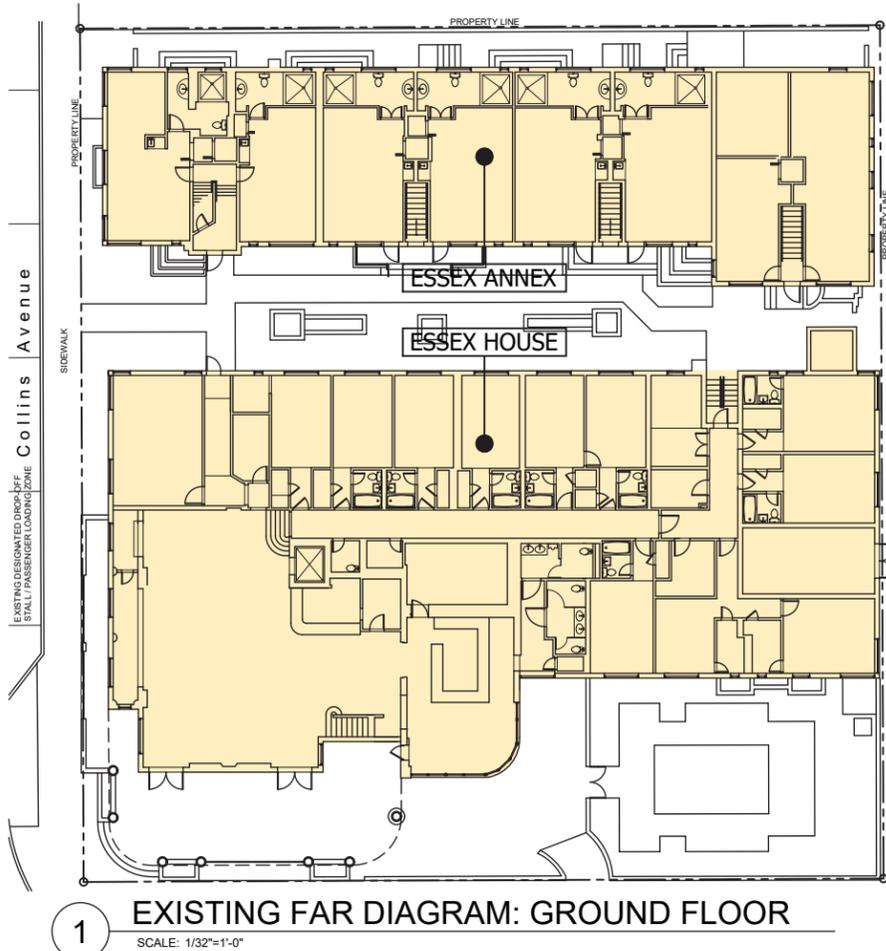


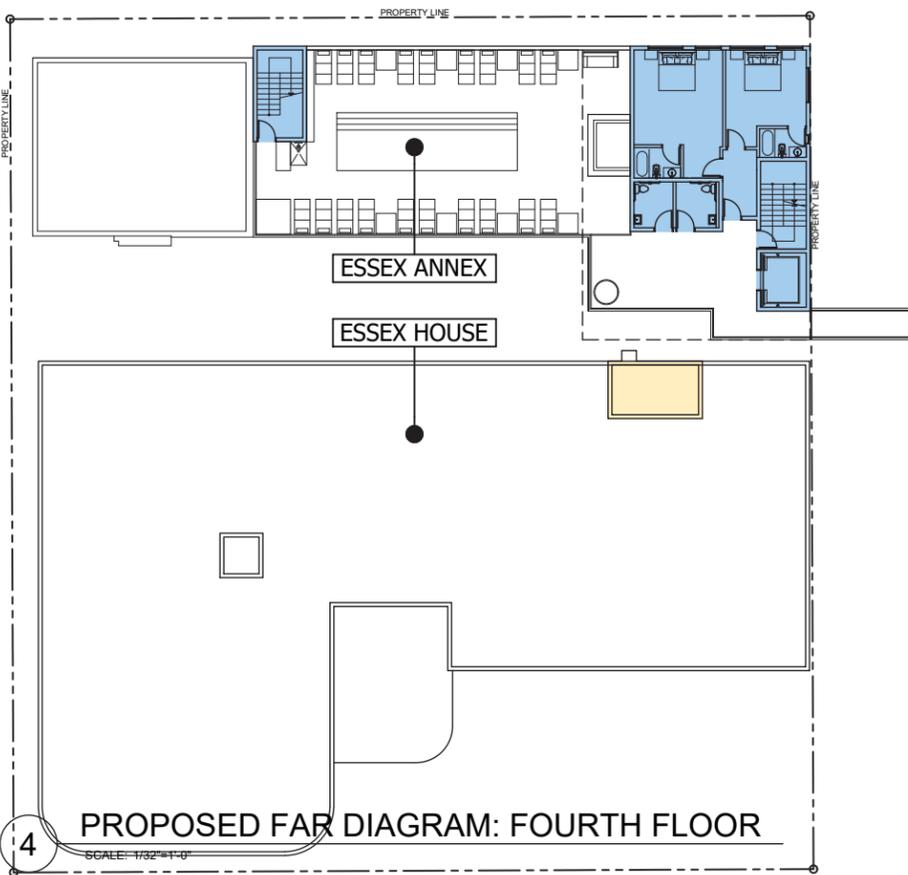
D PROPOSED NEW CONSTRUCTION
SCALE: N.T.S.



FLOOR AREA* SUMMARY (Square Feet)		
	Essex House	Essex Annex
Floor	Existing	Existing
Ground	8,371	4,434
Second	8,720	4,434
Third	8,720	1,206
Fourth	165	-
Total	25,976	10,074
TOTAL EXISTING FAR	36,050	
MAXIMUM FAR	20,860 sf (Lot Area 140' x 149') x 2.0 = 41,720	

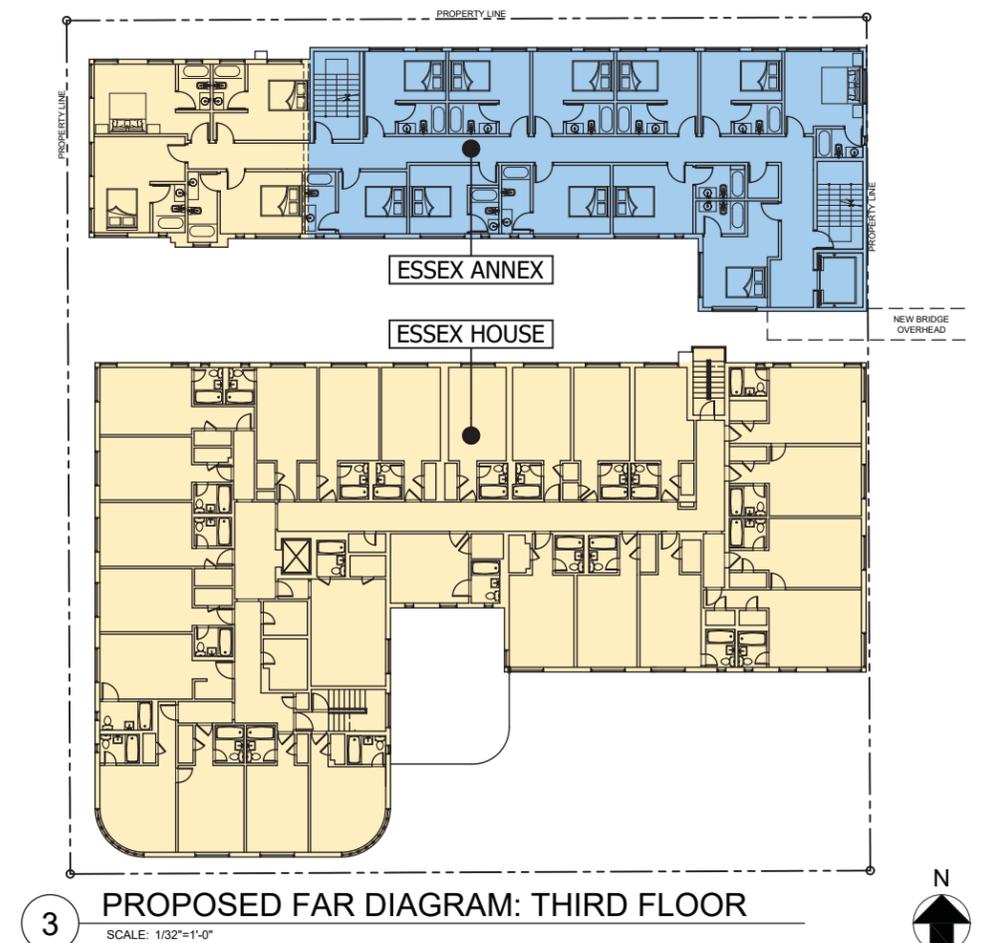
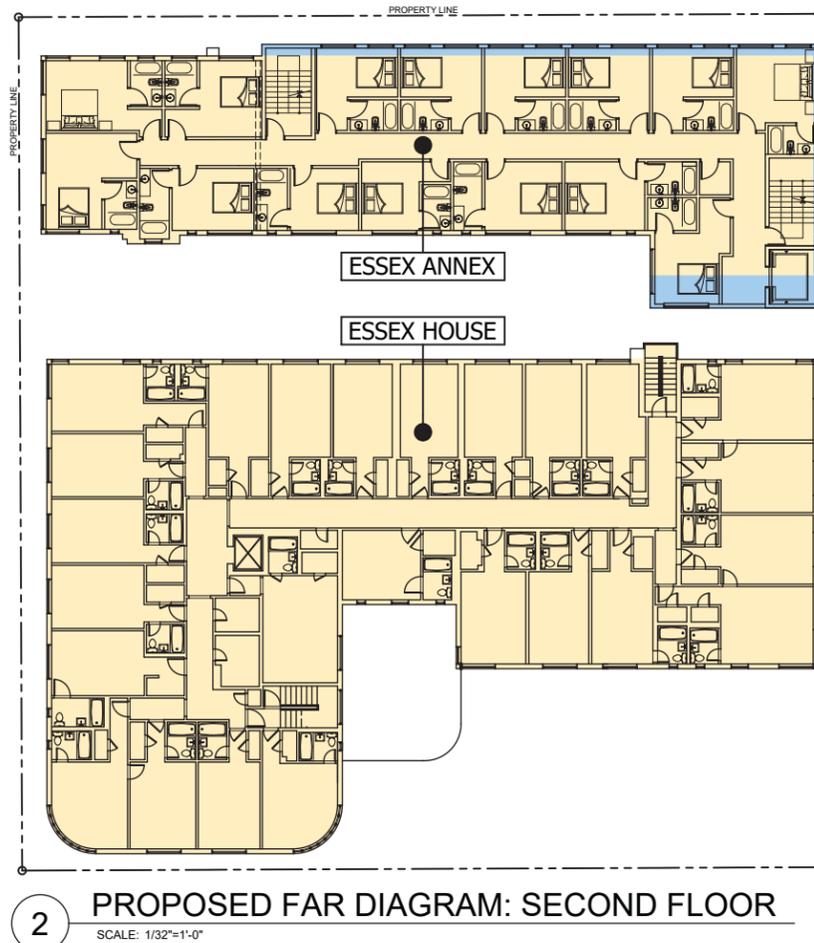
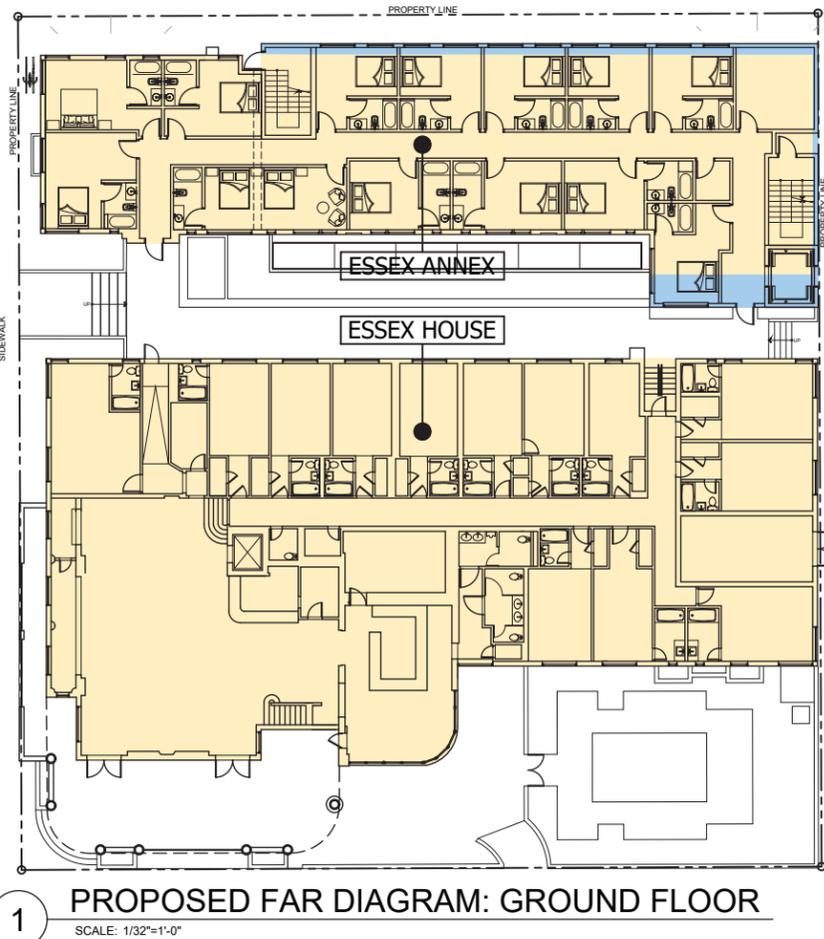
* "Floor area", as defined by City of Miami Beach Land Development Regulations, Section 114-1, Definitions.





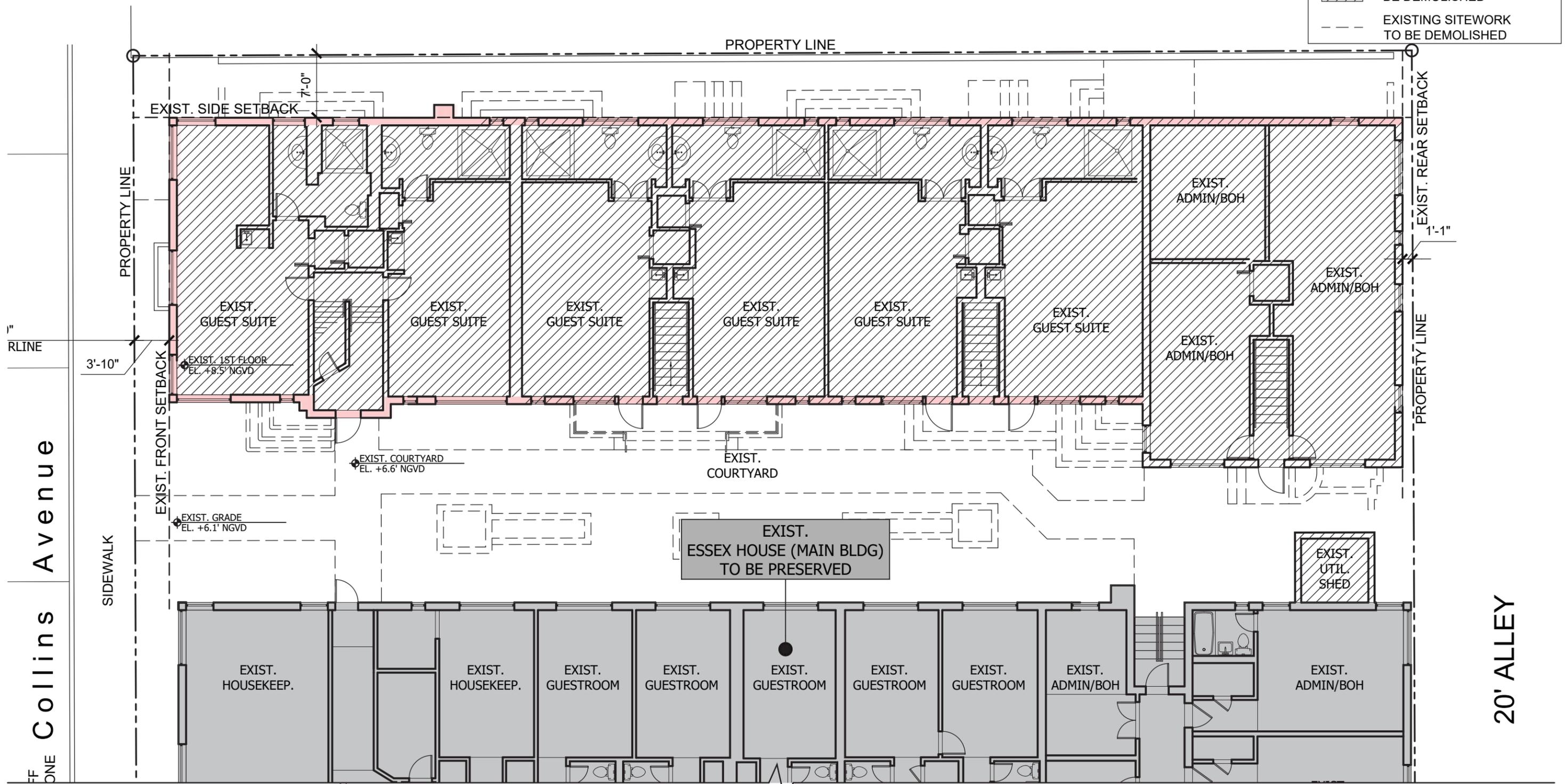
FLOOR AREA* SUMMARY (Square Feet)						
Floor	Essex House			Essex Annex		
	Existing	Additional	Total	Existing	Additional	Total
Ground	8,371	-67	8,304	4,434	399	4,833
Second	8,720	Existing	8,720	4,434	409	4,843
Third	8,720	Existing	8,720	1,206	3,637	4,843
Fourth	165	Existing	165	-	1,292	1,292
Total	25,976	-67	25,909	10,074	5,737	15,811
TOTAL EXISTING FAR						36,050
TOTAL ADDITIONAL FAR						5,670
TOTAL PROPOSED FAR						41,720
MAXIMUM FAR						20,860 sf (Lot Area 140' x 149') x 2.0 = 41,720

* "Floor area", as defined by City of Miami Beach Land Development Regulations, Section 114-1, Definitions.
 New basement meets the criteria prescribed in Exemption #9 of 'Floor area' definition, and thus exempt from FAR calculations.



DEMOLITION LEGEND

- EXISTING EXTERIOR WALLS TO BE PRESERVED
- EXISTING WALLS TO BE RECONSTRUCTED
- EXISTING AREAS TO BE DEMOLISHED
- EXISTING SITEWORK TO BE DEMOLISHED

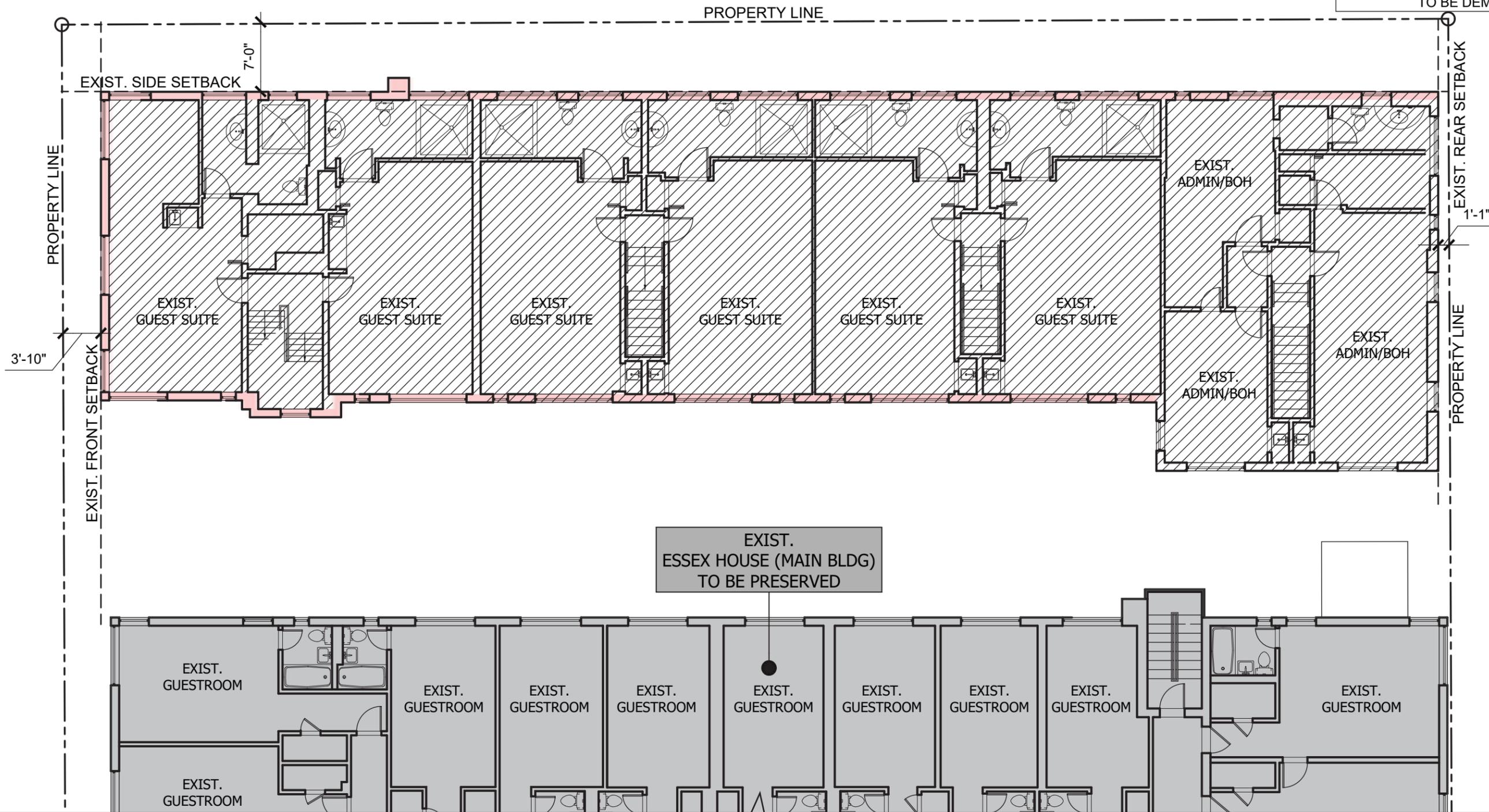


1 DEMOLITION GROUND FLOOR PLAN
SCALE: 3/32"=1'-0"

EXISTING TO REMAIN NOT IN SCOPE OF WORK



DEMOLITION LEGEND	
	EXISTING EXTERIOR WALLS TO BE PRESERVED
	EXISTING WALLS TO BE RECONSTRUCTED
	EXISTING AREAS TO BE DEMOLISHED
	EXISTING SITEWORK TO BE DEMOLISHED



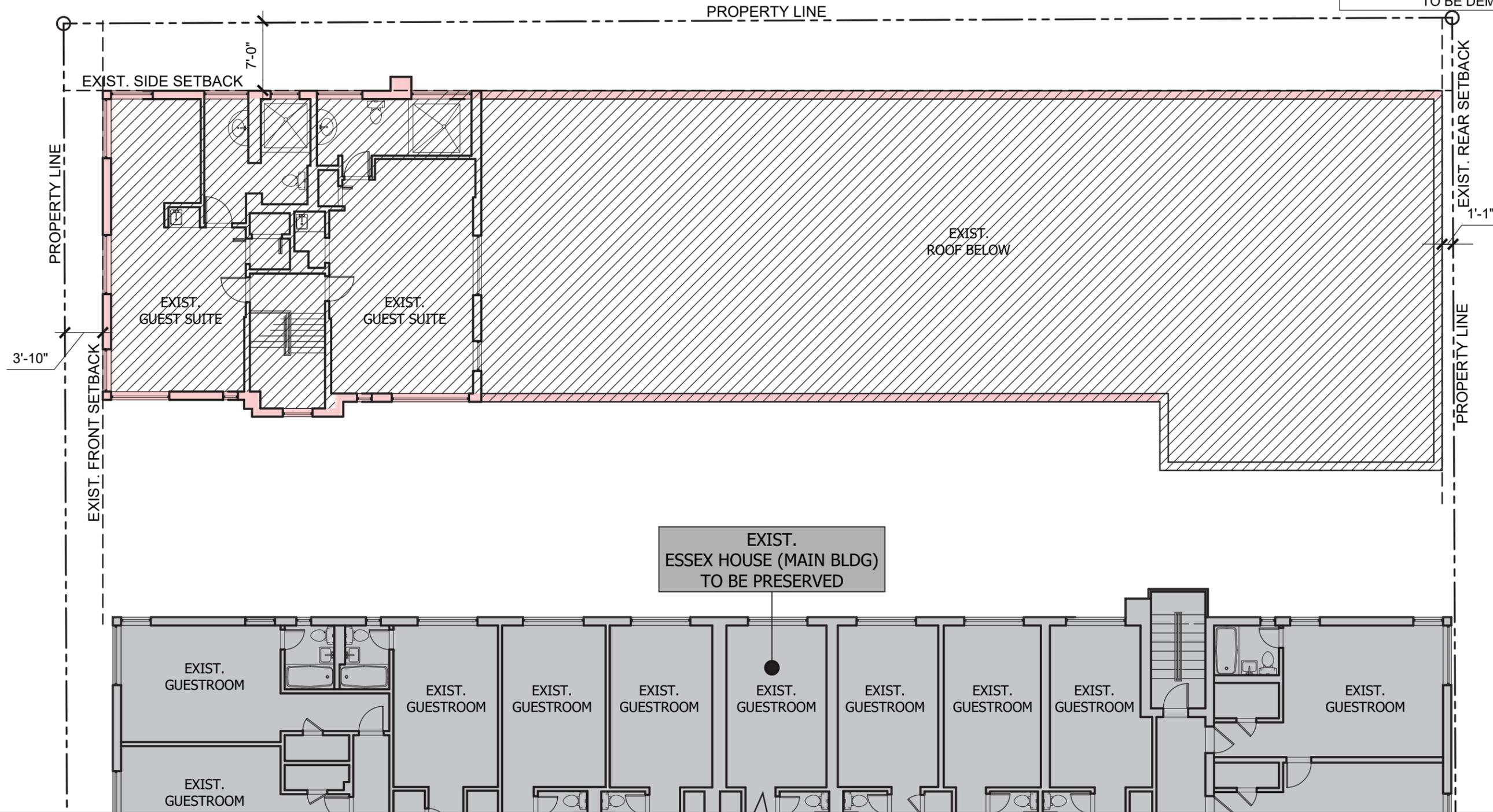
1 DEMOLITION SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

 EXISTING TO REMAIN NOT IN SCOPE OF WORK



DEMOLITION LEGEND

-  EXISTING EXTERIOR WALLS TO BE PRESERVED
-  EXISTING WALLS TO BE RECONSTRUCTED
-  EXISTING AREAS TO BE DEMOLISHED
-  EXISTING SITEWORK TO BE DEMOLISHED



1 DEMOLITION THIRD FLOOR PLAN

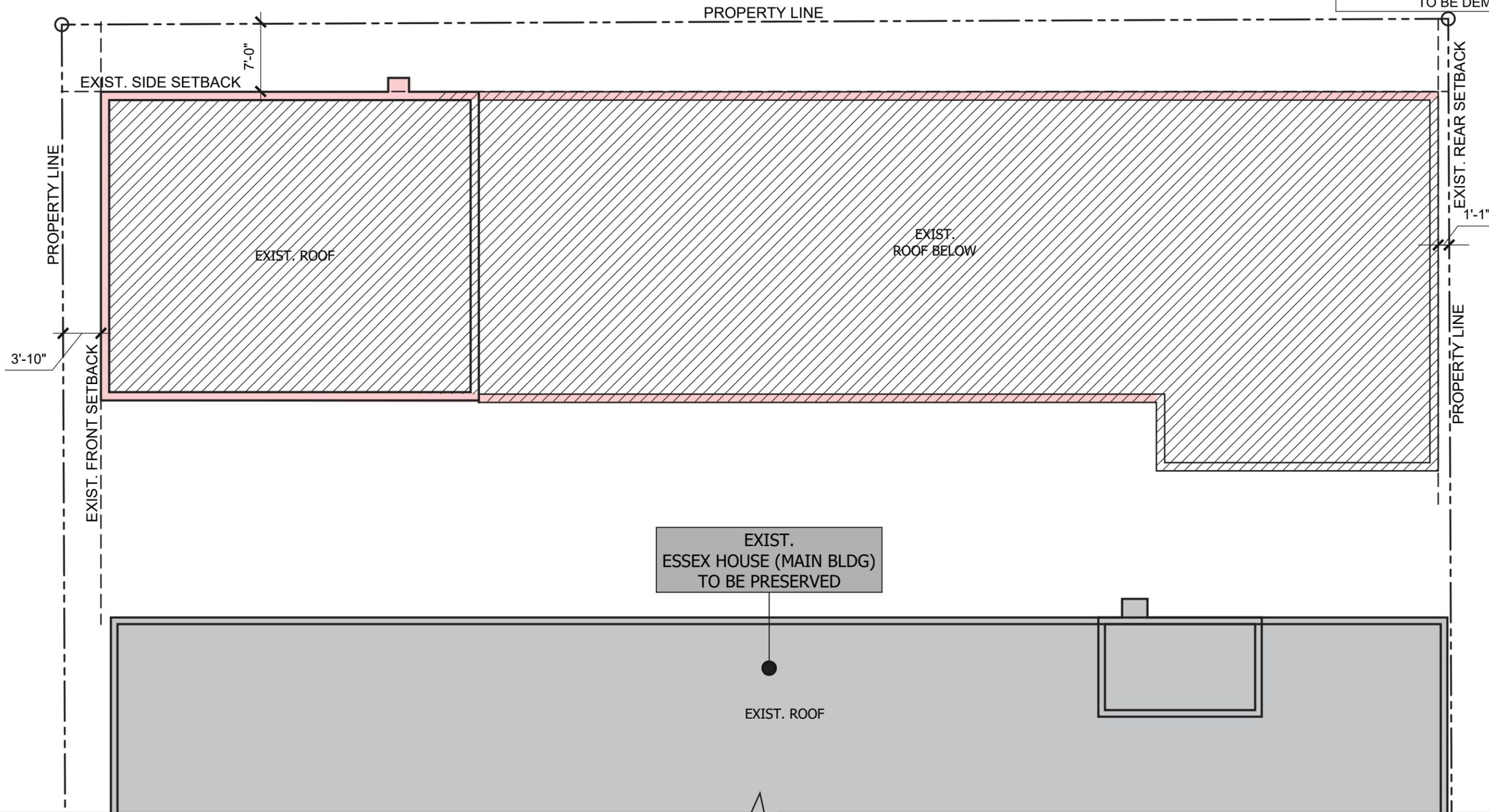
SCALE: 3/32"=1'-0"



 EXISTING TO REMAIN NOT IN SCOPE OF WORK



DEMOLITION LEGEND	
	EXISTING EXTERIOR WALLS TO BE PRESERVED
	EXISTING WALLS TO BE RECONSTRUCTED
	EXISTING AREAS TO BE DEMOLISHED
	EXISTING SITEWORK TO BE DEMOLISHED



1 DEMOLITION ROOF PLAN

SCALE: 3/32"=1'-0"

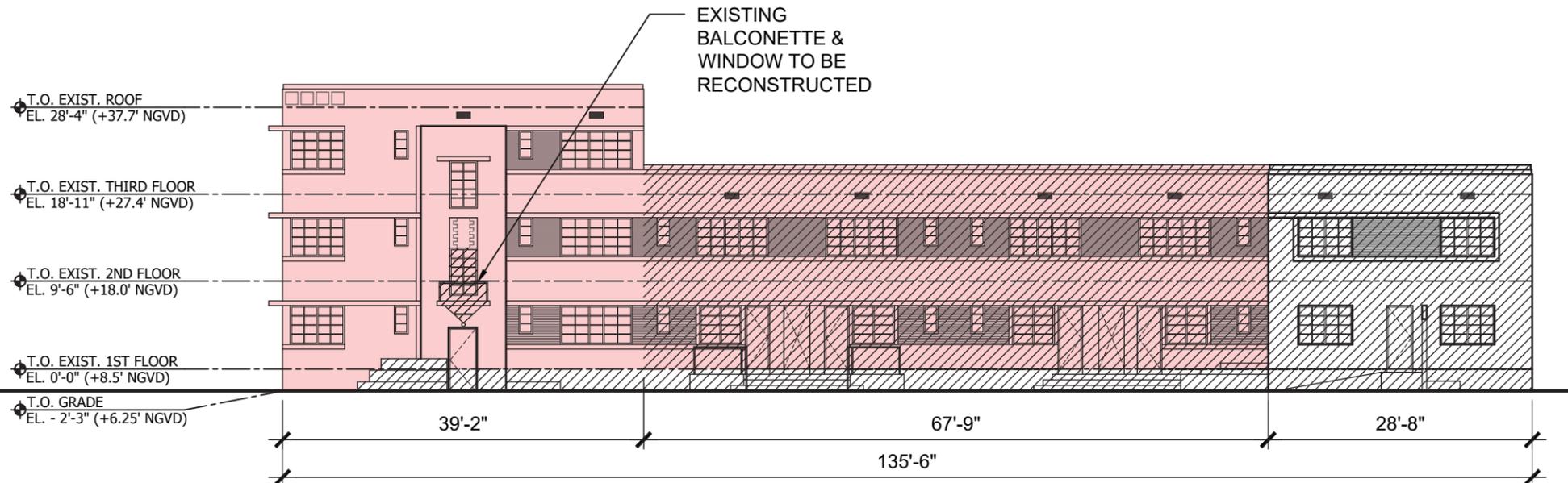


 EXISTING TO REMAIN NOT IN SCOPE OF WORK

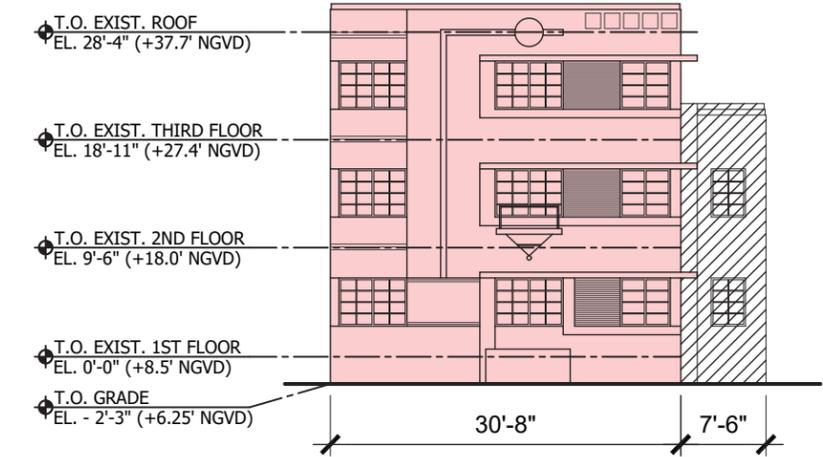


DEMOLITION LEGEND

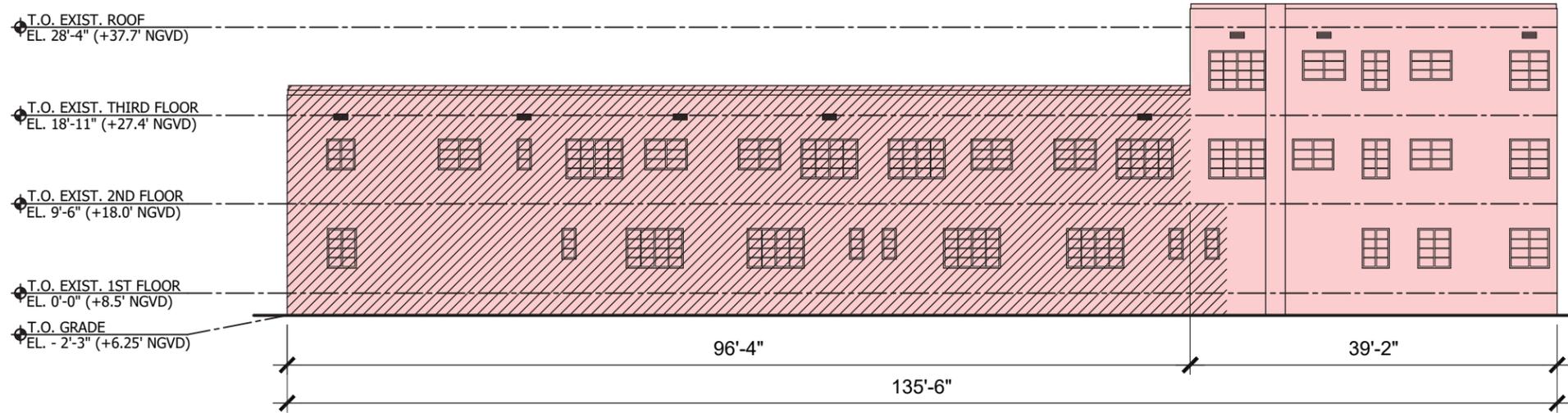
- EXISTING EXTERIOR WALLS TO BE PRESERVED
- EXISTING WALLS TO BE RECONSTRUCTED
- EXISTING AREAS TO BE DEMOLISHED
- EXISTING SITEWORK TO BE DEMOLISHED



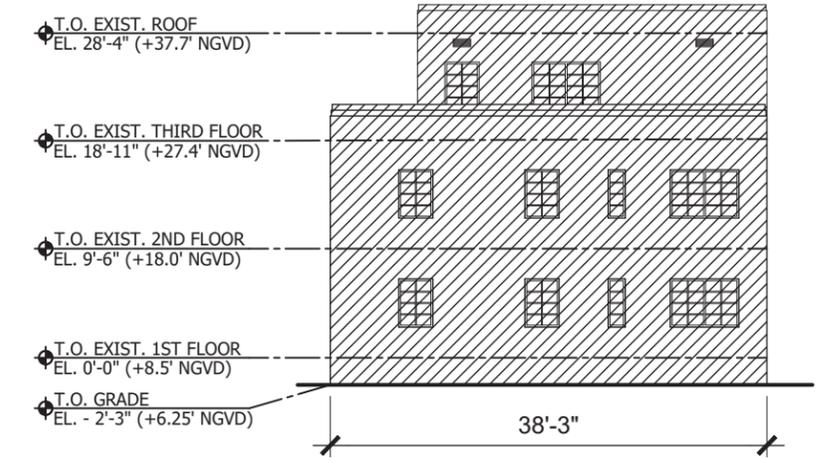
D DEMO SOUTH ELEVATION
SCALE: 1/16"=1'-0"



C DEMO WEST ELEVATION
SCALE: 1/16"=1'-0"



B DEMO NORTH ELEVATION
SCALE: 1/16"=1'-0"



A DEMO EAST ELEVATION
SCALE: 1/16"=1'-0"





A COLLINS AVE. STREET VIEW
SCALE: N.T.S





A COLLINS AVE. STREET VIEW / LINE OF SIGHT
SCALE: N.T.S





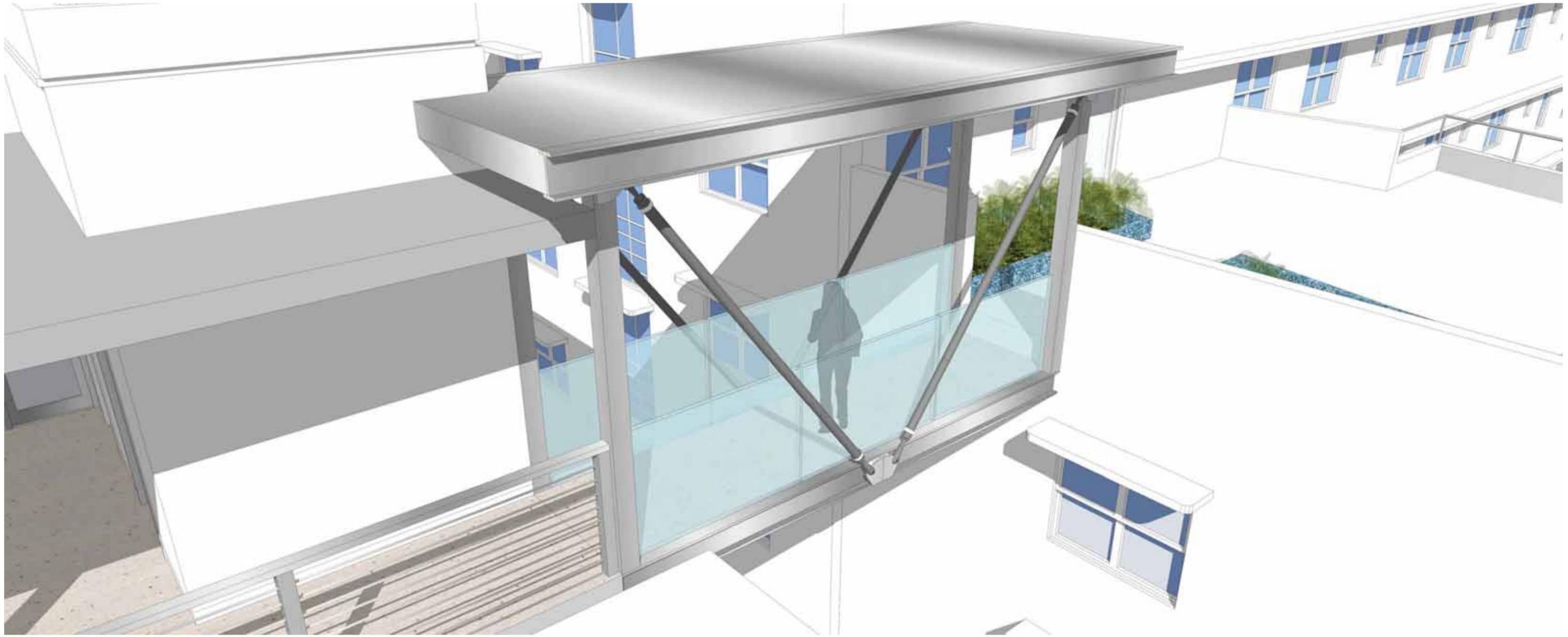
A BIRD'S EYE VIEW
SCALE: N.T.S





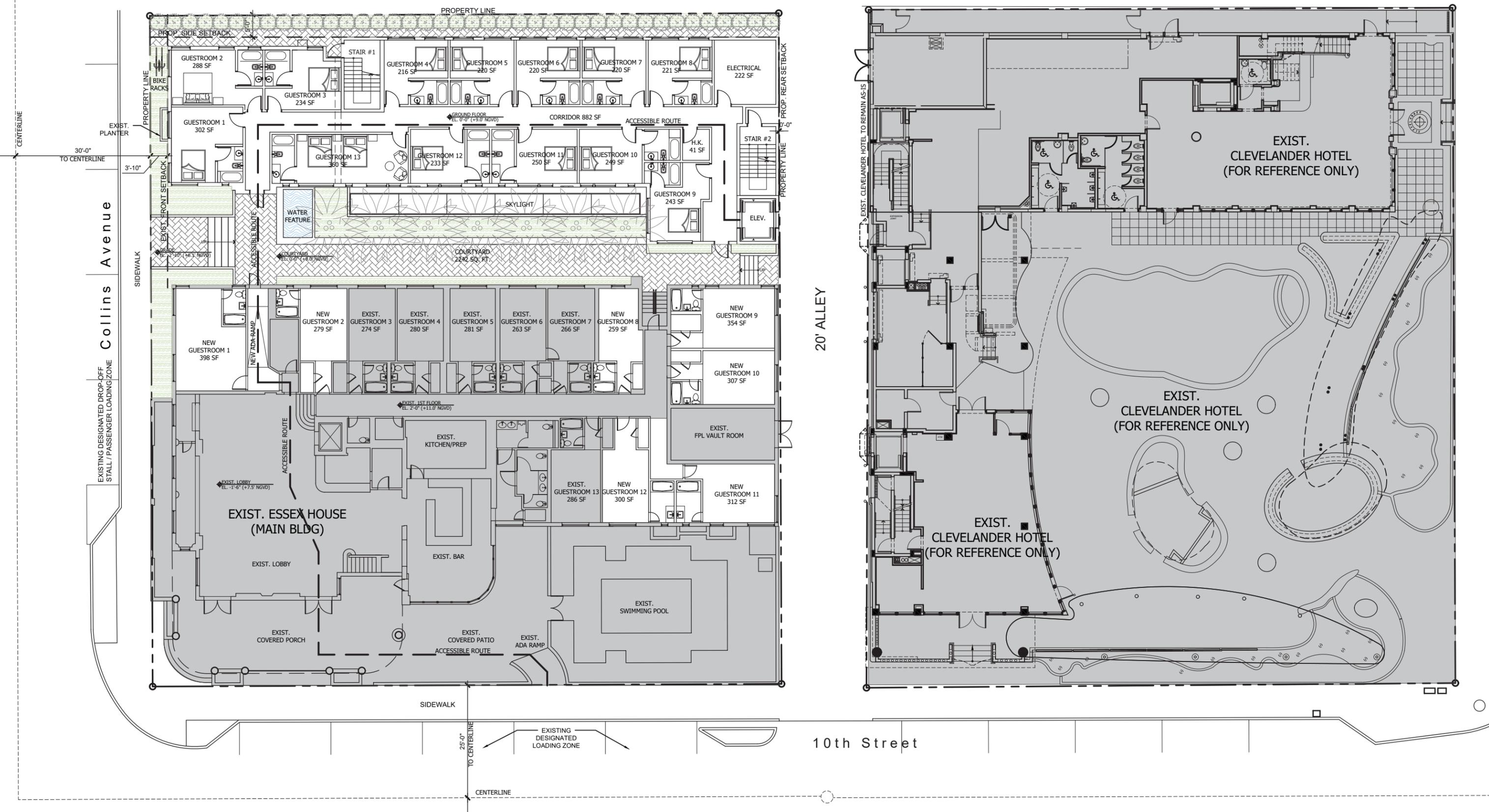
A 10TH STREET & OCEAN COURT
SCALE: N.T.S





A PROPOSED BRIDGE
SCALE: N.T.S





1 PROPOSED SITE PLAN
 SCALE: 1" = 20'

EXISTING TO REMAIN
 NOT IN SCOPE OF WORK

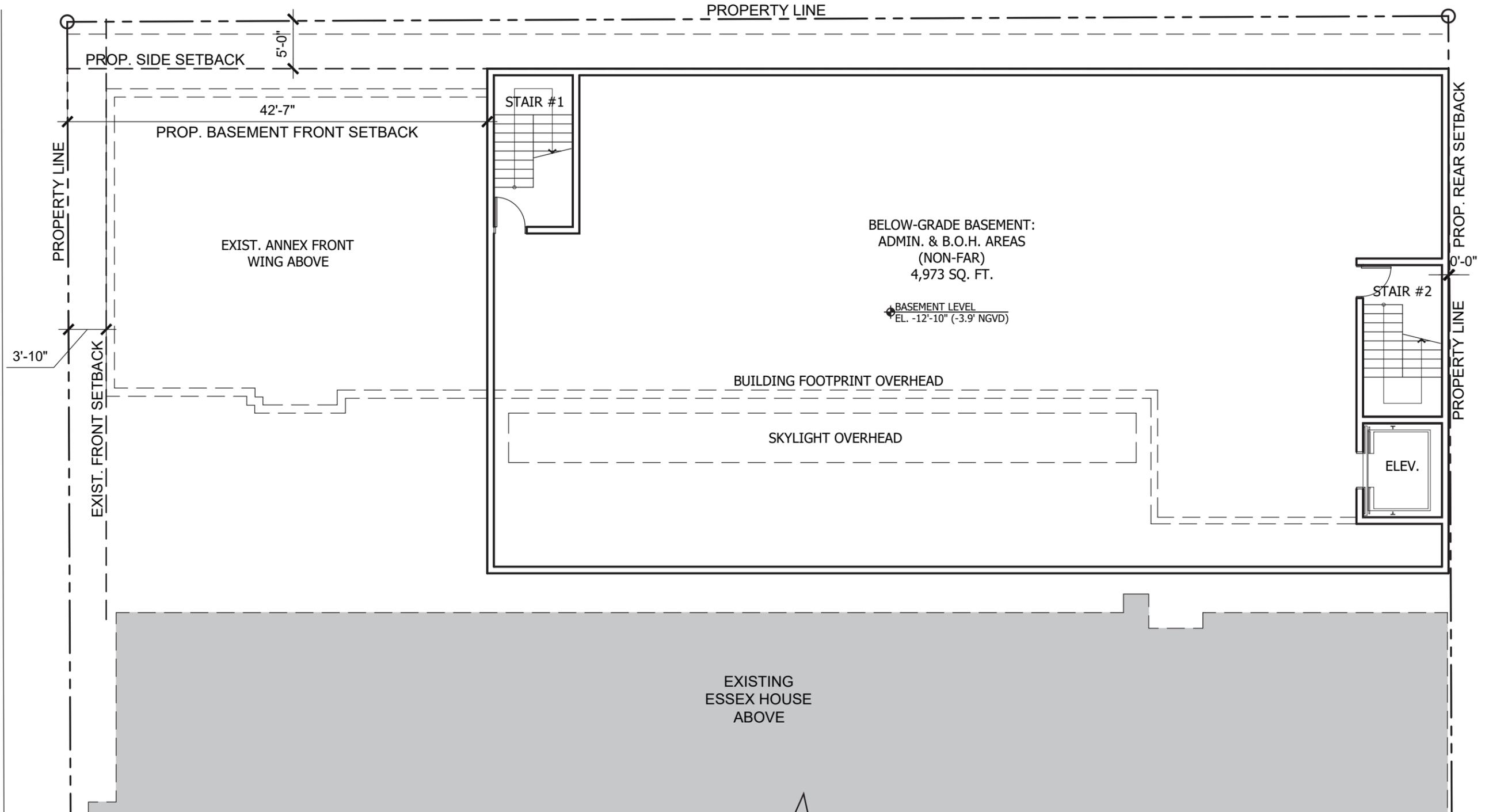


Collins Avenue

PROPERTY LINE

20' ALLEY

EXIST. CLEVELANDER HOTEL TO REMAIN AS-IS

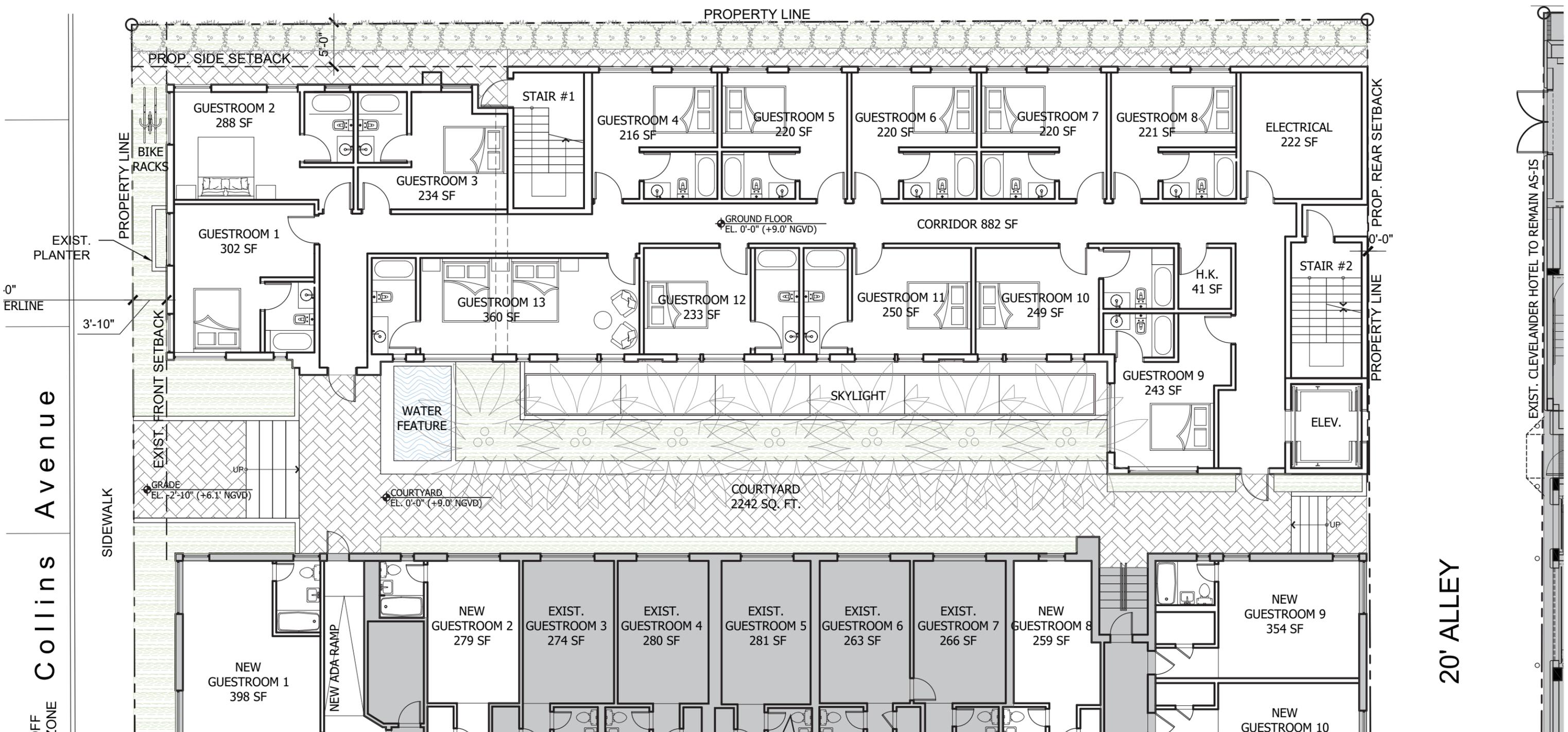


1 PROPOSED BASEMENT PLAN
 SCALE: 3/32"=1'-0"



EXISTING TO REMAIN
 NOT IN SCOPE OF WORK



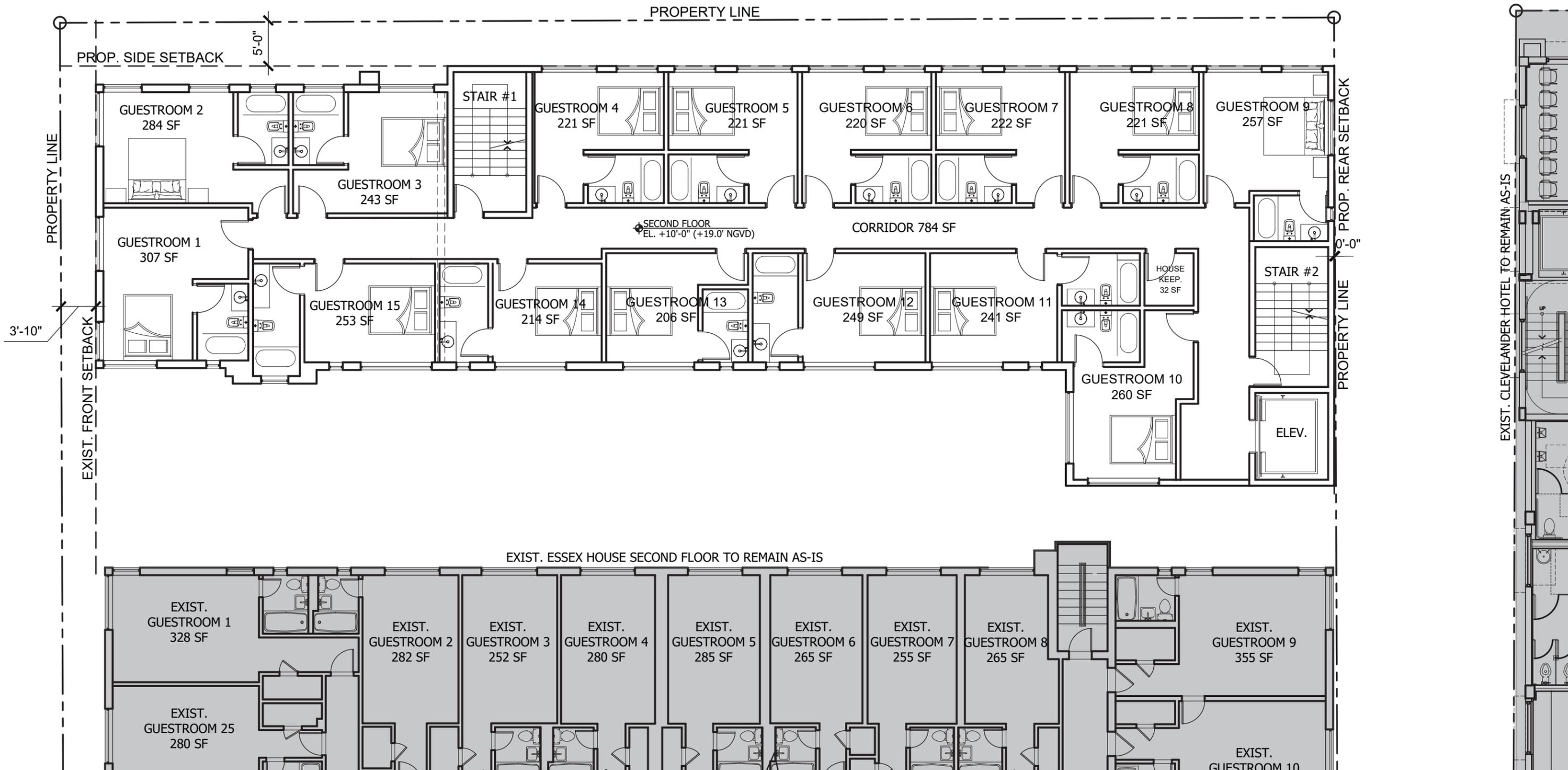


REFER TO SITE PLAN, SHEET A-5.1, FOR EXTENT OF INTERIOR IMPROVEMENTS IN ESSEX HOUSE

1 PROPOSED GROUND FLOOR PLAN
 SCALE: 3/32"=1'-0"
 N

EXISTING TO REMAIN
 NOT IN SCOPE OF WORK

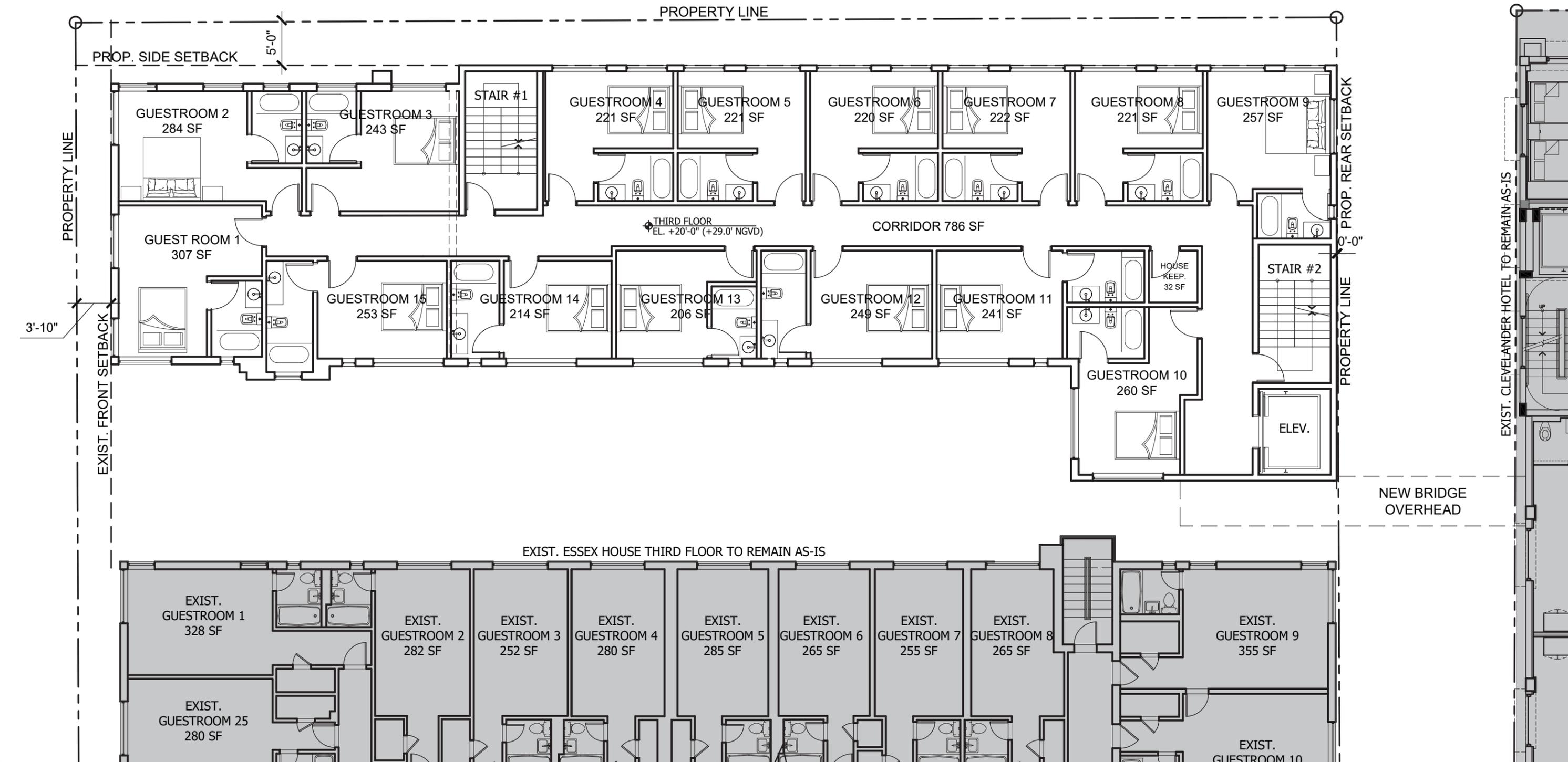




1 PROPOSED SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

EXISTING TO REMAIN
NOT IN SCOPE OF WORK

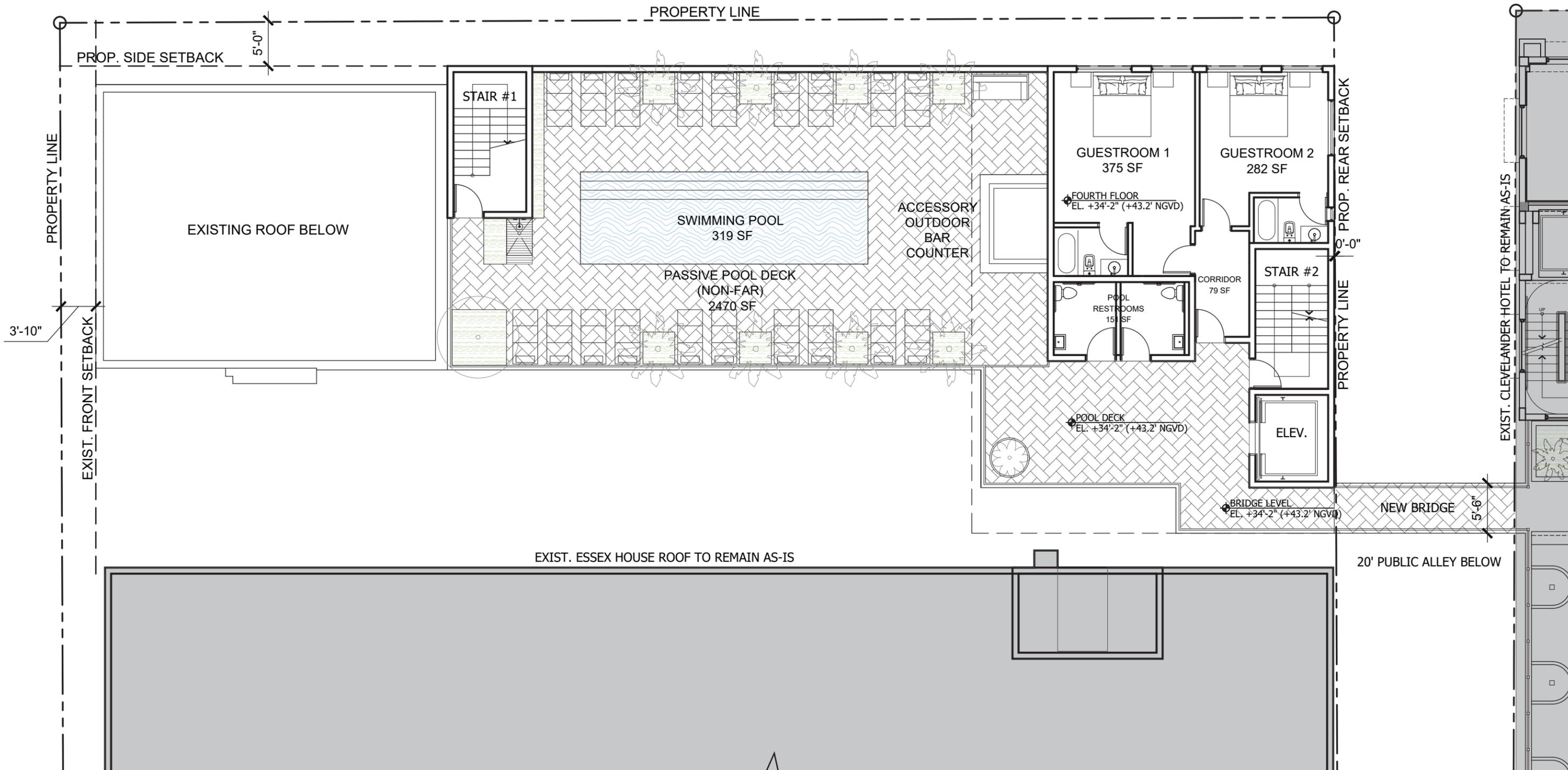




1 PROPOSED THIRD FLOOR PLAN
 SCALE: 3/32"=1'-0"
 N

EXISTING TO REMAIN
 NOT IN SCOPE OF WORK

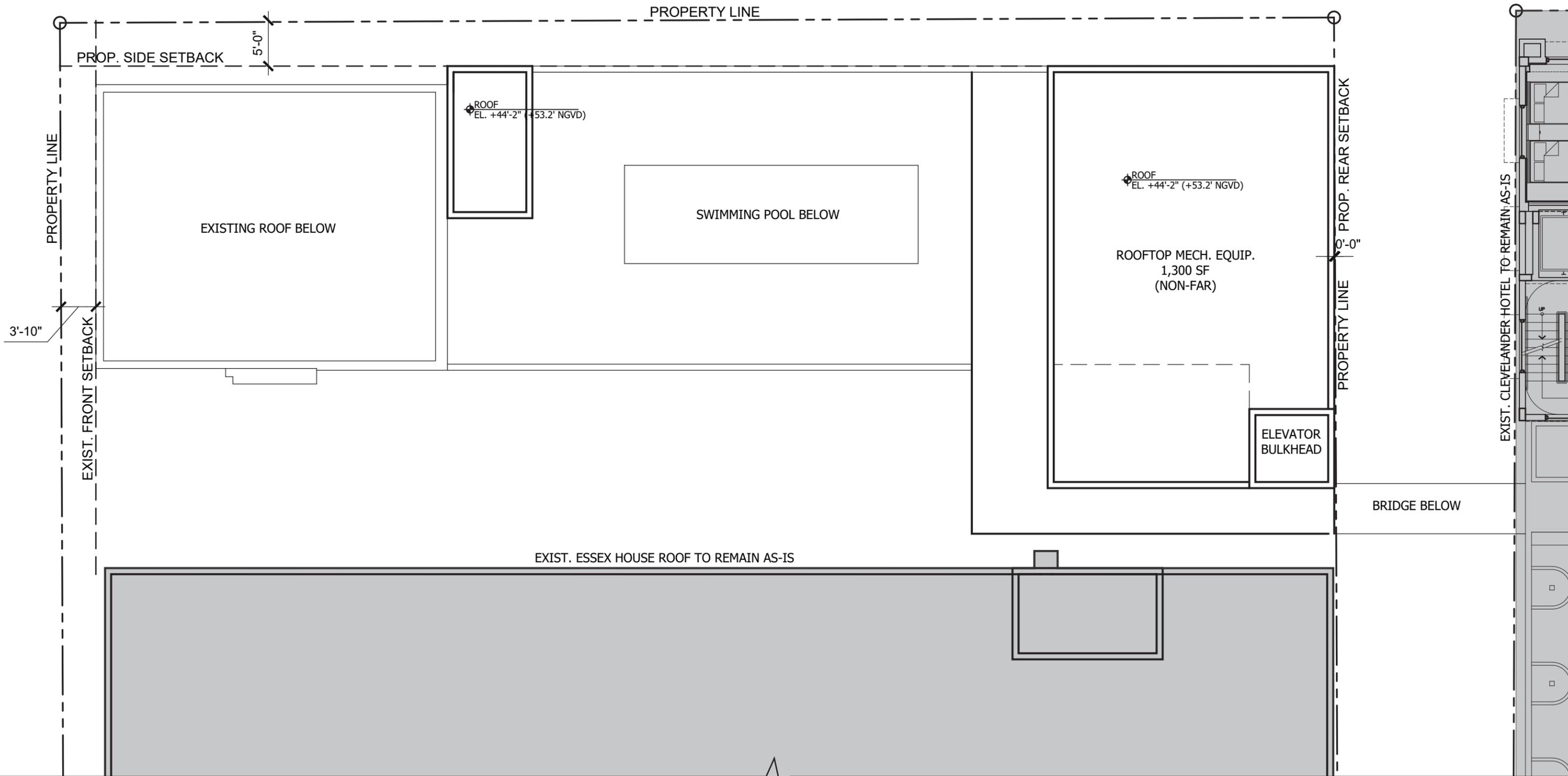




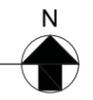
1 PROPOSED FOURTH FLOOR PLAN
 SCALE: 3/32"=1'-0"

EXISTING TO REMAIN
 NOT IN SCOPE OF WORK





1 PROPOSED ROOF PLAN
SCALE: 3/32"=1'-0"



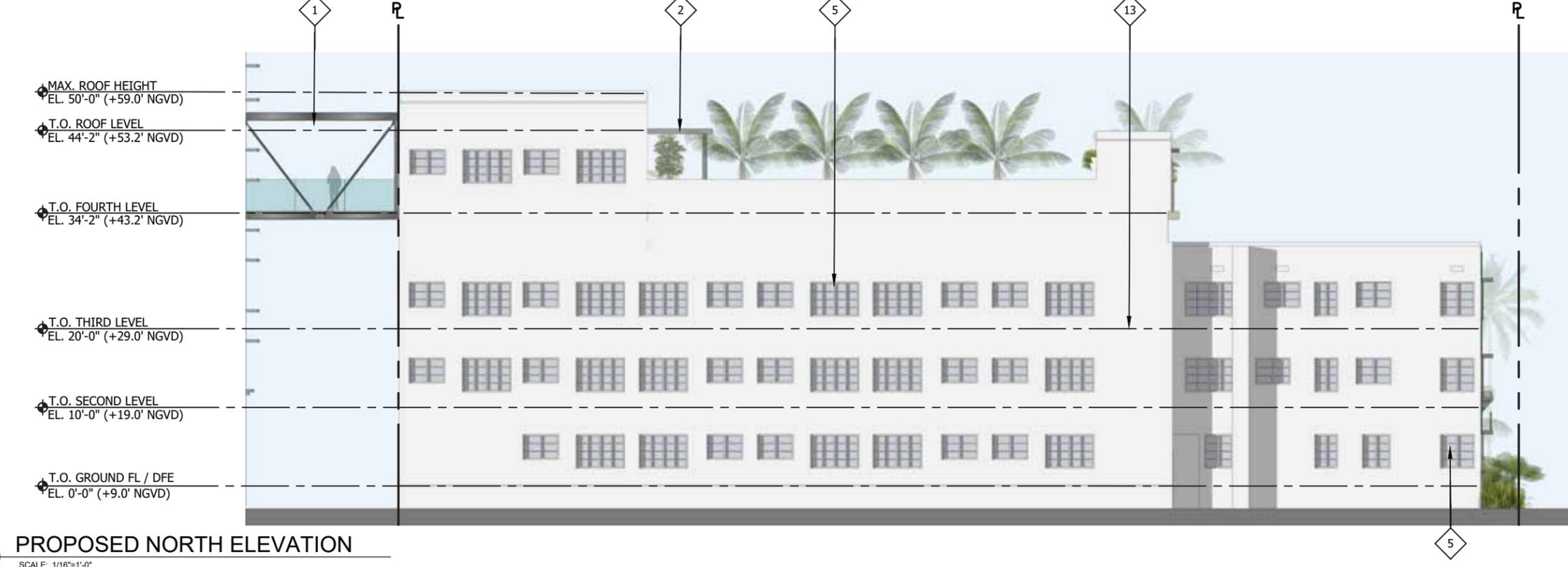
EXISTING TO REMAIN
NOT IN SCOPE OF WORK





ELEVATION LEGEND	
1	NEW STEEL BRIDGE W/ GLASS GUARDRAIL
2	NEW PAINTED STUCCO EYEBROW
3	NEW STAINLESS STEEL CABLE RAILING
4	NEW CLEAR GLASS CASEMENT WINDOW, TYP.
5	EXISTING CASEMENT WINDOW, TYP.
6	EXISTING DECORATIVE STUCCO BANDS, TYP.
7	NEW DECORATIVE STUCCO BANDS, TYP.
8	NEW CLEAR GLASS FIXED WINDOW
9	EXISTING ORNAMENTAL RELIEF
10	RECONSTRUCTED DECORATIVE BALCONETTE
11	EXISTING ORNAMENTAL GEOMETRY TO BE REPAINTED TO MATCH HISTORIC
12	PROFILED RECESS IN ORIGINAL MASONRY OPENING
13	PAINTED STUCCO WALL, TYP.
14	NEW EDGE-LIT PROJECTING SIGN ON EXISTING EYEBROW
15	EXISTING DECORATIVE BALCONETTE

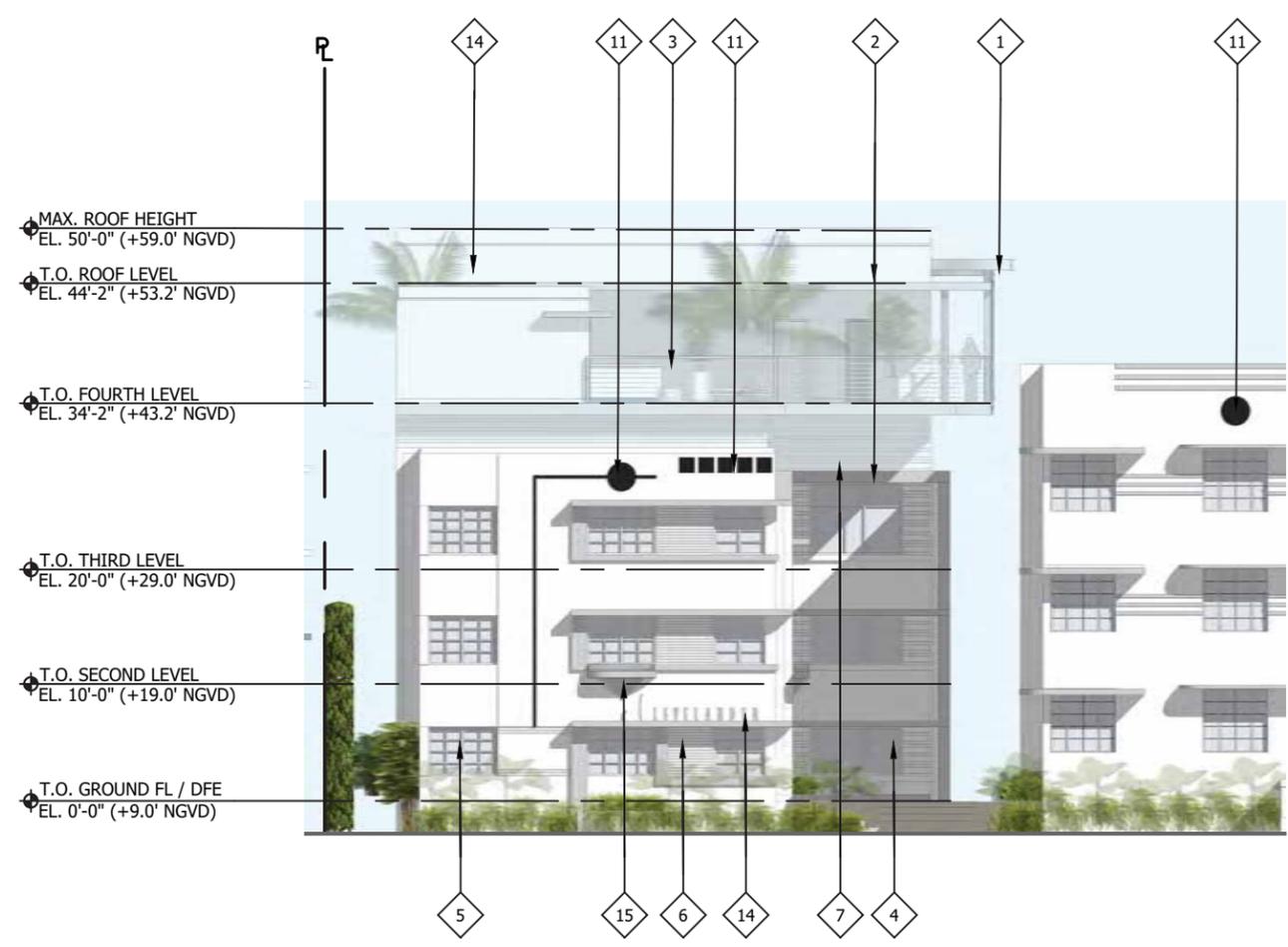
A PROPOSED SOUTH ELEVATION
SCALE: 1/16"=1'-0"



B PROPOSED NORTH ELEVATION
SCALE: 1/16"=1'-0"



ELEVATION LEGEND	
1	NEW STEEL BRIDGE W/ GLASS GUARDRAIL
2	NEW PAINTED STUCCO EYEBROW
3	NEW STAINLESS STEEL CABLE RAILING
4	NEW CLEAR GLASS CASEMENT WINDOW, TYP.
5	EXISTING CASEMENT WINDOW, TYP.
6	EXISTING DECORATIVE STUCCO BANDS, TYP.
7	NEW DECORATIVE STUCCO BANDS, TYP.
8	NEW CLEAR GLASS FIXED WINDOW
9	EXISTING ORNAMENTAL RELIEF
10	RECONSTRUCTED DECORATIVE BALCONETTE
11	EXISTING ORNAMENTAL GEOMETRY TO BE REPAINTED TO MATCH HISTORIC
12	PROFILED RECESS IN ORIGINAL MASONRY OPENING
13	PAINTED STUCCO WALL, TYP.
14	NEW EDGE-LIT PROJECTING SIGN ON EXISTING EYEBROW
15	EXISTING DECORATIVE BALCONETTE



A PROPOSED WEST ELEVATION
SCALE: 1/16"=1'-0"



B PROPOSED EAST ELEVATION
SCALE: 1/16"=1'-0"



- ◆ MAX. ROOF HEIGHT
EL. 50'-0" (+59.0' NGVD)
- ◆ T.O. ROOF LEVEL
EL. 44'-2" (+53.2' NGVD)
- ◆ T.O. FOURTH LEVEL
EL. 34'-2" (+43.2' NGVD)
- ◆ T.O. THIRD LEVEL
EL. 20'-0" (+29.0' NGVD)
- ◆ T.O. SECOND LEVEL
EL. 10'-0" (+19.0' NGVD)
- ◆ T.O. GROUND FL / DFE
EL. 0'-0" (+9.0' NGVD)



1 COLLINS AVE CONTEXTUAL ELEVATION
SCALE: 1/16"=1'-0"



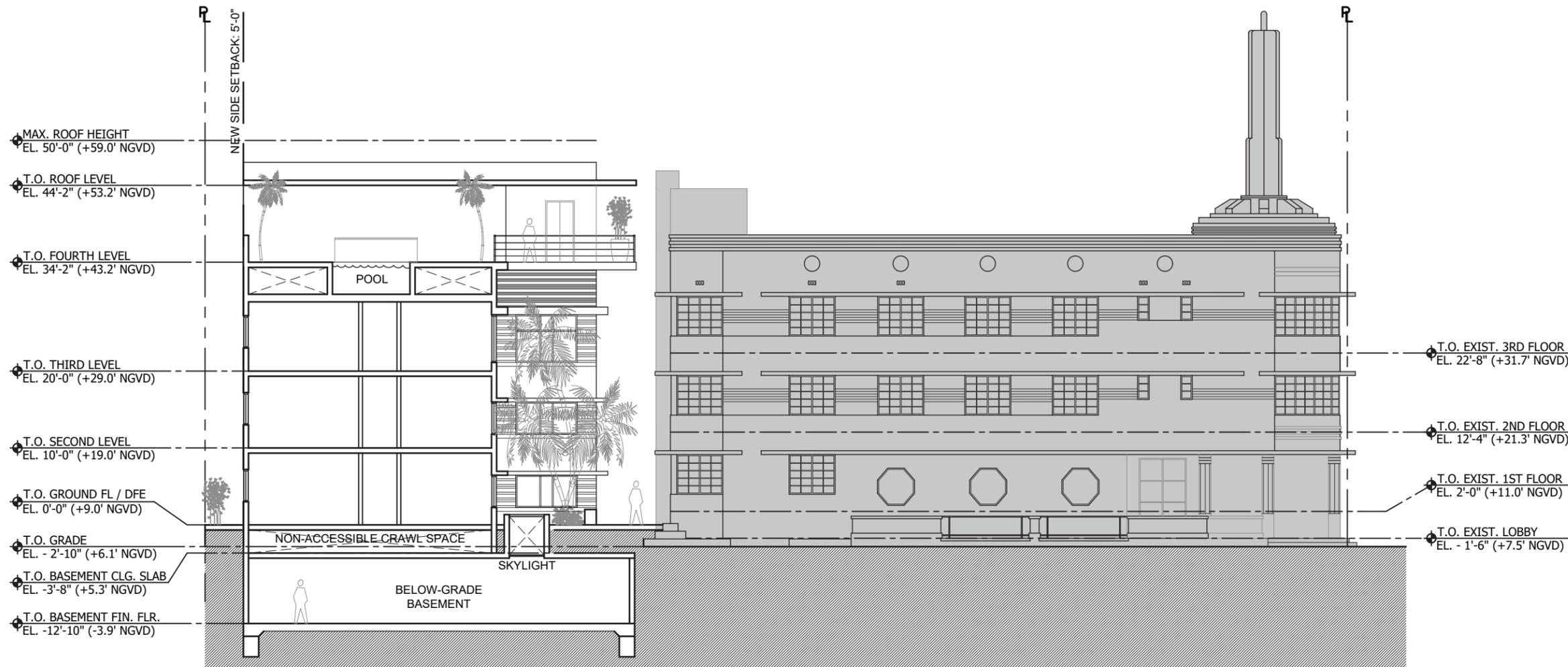


1

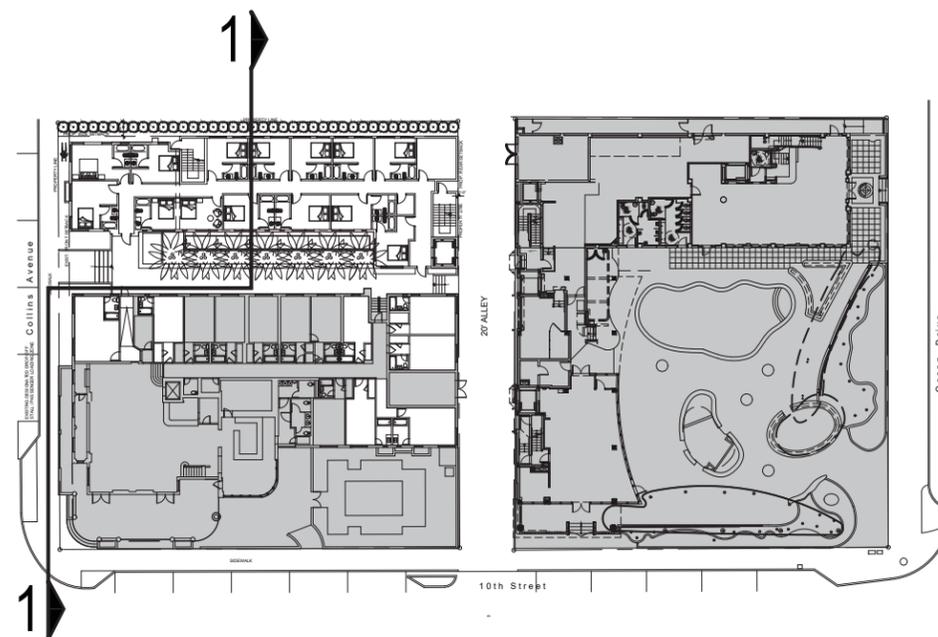
10TH ST CONTEXTUAL ELEVATION

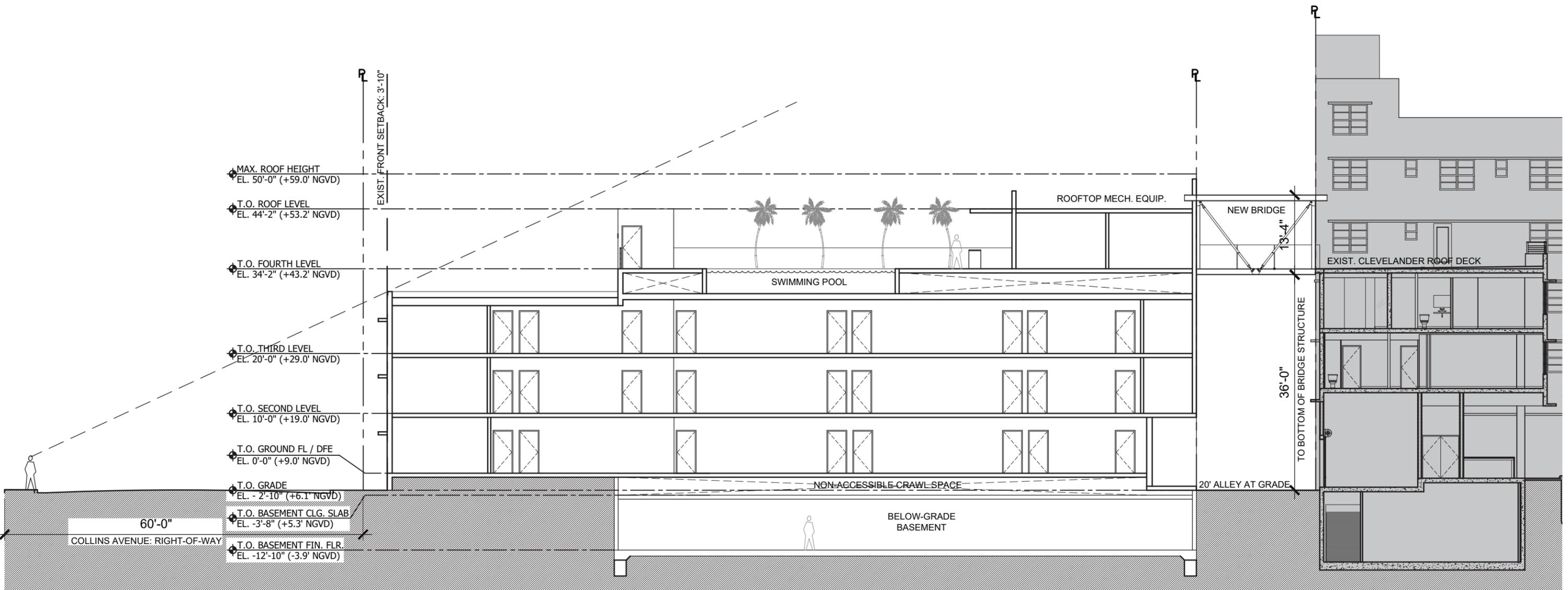
SCALE: 1/16"=1'-0"



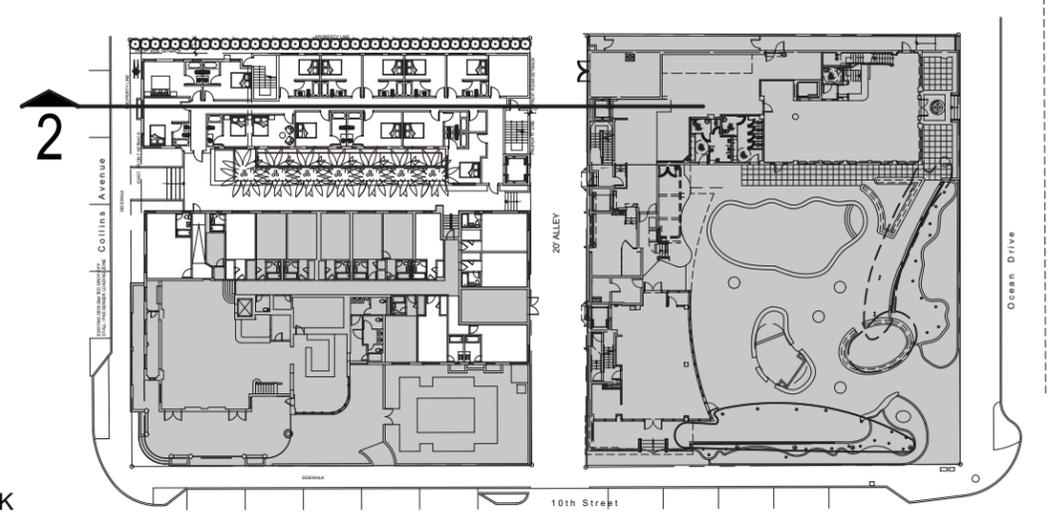


1 BUILDING SECTION 1
SCALE: 1/16"=1'-0"





2 BUILDING SECTION 2 / LINE-OF-SIGHT STUDY
 SCALE: 1/16"=1'-0"

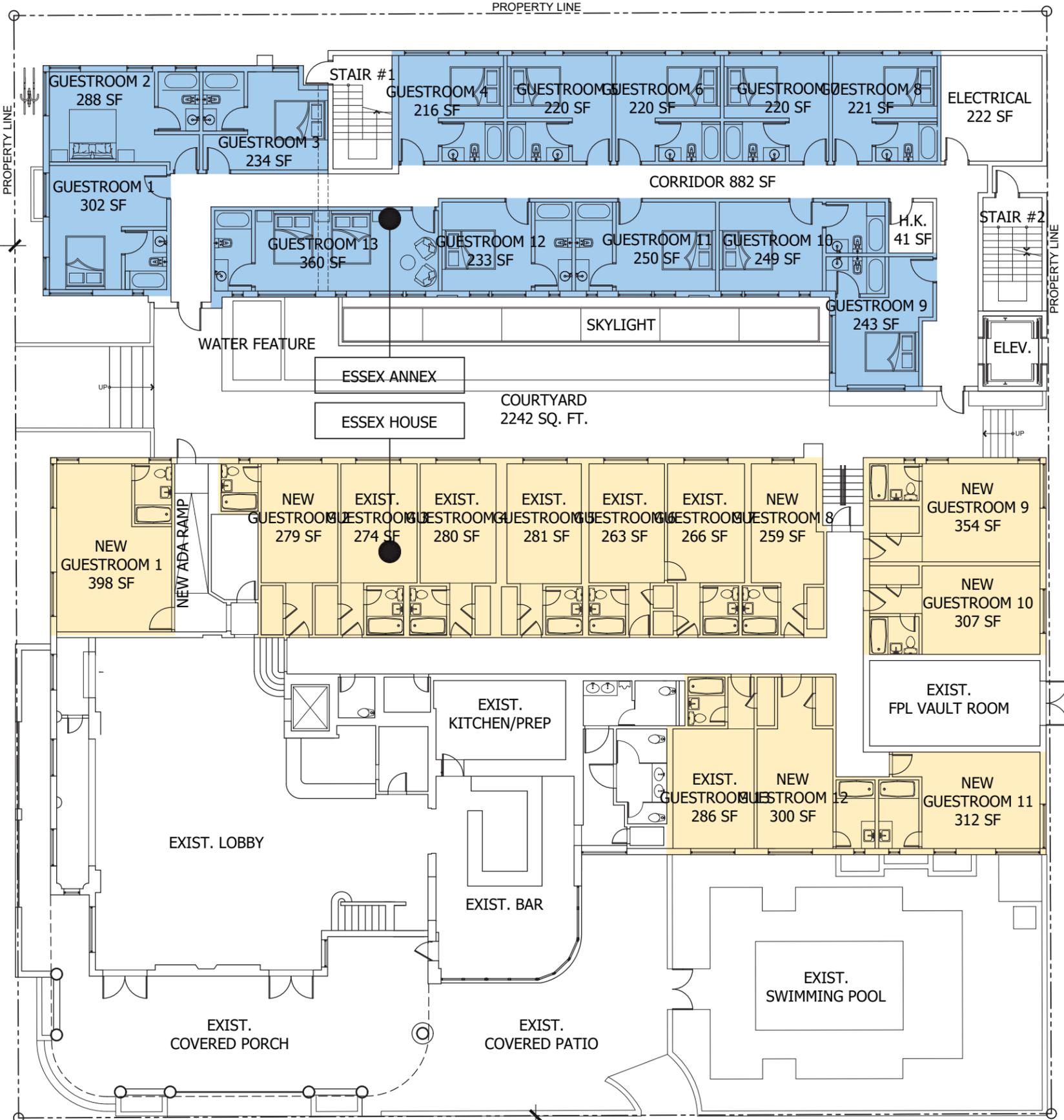


■ EXISTING TO REMAIN
 ■ NOT IN SCOPE OF WORK



Collins Avenue

EXISTING DESIGNATED DROP-OFF STALL / PASSENGER LOADING ZONE



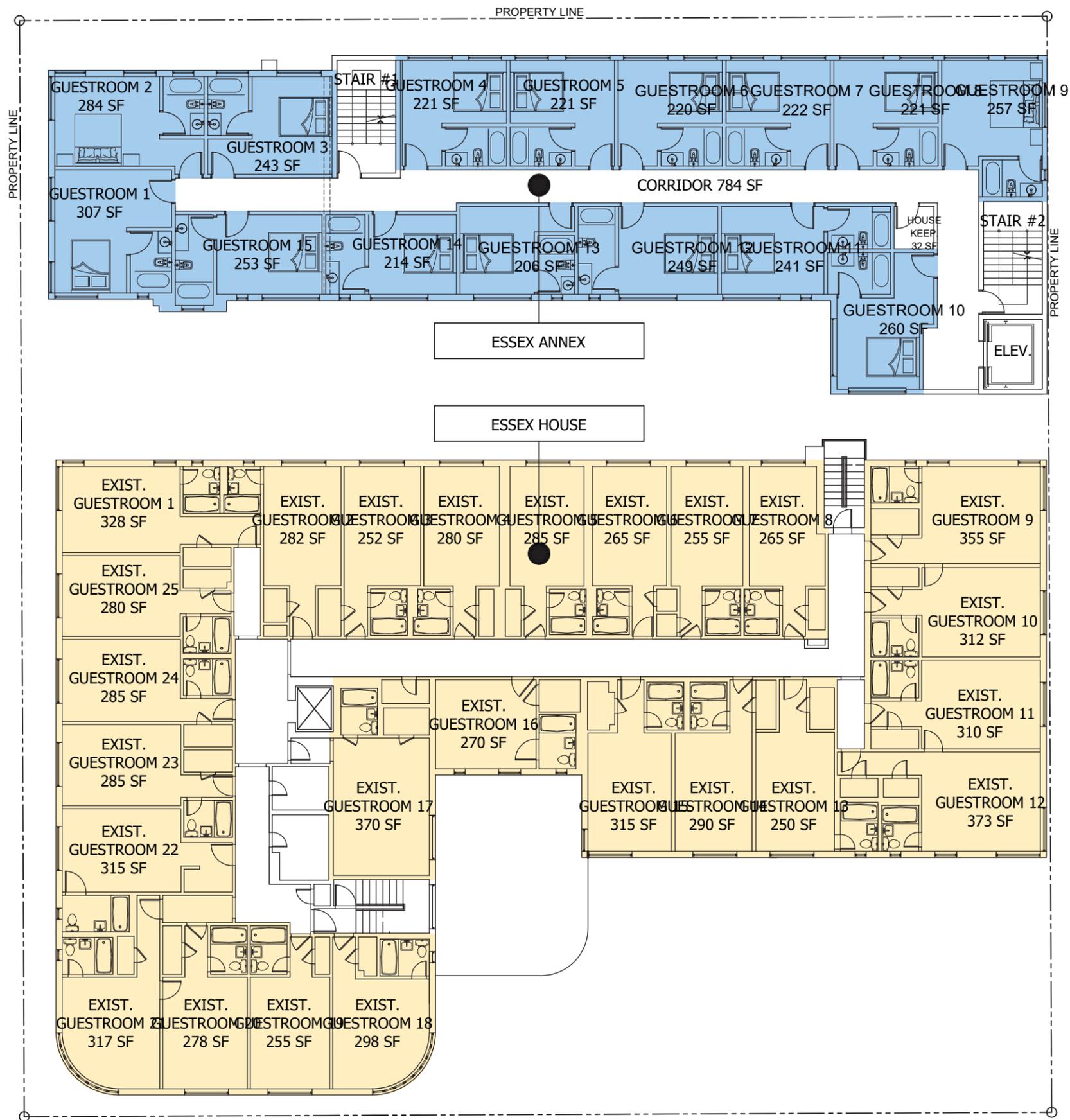
1 VARIANCE DIAGRAM: GROUND FLOOR
SCALE: 1/16"=1'-0"

PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
1st Floor			
101 (NEW)	398	101	302
102 (NEW)	279	102	288
103	274	103	234
104	280	104	216
105	281	105	220
106	263	106	220
107	266	107	220
108 (NEW)	259	108	221
109 (NEW)	354	109	243
110 (NEW)	307	110	249
111 (NEW)	312	111	250
112 (NEW)	300	112	233
113	286	113	360
2nd Floor			
201	328	201	307
202	282	202	284
203	262	203	243
204	280	204	221
205	286	205	221
206	265	206	220
207	255	207	222
208	265	208	221
209	355	209	257
210	312	210	260
211	310	211	241
212	373	212	249
213	250	213	206
214	290	214	214
215	315	215	253
216	270		
217	370		
218	298		
219	255		
220	278		
221	317		
222	315		
223	285		
224	286		
225	280		

PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
3rd Floor			
301	328	301	307
302	282	302	284
303	262	303	243
304	280	304	221
305	281	305	221
306	265	306	220
307	265	307	222
308	265	308	221
309	355	309	257
310	312	310	260
311	310	311	241
312	373	312	249
313	250	313	206
314	290	314	214
315	315	315	253
4th Floor			
		401	375
		402	282
SUMMARY			
	Essex House	Essex Annex	
Total Guestrooms	63	45	
Total Area (SF)	18,599	11,151	
Average Area (SF)	295	248	
Minimum Area (SF)	250	206	
# of Guestrooms < 300 SF	40	40	
# of Guestrooms ≥ 300 SF ≤ 335 SF	15	3	
# of Guestrooms > 335 SF	8	2	

* "Floor area", as defined by City of Miami Beach Land Development Regulations, Section 114-1, Definitions.





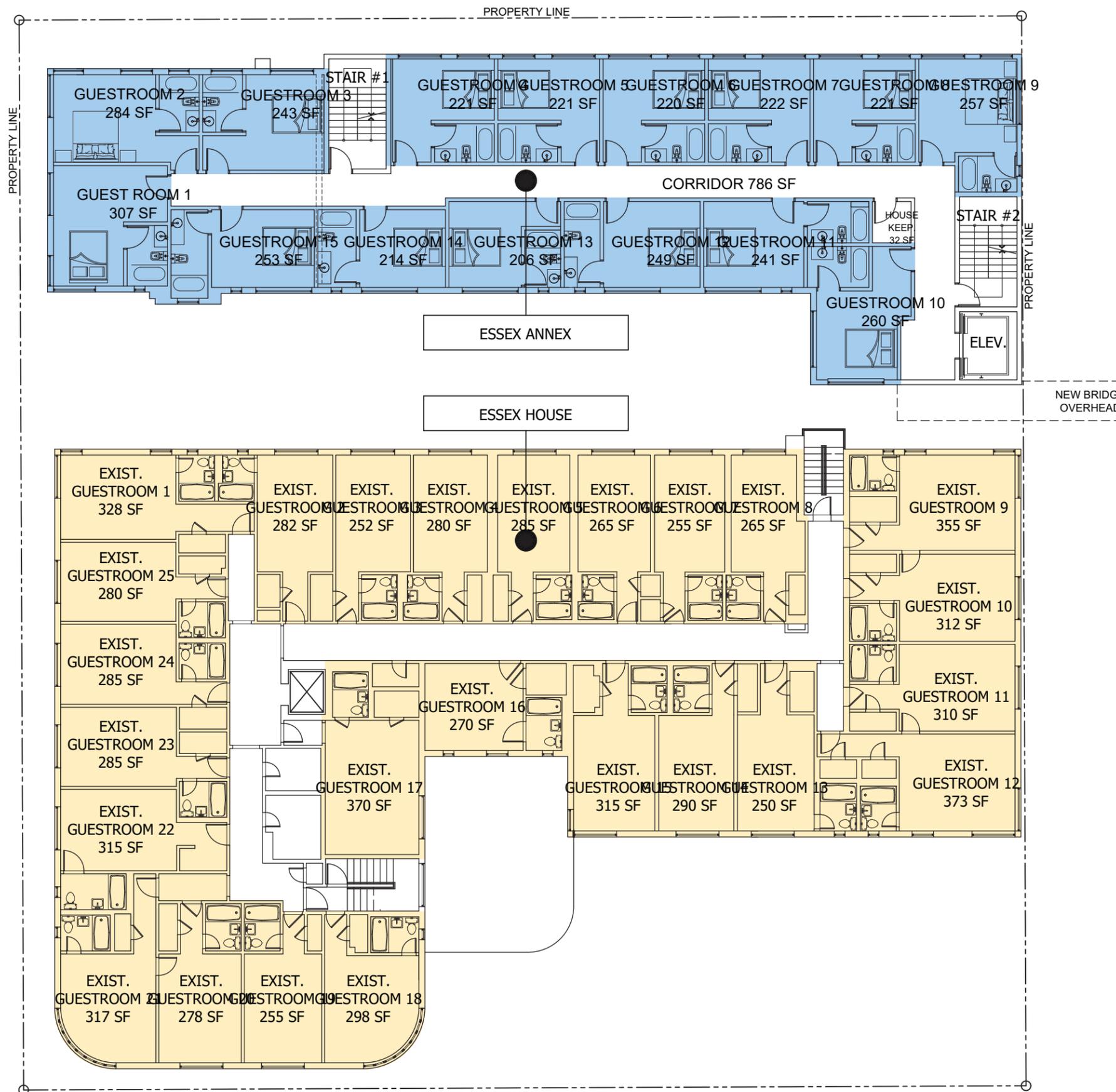
PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
1st Floor			
101 (NEW)	398	101	302
102 (NEW)	279	102	288
103	274	103	234
104	280	104	216
105	281	105	220
106	263	106	220
107	266	107	220
108 (NEW)	259	108	221
109 (NEW)	354	109	243
110 (NEW)	307	110	249
111 (NEW)	312	111	250
112 (NEW)	300	112	233
113	286	113	360
2nd Floor			
201	328	201	307
202	282	202	284
203	262	203	243
204	280	204	221
205	286	205	221
206	265	206	220
207	255	207	222
208	265	208	221
209	355	209	257
210	312	210	260
211	310	211	241
212	373	212	249
213	250	213	206
214	290	214	214
215	315	215	253
216	270		
217	370		
218	298		
219	255		
220	278		
221	317		
222	315		
223	285		
224	286		
225	280		

PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
3rd Floor			
301	328	301	307
302	282	302	284
303	262	303	243
304	280	304	221
305	285	305	221
306	265	306	220
307	265	307	222
308	265	308	221
309	355	309	257
310	312	310	260
311	310	311	241
312	373	312	249
313	250	313	206
314	290	314	214
315	315	315	253
316	270		
317	370		
318	298		
319	255		
320	278		
321	317		
322	315		
323	285		
324	285		
325	280		
4th Floor		401	375
		402	282
SUMMARY			
	Essex House	Essex Annex	
Total Guestrooms	63	45	
Total Area (SF)	18,599	11,151	
Average Area (SF)	295	248	
Minimum Area (SF)	250	206	
# of Guestrooms < 300 SF	40	40	
# of Guestrooms ≥ 300 SF ≤ 335 SF	15	3	
# of Guestrooms > 335 SF	8	2	

* "Floor area", as defined by City of Miami Beach Land Development Regulations, Section 114-1, Definitions.

1 VARIANCE DIAGRAM: SECOND FLOOR
SCALE: 1/16"=1'-0"





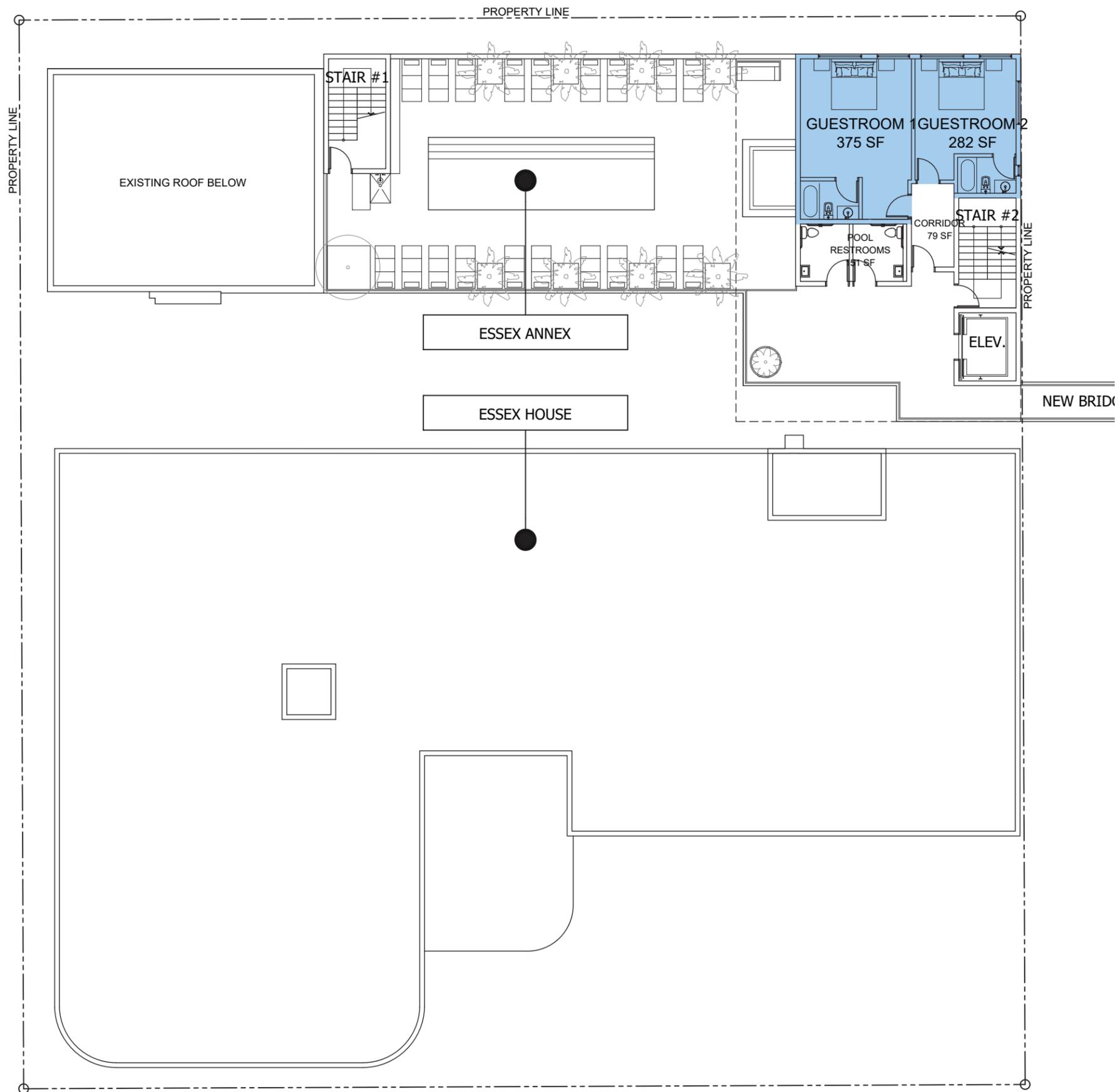
PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
1st Floor			
101 (NEW)	398	101	302
102 (NEW)	279	102	288
103	274	103	234
104	280	104	216
105	281	105	220
106	263	106	220
107	266	107	220
108 (NEW)	259	108	221
109 (NEW)	354	109	243
110 (NEW)	307	110	249
111 (NEW)	312	111	250
112 (NEW)	300	112	233
113	286	113	360
2nd Floor			
201	328	201	307
202	282	202	284
203	262	203	243
204	280	204	221
205	286	205	221
206	265	206	220
207	255	207	222
208	265	208	221
209	355	209	257
210	312	210	260
211	310	211	241
212	373	212	249
213	250	213	206
214	290	214	214
215	315	215	253
216	270		
217	370		
218	298		
219	255		
220	278		
221	317		
222	315		
223	285		
224	286		
225	280		

PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
3rd Floor			
301	328	301	307
302	282	302	284
303	262	303	243
304	280	304	221
305	281	305	221
306	265	306	220
307	265	307	222
308	265	308	221
309	355	309	257
310	312	310	260
311	310	311	241
312	373	312	249
313	250	313	206
314	290	314	214
315	315	315	253
316	270		
317	370		
318	298		
319	255		
320	278		
321	317		
322	315		
323	285		
324	285		
325	280		
4th Floor		401	375
		402	282
SUMMARY			
	Essex House	Essex Annex	
Total Guestrooms	63	45	
Total Area (SF)	18,599	11,151	
Average Area (SF)	295	248	
Minimum Area (SF)	250	206	
# of Guestrooms < 300 SF	40	40	
# of Guestrooms ≥ 300 SF ≤ 335 SF	15	3	
# of Guestrooms > 335 SF	8	2	

* "Floor area", as defined by City of Miami Beach Land Development Regulations, Section 114-1, Definitions.

1 VARIANCE DIAGRAM: THIRD FLOOR
SCALE: 1/16"=1'-0"





PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
1st Floor			
101 (NEW)	398	101	302
102 (NEW)	279	102	288
103	274	103	234
104	280	104	216
105	281	105	220
106	263	106	220
107	266	107	220
108 (NEW)	259	108	221
109 (NEW)	354	109	243
110 (NEW)	307	110	249
111 (NEW)	312	111	250
112 (NEW)	300	112	233
113	286	113	360
2nd Floor			
201	328	201	307
202	282	202	284
203	262	203	243
204	280	204	221
205	286	205	221
206	265	206	220
207	255	207	222
208	265	208	221
209	355	209	257
210	312	210	260
211	310	211	241
212	373	212	249
213	250	213	206
214	290	214	214
215	315	215	253
216	270		
217	370		
218	298		
219	255		
220	278		
221	317		
222	315		
223	285		
224	286		
225	280		

PROPOSED GUESTROOM FLOOR AREA* (Sq. Ft.)			
Essex House All existing, unless noted otherwise.		Essex Annex All new.	
Guestroom	Area	Guestroom	Area
3rd Floor			
301	328	301	307
302	282	302	284
303	262	303	243
304	280	304	221
305	285	305	221
306	265	306	220
307	265	307	222
308	265	308	221
309	355	309	257
310	312	310	260
311	310	311	241
312	373	312	249
313	250	313	206
314	290	314	214
315	315	315	253
316	270		
317	370		
318	298		
319	255		
320	278		
321	317		
322	315		
323	285		
324	285		
325	280		
4th Floor			
		401	375
		402	282
SUMMARY			
	Essex House	Essex Annex	
Total Guestrooms	63	45	
Total Area (SF)	18,599	11,151	
Average Area (SF)	295	248	
Minimum Area (SF)	250	206	
# of Guestrooms < 300 SF	40	40	
# of Guestrooms ≥ 300 SF ≤ 335 SF	15	3	
# of Guestrooms > 335 SF	8	2	

* "Floor area", as defined by City of Miami Beach Land Development Regulations, Section 114-1, Definitions.

1 VARIANCE DIAGRAM: FOURTH FLOOR
SCALE: 1/16"=1'-0"



LANDSCAPE PLANS GENERAL NOTES

SITE GENERAL NOTES

- All work and material shall comply with the current edition of the Florida Building Code, and all other applicable codes.
- The Contractor shall acquaint himself with the existing conditions of the site prior to construction.
- Contractor to verify all dimensions and conditions before proceeding with work. Any discrepancies between existing conditions, improvements shown on the drawings and specifications, etc. should be identified and communicated in writing for resolution by the Owner, before work commences. Written dimensions govern over plan scales or unwritten dimensions. DO NOT SCALE DRAWINGS.
- Coordinate all work with all subcontractors for verification of locations and dimensions of all work requirements to avoid interference with progress of construction.
- The Landscape Architect is not responsible or liable for the integrity or correctness of the existing conditions and its components. Project is based on plans and surveys provided by the Owner.
- The Contractor will secure and close all existing and new openings at the site perimeter at the end of each day's work.
- The contractor will provide adequate protection to all existing work, furnishings and fixtures that are to be retained so that they will not be damaged. Any on-site existing trees or palms specified for preservation or transplanting which are damaged or destroyed shall be replaced by GC.
- Contractor to verify existing grades shown on the survey to coordinate work shown on the drawings.
- All existing planting and other site features identified to remain or be preserved shall be properly protected during the construction process, including plant canopy and root zones. Additionally, existing planting to be retained shall be watered regularly in case of drought conditions or if plants indicate they are being stressed due to lack of water.
- All workmanship of Contractor shall be neat, clean, true, and correct.
- All existing utilities (plumbing, gas, electrical) not reused shall be properly removed, capped and/or sealed.
- Contractor shall obtain written approval for substitutions made in specified equipment, planting, materials and colors.
- All materials shall be new and shall bear Underwriters and Union labels where applicable.
- Submit shop drawings for Owner's approval of all items requiring fabrication. Do not fabricate until approved.
- Contractor is responsible to secure all construction materials stored at the job site.
- Storage of material: Contractor shall obtain owner approval for storing materials on the job site during construction.
- Insurance: Contractor shall keep full liability and workmen's compensation insurance for the project at all times during the progress of work.
- The Landscape Architect shall not have control of charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any item to carry out the work in accordance with the contract documents.
- Testing of material: All the required tests shall be performed at the expense of the contractor and by an approved testing laboratory. The test results are to be submitted to the engineer.
- Trash: Contractor to remove all dust, trash, debris resulting from construction from the premises and restore the premises to a clean condition.

HARDSCAPE GENERAL NOTES

- The Owner's Engineer will be responsible for insuring the structural integrity and compliance with all local codes for all elements designed on this sheet.
- See Civil Drawings for all exterior finished grades at curbing, streets, driveways, utilities, and drainage structures.
- Contractor shall verify all dimensions and elevations on site prior to beginning construction, and any discrepancies shall be brought to the immediate attention of the Owner and Landscape Architect.
- Contractor shall stake the layout plan (or retain a registered surveyor, if required) in the field and have such staking approved by the Owner and Landscape Architect prior to proceeding with construction. The building contractor shall report all layout discrepancies immediately to the Owner and Landscape Architect for decision.
- Contractor is responsible for location and protection of all existing underground and aboveground utilities, asphalt, curbs, walks, above ground structures and vegetation as noted on the landscape plans.
- All dimensions are to face of curb unless otherwise noted.
- All planters are flush to paving surface unless otherwise noted.
- All Planter dimensions indicate open planting zone, and do not include structural planter walls.
- All angles are 90 degrees unless otherwise noted.

LANDSCAPE GENERAL NOTES

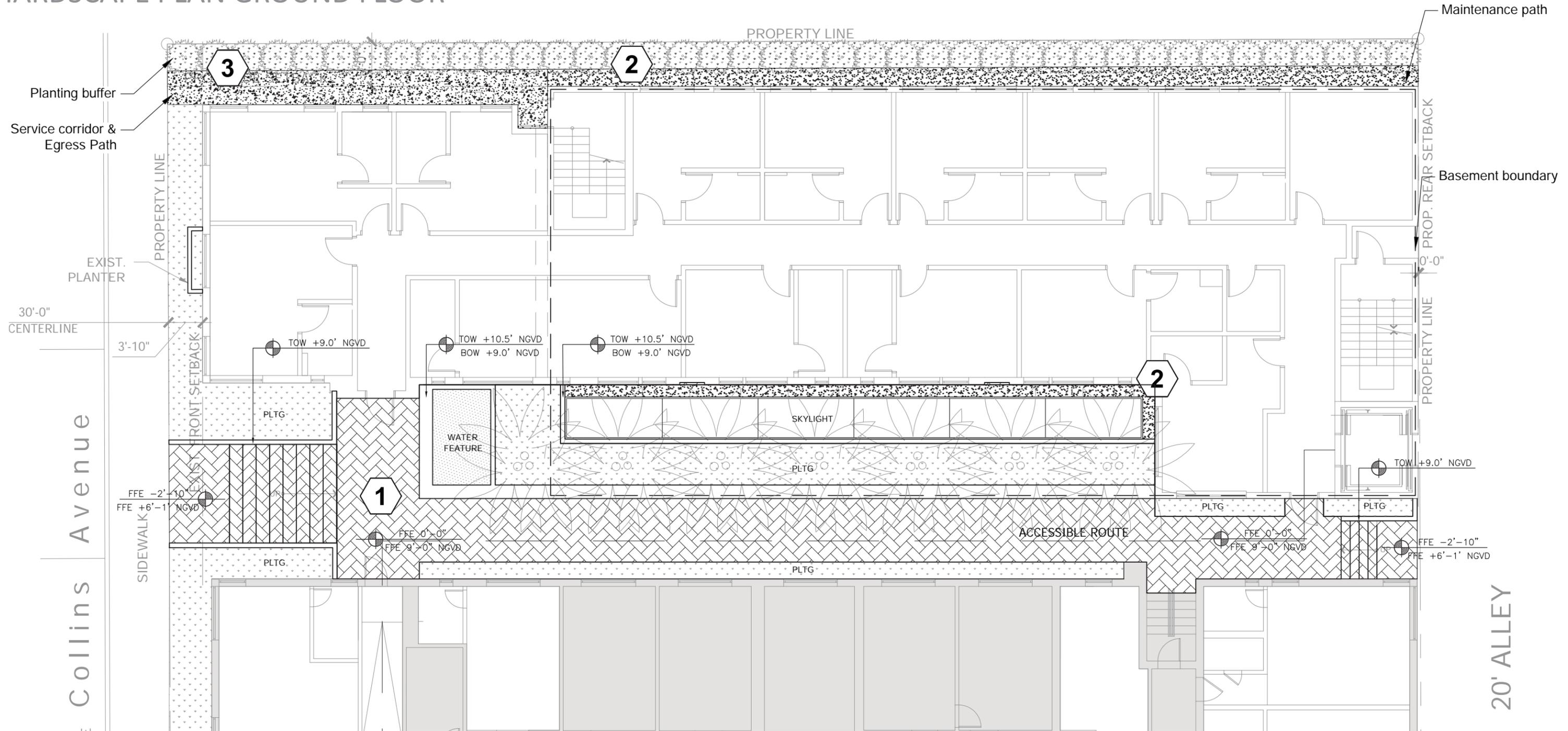
- All plants furnished by the Landscape Contractor unless otherwise specified shall be Florida No.1 or better, and shall be specified in Grades and Standards for Nursery Plants, Part 1 (2nd Ed., 1998) by the Florida Department of Agriculture and Consumer Services Division of the plant industry.
- All shrubs and groundcovers shall be guaranteed for six months from date of final acceptance. All trees and palms shall be guaranteed for one year from date of final acceptance. The Contractor shall be responsible to remove all the failing plant materials and replace them with the same kind and size material as specified in the plant list, with the same guarantee as initial planting.
- Contractor shall familiarize him/herself with the limits of work and existing conditions and verify all information. Where discrepancies with quantities and/or species differ between the planting plan(s) and the plant list, the contractor shall notify owner's representative in writing within seven (7) calendar days of notice to proceed. No changes shall be made without the prior, written consent of the Landscape Architect and/or Owner.
- Any substitution in size and/or plant material must be approved by the Landscape Architect in writing. All plants will be subject to approval by the Landscape Architect and/or owner's representative before planting can begin.
- All biodegradable burlap shall be untied and pulled down on the ball. Wire baskets and other non-biodegradable material attached to plants shall be removed prior to planting. Care shall be taken not to break or disturb rootball of plants.
- All plants shall be watered immediately after planting.
- Planting soil shall be weed-free, and consist of 70% clean, coarse, sharp, Lake Wales Silica Sand (alternate: Ortona or FDOT #3 coarse silica sand) and 30% Everglades muck mixed with the approved, native, soil in a ONE-THIRDS (1/3) ratio of planting soil, and TWO-THIRDS (2/3) ratio of planting hole/bed excavation soil - or approved Topsoil Stockpile.

FDOT #3 particle size distribution	
Screen Size	%
#16/1-18 mm	6
#30/.60 mm	51
#50/.30 mm	87
#100/.15 mm	98
#200/.075 mm	99
FM	2.42

- A four inch (4") Sod Soil Blanket to be installed beneath all Sod areas. 90% clean, coarse, sharp, Lake Wales Silica Sand (alternate FDOT #3 coarse silica sand) and 10% Everglades Muck. The sod soil blanket shall be natural, friable, and free from rocks larger than 1/2" diameter, weeds, stumps, plant tissue, litter, toxic substances, or any other deleterious materials.
- All planting beds to be weed and grass free. Contractor shall apply herbicide to soil as recommended by manufacturer.
- Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities and other obstructions and coordinate with owner's representative in writing prior to initiating operations.
- Landscape Contractor shall locate and verify all underground utilities and obtain As-Built information prior to digging. Drawings were prepared according to the best information available at the time. Contractor shall notify owner's representative in writing within seven (7) calendar days of notice to proceed with any discrepancies.
- All trees and palms shall be staked as shown in the plans. No nail staking permitted.
- Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed on the plant list.
- The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications.
- All trees shall be fertilized at installation with "Agriform Pills", 21 gram size, with a 20-10-5 formulation, (or approved equal), according to manufacturer's recommendations.
- All palms and other plants shall be fertilized at installation with Florida Atlantic East Coast Fertilizer "Palm Special" 8-2-12 time-release fertilizer (with slow release sulphur) according to manufacturer's recommendations, unless otherwise approved by the Landscape Architect.
- Cover all planting beds with a minimum of 3" layer of shredded Melaleuca, or Eucalyptus mulch, Grade B. Do not use Cypress Mulch.
- Where quantities and/or species differ between the planting plan(s) and the plant list, the plan(s) shall govern.
- A fully automatic, zoned irrigation system, equipped with an approved rain sensor and providing 100% coverage of planted areas with minimum 50% overlap, shall be installed by the Contractor. Adjust irrigation nozzle spray to avoid overspray onto adjacent sidewalks, asphalt paving, and properties.
- Place and maintain protective barriers around the drip line of all trees to be retained on site. These barriers shall be easily visible and sturdily constructed. No heavy equipment or materials shall be stored within the drip line of protected trees. Any trees or palms designated to remain on-site which the City determines to have been damaged during construction shall promptly be replaced with plants of equivalent size and value as required at no cost to the City.
- General Contractor shall submit photos to Landscape Architect for approval for all plant material 7 gallons or larger unless otherwise specified.
- Loss of branches 4" or greater due to transport and install are the responsibility of the GC and grounds for immediate rejection by Landscape Architect.
- All plans with reference to outdoor improvements, such as Civil, MEP, Structural, etc. shall be provided to the Landscape Architect in CAD format for review a minimum of 2 weeks before final Construction Document submission for bidding.
- Remove all nursery stakes, supports, braces, tape and labels at time of planting.
- Keep mulch 3"-4" away from trunk.
- Remove container and cut circling roots if container-grown, or as much burlap as possible if field grown.

NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT WRITTEN SPECIFICATIONS

HARDSCAPE PLAN GROUND FLOOR



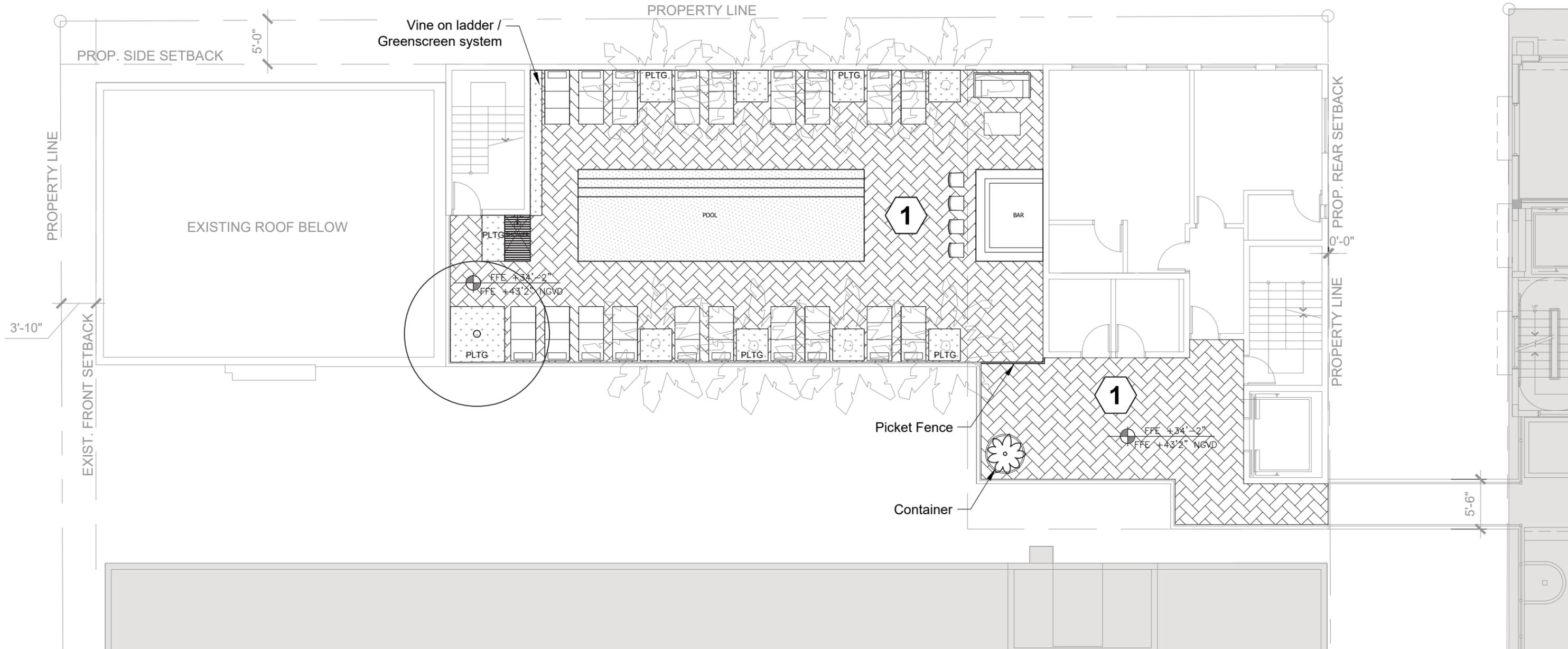
ESSEX HOUSE - HARDSCAPE SCHEDULE		
PATTERN	SYMBOL	DESCRIPTION
	1	CONCRETE PAVERS
	2	GRAVEL
	3	CONCRETE PAVING - SALT FINISH



SCALE: 3/32"=1'-0"



HARDSCAPE PLAN AMENITY DECK



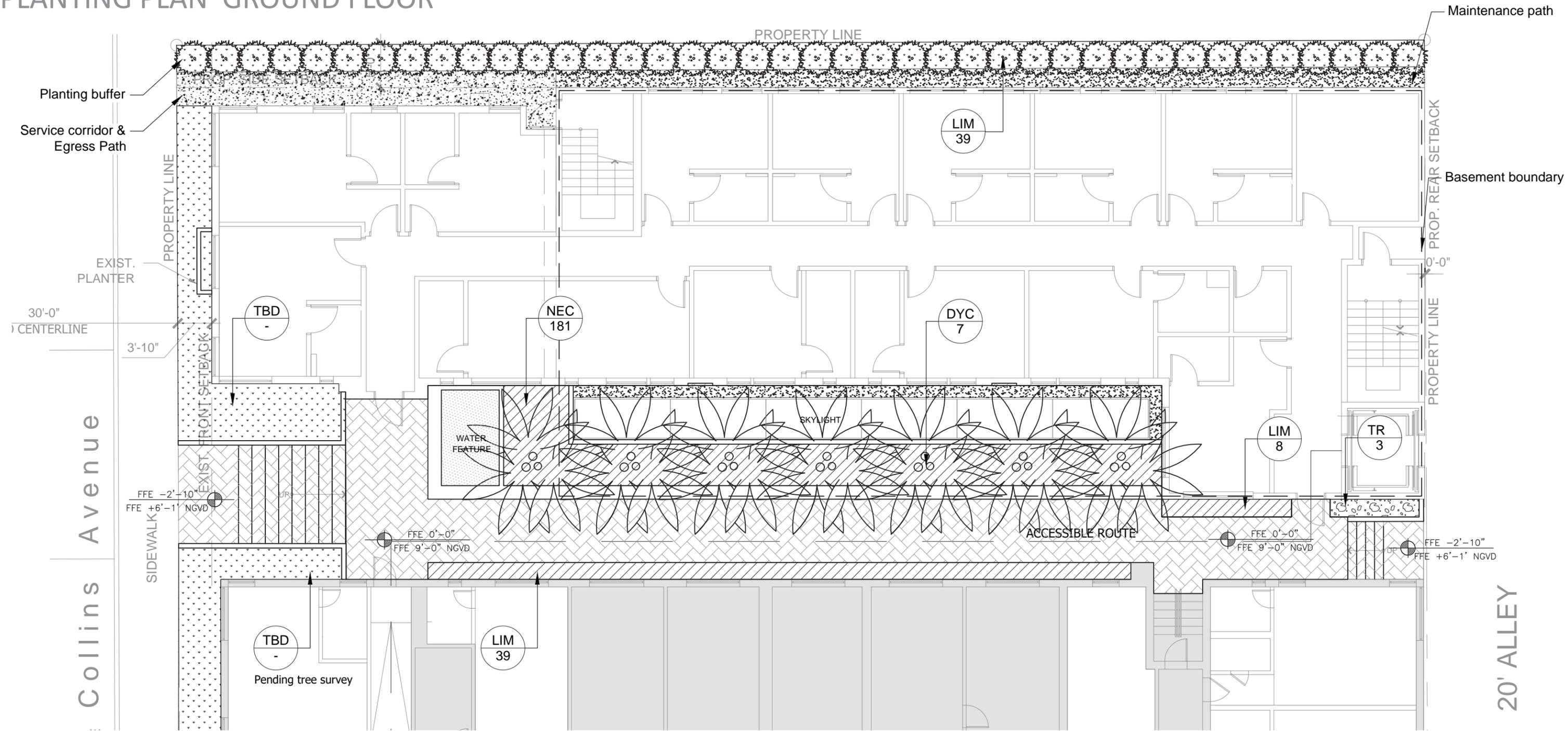
ESSEX HOUSE - HARDSCAPE SCHEDULE		
PATTERN	SYMBOL	DESCRIPTION
	1	CONCRETE PAVERS
	2	GRAVEL
	3	CONCRETE PAVING - SALT FINISH



SCALE: 3/32"=1'-0"



PLANTING PLAN GROUND FLOOR



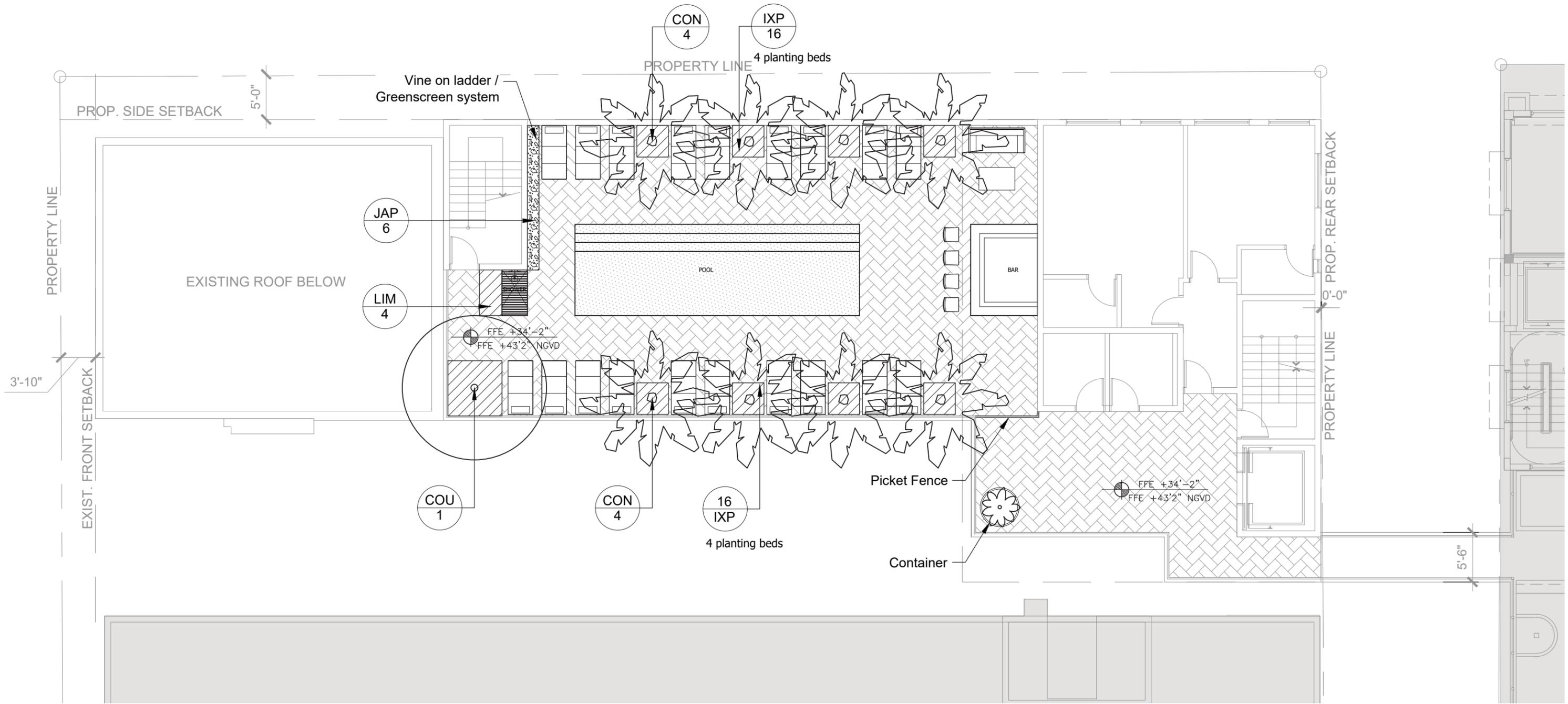
ESSEX HOUSE PLANTING SCHEDULE

TREES & PALMS	Quantity	Botanical/Common	Container	DBH	Height	Spread	Remarks	Water Usage Low	Native
COU	1	Coccoloba uvifera Sea Grape	B & B	10" all trunks	12'- 14' Ht.	9'-10'	Multi-trunk Specimen Character - Tree-form		X
CON	8	Cocos nucifera 'Green Malayan' Coconut Palm	B & B		8' GW		Matched trunks	X	
DYC	7	Dyopsis cabadae Cabada Palm	B & B		12'- 14' Ht.		Multi-trunk, 5 trunk minimum. Specimen character		
BAV	40	Bambusa vulgaris 'Vittata' Golden Hawaiian Stripe Bamboo	25 GAL.		14'- 16' Ht.		6 trunk min. Alternate Traveler's Palm		
Total	56								

Shrubs & Groundcovers	Quantity	Botanical/Common	Container	DBH	Height	Spread	Spacing	Remarks	Low	Native
IXP	42	Ixora x 'Petite Taiwan Red' Dwarf Red Taiwan Ixora	3 Gal.		8" -12" OA		24" o.c.		X	
JAP	6	Jacquemontia pentantha Skyblue Clustervine	3 Gal.		12" - 18" OA		24" o.c.			X
LIM	51	Liriope muscari 'Evergreen Giant' Evergreen Giant Border Grass	3 Gal.		8" -12" OA		24" o.c.		X	
NEC	181	Neomarica caerulea Marica Iris	1 gal.		12" - 18" OA		18" o.c.			
TRJ	3	Trachelospermum jasminoides Confederate Jasmine	3 GAL		12" - 18" OA		36" o.c.		X	
Total	283									

SCALE: 3/32"=1'-0"

PLANTING PLAN AMENITY DECK



ESSEX HOUSE PLANTING SCHEDULE

TREES & PALMS	Quantity	Botanical/Common	Container	DBH	Height	Spread	Remarks	Water Usage Low	Native
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DYC	7	Dyopsis cabadae Cabada Palm	B & B		12' - 14' Ht.		Multi-trunk, 5 trunk minimum. Specimen character		
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LIM	51	Liriope muscari "Evergreen Giant" Evergreen Giant Border Grass	3 Gal.		8" - 12" OA		24" o.c.		X	
NEC	181	Neomarica caerulea Marica Iris	1 gal.		12" - 18" OA		18" o.c.			
TRJ	3	Trachelospermum jasminoides Confederate Jasmine	3 GAL		12" - 18" OA		36" o.c.		X	
Total	283									

SCALE: 3/32"=1'-0"



PLANTING MATERIAL

TREES & PALMS



Coccoloba uvifera
Sea Grape



Cocos nucifera 'Green Malayan'
Coconut Palm



Dypsis cabadae
Cabada Palm



Bambusa vulgaris 'Vittata'
Golden Hawaiian Stripe Bamboo

SHRUBS, GROUNDCOVERS & VINES



Red Ixora
Ixora coccinea



Liriope muscari 'Evergreen Giant'
Evergreen Giant Border Grass



Neomarica caerulea
Marica Iris



Sea Lavender
Argusia gnaphalodes



Confederate Jasmine
Trachelospermum jasminoides



Jacquemontia pentantha
Skyblue Clustervine