

AFFIDAVIT

I, Eric Carpenter, being duly sworn, depose and say that I am the ^{Assistant} City Manager of the City of Miami Beach and as such, am the representative of the owner of the described real property, and am authorized by the City to sign this Affidavit as part of an application for a public hearing for a Historic Preservation Approval before the Historic Preservation Board.

I am aware of the nature and effect of the request described above relative to the subject property. I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a NOTICE OF PUBLIC HEARING on the property as required by law and I take the responsibility of removing this notice after the date of hearing.

This instrument is executed pursuant to the requirements of the Planning Department and attests to the accuracy of the above statement. Execution hereof does not constitute approval or disapproval of the application which it addresses.

Eric Carpenter for JLM
CITY MANAGER'S SIGNATURE

STATE OF FLORIDA)
) SS
COUNTY OF MIAMI-DADE)

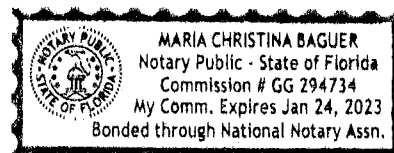
Sworn to and subscribed before me this 30 day of July, 2019. The foregoing instrument was acknowledged before me by Eric Carpenter, who is personally known to me and who did/did not take an oath.

NOTARY PUBLIC (signature)

M Christina Baguer

My commission expires: 1/24/23
NOTARY PUBLIC
STATE OF FLORIDA

(type, print or stamp name)



SKETCH AND DESCRIPTION

NOT A BOUNDARY SURVEY
SEE SHEET 2 OF 2 FOR SKETCH OF DESCRIPTION

20 FOOT AERIAL EASEMENT FOR PEDESTRIAN WALKWAY

A 20 FOOT AERIAL EASEMENT LYING IN THAT PORTION OF A 20 FOOT ALLEY LYING WITHIN BLOCK 15 OF OCEAN BEACH FLORIDA ADDITION NO. 2, AS RECORDED IN PLAT BOOK 2, PAGE 56, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING AND BEING IN THAT PORTION OF SECTION 3, TOWNSHIP 54 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA, THE HORIZONTAL LIMITS OF SAID EASEMENT BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 9 OF SAID BLOCK 15 OF OCEAN BEACH FLORIDA ADDITION NO. 2, THENCE RUN NORTH $10^{\circ}39'53''$ EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID 20 FOOT ALLEY, FOR 91.91 FEET TO A POINT LYING 2.09 FEET, MORE OR LESS, SOUTH OF THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 15 AND THE POINT OF BEGINNING;

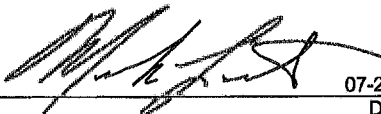
FROM SAID POINT OF BEGINNING THENCE RUN SOUTH $79^{\circ}06'53''$ EAST, FOR 20.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SAID 20 FOOT ALLEY AND A POINT LYING 1.83 FEET, MORE OR LESS, SOUTH OF THE NORTHWEST CORNER OF LOT 7 OF SAID BLOCK 15 OF OCEAN BEACH FLORIDA ADDITION NO. 2; THENCE RUN SOUTH $10^{\circ}39'53''$ WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, FOR 6.00 FEET; THENCE LEAVING SAID EASTERLY RIGHT OF LINE RUN NORTH $79^{\circ}06'53''$ WEST, FOR 20.00 FEET TO A POINT ON SAID WESTERLY RIGHT OF WAY LINE OF 20 FOOT ALLEY; THENCE RUN NORTH $10^{\circ}39'53''$ EAST ALONG SAID WESTERLY RIGHT OF WAY LINE, FOR 6.00 FEET TO THE POINT OF BEGINNING.

THE VERTICAL LIMITS OF THE ABOVE EASEMENT ARE BETWEEN AN ELEVATION OF 42.5 FEET (NGVD29), LOWER LIMIT, TO AN ELEVATION OF 56.5 FEET (NGVD29), UPPER LIMIT.

BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF THE 20 FOOT ALLEY TO BEAR NORTH $10^{\circ}39'53''$ EAST, ASSUMED.

NOTES:

1. I, MARK G. LEIST, HEREBY CERTIFY THAT THIS SKETCH REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 472 OF THE FLORIDA STATUTES AND CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
2. THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY. © 2019 BOCK AND CLARK CORPORATION, AN NV5 COMPANY



07-24-2019
DATE

MARK G. LEIST
REGISTRATION NO. PSM 5836
IN THE STATE OF FLORIDA
DATE OF SKETCH: JULY 23, 2019
DATE OF LAST REVISION: JULY 23, 2019



Bock & Clark Corporation
an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)

3550 W. Market Street, Suite 200, Akron, Ohio 44333

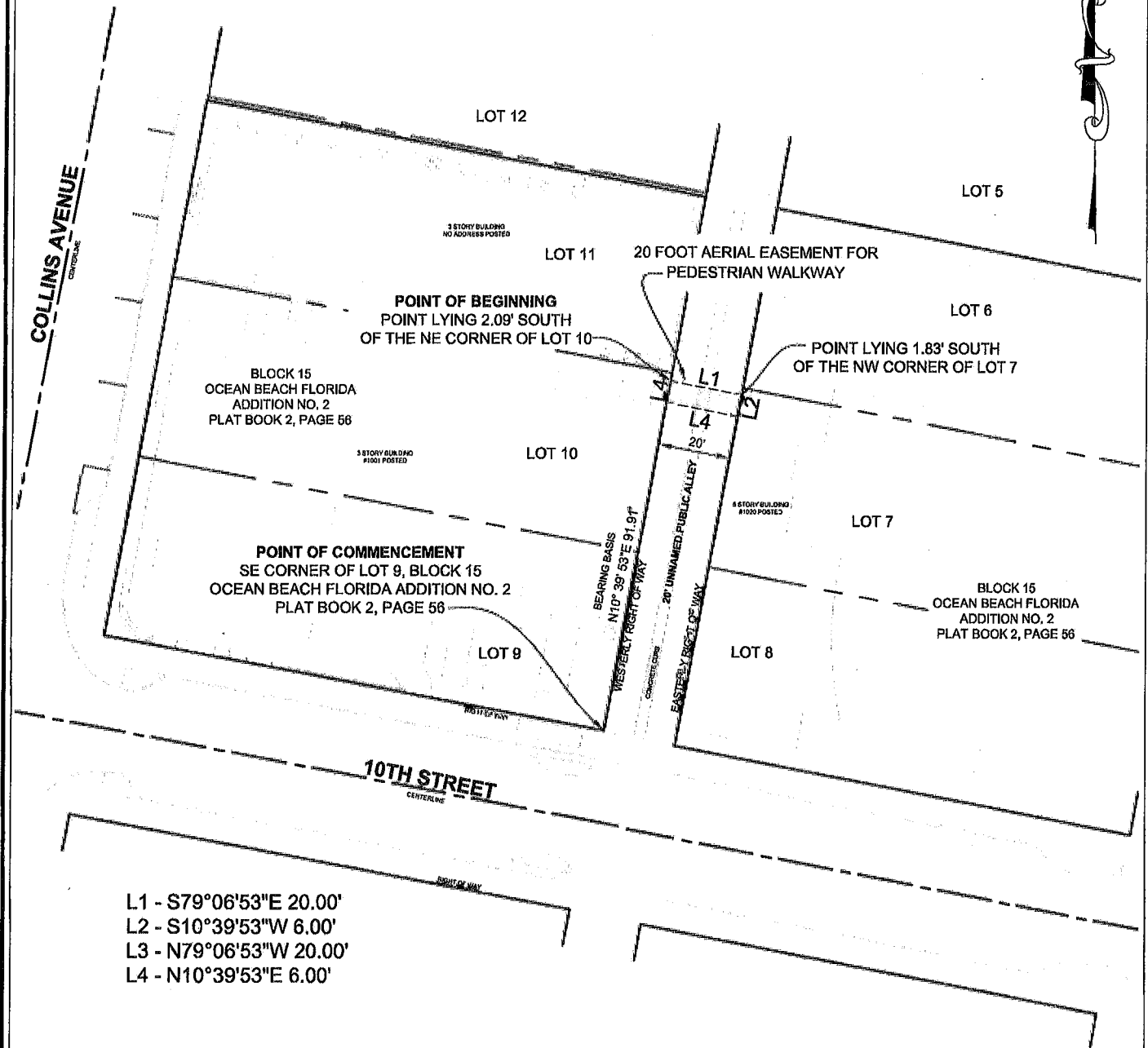
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

SKETCH & DESCRIPTION PREPARED BY:
BOCK & CLARK CORP., AN NV5 COMPANY L.B. 7386
8111 BLAIEKIE COURT, SUITE B
SARASOTA, FL 34240
PHONE: (800) 787-8395
FAX: (941) 379-3083
EMAIL: mike.vukoder@nv5.com
NOT VALID UNLESS SIGNED, DATED AND
STAMPED WITH SURVEYOR'S EMBOSSED SEAL

SHEET 1 OF 2
NETWORK PROJECT NO. 201902224-002

SKETCH AND DESCRIPTION
NOT A BOUNDARY SURVEY
SEE SHEET 1 OF 2 FOR LEGAL DESCRIPTION



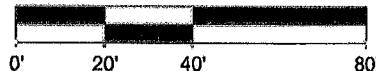
L1 - S79°06'53"E 20.00'
L2 - S10°39'53"W 6.00'
L3 - N79°06'53"W 20.00'
L4 - N10°39'53"E 6.00'

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SCALE : 1" = 40'



SHEET 2 OF 2
NETWORK PROJECT NO. 201902224-002