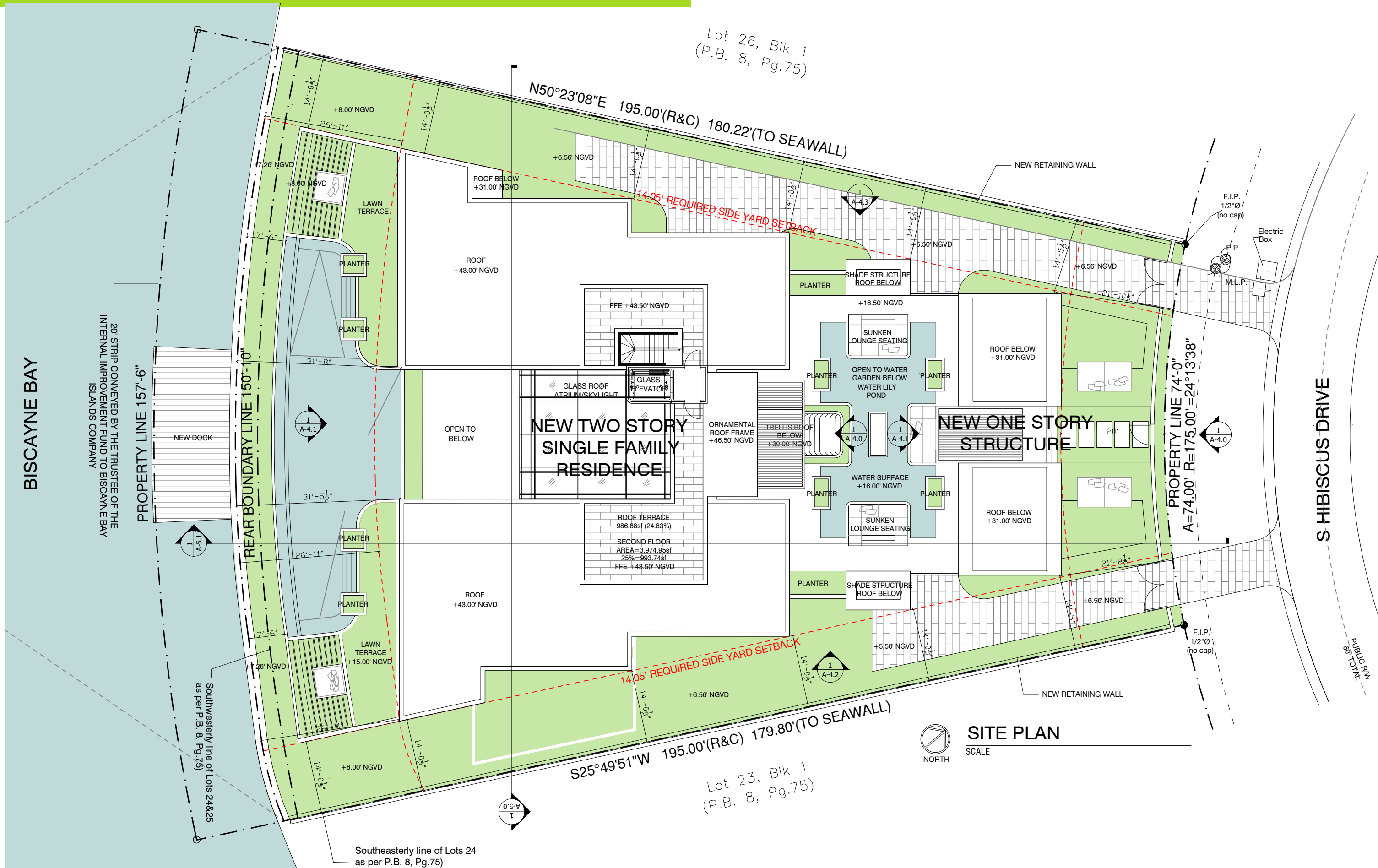


ZONING DATA SHEET

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	420 S HIBISCUS DRIVE MIAMI BEACH FL33139			
2	Folio number(s):	02-3232-006-0210			
3	Board and file numbers :				
4	Year built:	1937	Zoning District:	RS-3	
5	Based Flood Elevation:	+10'-0"NGVD	Grade value in NGVD:	+5.66' NGVD	
6	Adjusted grade (Flood+Grade/2):	+7.83' NGVD	Free board:	+5.00'	
7	Lot Area:	19,687sf			
8	Lot width:	112.42'	Lot Depth:	179.33'	
9	Max Lot Coverage SF and %:	5,906.10sf (30%)	Proposed Lot Coverage SF and %:	5,829.73sf (29.61%)	
10	Existing Lot Coverage SF and %:	TBD	Lot coverage deducted (garage-storage) SF:		
11	Front Yard Open Space SF and %:	1,095.51sf (70.00%)	Rear Yard Open Space SF and %:	2,830.38sf (72.50%)	
12	Max Unit Size SF and %:	9,843.50sf (50%)	Proposed Unit Size SF and %:	9,805.74sf (49.81%)	
13	Existing First Floor Unit Size:	TBD	Proposed First Floor Unit Size:	5,563.88sf	
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	4,638.10sf (83.20%)	
15		TBD	Proposed Second Floor Unit Size SF and % :	3,974.95sf	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	986.88sf (24.83%)	
		Required	Existing	Proposed	
17	Height:	24'-0" (28'-0" w/DRB)	TBD	28'-0"	N/A
18	Setbacks:				
19	Front First level:	20'-0"	TBD	20'-0"	N/A
20	Front Second level:	30'-0"	N/A	30'-0"	N/A
21	Side 1:	14.05'	TBD	14.05'	N/A
22	Side 2 or (facing street):	14.05'	TBD	14.05'	N/A
23	Rear:	26.09'	TBD	26.09'	N/A
	Accessory Structure Side 1:	N/A	N/A		N/A
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A		N/A
25	Accessory Structure Rear:	N/A	N/A	N/A	N/A
26	Sum of Side yard :	28.10'	TBD	28.10'	3'-0"
27	Located within a Local Historic District?			no	
28	Designated as an individual Historic Single Family Residence Site?			no	
29	Determined to be Architecturally Significant?			no	
	Notes:				
	If not applicable write N/A				
	All other data information should be presented like the above format				

PROPOSED BUILDING - SITE PLAN



Lot 26, Blk 1
(P.B. 8, Pg.75)

Lot 23, Blk 1
(P.B. 8, Pg.75)

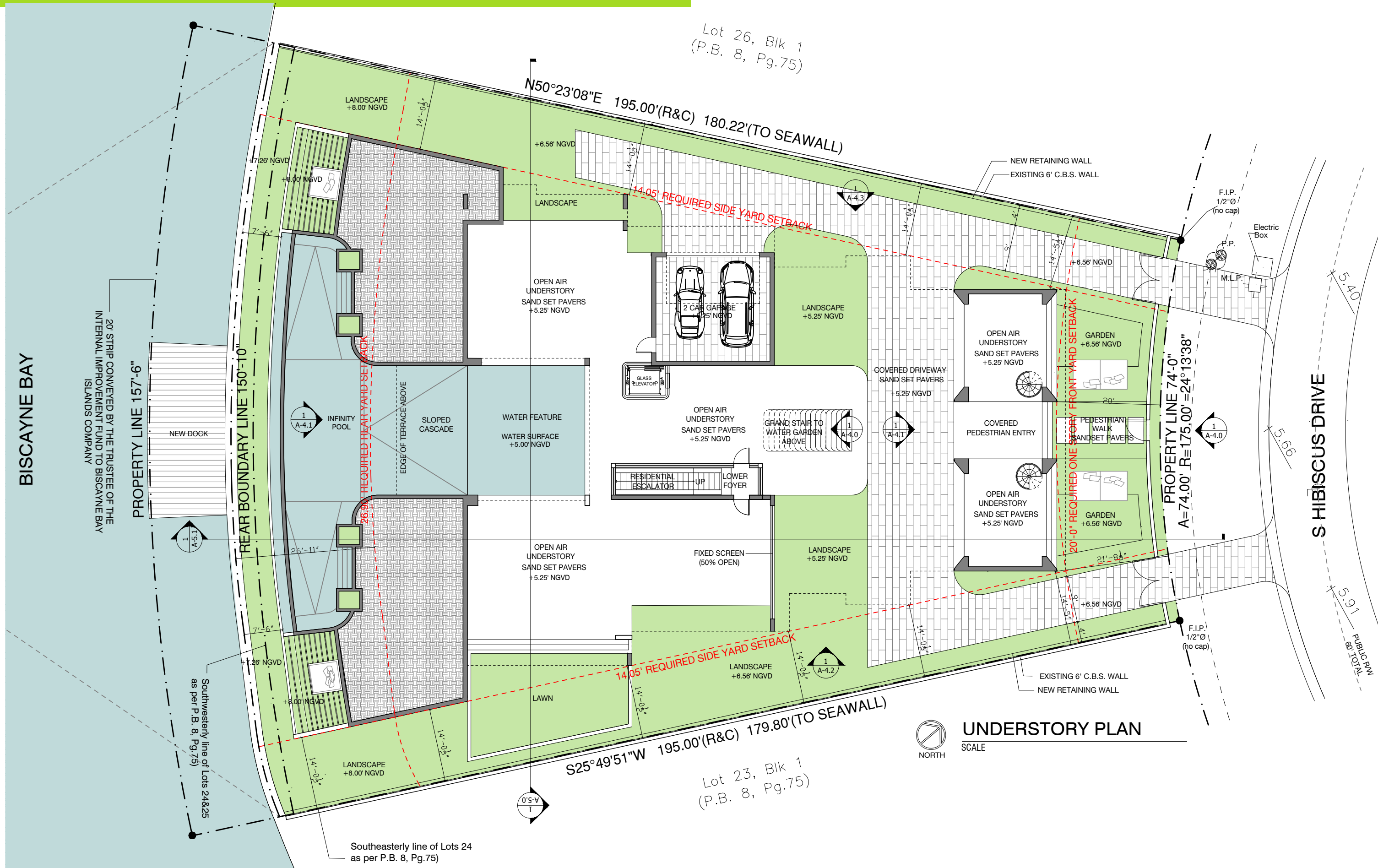
SITE PLAN
SCALE



PROPOSED BUILDING - UNDERSTORY PLAN

Lot 26, Blk 1
(P.B. 8, Pg.75)

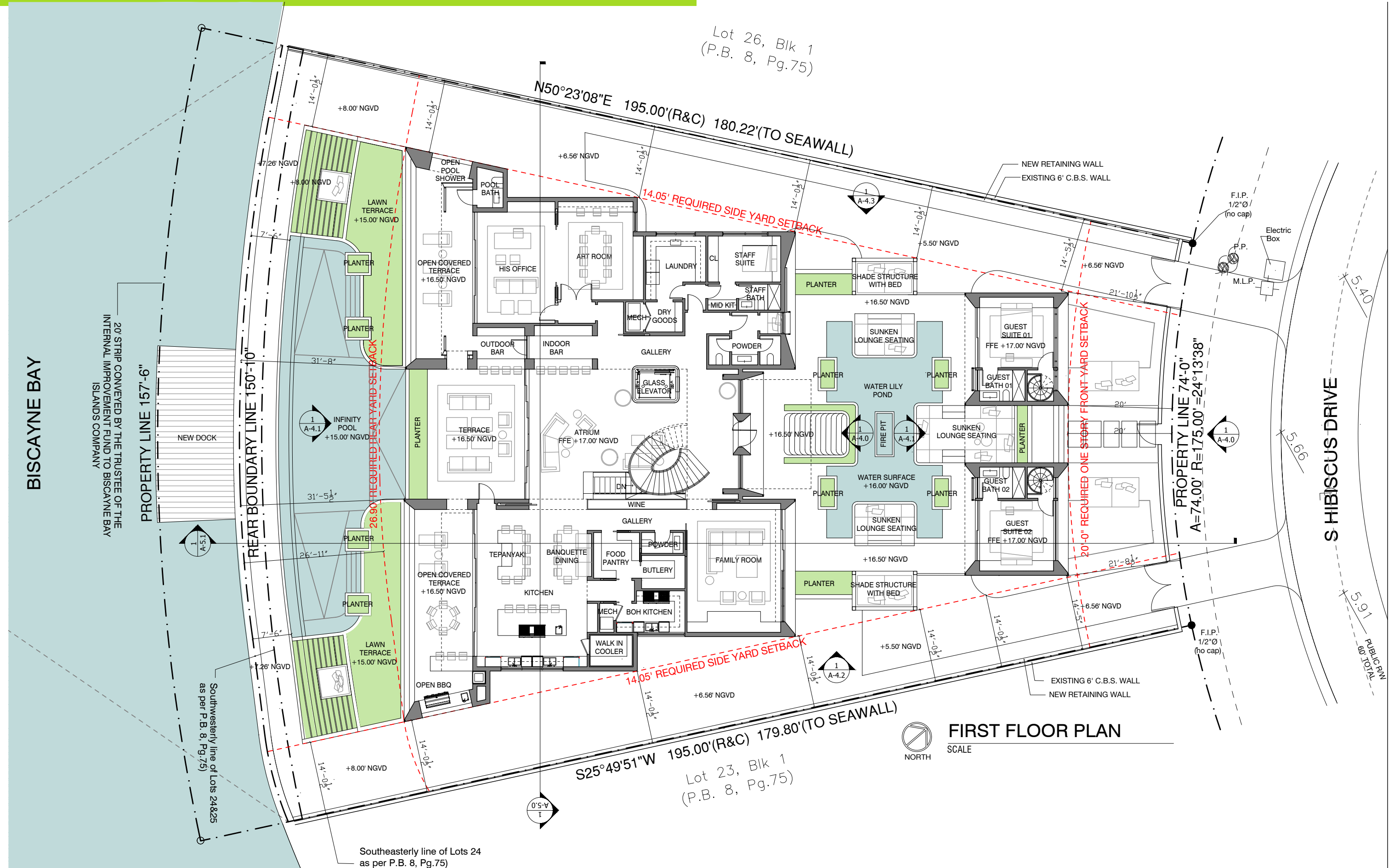
Lot 23, Blk 1
(P.B. 8, Pg.75)



UNDERSTOREY PLAN
SCALE



PROPOSED BUILDING - FIRST FLOOR PLAN



BISCAYNE BAY

S HIBISCUS DRIVE

Lot 26, Blk 1
(P.B. 8, Pg.75)

Lot 23, Blk 1
(P.B. 8, Pg.75)

FIRST FLOOR PLAN

SCALE

PROPOSED BUILDING - SECOND FLOOR PLAN

Lot 26, Blk 1
(P.B. 8, Pg.75)

N50°23'08"E 195.00'(R&C) 180.22'(TO SEAWALL)

S HIBISCUS DRIVE

PUBLIC RW
80' TOTAL

BISCAYNE BAY

20' STRIP CONVEYED BY THE TRUSTEE OF THE
INTERNAL IMPROVEMENT FUND TO BISCAYNE BAY
ISLANDS COMPANY

PROPERTY LINE 157'-6"

REAR BOUNDARY LINE 150'-10"

PROPERTY LINE 74'-0"
A=74.00' R=175.00' =24°13'38"

Southwesterly line of Lots 24&25
as per P.B. 8, Pg.75)

Southeasterly line of Lots 24
as per P.B. 8, Pg.75)

S25°49'51"W 195.00'(R&C) 179.80'(TO SEAWALL)

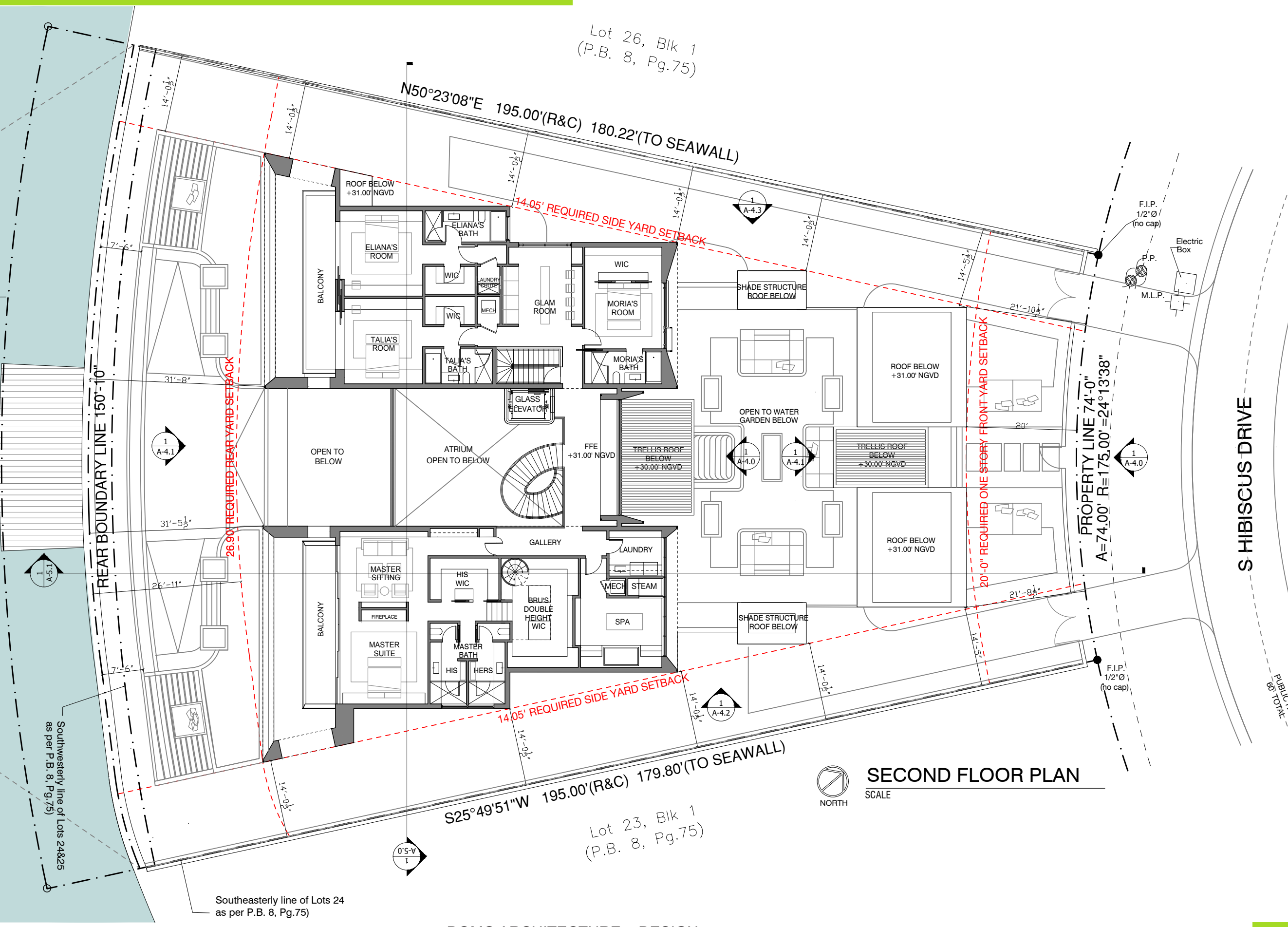
Lot 23, Blk 1
(P.B. 8, Pg.75)

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

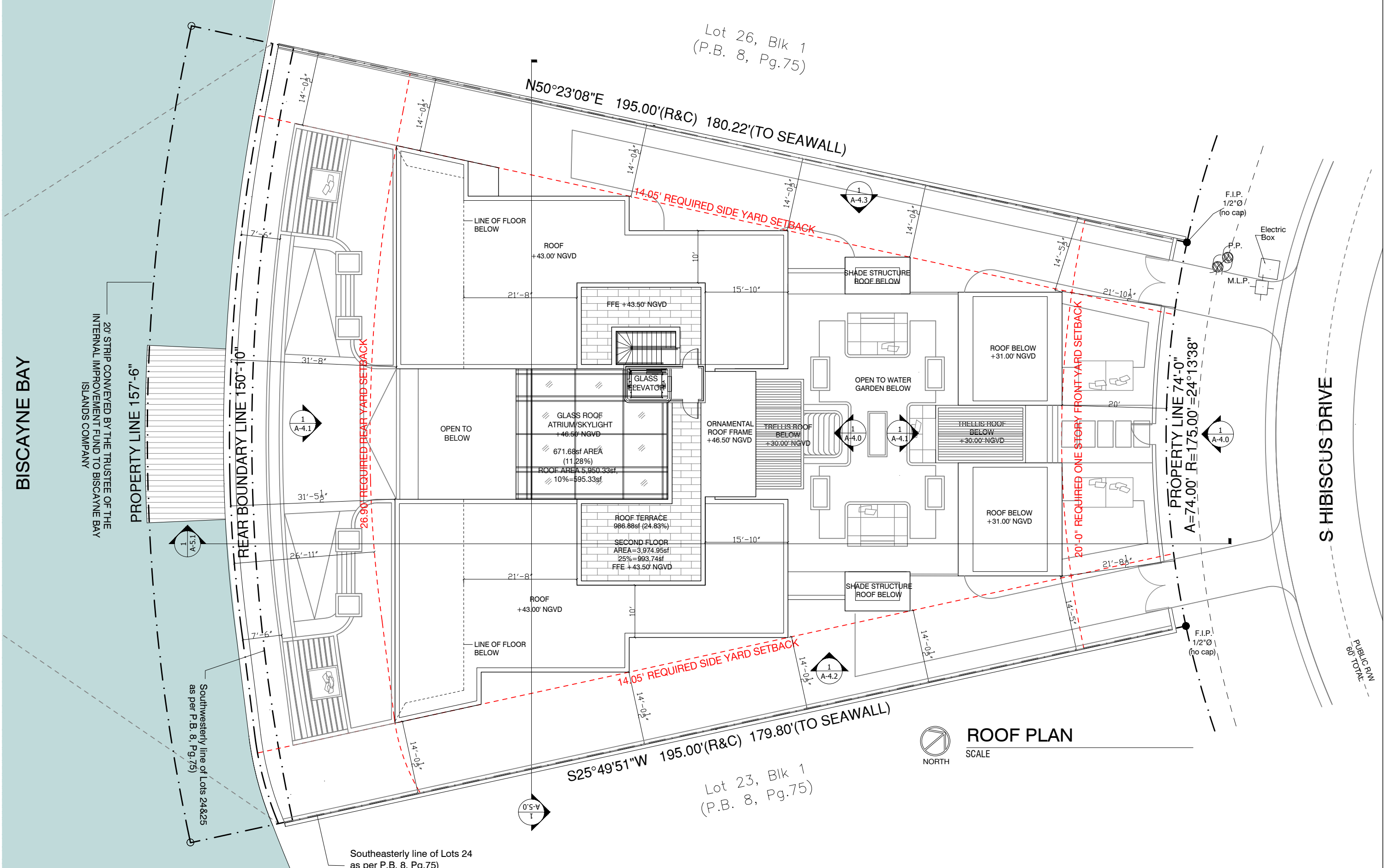


SECOND FLOOR PLAN

SCALE



PROPOSED BUILDING - ROOF PLAN



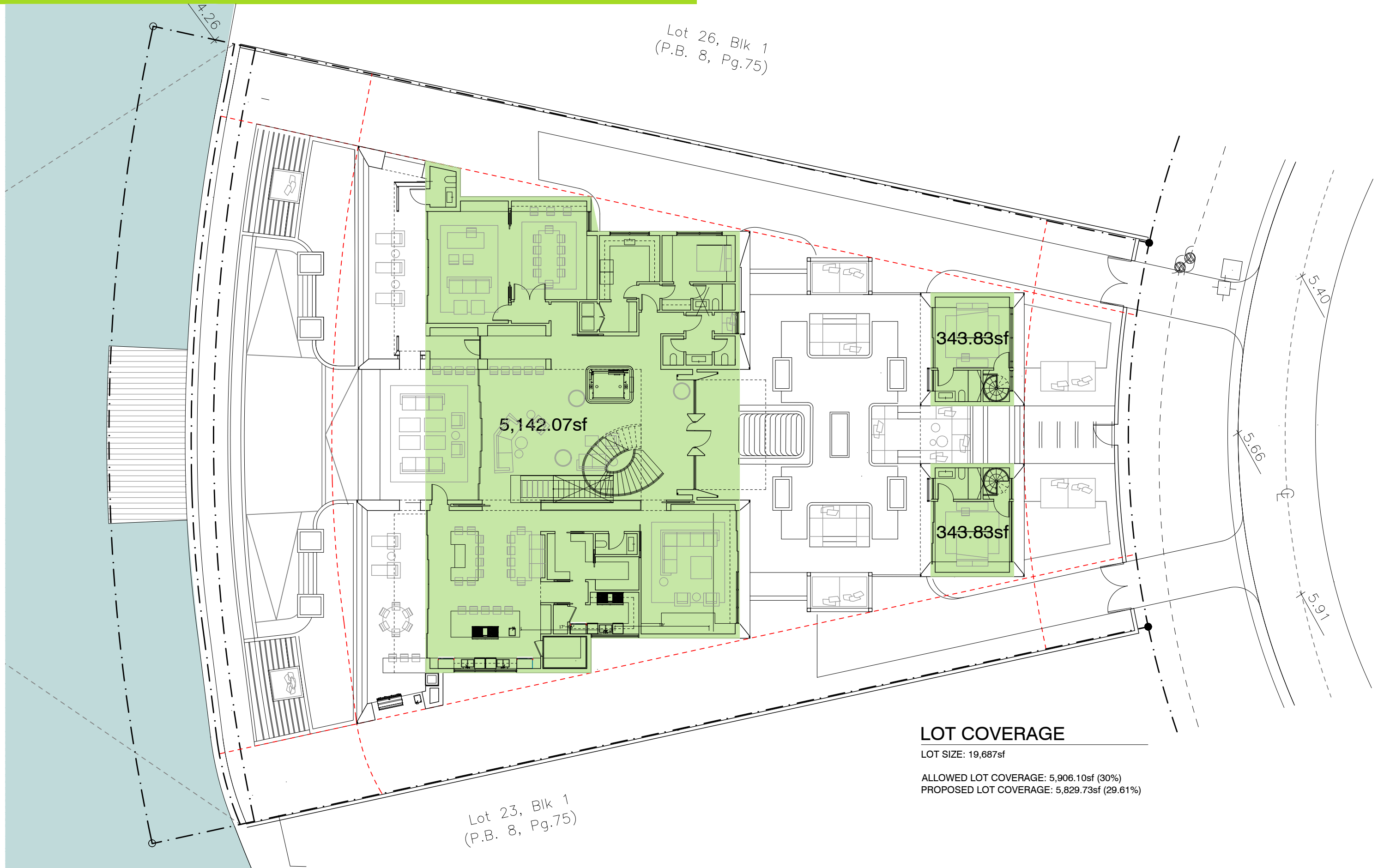
420 SOUTH HIBISCUS
MIAMI BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

ROOF PLAN
SCALE

NORTH

ZONING DIAGRAM - LOT COVERAGE



Lot 26, Blk 1
(P.B. 8, Pg.75)

Lot 23, Blk 1
(P.B. 8, Pg.75)

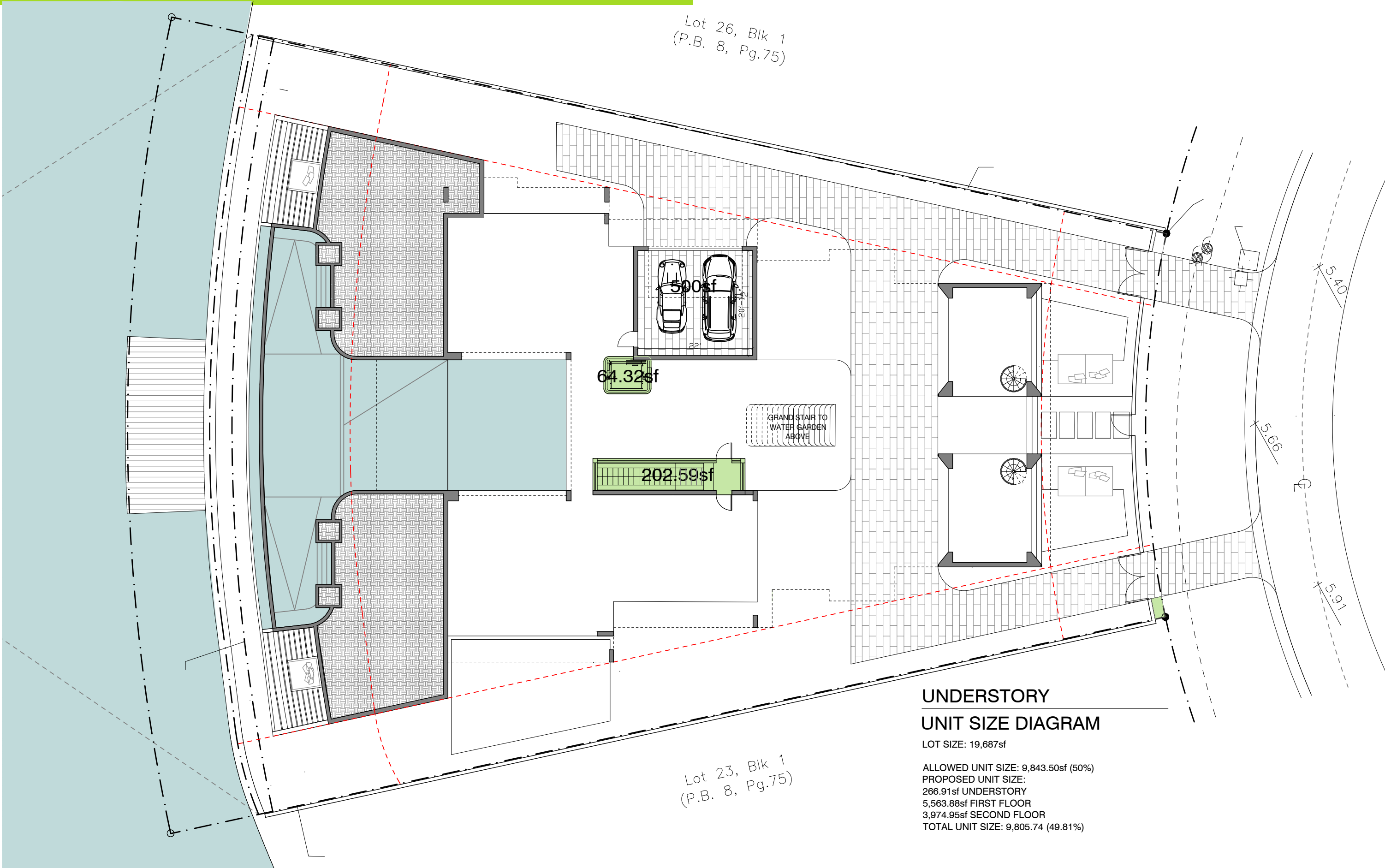
LOT COVERAGE

LOT SIZE: 19,687sf
ALLOWED LOT COVERAGE: 5,906.10sf (30%)
PROPOSED LOT COVERAGE: 5,829.73sf (29.61%)

ZONING DIAGRAM - UNIT SIZE

Lot 26, Blk 1
(P.B. 8, Pg.75)

Lot 23, Blk 1
(P.B. 8, Pg.75)



UNDERSTORY UNIT SIZE DIAGRAM

LOT SIZE: 19,687sf

ALLOWED UNIT SIZE: 9,843.50sf (50%)

PROPOSED UNIT SIZE:

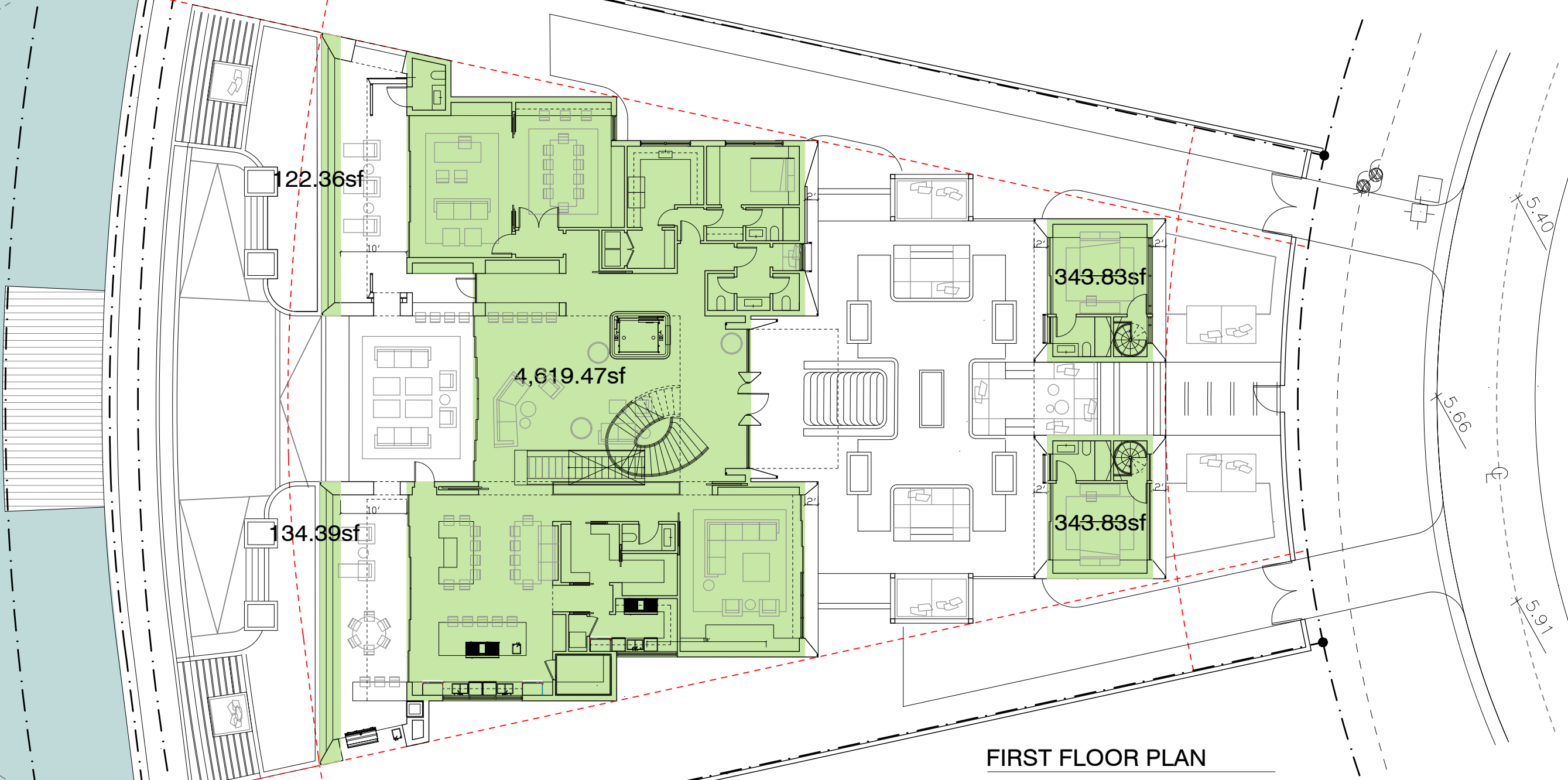
- 266.91sf UNDERSTORY
- 5,563.88sf FIRST FLOOR
- 3,974.95sf SECOND FLOOR

TOTAL UNIT SIZE: 9,805.74 (49.81%)

ZONING DIAGRAM - UNIT SIZE

Lot 26, Blk 1
(P.B. 8, Pg.75)

Lot 23, Blk 1
(P.B. 8, Pg.75)



FIRST FLOOR PLAN UNIT SIZE DIAGRAM

LOT SIZE: 19,687sf

ALLOWED UNIT SIZE: 9,843.50sf (50%)
PROPOSED UNIT SIZE:
266.91sf UNDERSTORY
5,563.88sf FIRST FLOOR
3,974.95sf SECOND FLOOR
TOTAL UNIT SIZE: 9,805.74 (49.81%)

ZONING DIAGRAM - UNIT SIZE

Lot 26, Blk 1
(P.B. 8, Pg.75)

3,974.95sf

Lot 23, Blk 1
(P.B. 8, Pg.75)

SECOND FLOOR PLAN UNIT SIZE DIAGRAM

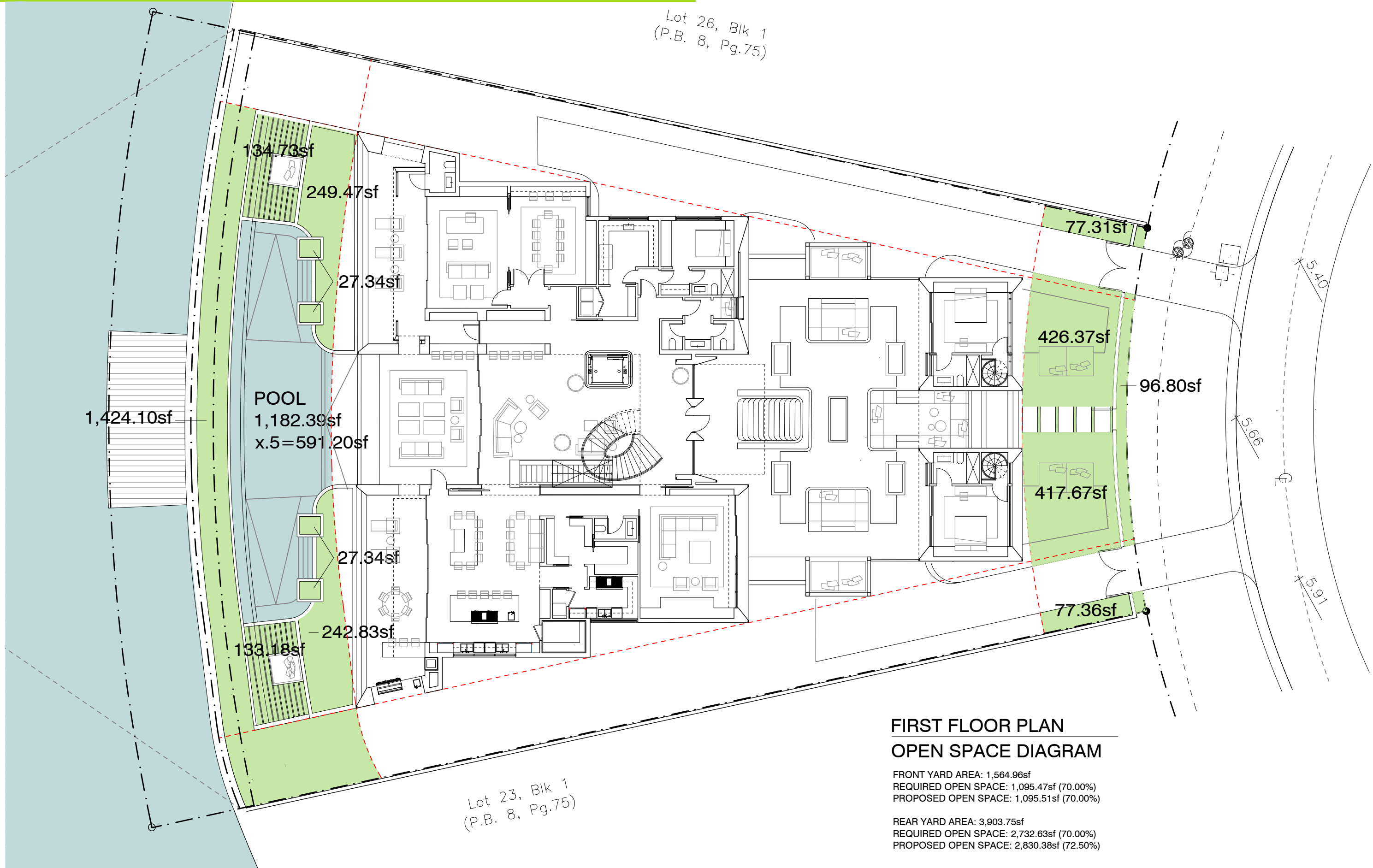
LOT SIZE: 19,687sf

ALLOWED UNIT SIZE: 9,843.50sf (50%)
PROPOSED UNIT SIZE:
266.91sf UNDERSTORY
5,563.88sf FIRST FLOOR
3,974.95sf SECOND FLOOR
TOTAL UNIT SIZE: 9,805.74 (49.81%)

ZONING DIAGRAM - OPEN SPACE

Lot 26, Blk 1
(P.B. 8, Pg.75)

Lot 23, Blk 1
(P.B. 8, Pg.75)

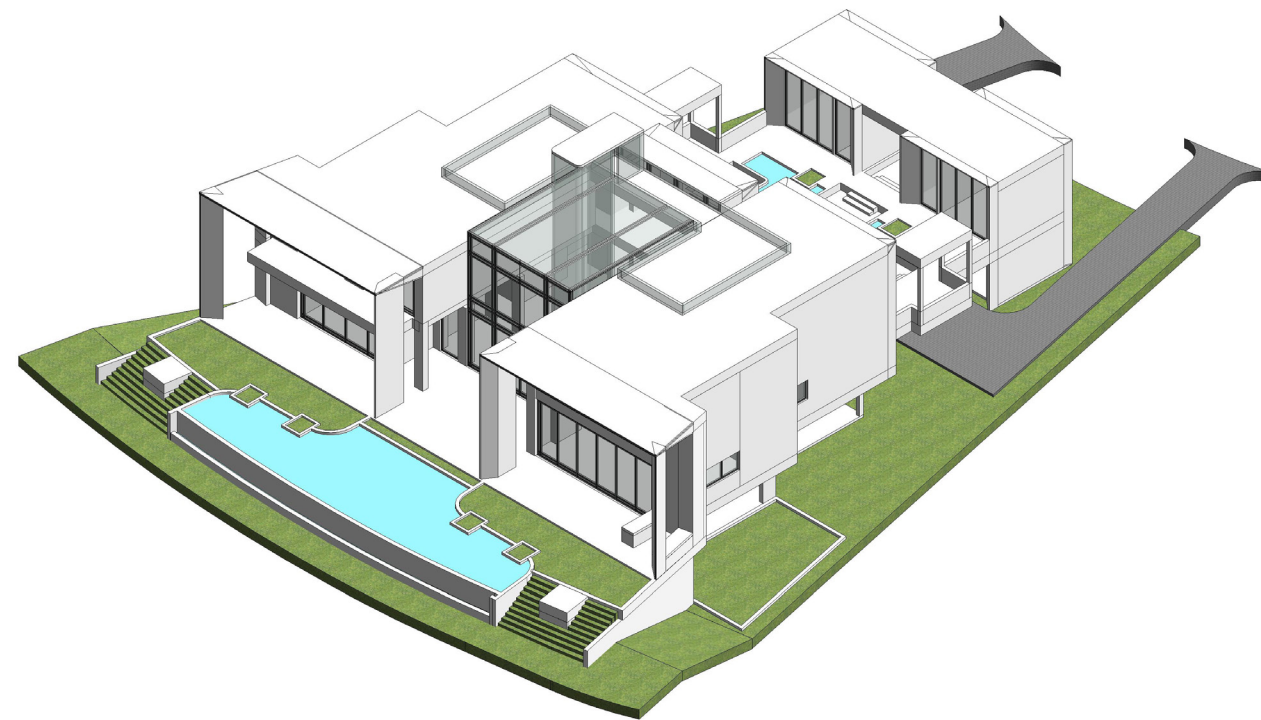
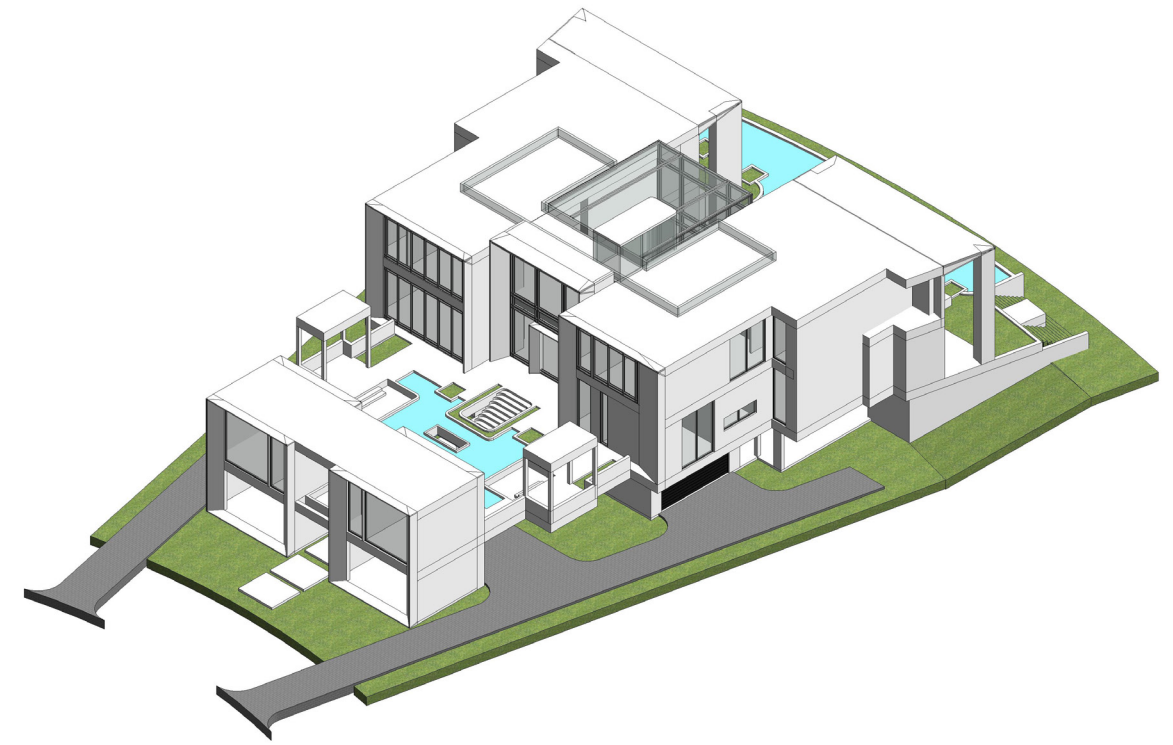


FIRST FLOOR PLAN OPEN SPACE DIAGRAM

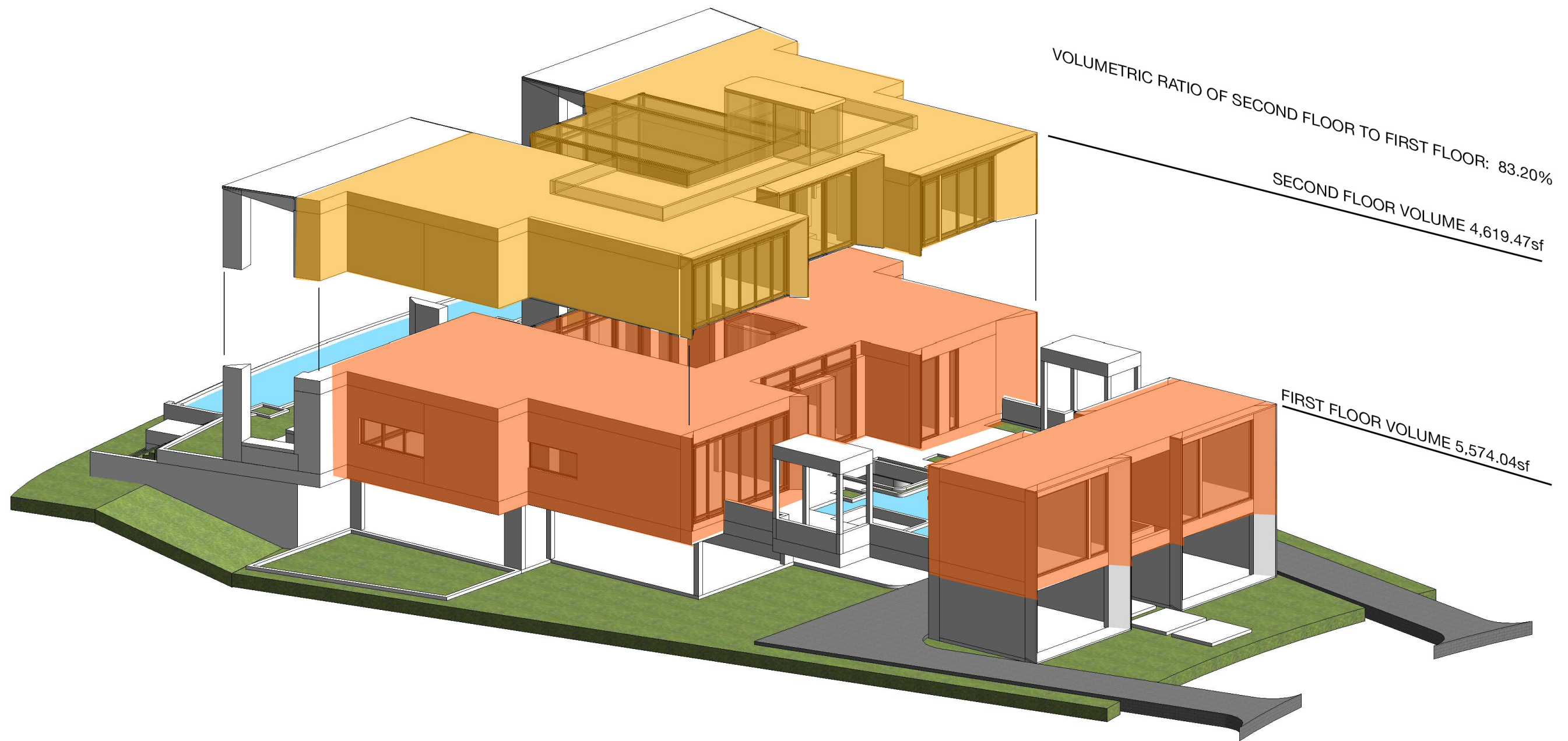
FRONT YARD AREA: 1,564.96sf
 REQUIRED OPEN SPACE: 1,095.47sf (70.00%)
 PROPOSED OPEN SPACE: 1,095.51sf (70.00%)

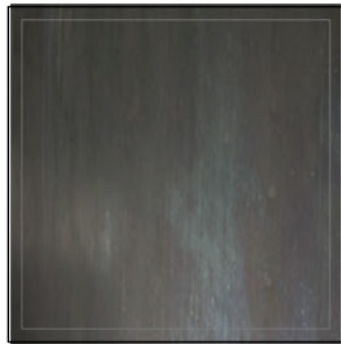
REAR YARD AREA: 3,903.75sf
 REQUIRED OPEN SPACE: 2,732.63sf (70.00%)
 PROPOSED OPEN SPACE: 2,830.38sf (72.50%)

AXONOMETRIC VIEWS

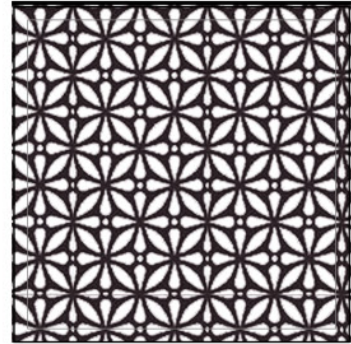


VOLUMETRIC RATIO DIAGRAM





MT1
ALUMINUM MULLIONS
- BRONZE FINISH



MT2
ALUMINUM SCREEN
- BRONZE FINISH



WD1
ALUMINUM WALL
CLADDING- WOOD FINISH



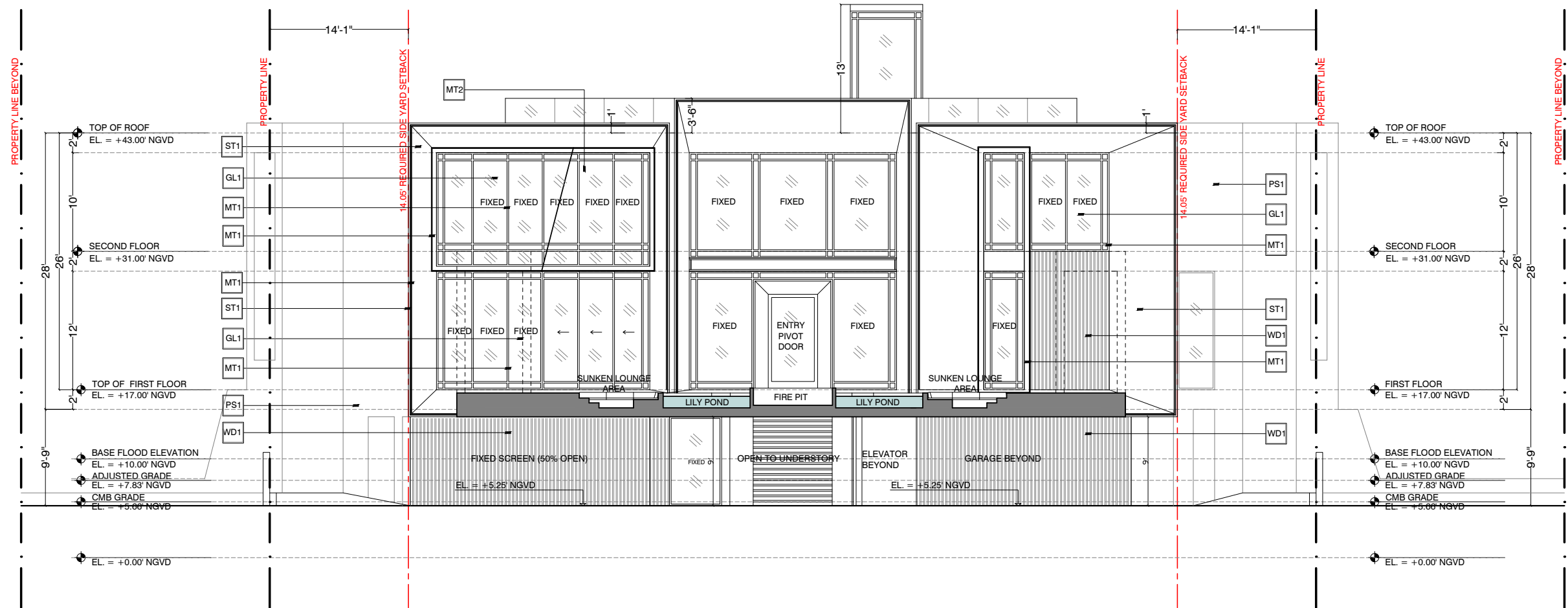
ST1
STONE CLADDING



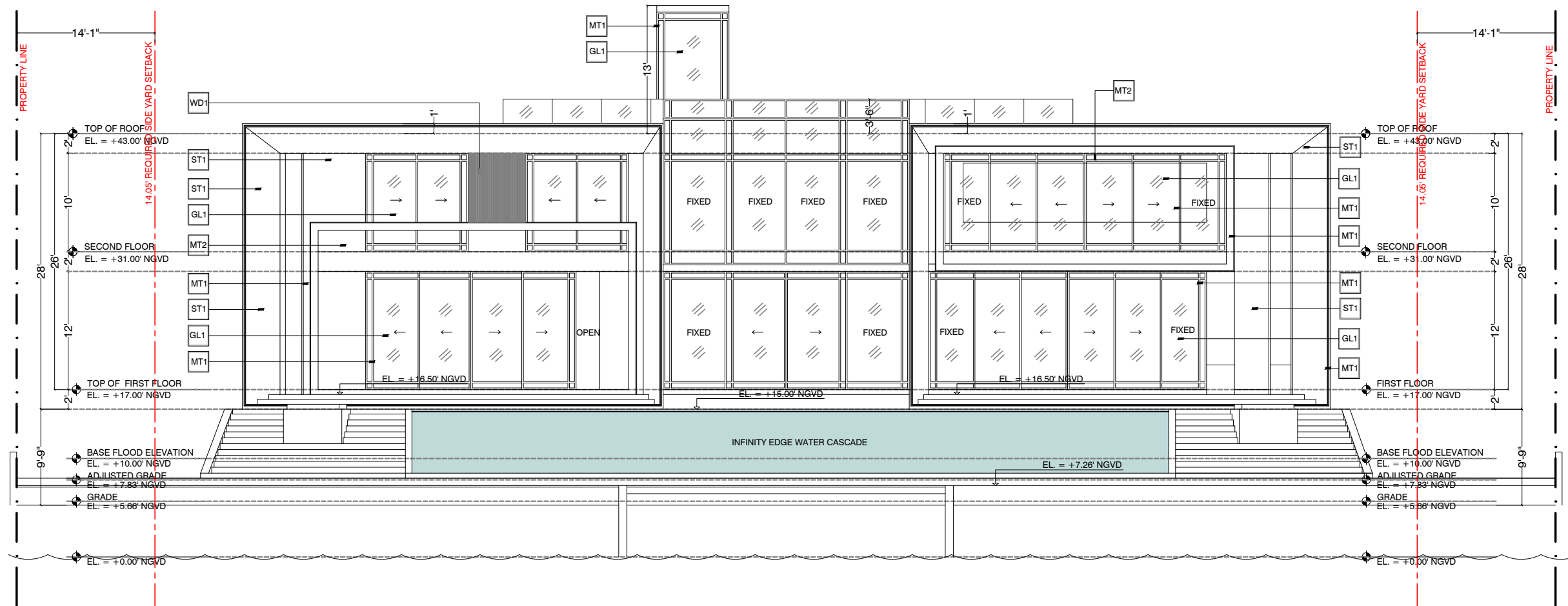
PS1
PAINTED STUCCO
FINISH



GL1
CLEAR IMPACT GLAS

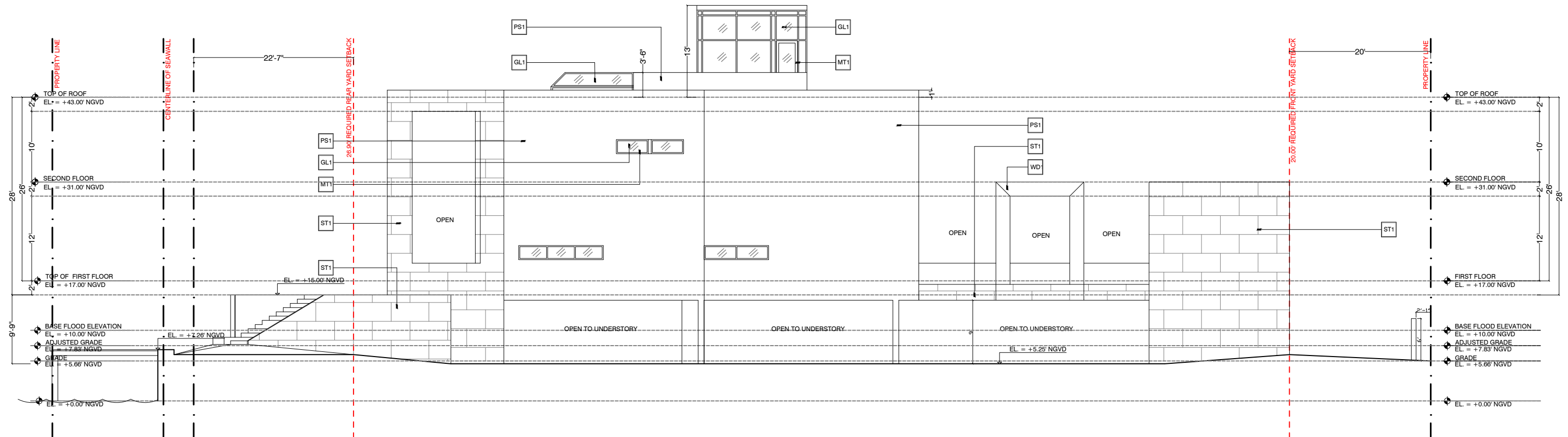


2 NORTH ELEVATION
SCALE - 1/8" = 1'-0"



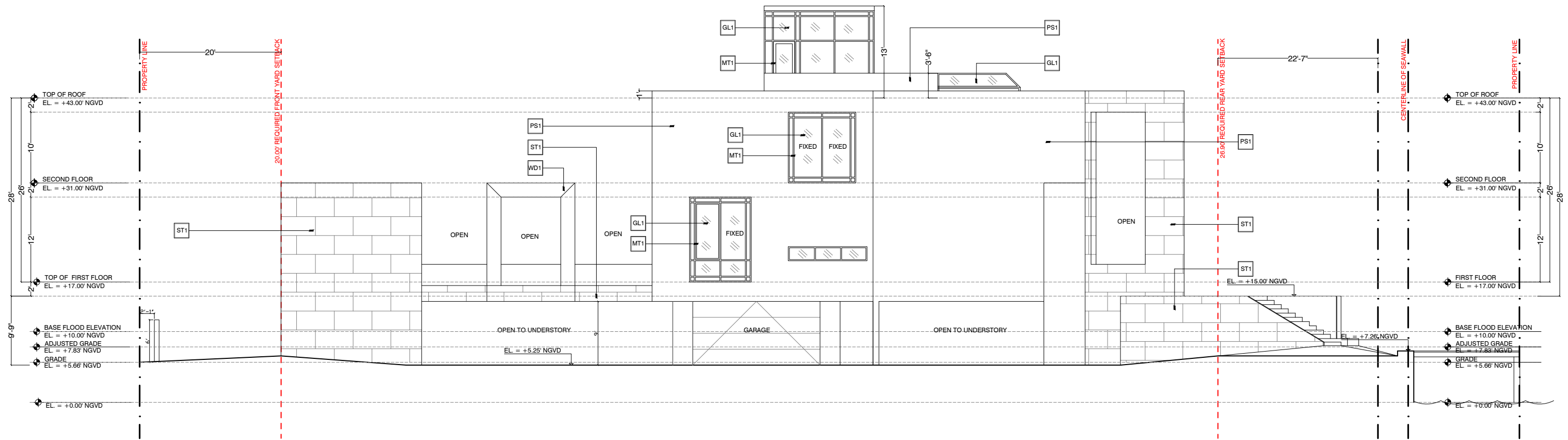
1 SOUTH ELEVATION
SCALE - 1/8" = 1'-0"

ELEVATIONS - EAST



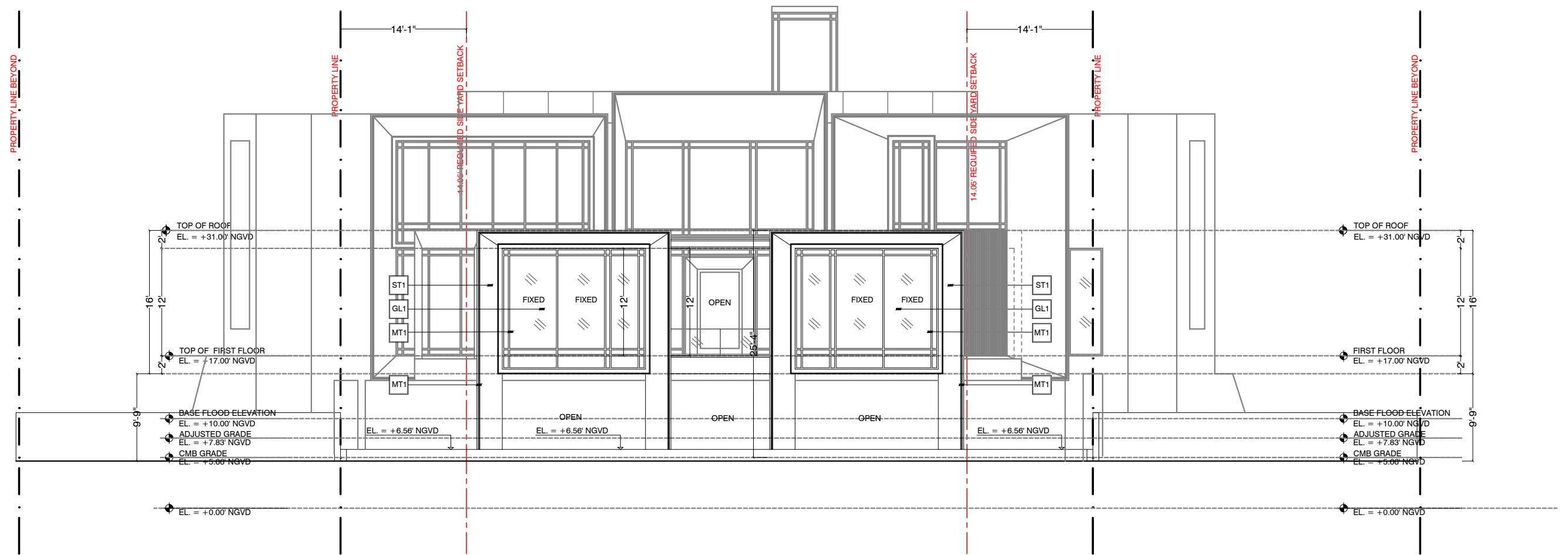
1 EAST ELEVATION
SCALE - 1/8" = 1'-0"

ELEVATIONS - WEST



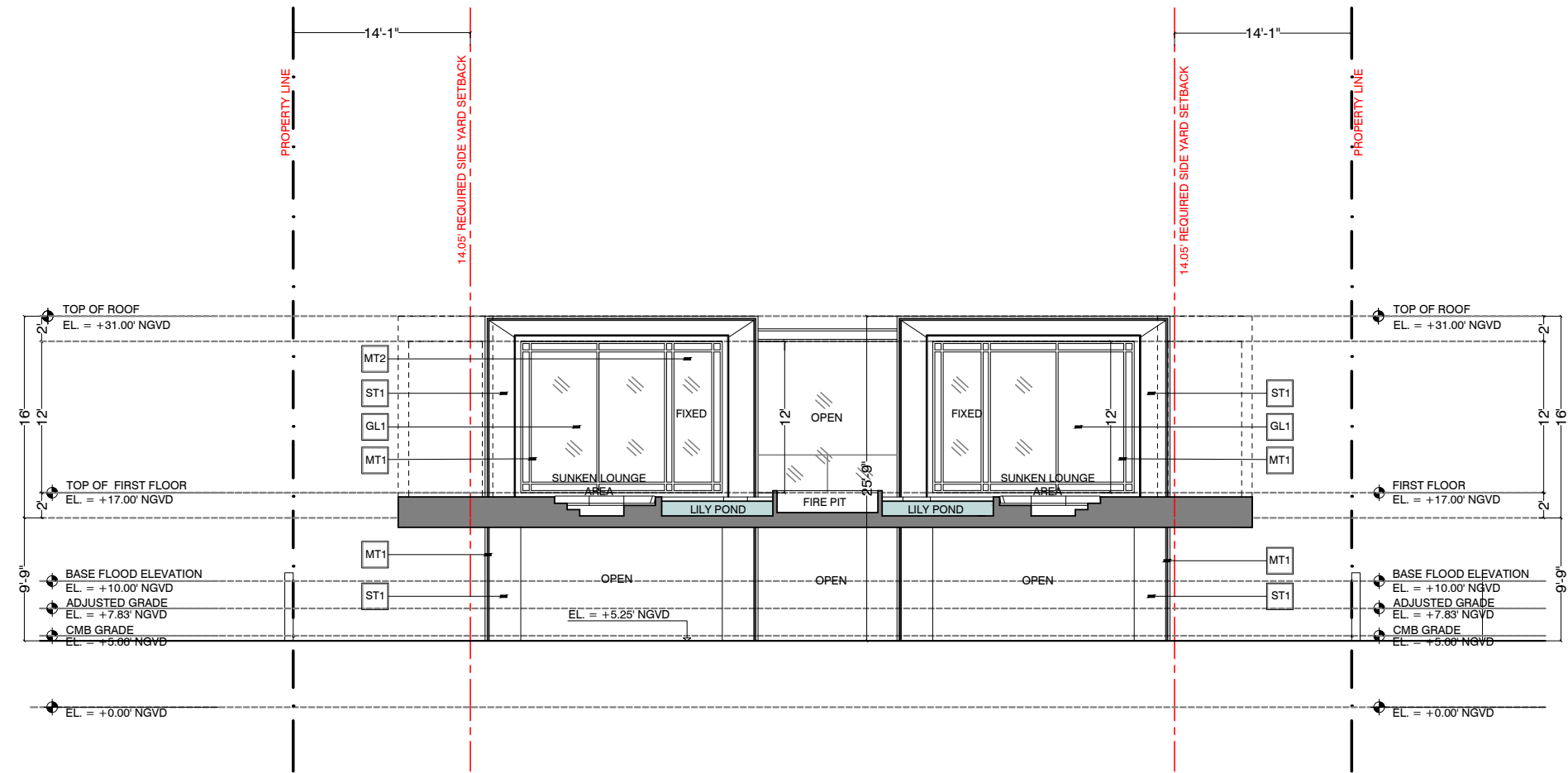
1 WEST ELEVATION
SCALE - 1/8" = 1'-0"

ELEVATIONS - GUEST HOUSE NORTH



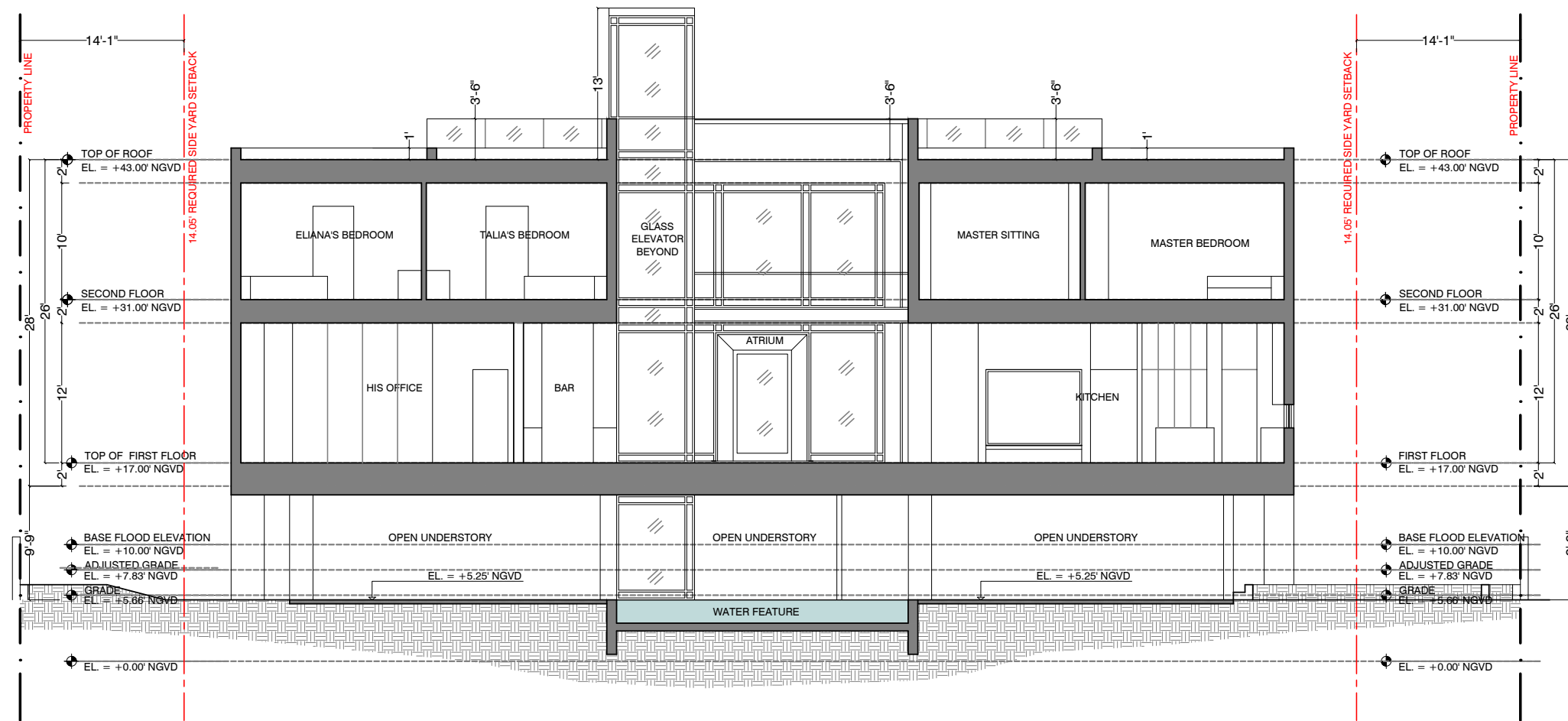
1 NORTH ELEVATION - GUEST HOUSE
SCALE - 1/8" = 1'-0"

ELEVATIONS - GUEST HOUSE SOUTH



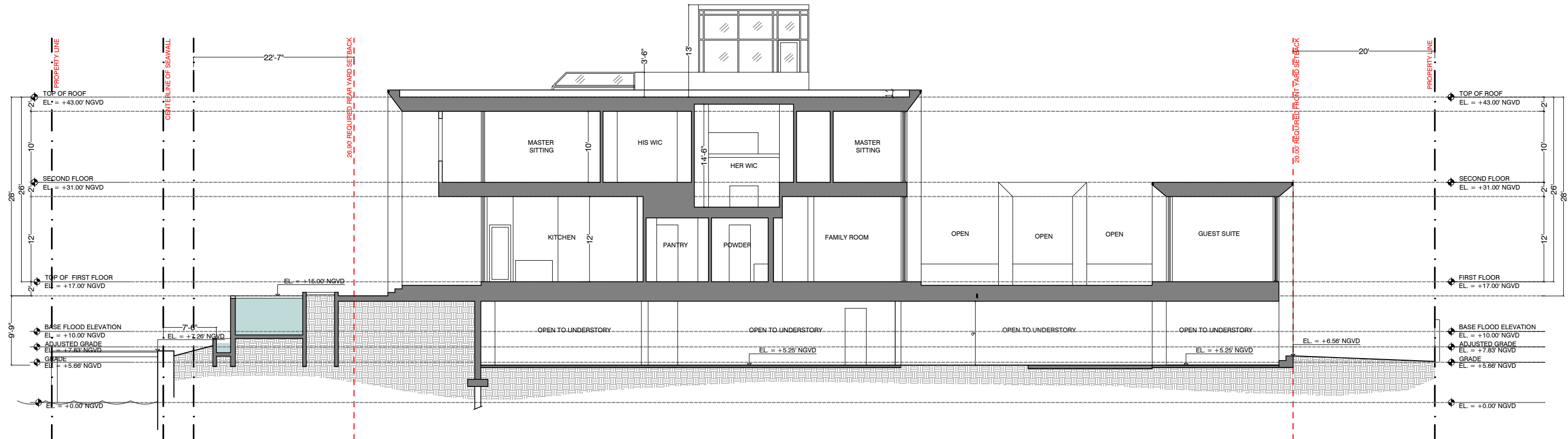
1 SOUTH ELEVATION - GUEST HOUSE
SCALE - 1/8" = 1'-0"

SECTIONS - TRANSVERSE



1 TRANSVERSE SECTION
SCALE - 1/8" = 1'-0"

SECTIONS - LONGITUDINAL



1 LONGITUDINAL SECTION
SCALE - 1/8" = 1'-0"

WAIVER/ VARIANCE DIAGRAM

- WAIVER REQUEST 1
- WAIVER REQUEST 3
- WAIVER REQUEST 2
- VARIANCE REQUEST 1



1 WAIVER/VARIANCE DIAGRAM
SCALE - 1/8" = 1'-0"

WAIVER/ VARIANCE DIAGRAM

- WAIVER REQUEST 1
- WAIVER REQUEST 2
- WAIVER REQUEST 3
- VARIANCE REQUEST 1



1 WAIVER/VARIANCE DIAGRAM
SCALE - 1/8" = 1'-0"

CMB YARD GRADE CALCULATIONS

Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS

Waterfront Lot (Yes/No)	YES
Corner property (Yes/No)	NO
Sidewalk (yes/no)	NO
Sidewalk elevation at the centerline of the front of the property	0.000
Crown of road at center of property (if no sidewalk exists or is proposed)	5.660
Flood Elevation	10.000
Freeboard (provided)	5.000

INTERIOR SIDEYARD CONDITIONS

Indicate yes only for the condition that applies

	Default Condition unless one of the below applies Maximum Yard Elevation	Max. Yard Elevation
Yes		8.160
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	10.330
	Is the abutting property vacant?	10.330
	Is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	10.000

REAR YARD CONDITIONS

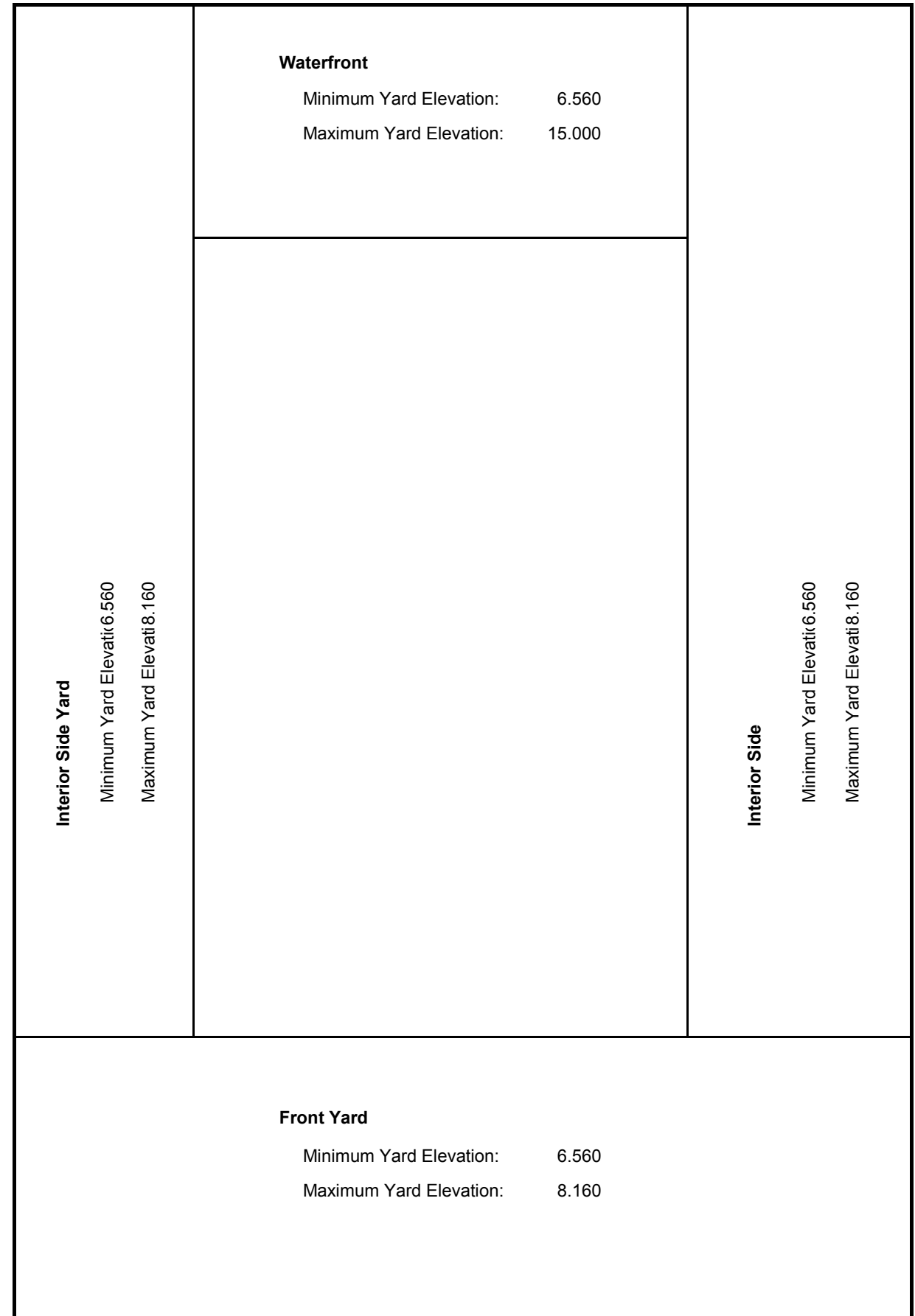
Indicate yes only for the condition that applies

	Default Condition unless one of the below applies Maximum Yard Elevation	Max. Yard Elevation
Yes		8.160
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	10.330
	Is the abutting property vacant?	10.330
	Is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	10.000

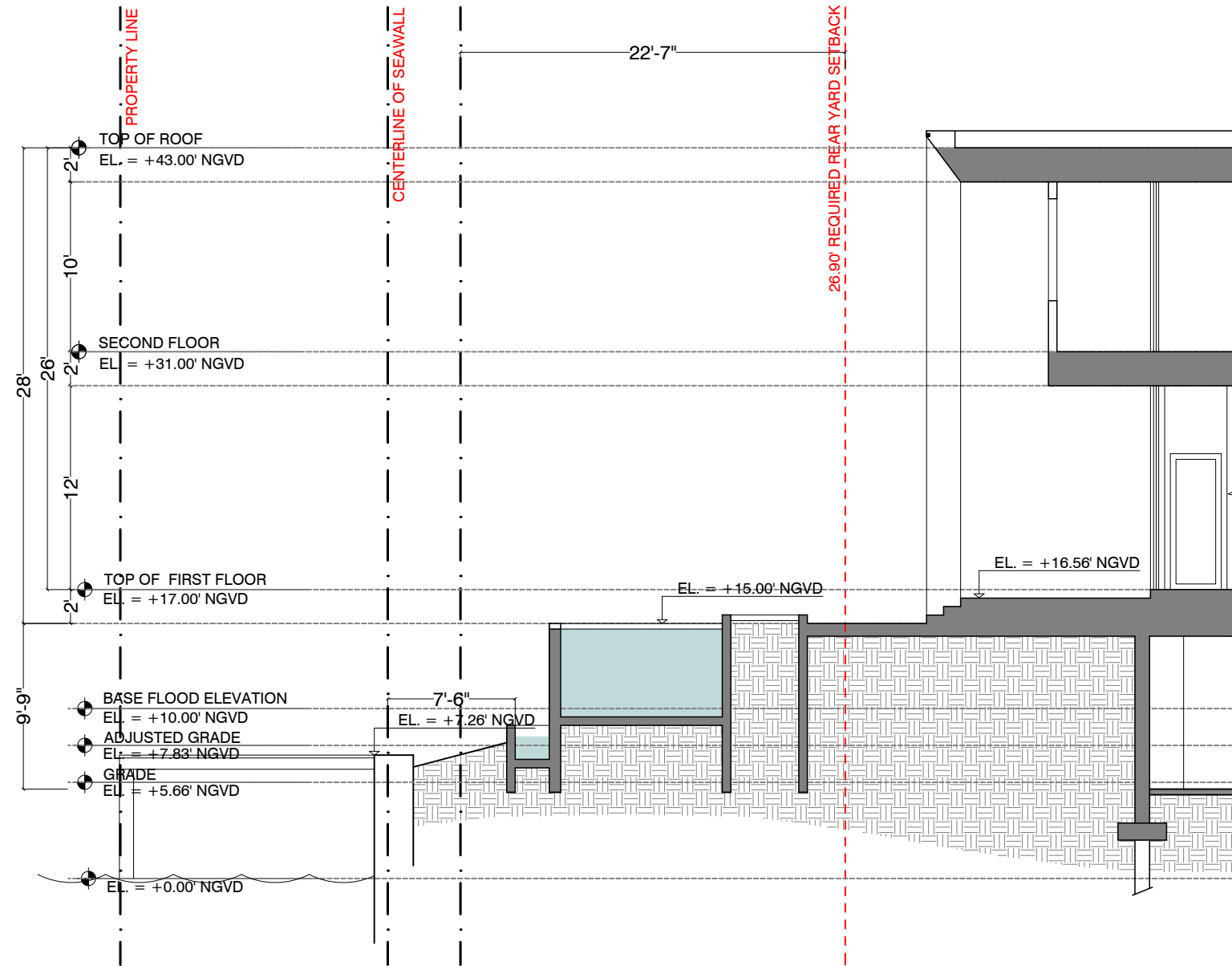
RESULTS

Grade	5.66
Adjusted Grade	7.83
30" above Grade	8.16
Future Crown of Road	5.25
Future Adjusted Grade	8.125
Minimum Freeboard Elev.	11.000
Maximum Freeboard Elev.	15.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a detached or attached garage, not under the house)	7.83
Minimum garage ceiling elevation	19.000

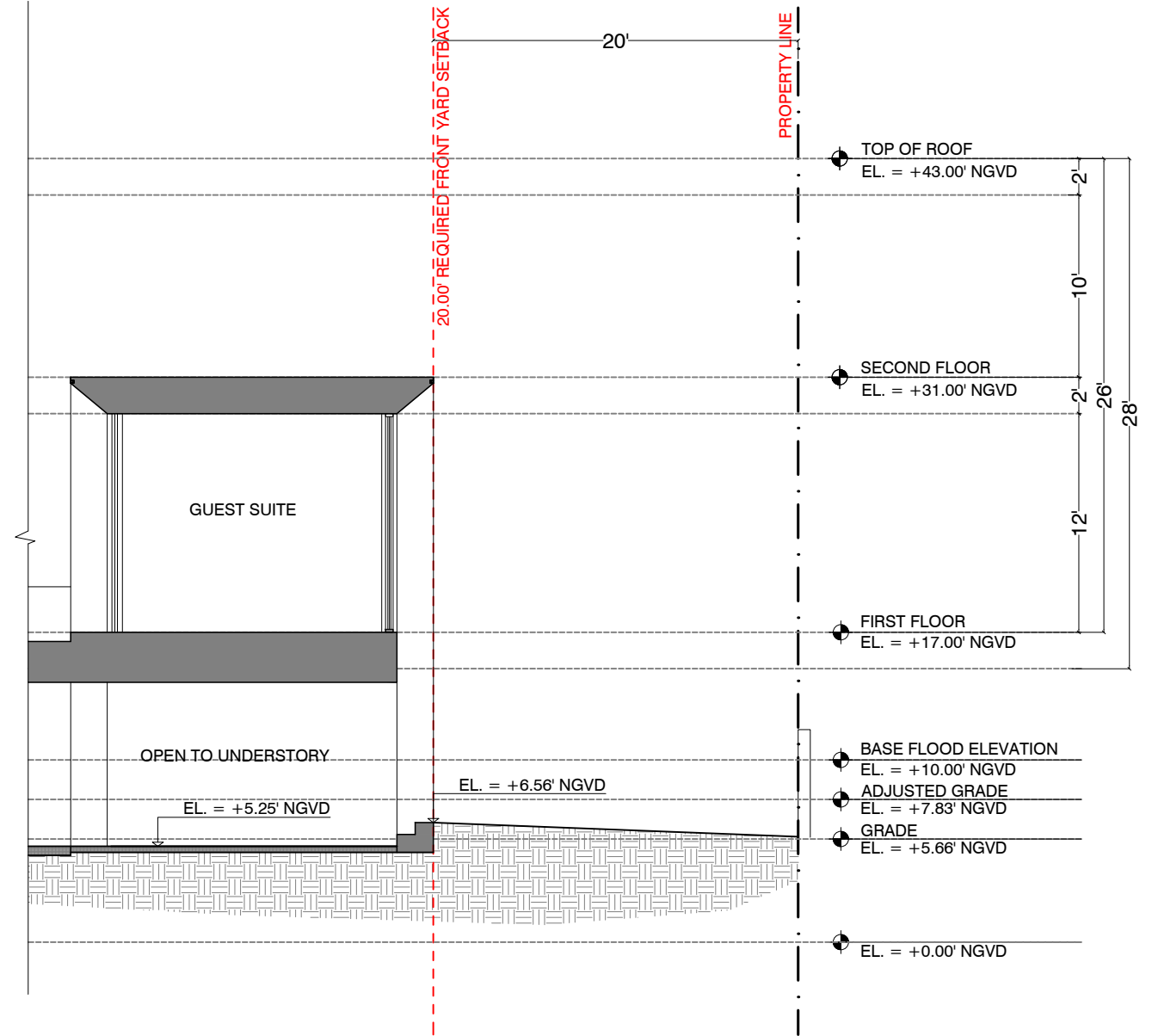
Front Yard	
Min Yard Elevation	6.560
Max Yard Elevation	8.160
Interior Side	
Min Yard Elevation	6.560
Max Yard Elevation	8.160
Waterfront	
Min Yard Elevation	6.560
Max Yard Elevation	15.000



FRONT AND REAR YARD SECTION

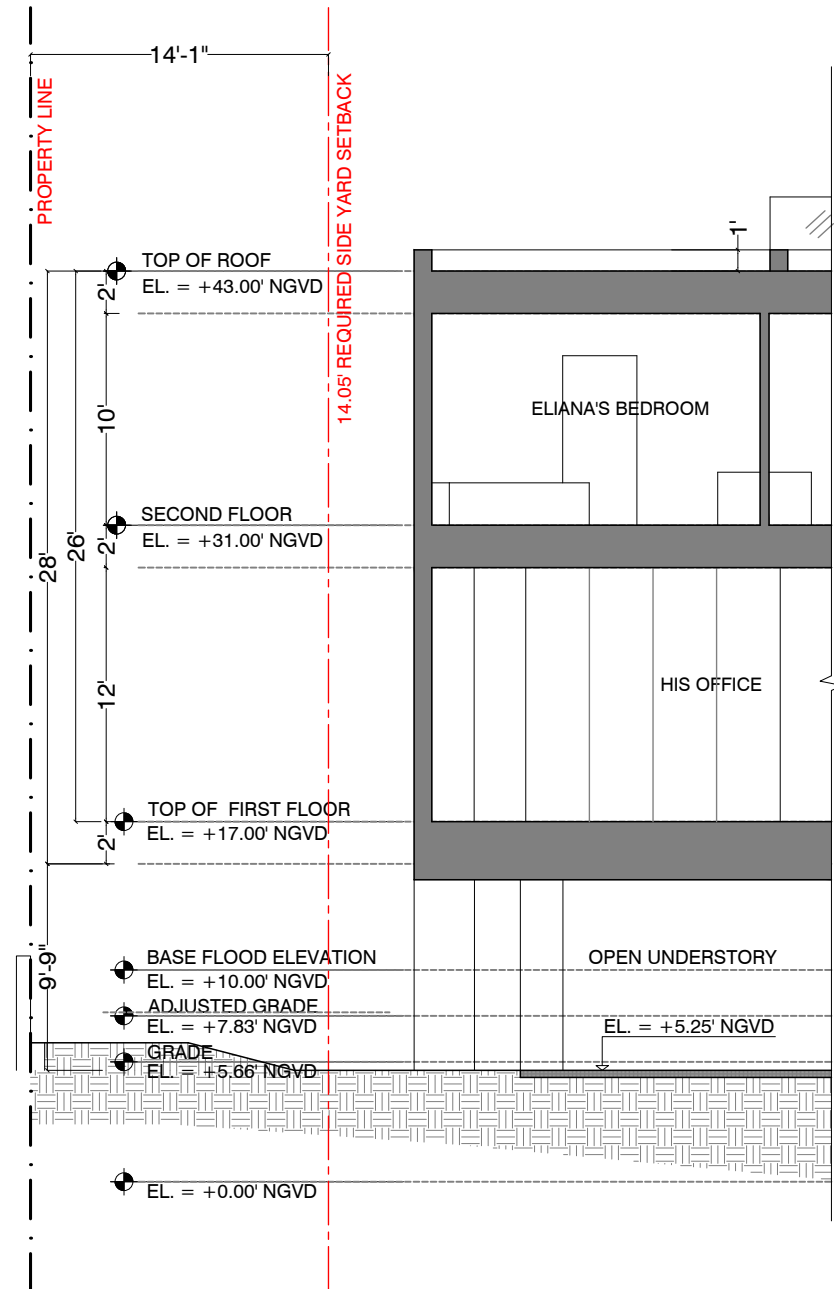


1 REAR YARD SECTION
SCALE - 1/8" = 1'-0"

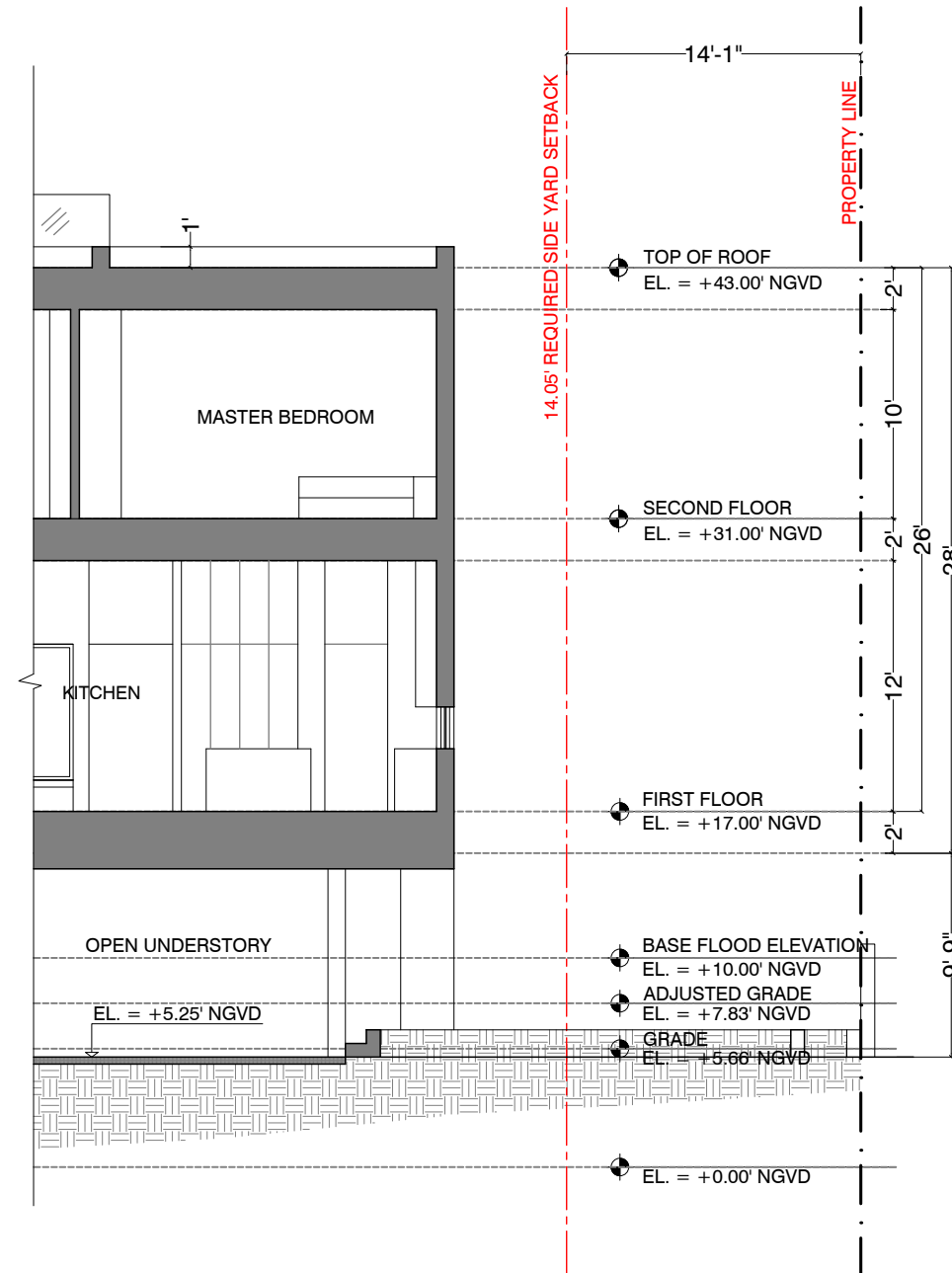


2 FRONT YARD SECTION
SCALE - 1/8" = 1'-0"

SIDE YARDS SECTIONS



1 EAST SIDE YARD SECTION
SCALE - 1/8" = 1'-0"



2 WEST SIDE YARD SECTION
SCALE - 1/8" = 1'-0"

GRADING PLAN

