

REQUEST FOR DRB APPROVAL FOR:
RATNER RESIDENCE

FINAL SUBMITTAL = 8/5/19
OCTOBER 1 AGENDA

6494 ALLISON ROAD, MIAMI BEACH, FLORIDA 33141

MIAMI BEACH, FLORIDA



CLIENT
CHARLES RATNER

ARCHITECT
CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECT
CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC
180 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT 6494 ALLISON ROAD, MIAMI BEACH, FL.

WAIVERS:

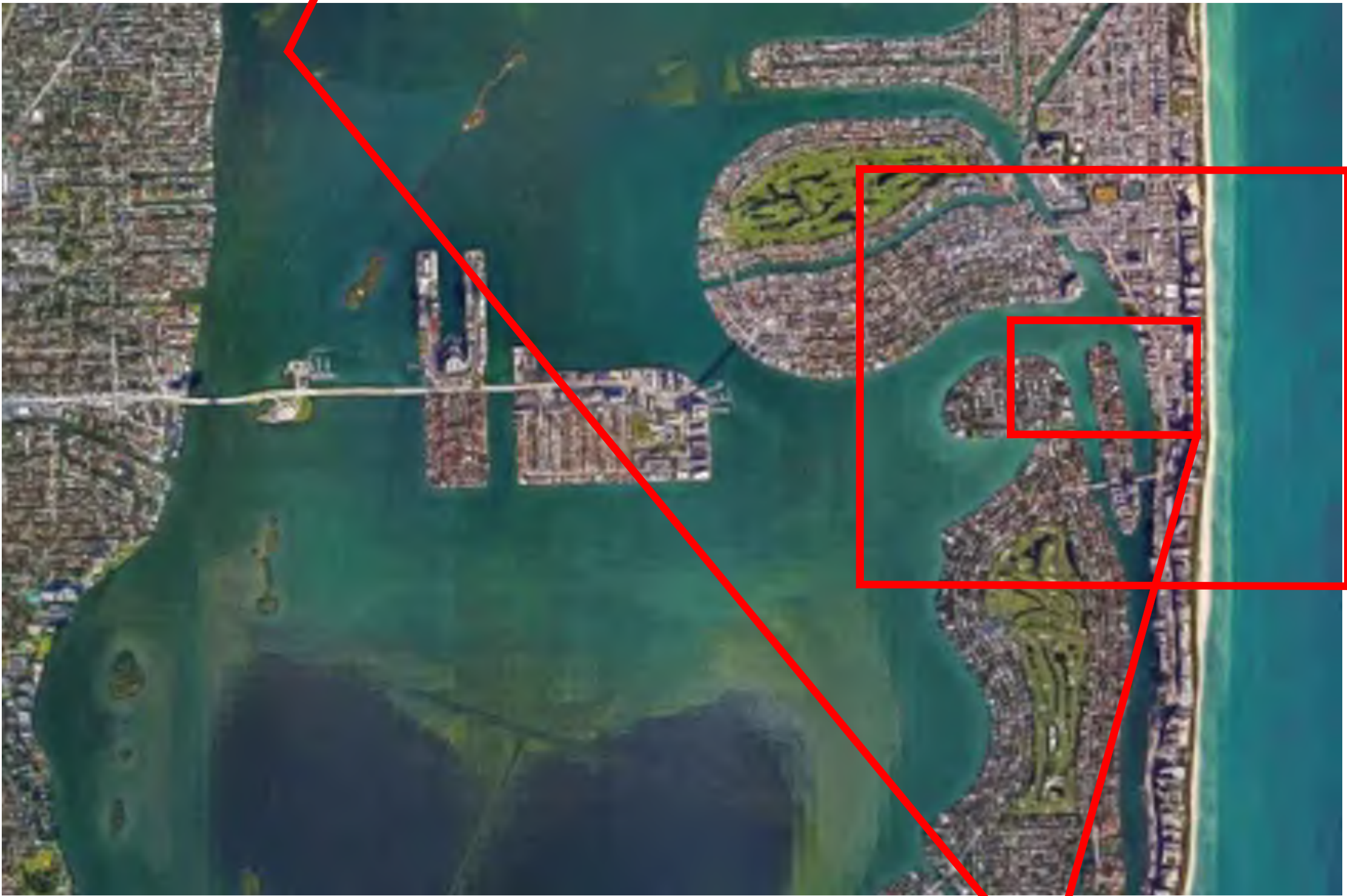
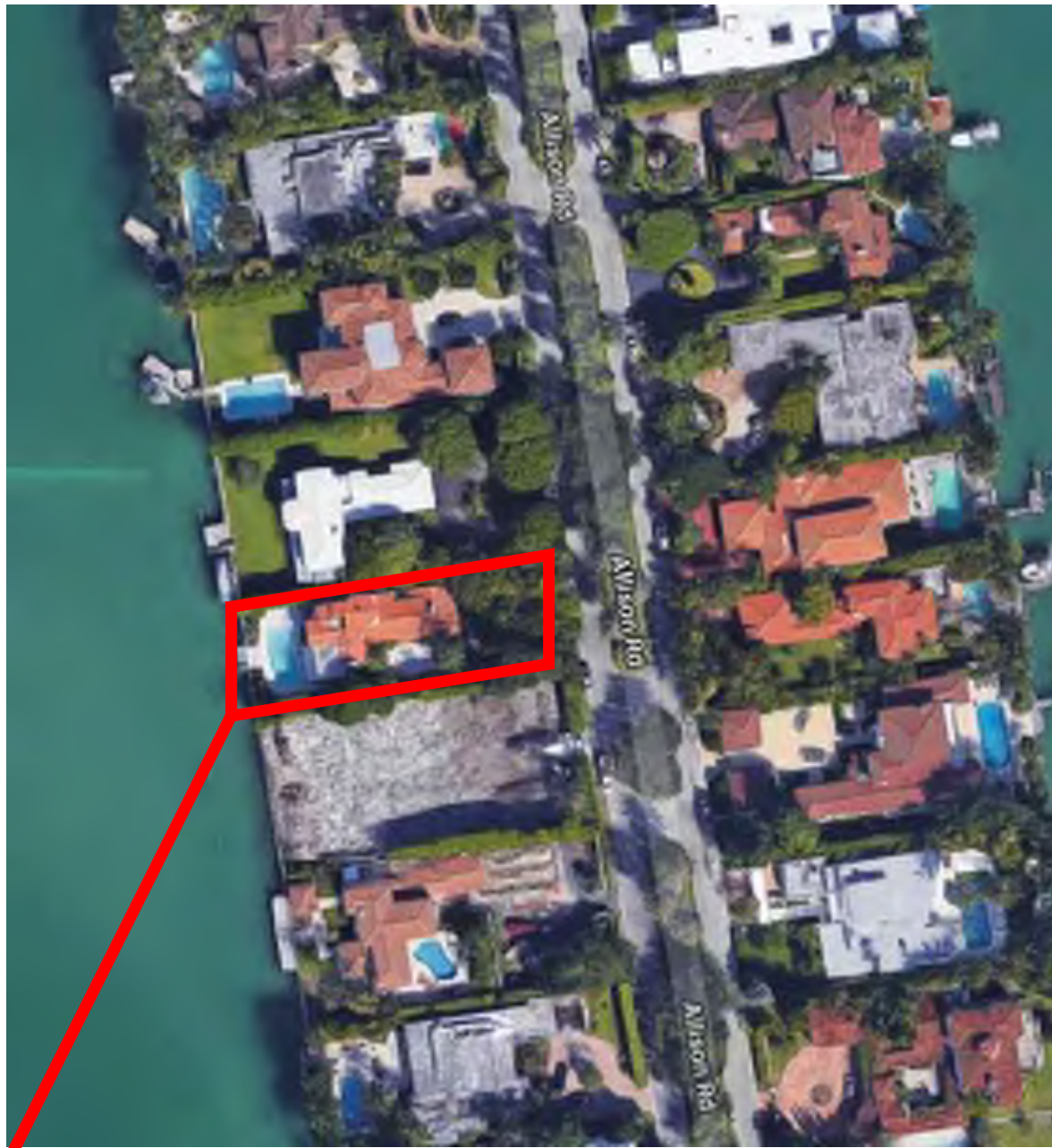
1. ADDITIONAL 2'-0" HEIGHT.
2. REQUEST FOR WAIVER TO EXCEED THE 70% SECOND
TO FIRST FLOOR RATIO.
3. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS
FOR THE OPEN-SPACE COURTYARD FOR BOTH SIDE
ELEVATIONS.

REQUEST FOR DRB APPROVAL FOR:
RATNER RESIDENCE

FINAL SUBMITTAL
OCTOBER 1 AGENDA

6494 ALLISON ROAD, MIAMI BEACH, FLORIDA 33141

MIAMI BEACH, FLORIDA



LOCATION MAP
SCALE: N.T.S.

INDEX OF DRAWINGS	
<u>COVER PAGES/ CONTEXT</u>	
C-0.0	COVER SHEET + SCOPE OF WORK
C-0.1	INDEX OF DRAWINGS + LOCATION MAP
C-0.2	ARCHITECT'S LETTER OF INTENT
C-0.3	PROPERTY SURVEY
C-1.0	SITE PHOTOGRAPHS
C-1.1	SITE PHOTOGRAPHS CONT'D
C-2.0	CONTEXT PHOTOS
C-3.0	CONTEXT ANALYSIS - CONTEXTUAL ELEVATION
C-4.0	MASSING STUDIES
<u>ARCHITECTURAL</u>	
A-0.5	ZONING DATA SHEET
A-1.1	PROPOSED CALCS - UNIT SIZE
A-1.2	PROPOSED CALCS - LOT COVERAGE
A-1.3	PROPOSED CALCS - SECOND/ FIRST RATIO
A-1.4	PROPOSED CALCS - ROOFTOP USE
A-1.5	PROPOSED CALCS - YARD CALCS
A-2.1	SITE PLAN
A-2.2	FIRST FLOOR PLAN
A-2.3	SECOND FLOOR PLAN
A-2.4	ROOF PLAN
A-3.1	FRONT ELEVATION
A-3.2	REAR ELEVATION
A-3.3	SIDE ELEVATION (NORTH)
A-3.4	SIDE ELEVATION (SOUTH)
A-4.1	FRONT RENDERED ELEVATION
A-4.2	REAR RENDERED ELEVATION
A-4.3	SIDE RENDERED ELEVATION (NORTH)
A-4.4	SIDE RENDERED ELEVATION (SOUTH)
A-5.1	SECTION DIAGRAM
<u>GRAPHICS</u>	
G-1.0	AXONOMETRICS
G-2.0	FRONT RENDERING
G-2.1	BACK RENDERING
<u>LANDSCAPING</u>	
L-0.0	LANDSCAPE COVER PAGE + SHEET INDEX
L-1.0	EXISTING TREE SURVEY + DISPOSITION PLAN
L-1.1	EXISTING TREE CHART, NOTES + DETAILS
L-2.0	LANDSCAPE PLAN
L-3.0	LANDSCAPE NOTES + DETAILS

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
1836

date:
02-08-2019

revised:

sheet no.

C-0.1



PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



PHOTOGRAPH 4



PHOTOGRAPH 5



PHOTOGRAPH 6



PHOTOGRAPH 7



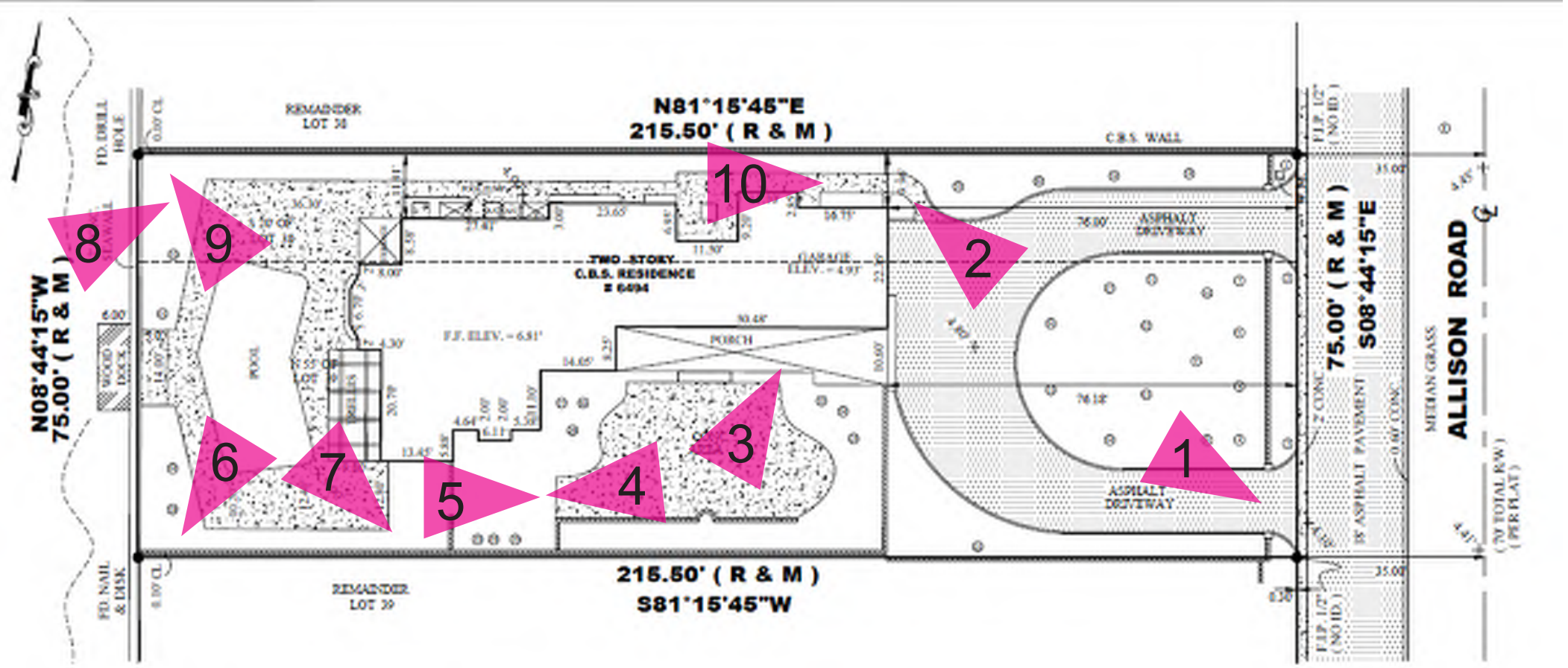
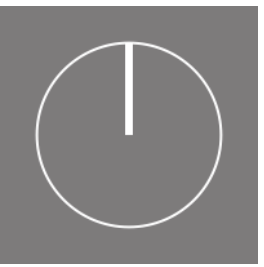
PHOTOGRAPH 8



SITE PHOTOGRAPHS
PHOTOGRAPH 9



PHOTOGRAPH 10





SITE (6494 ALLISON ROAD)



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



RESIDENCE 6



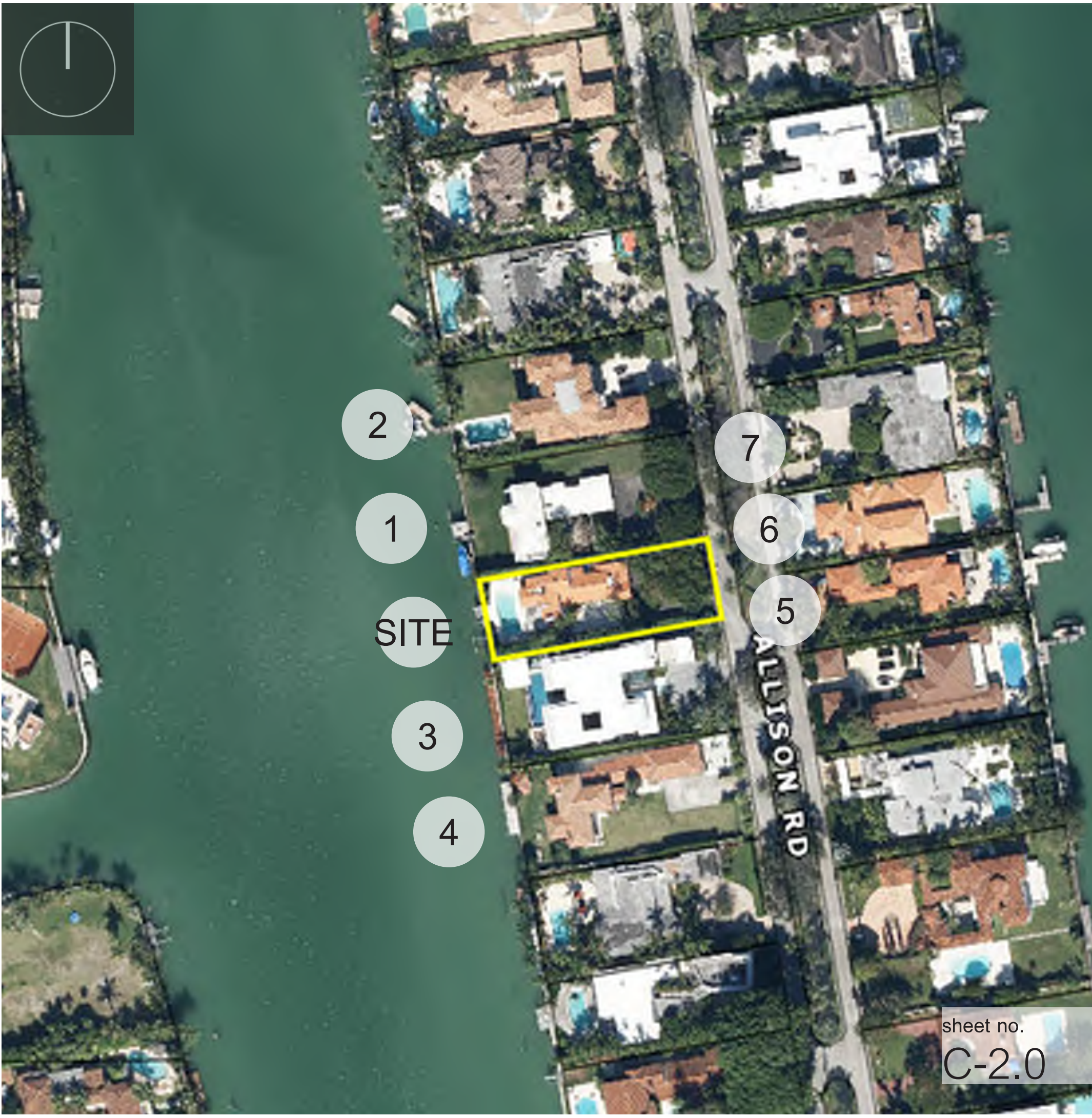
RESIDENCE 7



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES





SUBJECT PROPERTY 1 (6494 ALLISON ROAD)



RESIDENCE 1

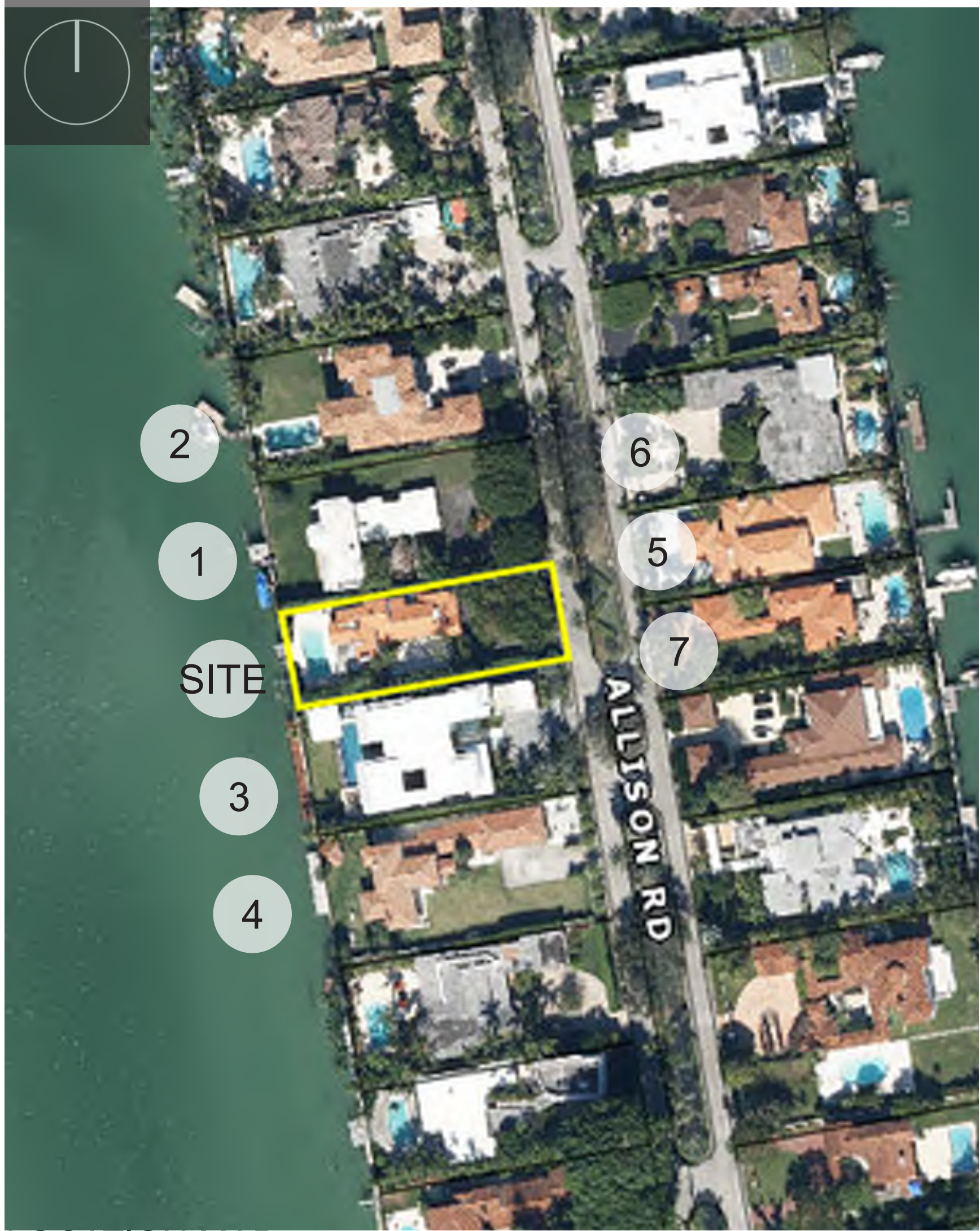


RESIDENCE 3



AERIAL PHOTOGRAPH WITH PROPOSED RESIDENCE INSERTED





RESIDENCE 1 (RED)
 ADJACENT PROPERTY: 6500 ALLISON RD.
 LOT SIZE: 21,600 SQ. FT.
 LIVING AREA: 3,388 SQ. FT.
 FOOTPRINT: 3,427 SQ. FT.
 APPROXIMATE LOT COVERAGE: 15.9%
 APP. FIRST-SECOND FLOOR RATIO: 36.6%



RESIDENCE 3 (BLUE)
 ADJACENT PROPERTY: 6480 ALLISON RD.
 LOT SIZE: 23,760 SQ. FT.
 LIVING AREA: 10,278 SQ. FT.
 FOOTPRINT: 6,508 SQ. FT.
 APPROXIMATE LOT COVERAGE: 27.4%
 FIRST-SECOND FLOOR RATIO: 79.1%



PROPOSED RESIDENCE (GREEN)
 6494 ALLISON RD, MIAMI BEACH
 LOT SIZE: 16,200 SQ. FT.
 FOOTPRINT: 4,450 SQ. FT.
 LOT COVERAGE: 28.8%
 FIRST-SECOND FLOOR RATIO: 84.9%



ITEM #	New Construction Floodplain Management Data		
1	Flood Zone:	AE 8	
2	FIRM Map Number	12086C0326L	
3	Base Flood Elevation (BFE):	8.00' NGVD	
4	Proposed Flood Design Elevation:	10.00' NGVD	
5	Crown of Road Elevation:		
6	Classification of Structure:	Category II	
7	Building Use:	Single-Family Residence	
8	Lowest Elev. of Equip		
9	Lowest Adjacent Grade		
10	Highest Adjacent Grade		

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	6494 ALLISON ROAD, MIAMI BEACH, FL 33141 Legal Description: The north 55 feet of Lot 39 and the south 20 feet of Lot 38, of Indian Creek Subdivision, according to the plat thereof, as recorded in plat book 31 at page 75 of the Public Records of Miami-Dade County, Florida.			
2	Folio number(s):	02-3211-003-0370			
3	Board and file numbers :				
4	Year built:	1937	Zoning District:	RS-3	
5	Based Flood Elevation:	8.00 (Zone AE)	Grade value:	4.75' NGVD	
6	Adjusted grade (Flood+Grade/2):	6'-4 ½"	Free board:	8.00 + 2' (10')	
7	Lot Area:	16,162.5 SF			
8	Lot width:	75'	Lot Depth:	215.50'	
9	Max Lot Coverage SF and %:	4,860 SF (30%)	Proposed Lot Coverage SF and %:	4,407.66 SF (27.27%)	
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:		
11	Front Yard Open Space SF and %:	1,087.11 SF (72.5%)	Rear Yard Open Space SF and %:	2,424.38 SF (100 %)	
12	Max Unit Size SF and %:	8,100 SF (50%)	Proposed Unit Size SF and %:	8,023.89 SF (49.64%)	
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size (INC. CABANA AND O.H.)	4,201.70 SF	
			Proposed Second Floor Unit Size:	3,752.75 SF	
14			Proposed First Floor Unit Size (volumetric) :	4,420.26 SF	
15			Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	(84.90 %) WAIVER REQUESTED	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	1,283.08 SF (24.87%)	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (28')		26'-0"	REQ. DRB APPROVAL
18	Front First level Setback :	20'-0"		20'-0"	Setback by 5'-0" clear from main 2 story structure.
19	Front Second level Setback :	30'-0"		34'-4"	
20	Side 1 Setback :(75'/4) - 10'	8'-9"		10'-0"	
21	Side 2 Setback :	10'-0"		10'-0"	
22	Rear Setback :	32'-4"		72'-6"	
23	Accessory Structure Side 1 Setback:	7'-6"		10'-0"	
24	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
25	Accessory Structure Rear : 32'-4" / 2	16'-2"		49'-10"	
26	Sum of Side yard :	18'-9"		20'-0"	
27	Located within a Local Historic District?		No		
28	Designated as an individual Historic Single Family Residence Site?		No		
29	Determined to be Architecturally Significant?		No		
Notes:					

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

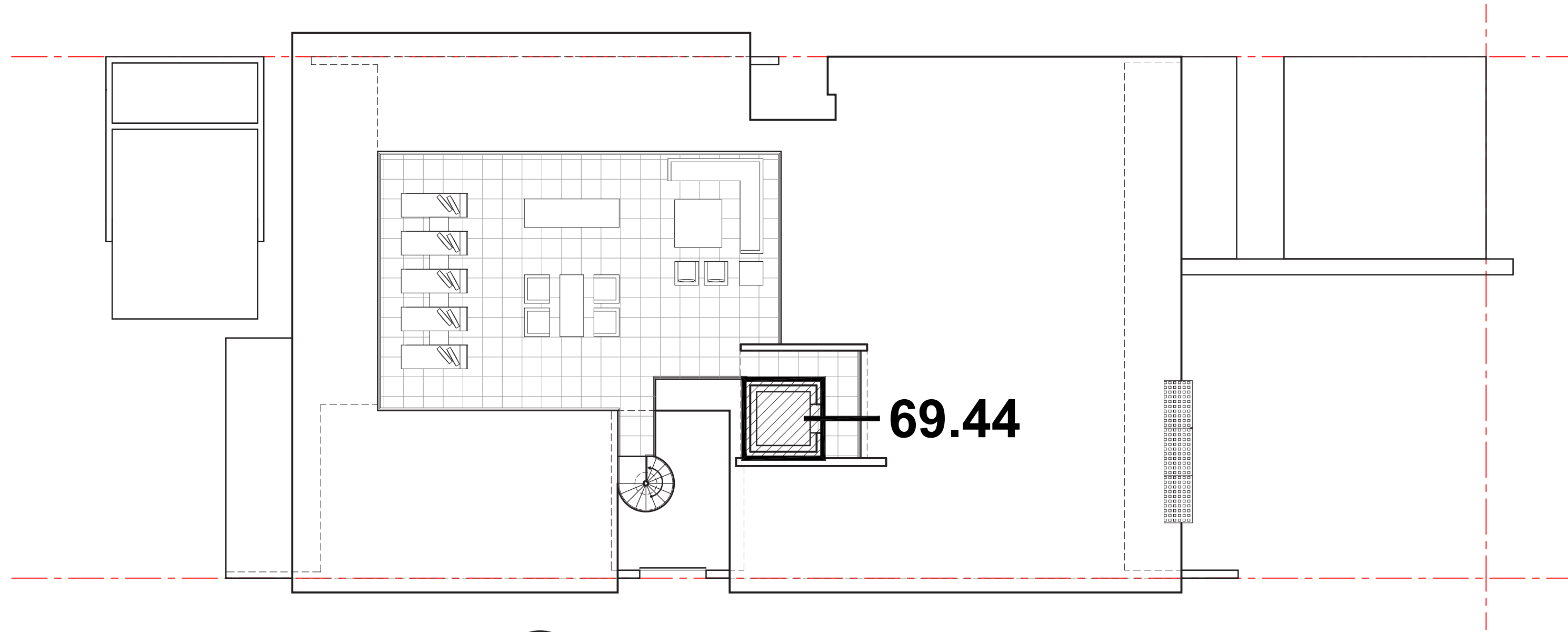
comm no.
1836

date:
02-08-2019

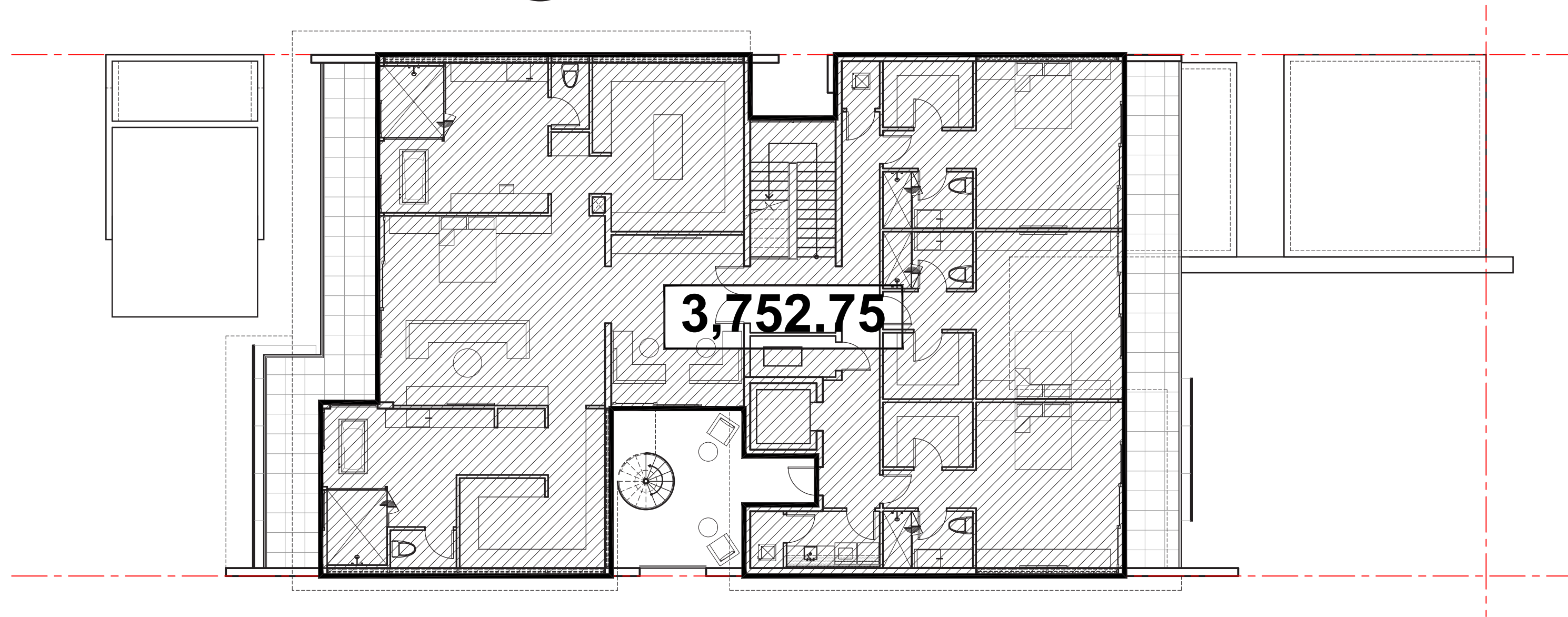
revised:

sheet no.

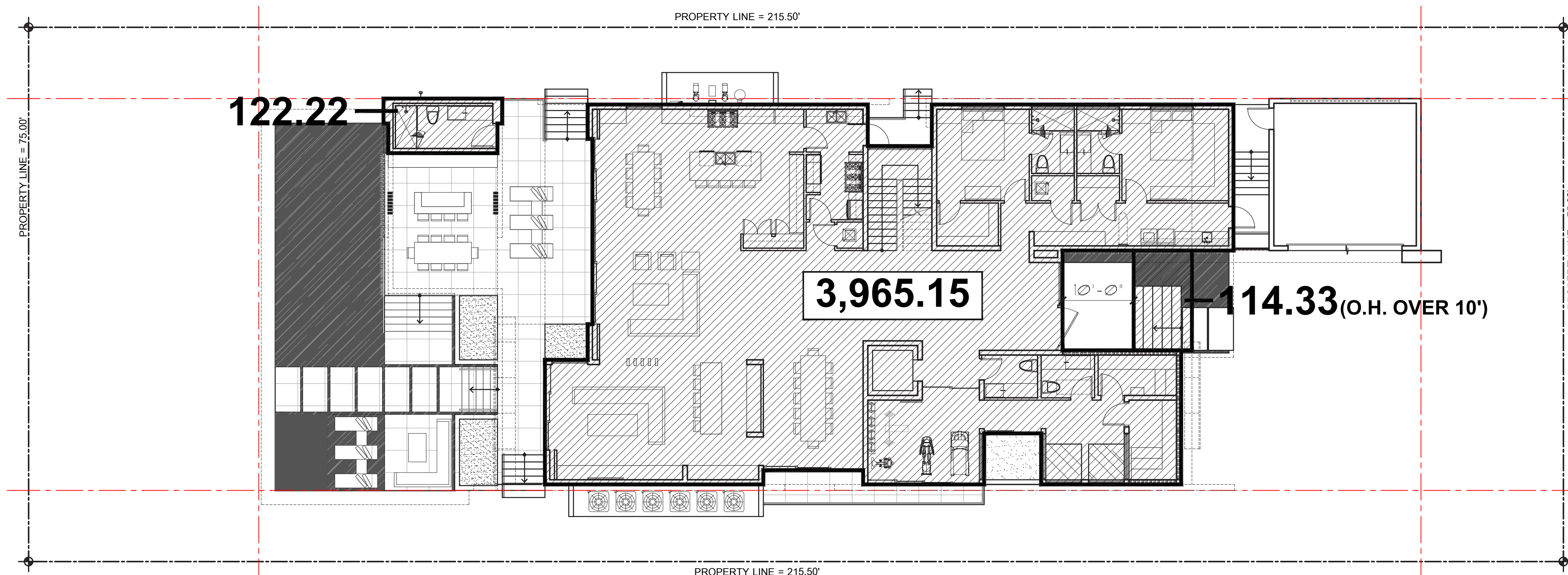
A-0.5



ROOF PLAN
SCALE: 3/16"=1'-0"



SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

UNIT SIZE :

LOT SIZE:	16,162.50 S.F.
FIRST FLOOR	3,965.15 S.F.
CABANA	122.22 S.F.
ENTRY O.H.	114.33 S.F.
SECOND FLOOR	3,752.75 S.F.
ROOF ELEVATOR	69.44 S.F.
TOTAL	8,023.89 S.F.
UNIT / LOT SIZE	49.64% (50% MAX)

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
1836

date:
02-08-2019

revised:

sheet no.

A-1.1

OCTOBER, 2019 AGENDA

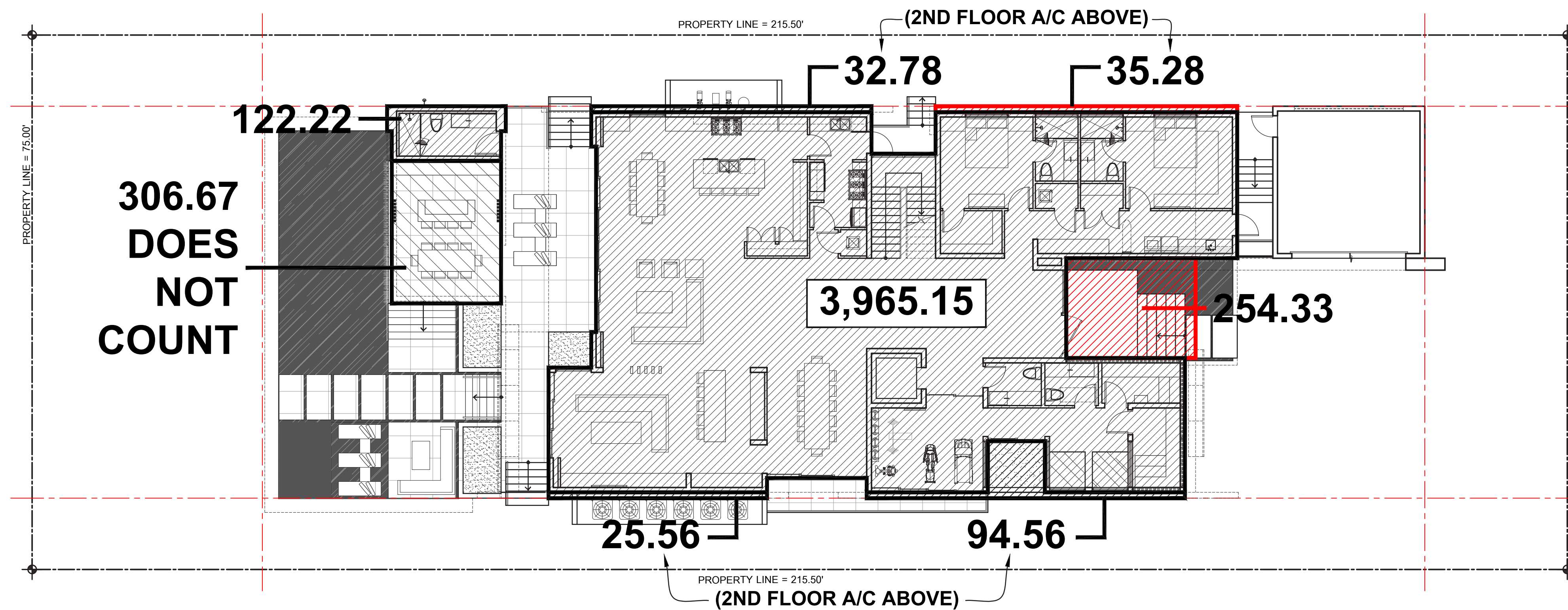
LOT COVERED (FOOTPRINT) :

LOT SIZE: 16,162.50 S.F.

FIRST FLOOR 3,965.15 S.F.
CABANA 0.00 S.F.
ENTRY (3 CONTINGENT WALLS) 254.33 S.F.
SECOND FLOOR LIVABLE SPACE O.H. 188.18 S.F.
TOTAL 4,407.66 S.F.

UNIT / LOT COVERAGE 27.27%
(30% MAX)

CABANA AREA = 306.67'
DOES NOT EXCEED 2% OF LOT AREA
(324.00') THEREFORE IT DOES NOT
COUNT IN LOT COVERAGE CALC.



FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

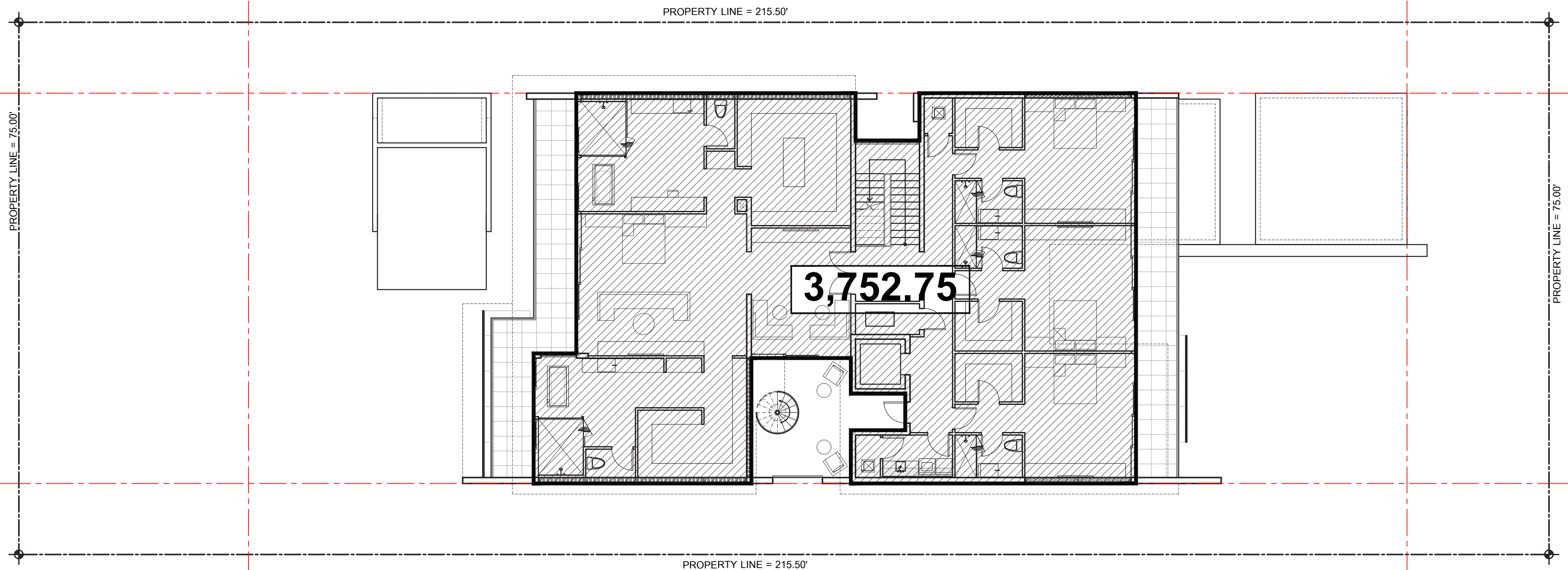
SECOND / FIRST FLOOR RATIO :

LOT SIZE: 16,162.50 S.F.

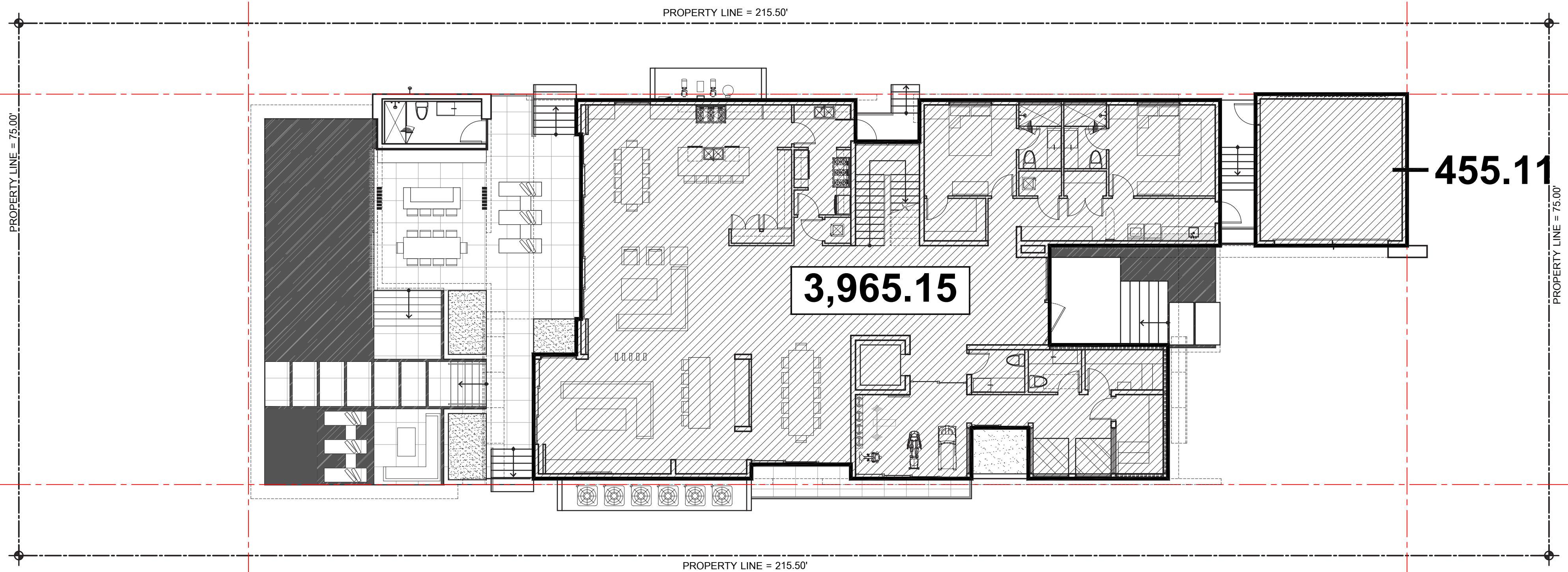
FIRST FLOOR INCLUDING ADDITIONAL ROOF AREAS 4,420.26 S.F.
SECOND FLOOR 3,752.75 S.F.

SECOND / FIRST FLOOR 84.90%
(70% MAX.)

WAIVER REQUIRED
REQUESTING WAIVER ON SECOND
FLOOR TO FIRST FLOOR RATIO



SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd. suite 201
Miami, Florida 33138
www.clarchitects.com
(t) 305.434.8338
(f) 305.892.5292

Ralph Choeff
registered architect
AR0009679
AA26003009

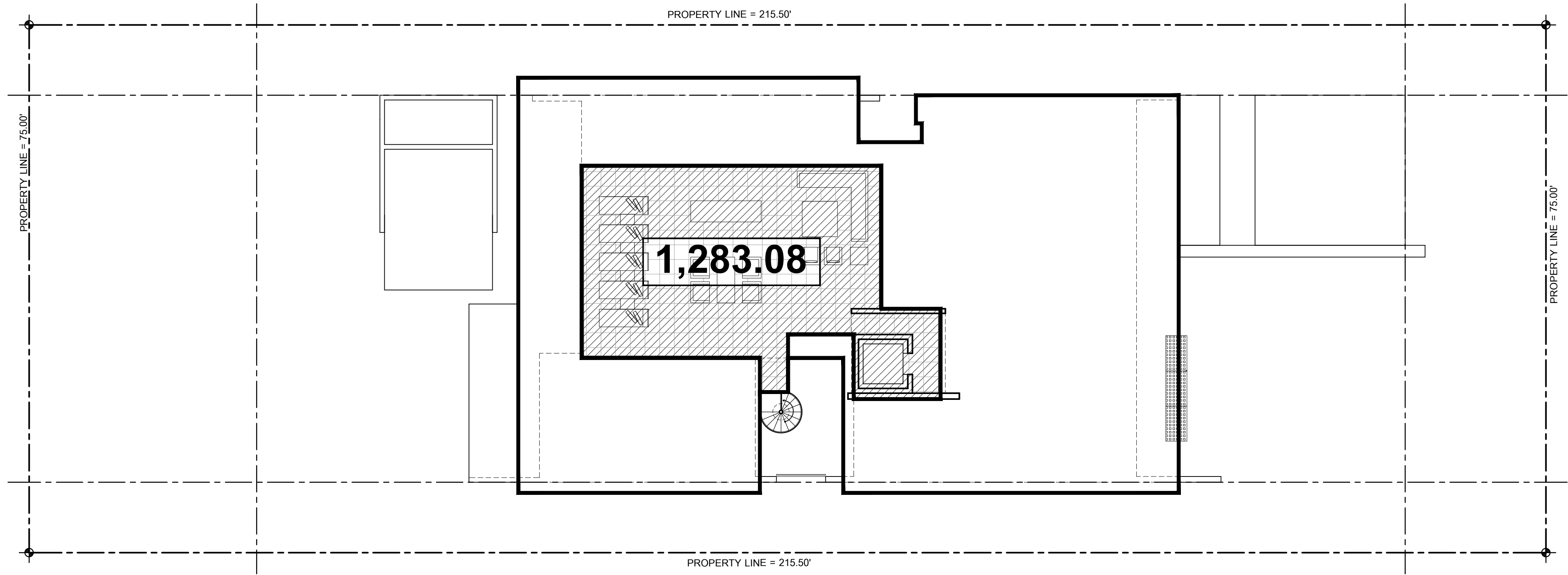
comm no.
1836

date:
02-08-2019

revised:

sheet no.

A-1.3



ROOF TOP USE :			
ROOF AREA TOTAL	5,158.31	S.F.	
ROOF LOUNGE	1,283.08	S.F.	
ROOF LOUNGE / ROOF AREA TOTAL	24.87%		(25% MAX)

 ROOF PLAN
SCALE: 3/16"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
1836

date:
02-08-2019

revised:

sheet no.

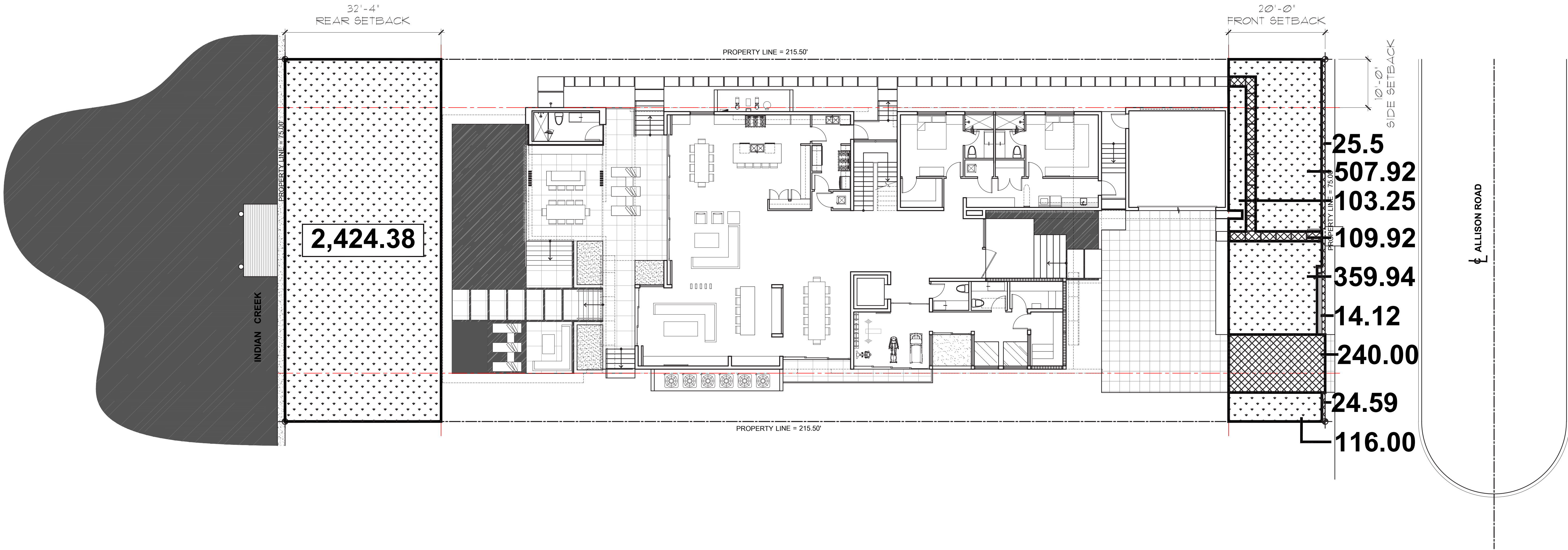
A-1.4

FRONT YARD CALCULATIONS :

AREA: 1,500 S. F. 100%
IMPERVIOUS AREA: 412.89 S. F. 27.5%
PERVIOUS AREA: 1,087.11 S. F. 72.5%
(50% MIN.)

REAR YARD CALCULATIONS :

AREA: 2,424.38 S. F. 100%
IMPERVIOUS AREA: 0 S. F. 0.00%
PERVIOUS AREA: 2,424.38 S. F. 100%
(10% MIN.)



FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

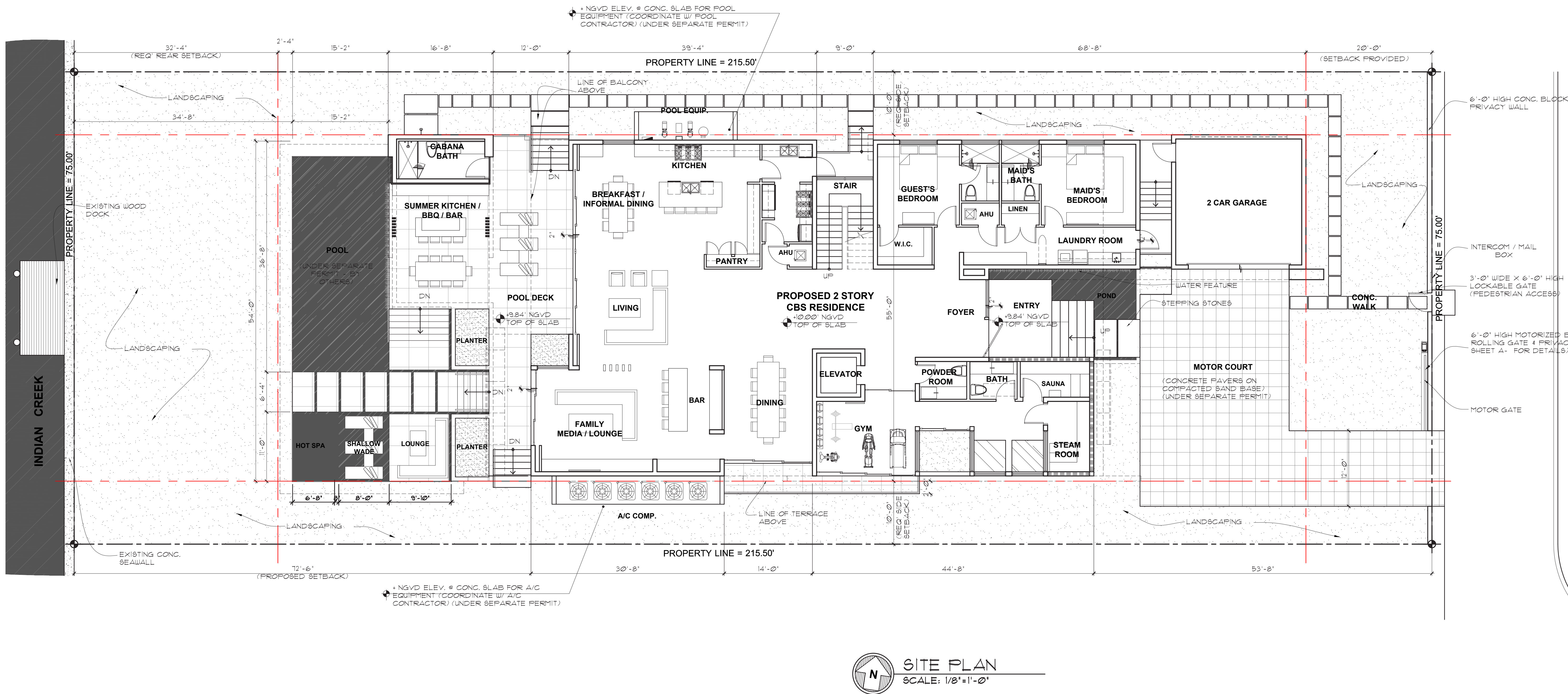
comm no.
1836

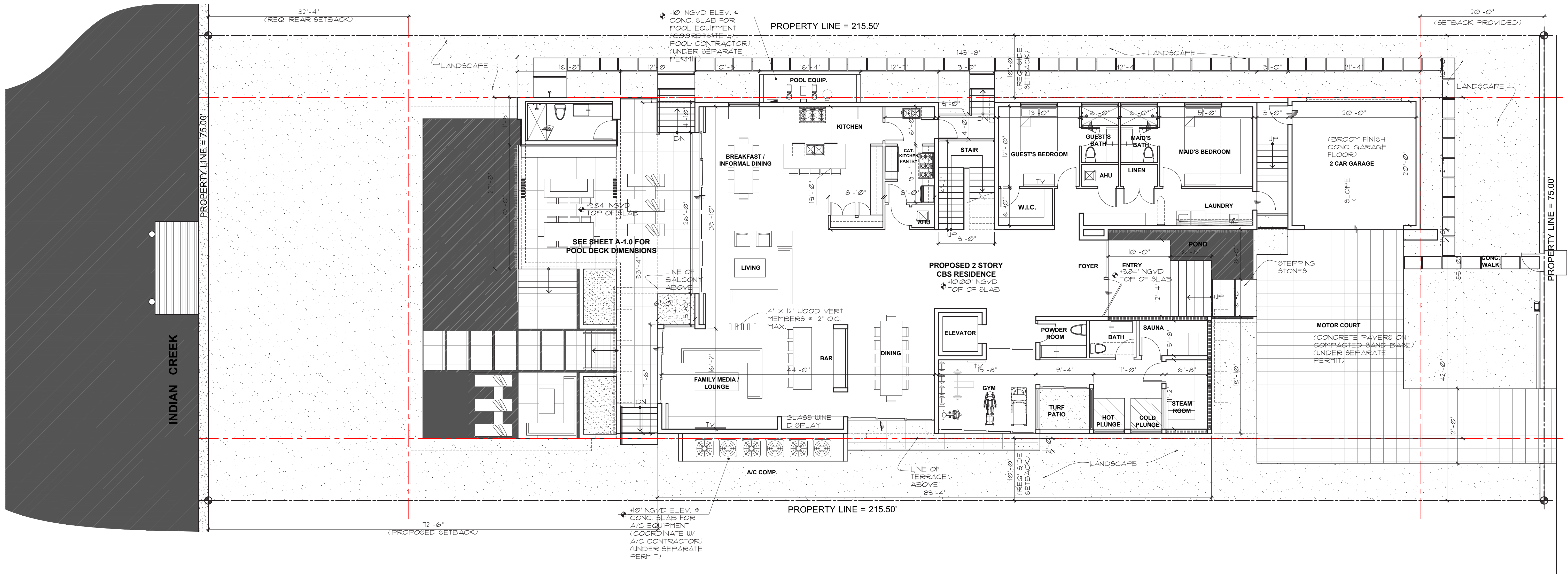
date:
02-08-2019

revised:

sheet no.

A-1.5





FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

RATNER RESIDENCE

6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

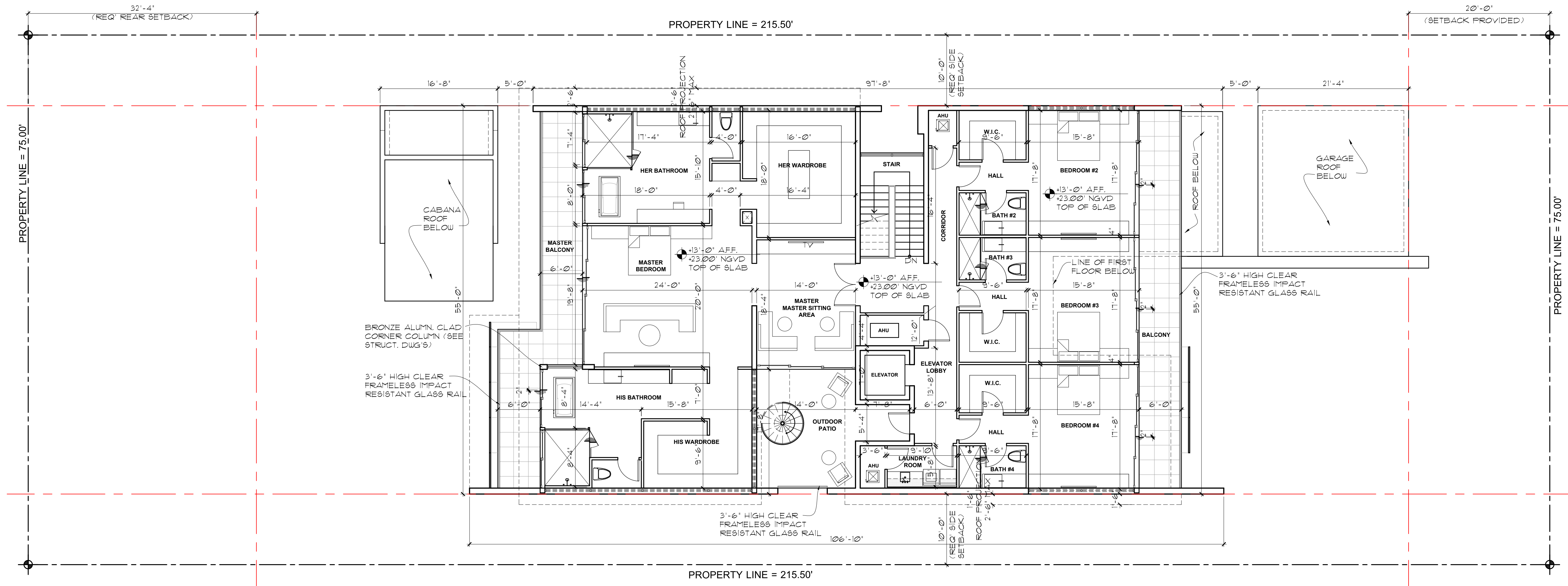
comm no.
1836

date:
02-08-2019

revised:

sheet no.

A-2.2



 **SECOND FLOOR PLAN**
SCALE: 1/8"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

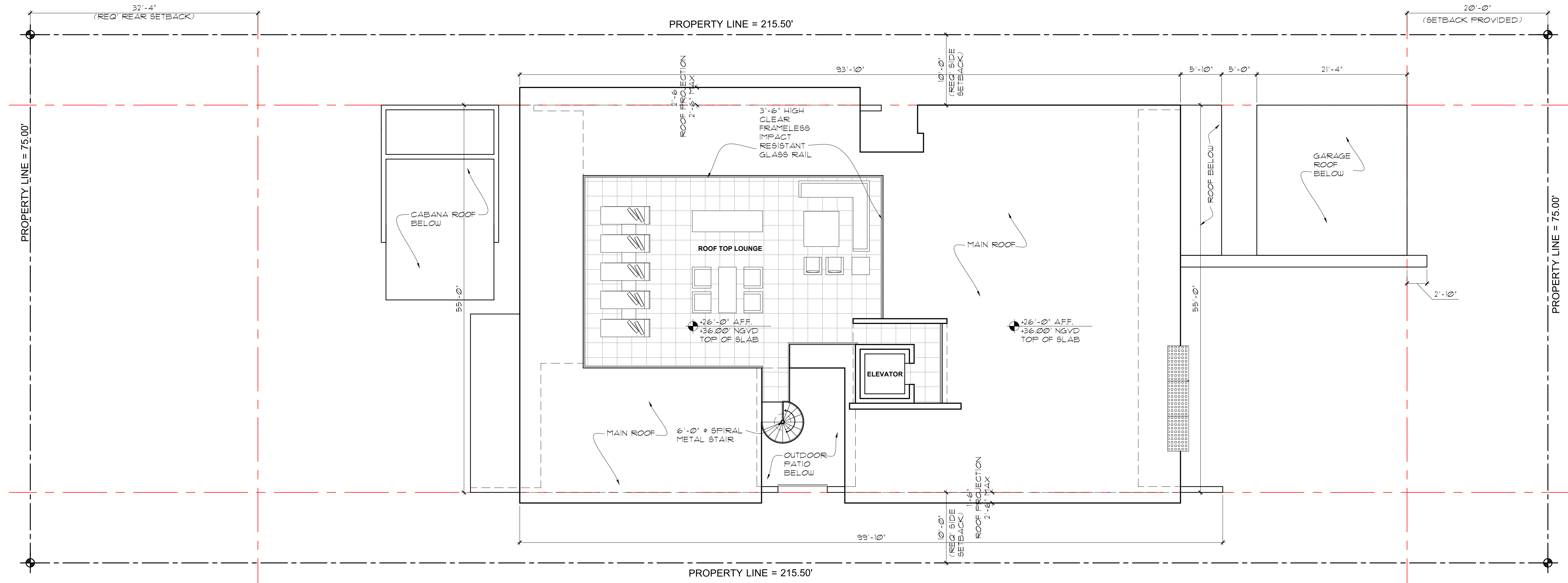
comm no.
1836

date:
02-08-2019

revised:

sheet no.

A-2.3




ROOF PLAN
 SCALE: 1/8"=1'-0"

RATNER RESIDENCE
 6494 ALLISON RD.
 MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
 registered architect
 AR0009679
 AA26003009

comm no.
1836

date:
 02-08-2019

revised:

sheet no.

A-2.4



This architectural elevation drawing illustrates the exterior of a building, detailing materials, dimensions, and elevation markers. The drawing is oriented horizontally, with the building's facade facing right. Key features include:

- Materials and Finishes:** Stained Ipe wood siding, smooth stucco and paint, natural concrete finish, decorative aluminum panel, and 3'-6" high clear frameless impact resistant glass.
- Dimensions:**
 - Overall width: 55'-0"
 - Side setbacks: 10'-0" on both sides.
 - Roof projection: 1'-6" on the left, 2'-6" on the right (2'-6" max).
 - Vertical dimensions: 13'-0" for the main facade height, 26'-0" for the total height including the roof.
- Elevation Markers:**
 - TOP OF ROOF - WAIVER REQ. +26'-0" AFF / +36'-0" NGVD
 - TOP OF ROOF - ALLOWABLE HEIGHT +24'-0" AFF / +34' NGVD
 - SECOND FLOOR +13'-0" AFF / +23'-0" NGVD
 - GROUND FLOOR +0'-0" AFF / +0' NGVD
 - ADJ. GRADE +30' / +1'-11" AFF / +8.88' NGVD
 - FEMA BASE FLOOD ELEV. -2'-0" AFF / +8' NGVD
 - ADJUSTED GRADE -3'-1" AFF / +6.38' NGVD
 - CMB ESTABLISHED GRADE -5'-3" AFF / +4.15' NGVD
- Structural and Design Details:**
 - Decorative aluminum panel on the left side of the roof.
 - Roof projection on the left side.
 - Roof projection on the right side (2'-6" max).
 - Entry door and entry steps on the right side.
 - Natural concrete finish on the lower portion of the facade.
 - Stained Ipe wood siding on the upper portion of the facade.
 - 3'-6" high clear frameless impact resistant glass on the right side.
 - ALL EXTERIOR GLASS SLIDING DOORS & WINDOWS SHALL BE TAN ALUMINUM FINISH WITH CLEAR IMPACT RESISTANT GLASS (TYPICAL THROUGHOUT).

FRONT ELEVATION (EAST)

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
(t) 305.434.8338
(f) 305.892.5292
www.clfarchitects.com
8425 Biscayne Blvd, suite 201
Miami, Florida 33138

RATNER RESIDENCE
6494 ALLISON RD,
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

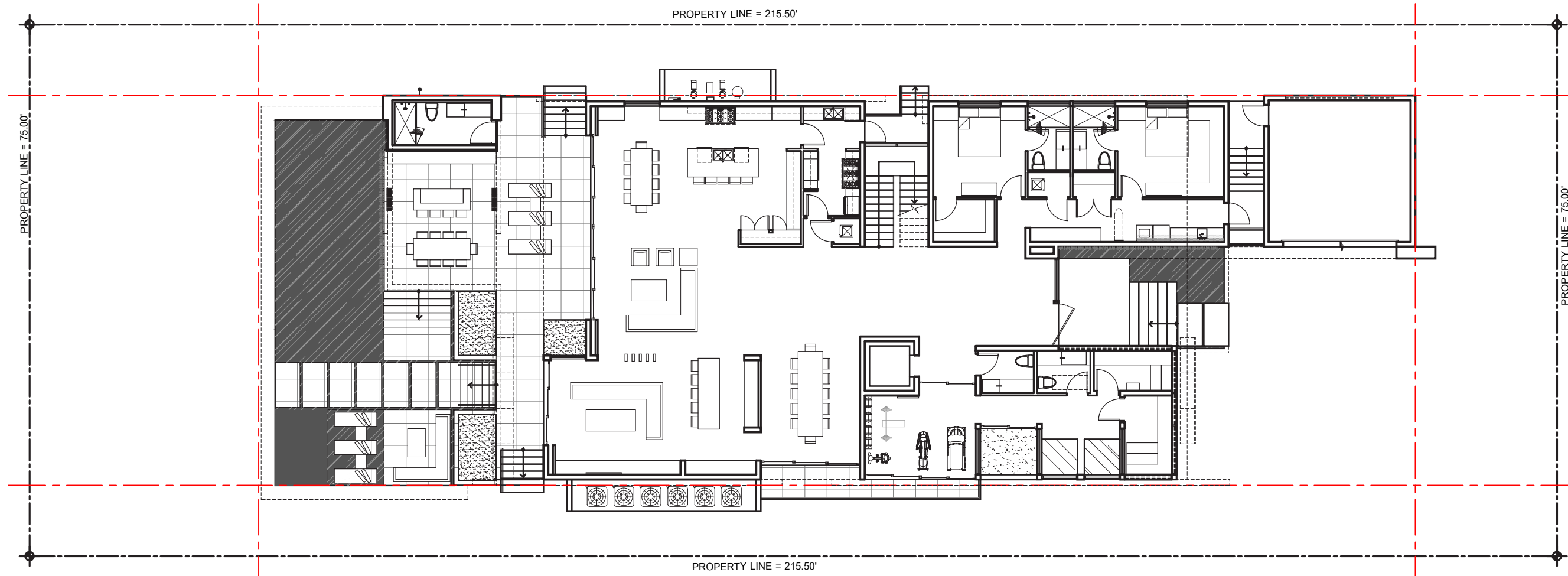
comm no.
1836

date:
02-08-2019

revised:

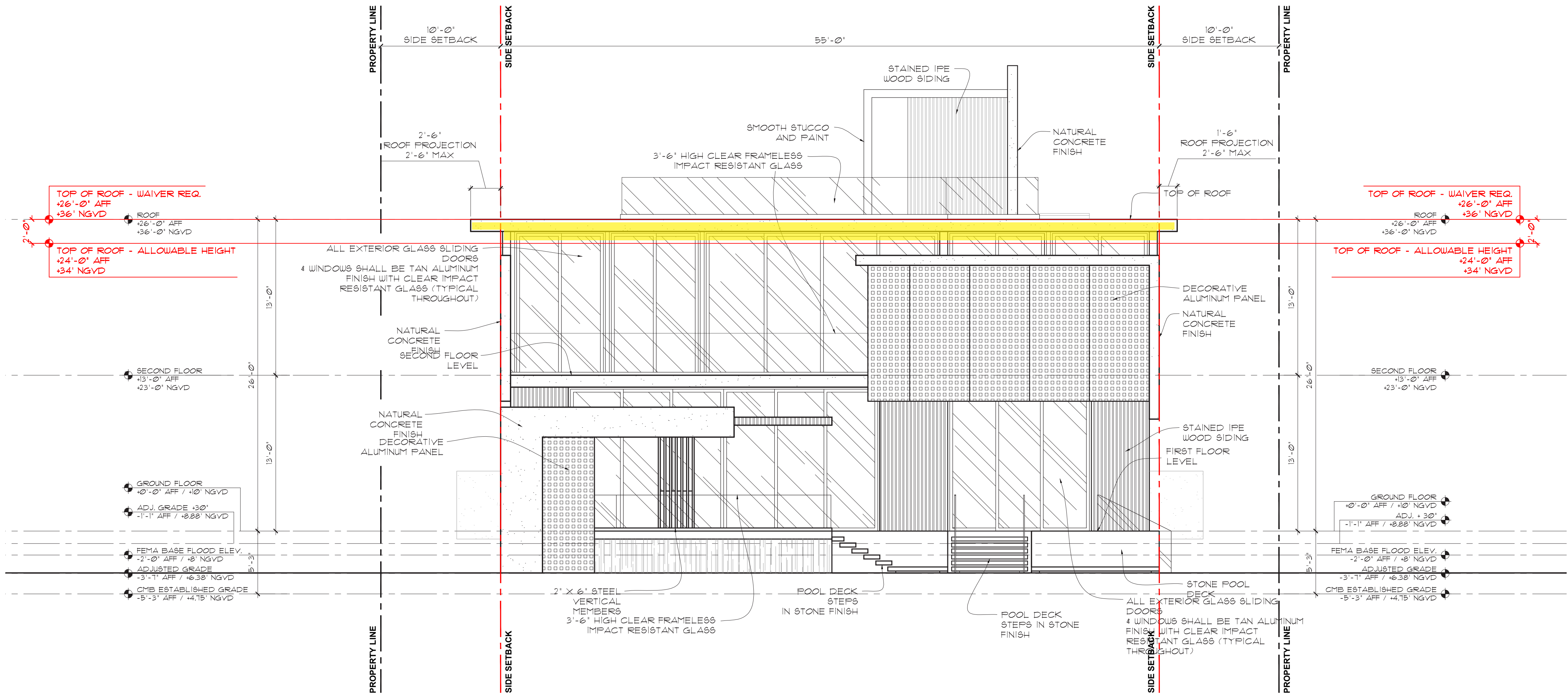
sheet no.

A-3.1



2' ROOF HEIGHT WAIVER REQUESTED

KEY MAP
SCALE: 1/16"=1'-0"



REAR ELEVATION (WEST)
SCALE: 3/16"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

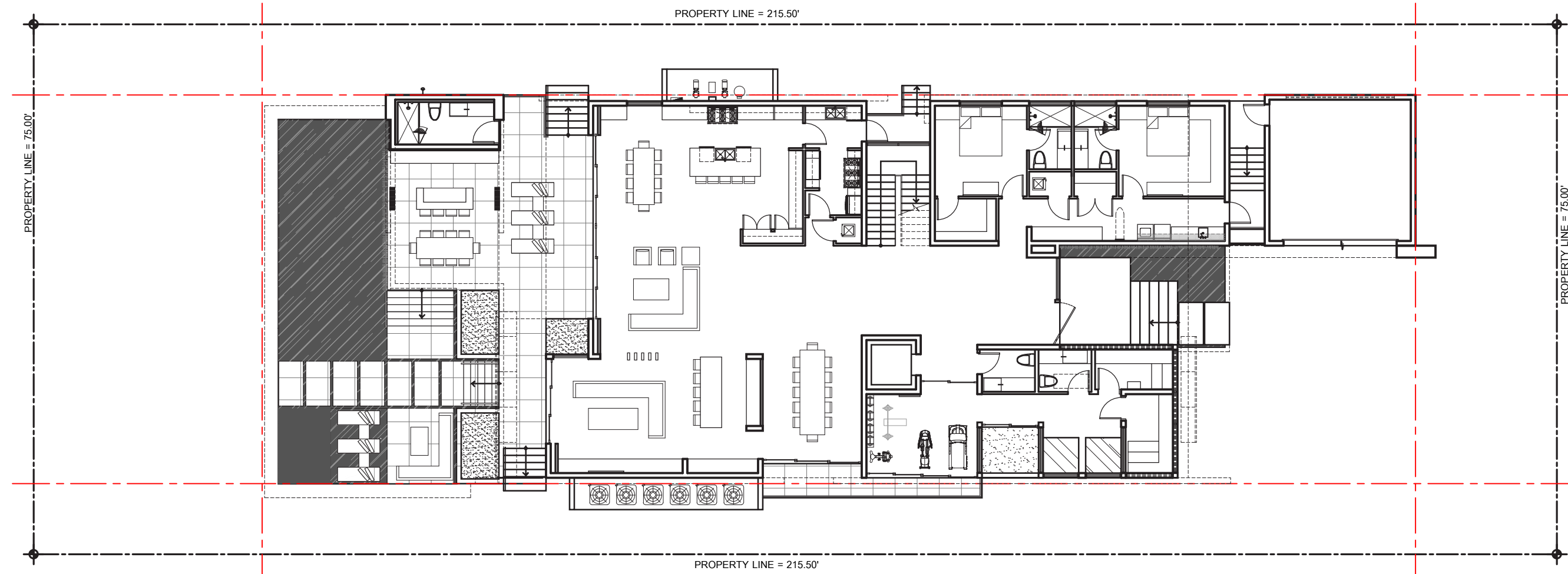
comm no.
1836

date:
02-08-2019

revised:

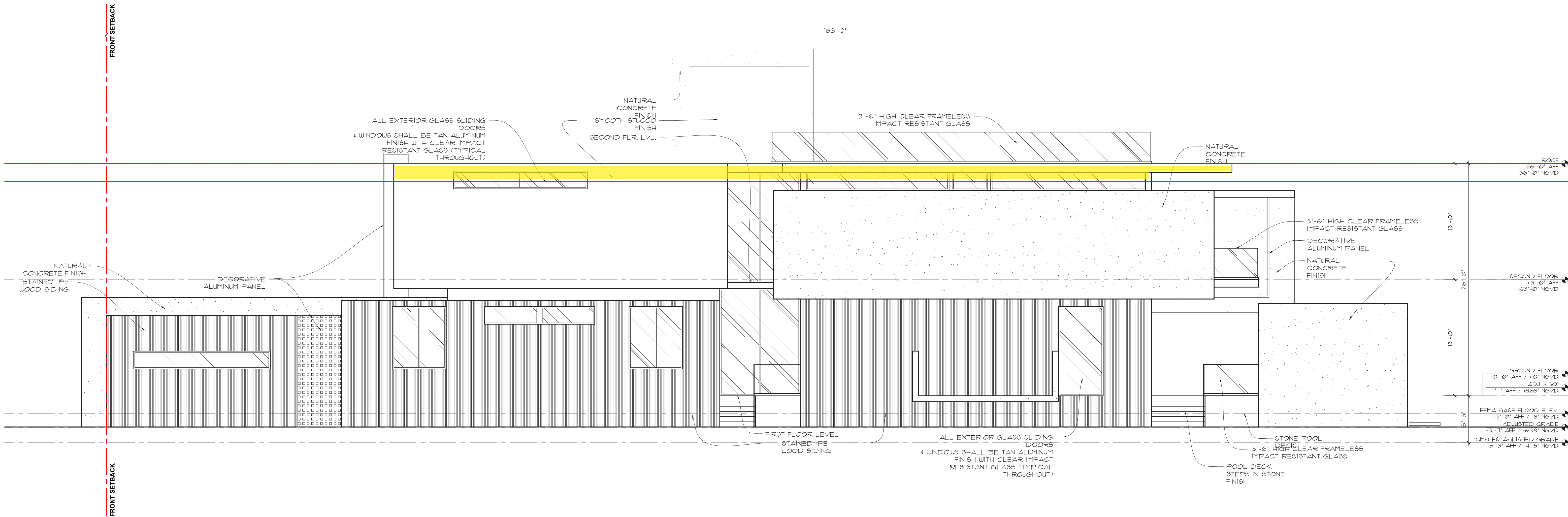
sheet no.

A-3.2



KEY MAP
SCALE: 1/16"=1'-0"

2' ROOF HEIGHT WAIVER REQUESTED



SIDE ELEVATION (NORTH)
SCALE: 3/16"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

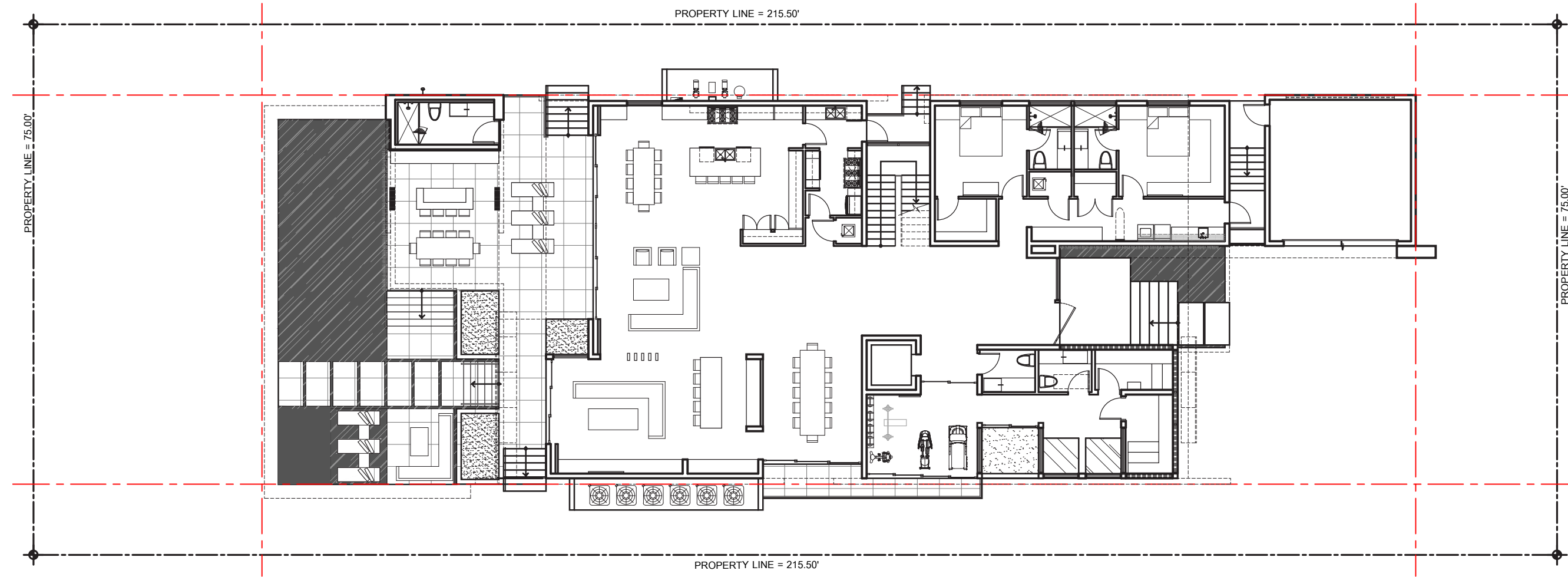
comm no.
1836

date:
02-08-2019

revised:

sheet no.

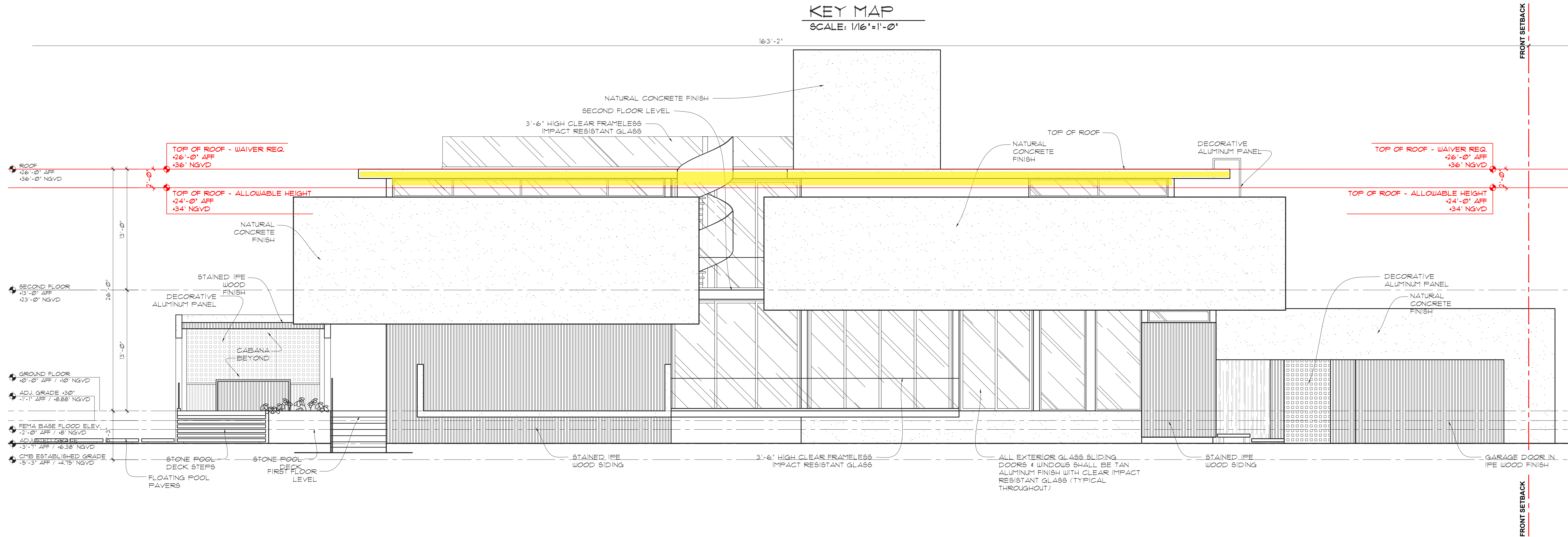
A-3.3



2' ROOF HEIGHT WAIVER REQUESTED

KEY MAP

SCALE: 1/16"=1'-0"



SIDE ELEVATION (SOUTH)

SCALE: 3/16"=1'-0"

RATNER RESIDENCE

6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
1836

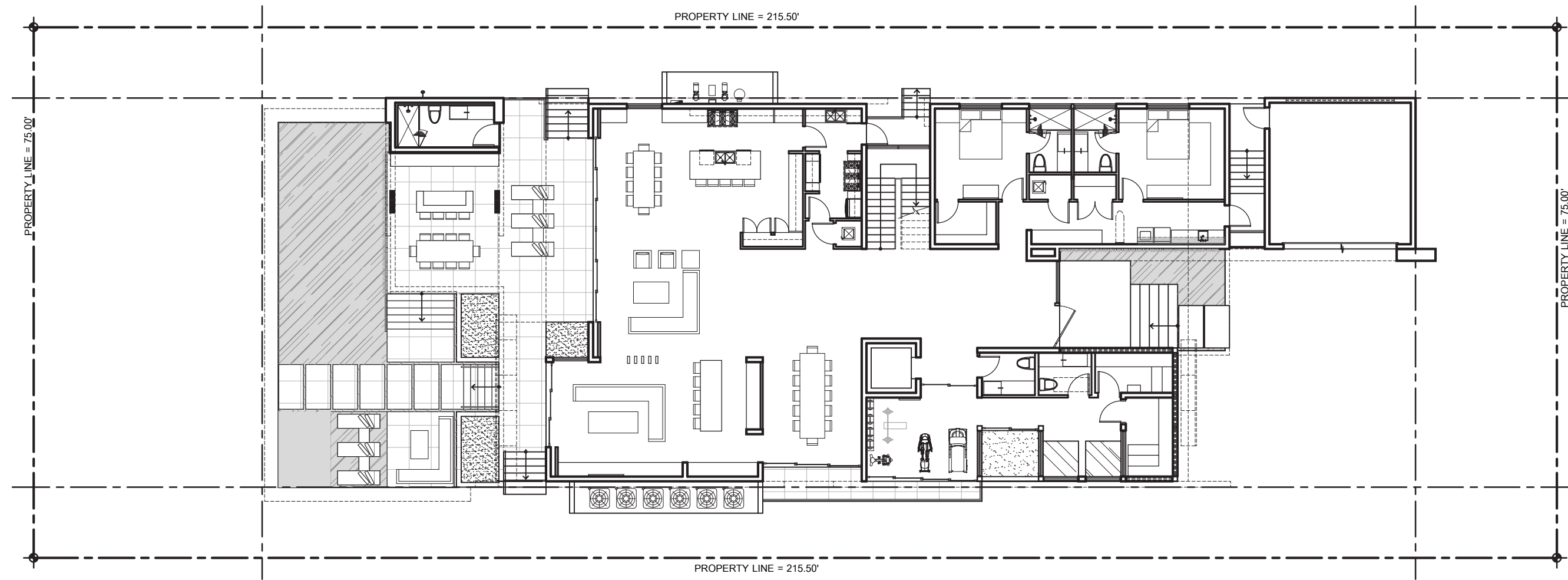
date:
02-08-2019

revised:

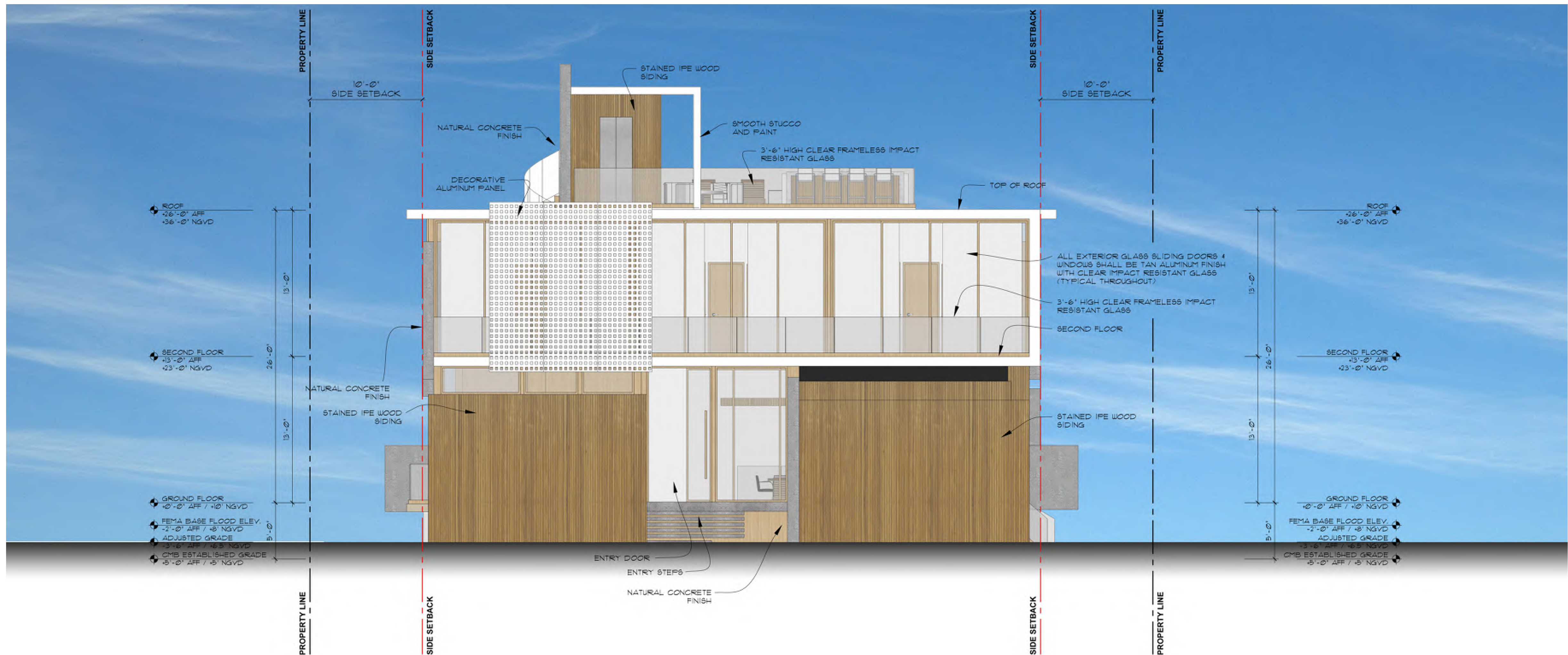
sheet no.

A-3.4

OCTOBER, 2019 AGENDA



KEY MAP
SCALE: 1/16"=1'-0"



RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

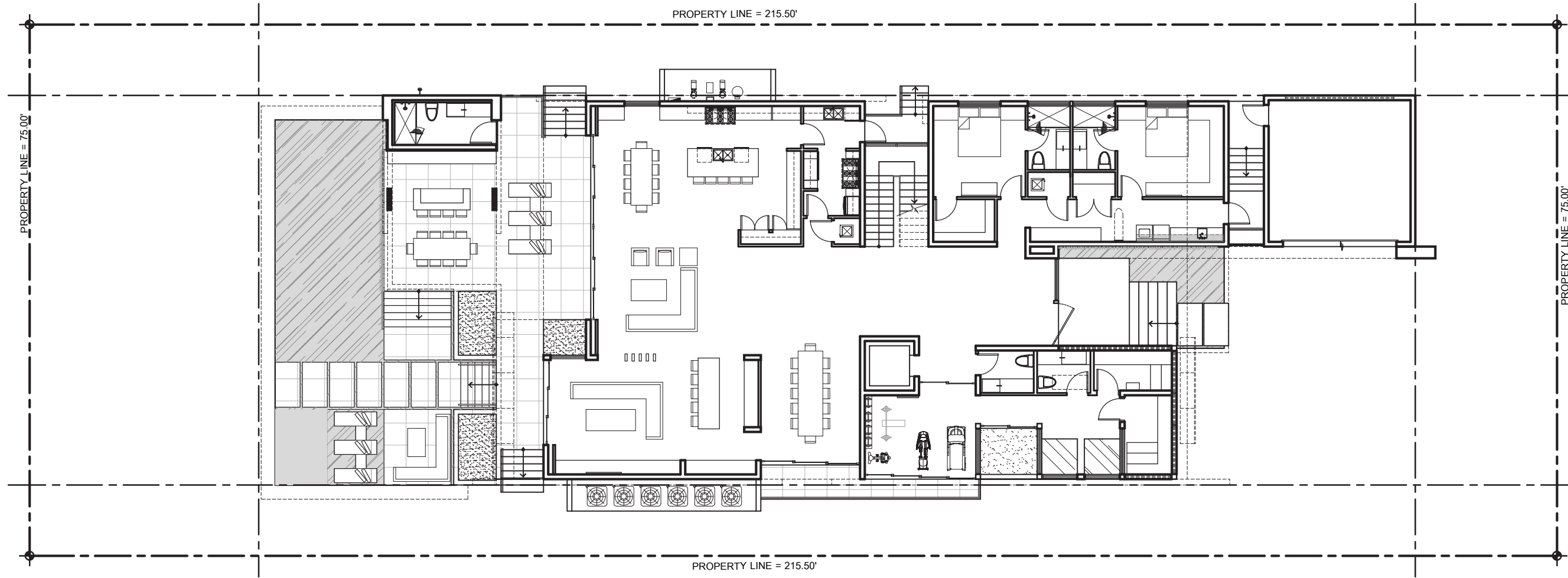
comm no.
1836

date:
02-08-2019

revised:

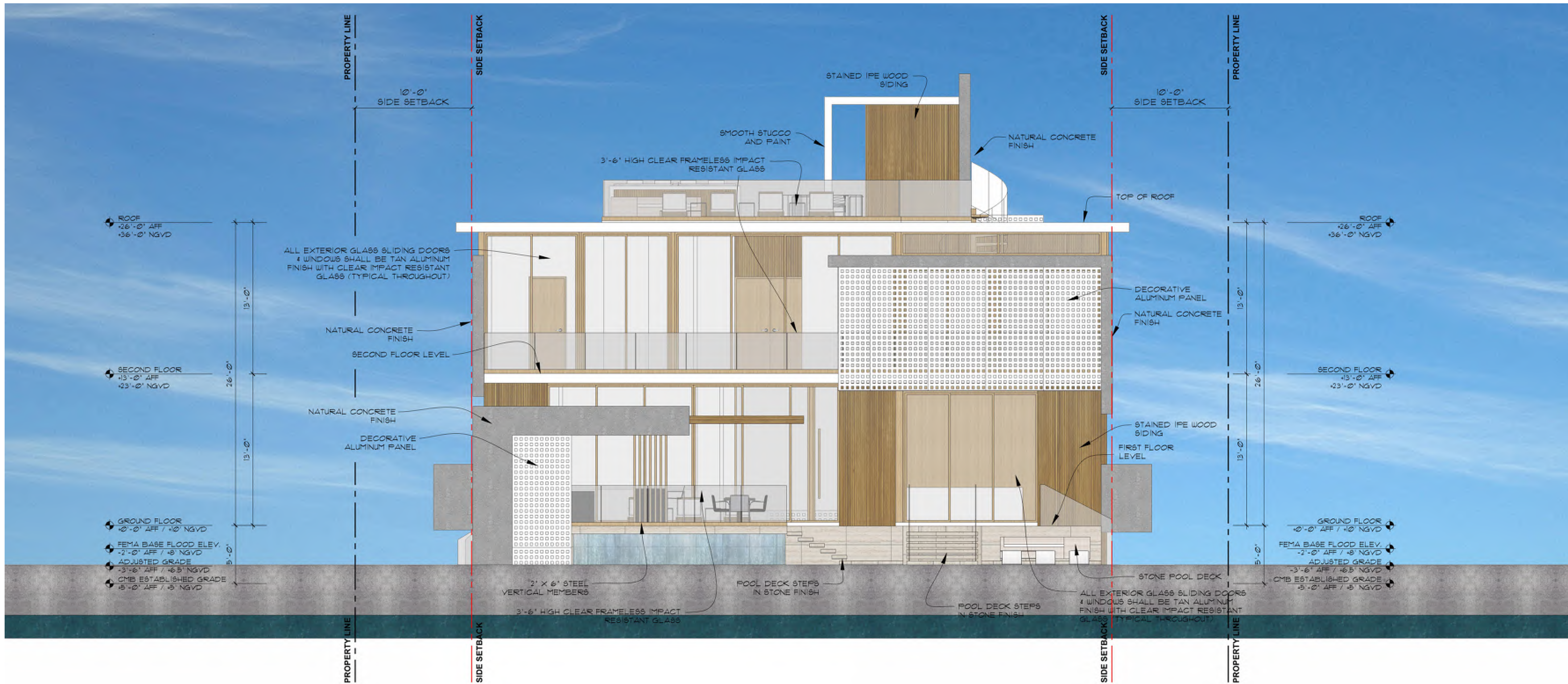
sheet no.

A-4.1



KEY MAP

SCALE: 1/16"=1'-0"



REAR ELEVATION (WEST)

SCALE: 3/16"=1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

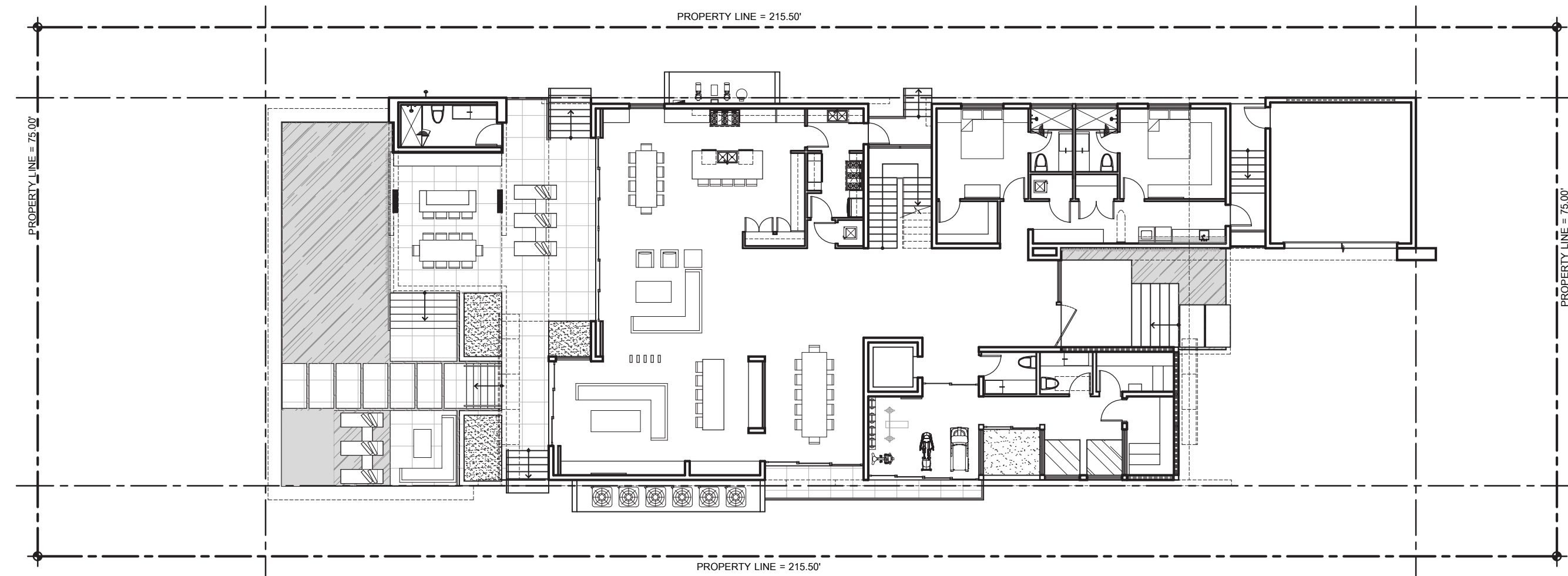
comm no.
1836

date:
02-08-2019

revised:

sheet no.

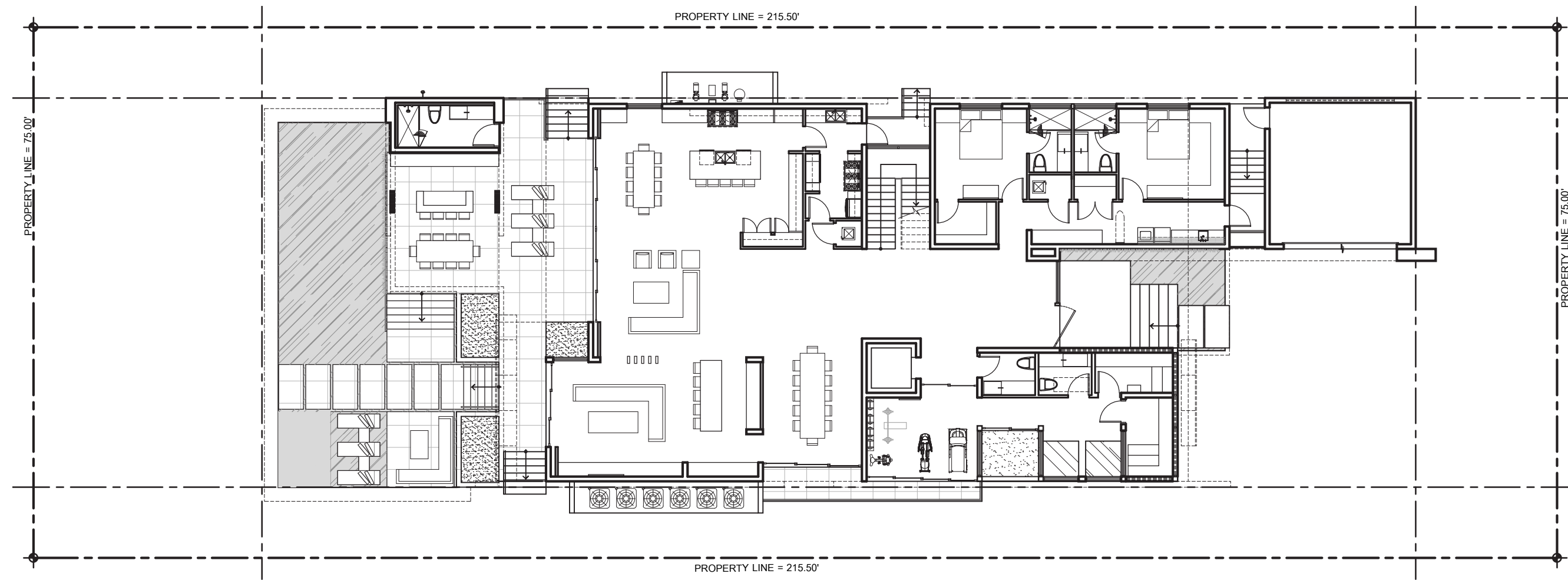
A-4.2



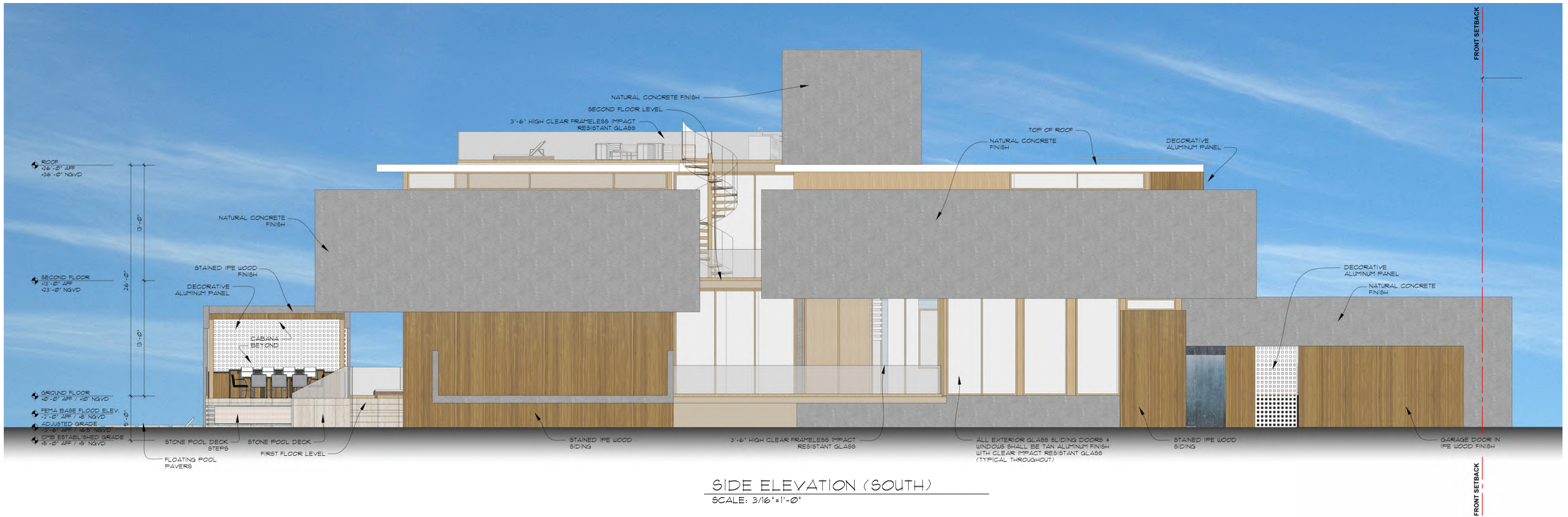
KEY MAP

SCALE: 1/16"=1'-0"

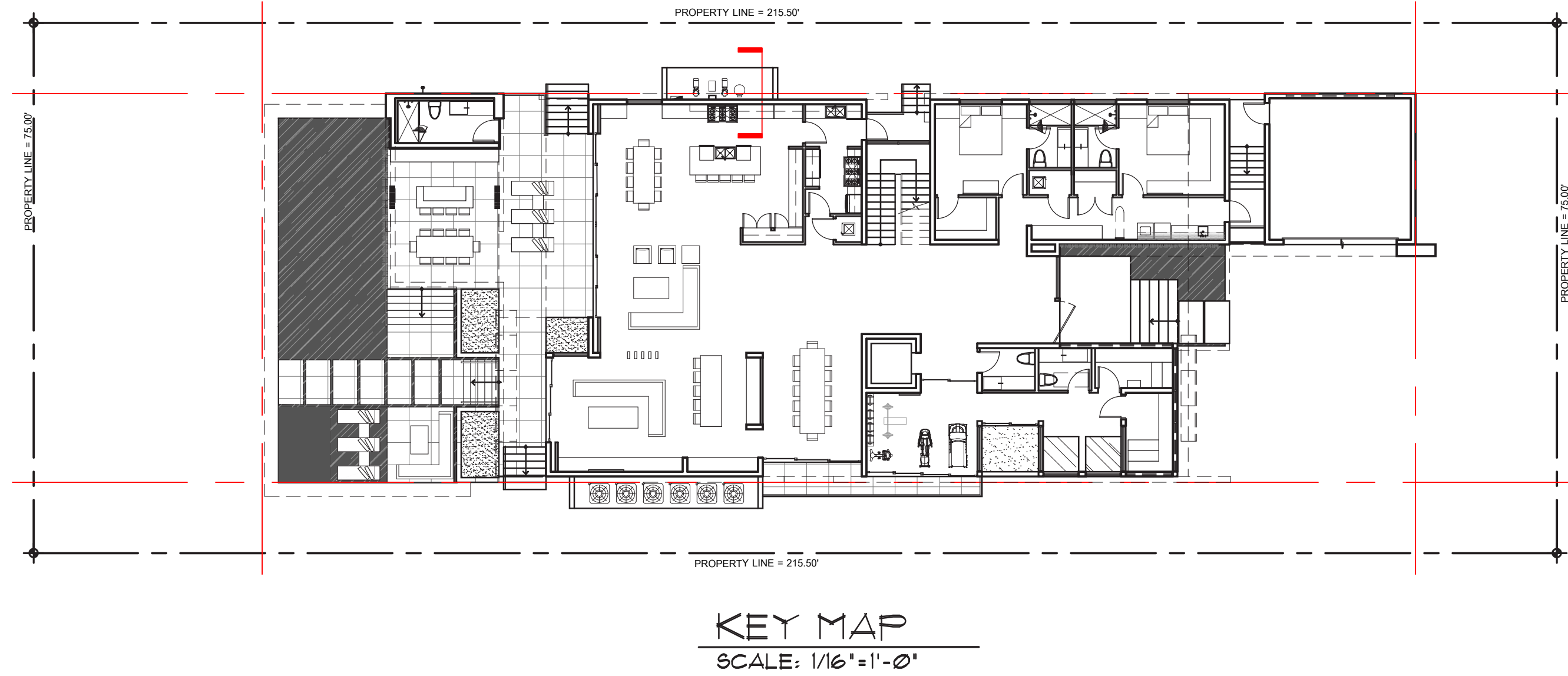




KEY MAP
SCALE: 1/16"=1'-0"



SIDE ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"



KEY MAP
SCALE: 1/16"=1'-0"

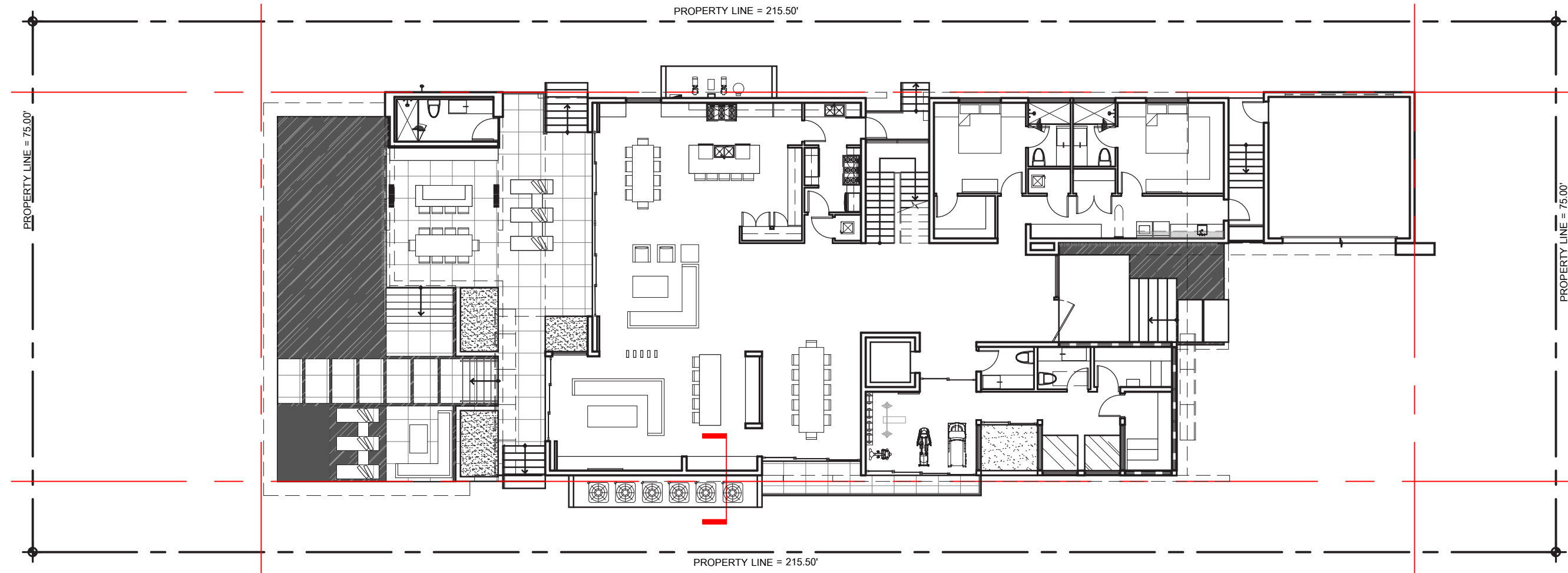
CHOEFFEY LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd. suite 201
Miami, Florida 33138
(t) 305.434.8388
(f) 305.892.5292
www.clarchitects.com

Ralph Choeff
Registered architect
AR0009679
AA26003009

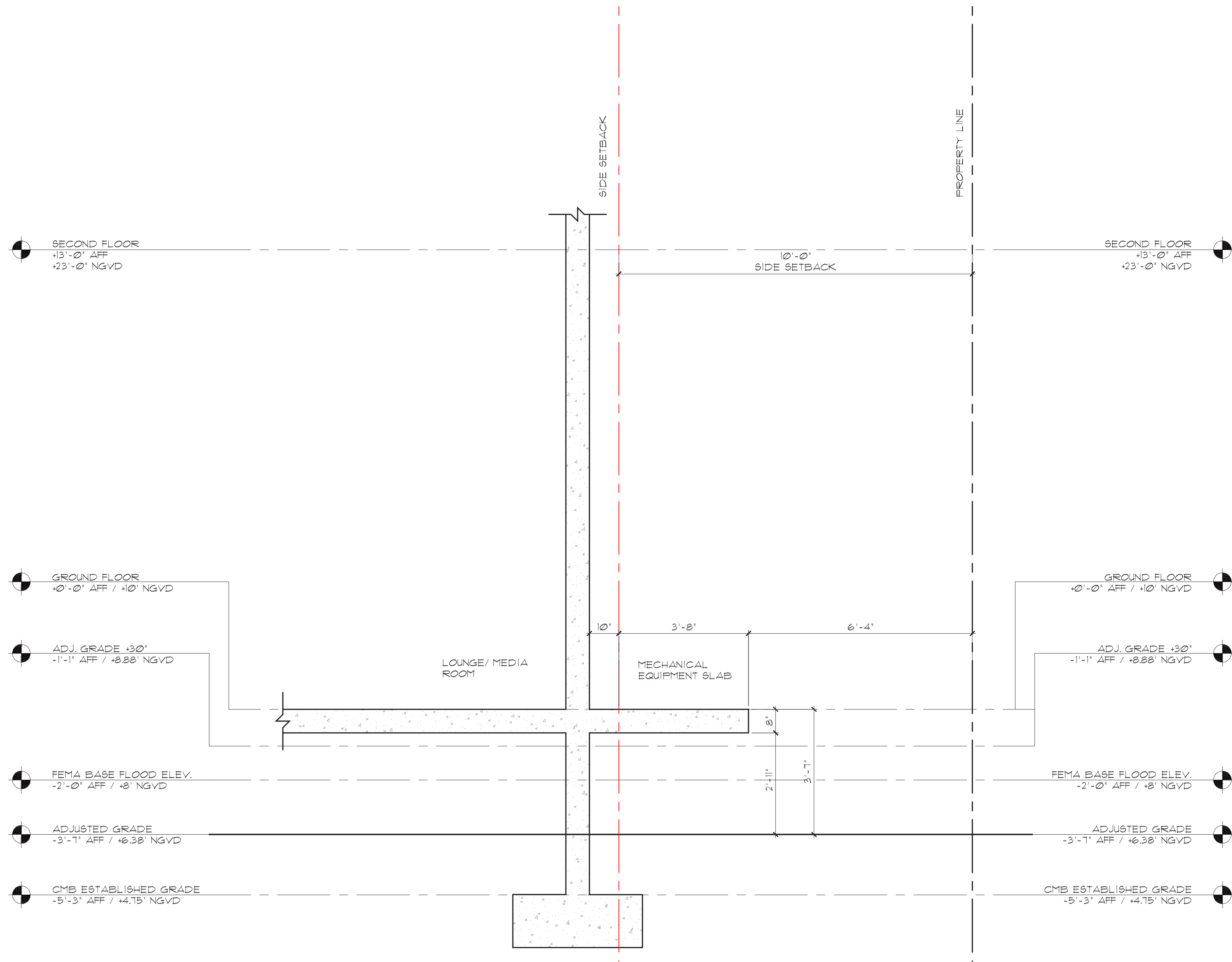
date:
2-08-2019

sheet no.

OCTOBER, 2019 AGENDA



KEY MAP
SCALE: 1/16" = 1'-0"



SECTION DIAGRAM
SCALE: 1/2" = 1'-0"

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

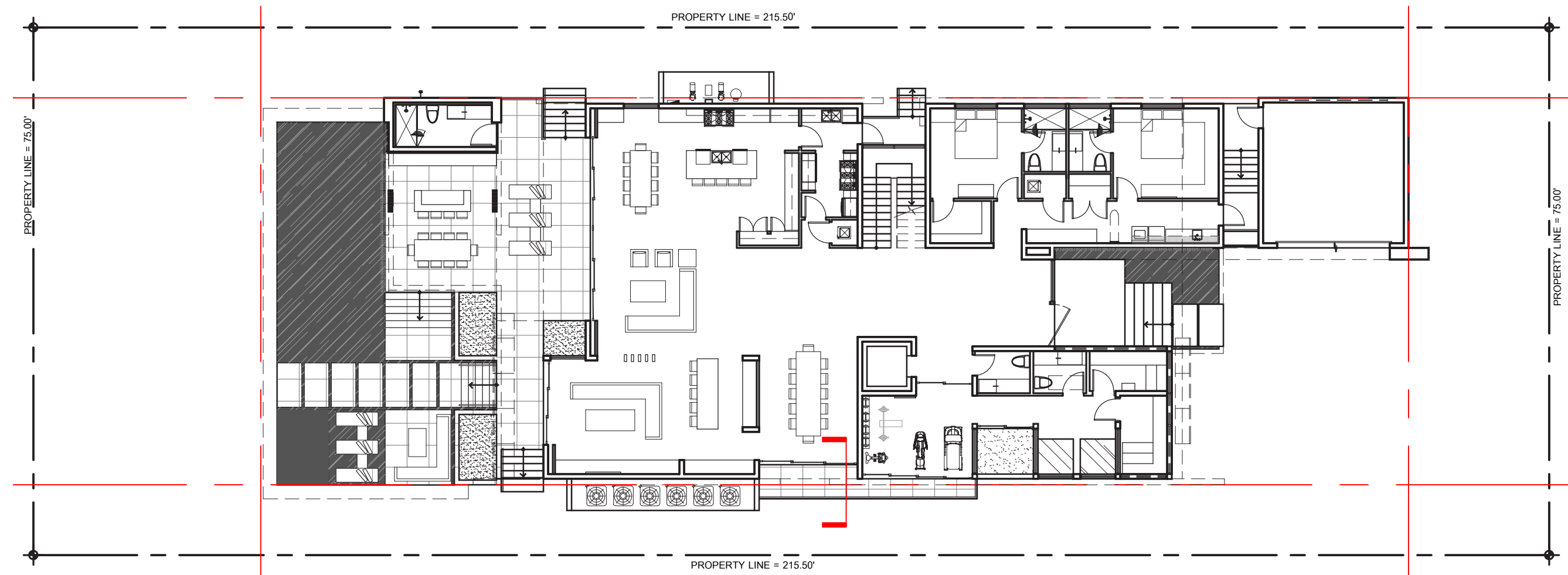
comm no.
1836

date:
02-08-2019

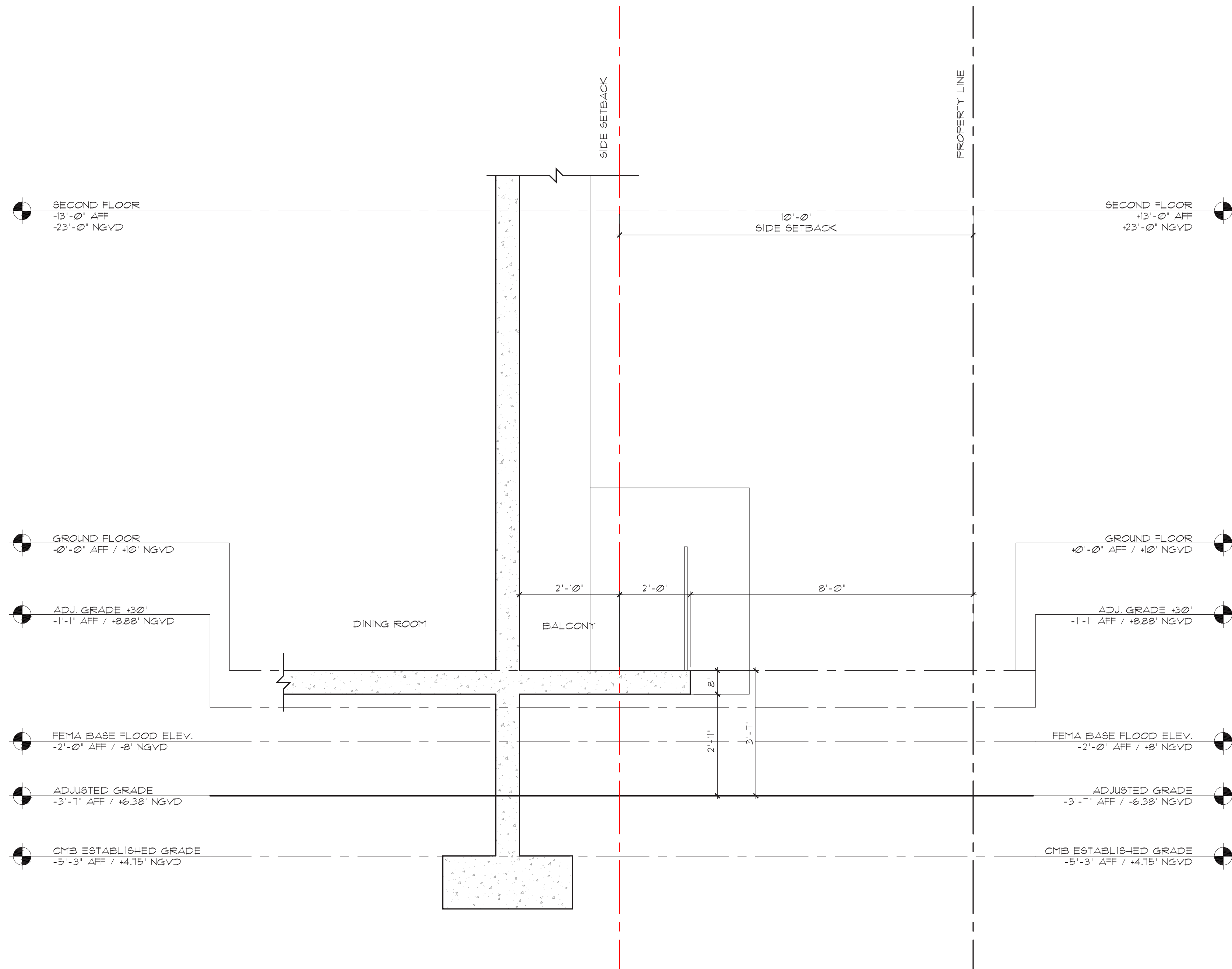
revised:

sheet no.

A-6.2



KEY MAP
SCALE: 1/16" = 1'-0"



SECTION DIAGRAM
SCALE: 1/2" = 1'-0"



NORTHWEST BIRD'S EYE VIEW



NORTHEAST BIRD'S EYE VIEW



SOUTHEAST BIRD'S EYE VIEW



SOUTHWEST BIRD'S EYE VIEW



CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN

FRONT RENDERING



REAR RENDERING



FINAL DRB SUBMITTAL 08.05.19

NEW RESIDENCE | 6494 ALLISON ROAD | MIAMI BEACH, FLORIDA

CLIENT / PROPERTY INFORMATION

PROPERTY ADDRESS
6494 ALLISON ROAD
MIAMI BEACH, FL 33141

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed of primarily gumbo limbo trees and smaller palms. For those gumbo limbo tree in conflict with the proposed site design, pending an arborist report and approval from C.M.B, the landscape architect is proposing to relocate good candidates to locations on site.

SCOPE OF WORK

- To provide a new landscape design that will complement the new contemporary Residence
- To preserve + protect native tree canopy

INDEX OF SHEETS

- L-0.0 Landscape Cover Page + Sheet Index
- L-1.0 Existing Tree Survey + Disposition Plan
- L-1.1 Existing Tree Chart, Notes + Details
- L-2.0 Landscape Plan Rendering
- L-2.1 Landscape Plan
- L-3.0 Landscape Notes + Details
- L-4.0 Plant Image Boards

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

CHRISTOPHER CAWLEY | CC
LANDSCAPE ARCHITECTURE LLC
Florida Landscape Architecture Business LC 26000460
780 NE 69th Street | Suite 1106 | Miami, FL 33138
O 786.534.5327 | C 305.979.1585 | www.christophercawley.com

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd, suite 201
Miami, Florida 33188
(t) 305.434.8338
(f) 305.892.5292
www.clarchitects.com

CHRISTOPHER CAWLEY, RLA
Florida License LA 6668788

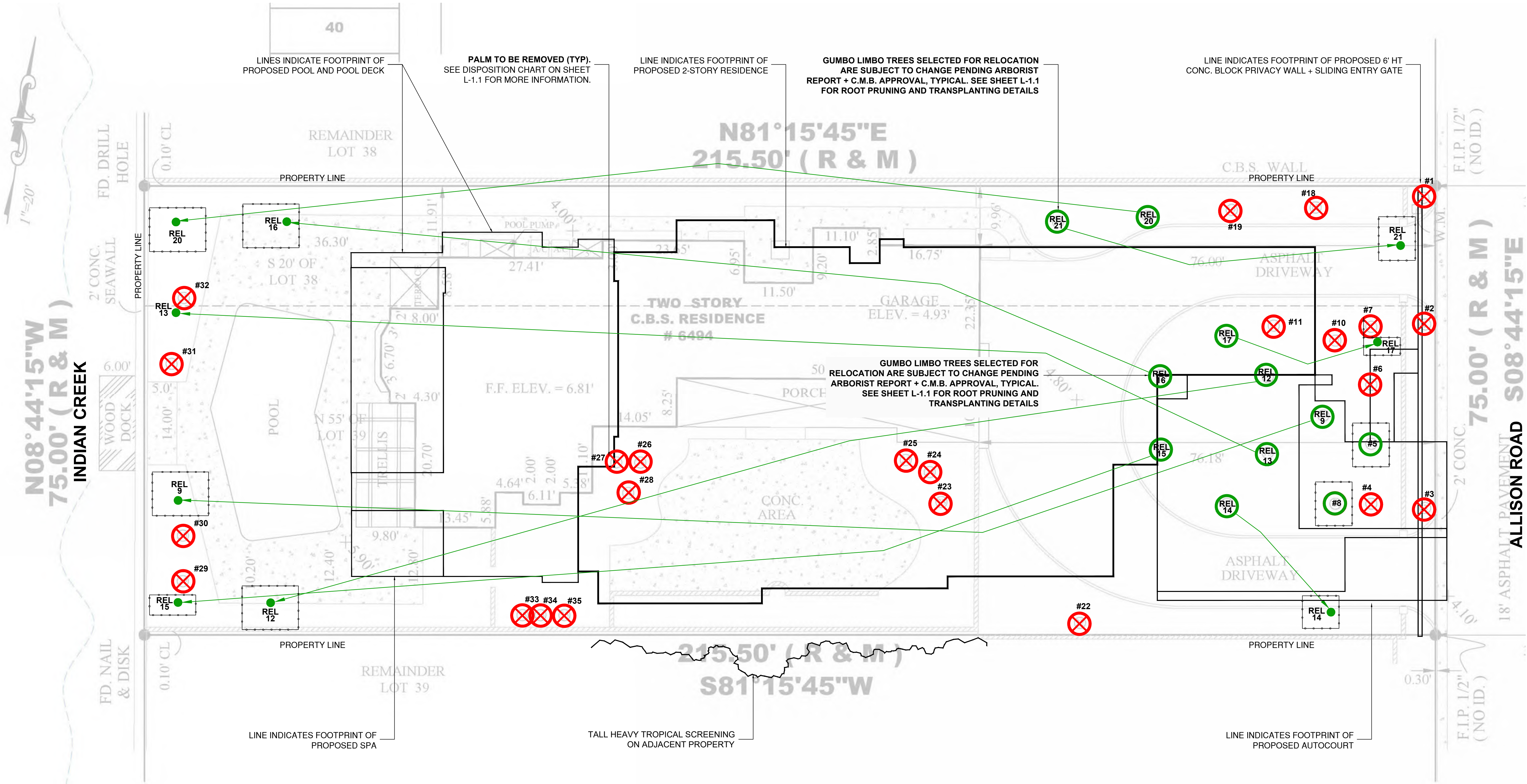
comm no.
1836

date:
05-07-2019

revised:
FINAL DRB
SUBMITTAL 08.05.19

sheet no.

L-0.0

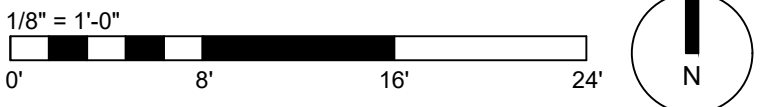


C.M.B. CANOPY MITIGATION NOTES
THE CANOPY MITIGATION OF 5,998 SF AS REQUIRED BY THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION and PROTECTION ORDINANCE HAS BEEN MET AND EXCEEDED. A TOTAL 6,450 SF OF CANOPY HAS BEEN PROVIDED.
CANOPY MITIGATION SUMMARY - (10) BAY RUM TREES: 3,000 SF (MB category I @300 SF each) - (10) GREEN BUTTWOOD TREES: 3,000 SF (MB category I @300 SF each) - (2) SIMPSON STOPPER TREES: 200 SF (MB category III @100 SF each) - (2) COCONUT PALMS: 100 SF (MB category IV @ 50 SF each) - (3) THATCH PALMS: 150 SF (MB category IV @ 50 SF each)

C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION PLAN NOTES
1. THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION and PROTECTION ORDINANCE.
2. EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY BLANCO SURVEYORS INC. DATED 04.18.19
3. THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 04.26.19
4. MIAMI BEACH P+Z MUST APPROVE LANDSCAPE PLANS PRIOR TO REMOVING ANY TREES OR PALMS WITH A DBH BETWEEN 6" AND 12" INCHES. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM CITY OF MIAMI BEACH GREENSPACE MANAGEMENT / P.W FOR THE REMOVAL OF TREES / PALMS WITH A DBH GREATER THAN 12" INCHES OR IN THE R.O.W.
5. THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. w/ a D.B.H. OF LESS THAN 6" WITHOUT OBTAINING A TREE REMOVAL PERMIT.
6. THERE ARE NO TREES or PALMS LOCATED ON THIS PROPERTY THAT WILL REQUIRE TEMPORARY IRRIGATION. ALL EXISTING TREES + PALMS ARE MATURE AND ARE CURRENTLY THRIVING WITHOUT SUPPLEMENTAL IRRIGATION WATER.

C.M.B. EXISTING TREE SURVEY LEGEND
TREE or PALM TO BE REMOVED. SEE CHART L-1.1
TREE or PALM TO REMAIN. PRESERVE + PROTECT
TREE TO BE RELOCATED
RELOCATED TREE
TREE or PALM PROTECTION FENCE

EXISTING TREE SURVEY + DISPOSITION PLAN



CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd, suite 201
Miami, Florida 33138
(305) 434-8338
(305) 892-5292
www.cdfarchitects.com

CHRISTOPHER CAWLEY | CC
LANDSCAPE ARCHITECTURE LLC | LA
Florida Landscape Architecture Business LC 26000460
780 NE 69th Street | Suite 1106 | Miami, FL 33138
O 786.534.5327 | C 305.979.1585 | www.christophercawley.com

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

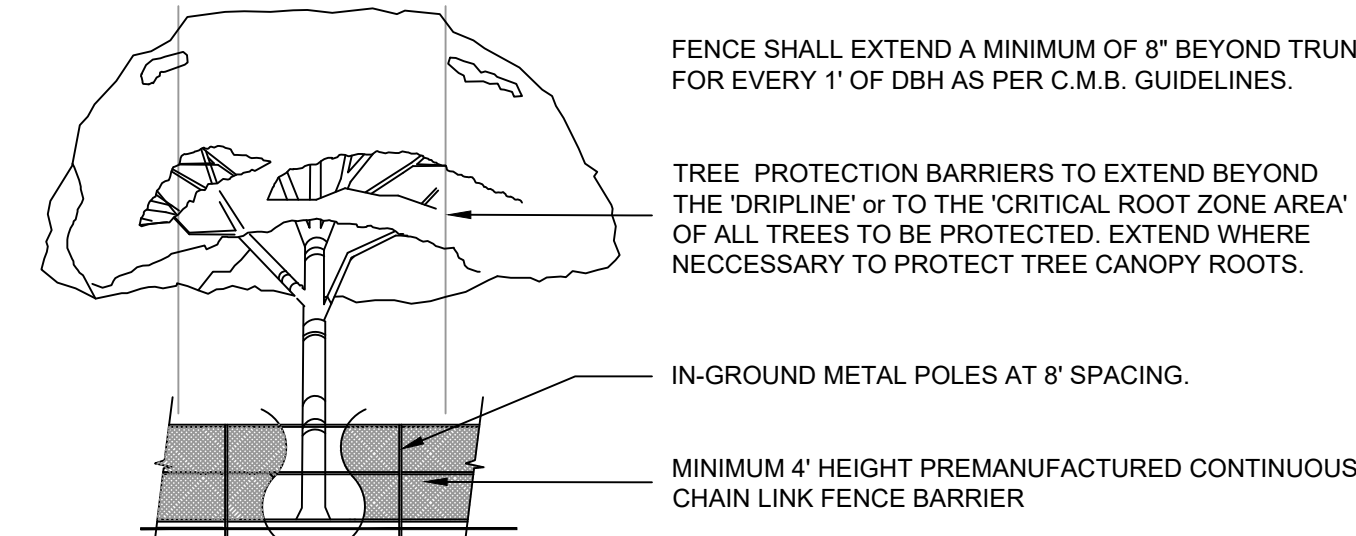
seal

comm no.
1836
date:
05-07-2019
revised:
FINAL DRB
SUBMITTAL 08.05.19

sheet no.

TREE PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES / PALMS THAT ARE 'TO REMAIN, BE PROTECTED, or BE RELOCATED'

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.



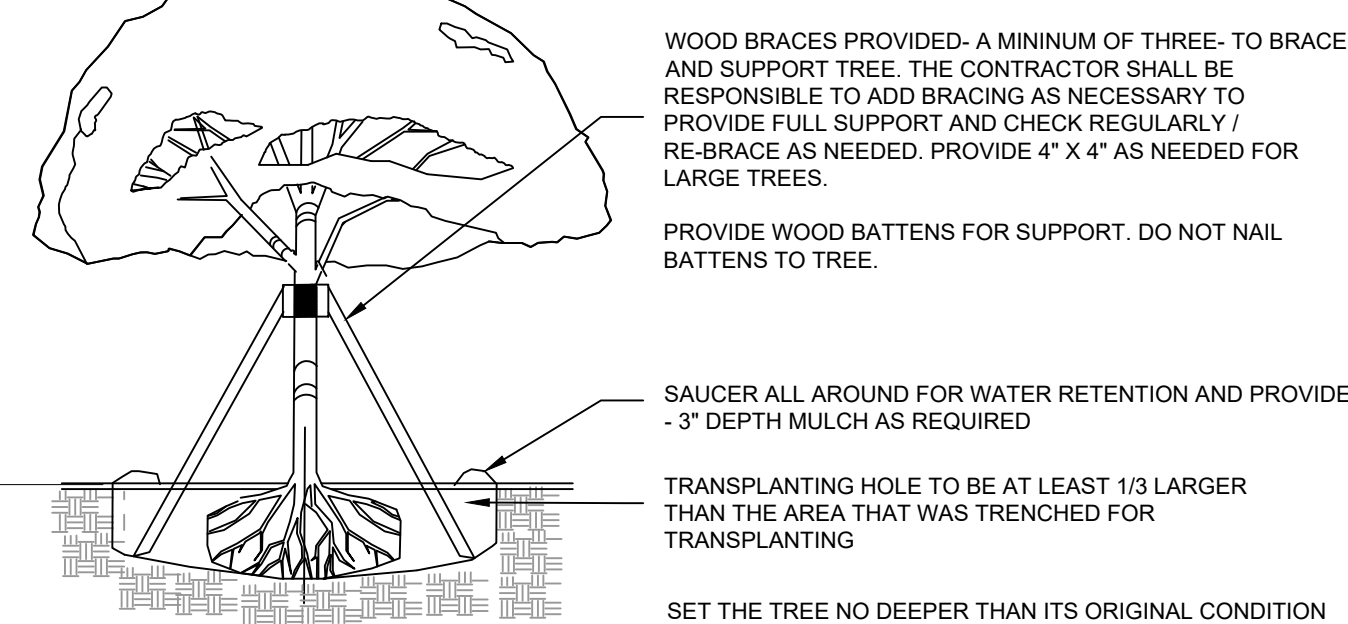
PROTECTION DETAIL NOTE
CONTRACTOR TO INSTALL 'TREE PROTECTION FENCE BARRIERS' AROUND ALL EXISTING TREES OR PALMS AT THE START OF THE PROJECT. BARRIERS TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT AND SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION FROM THE CITY OF MIAMI BEACH URBAN FORESTER + PLANNING + ZONING DEPARTMENT

C.M.B. TREE PROTECTION. DETAIL (CHAINLINK)

N.T.S.

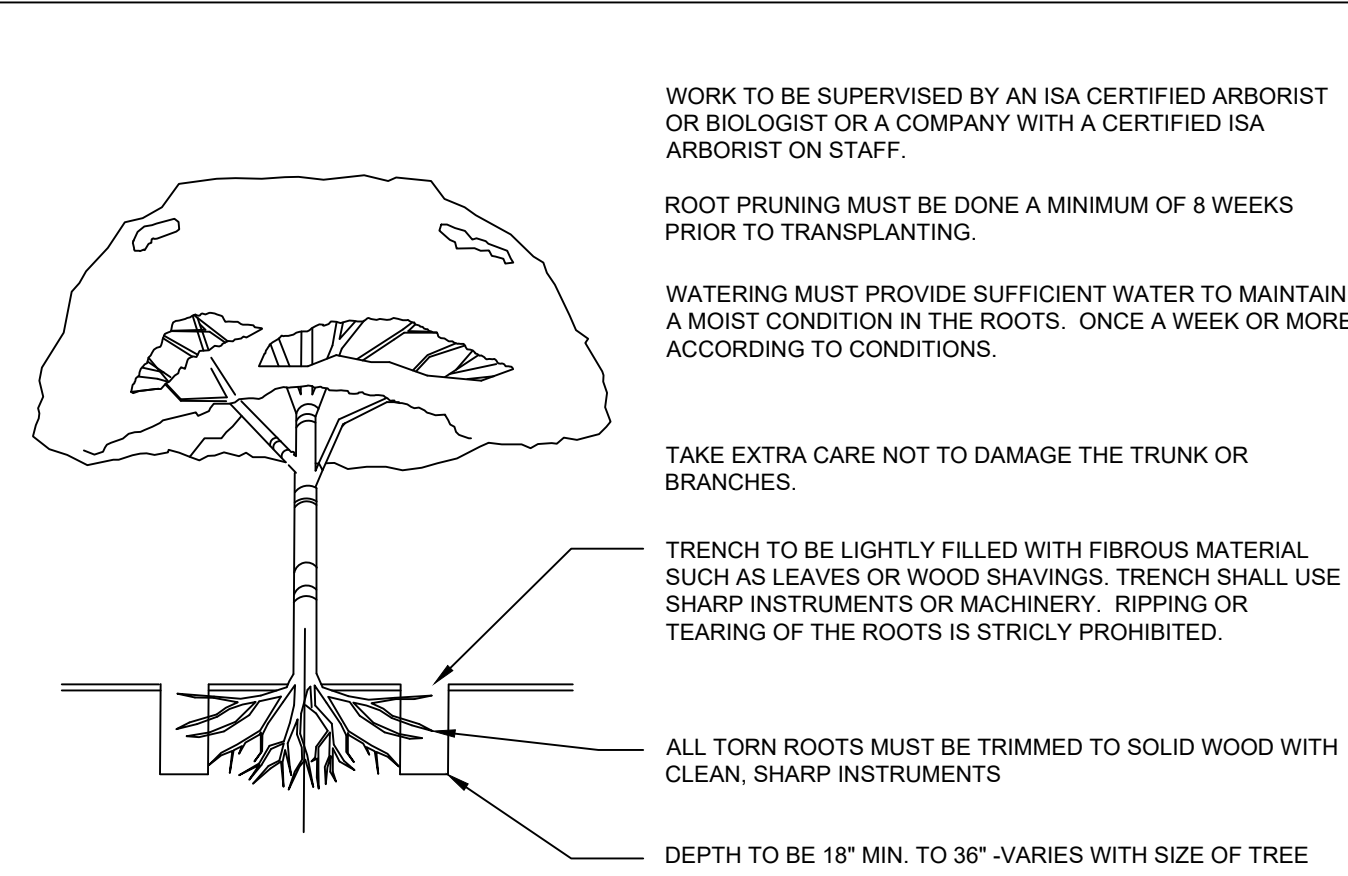
TRANSPLANT OPERATIONS TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

POST TRANSPLANT WATERING TO PROVIDE MOISTURE AND REDUCE ANY EXCESSIVE STRESS DUE TO DESSICATION. WATERING TO BE ADJUSTED ACCORDING TO CONDITIONS AND AT THE SUPERVISION AND DIRECTION OF THE ISA CERTIFIED ARBORIST OR BIOLOGIST. WATER HOSE APPLICATION OF FLOOD WATERING REMOVES AIR POCKETS WITH WATER.



C.M.B. TREE TRANSPLANT DETAIL

N.T.S.

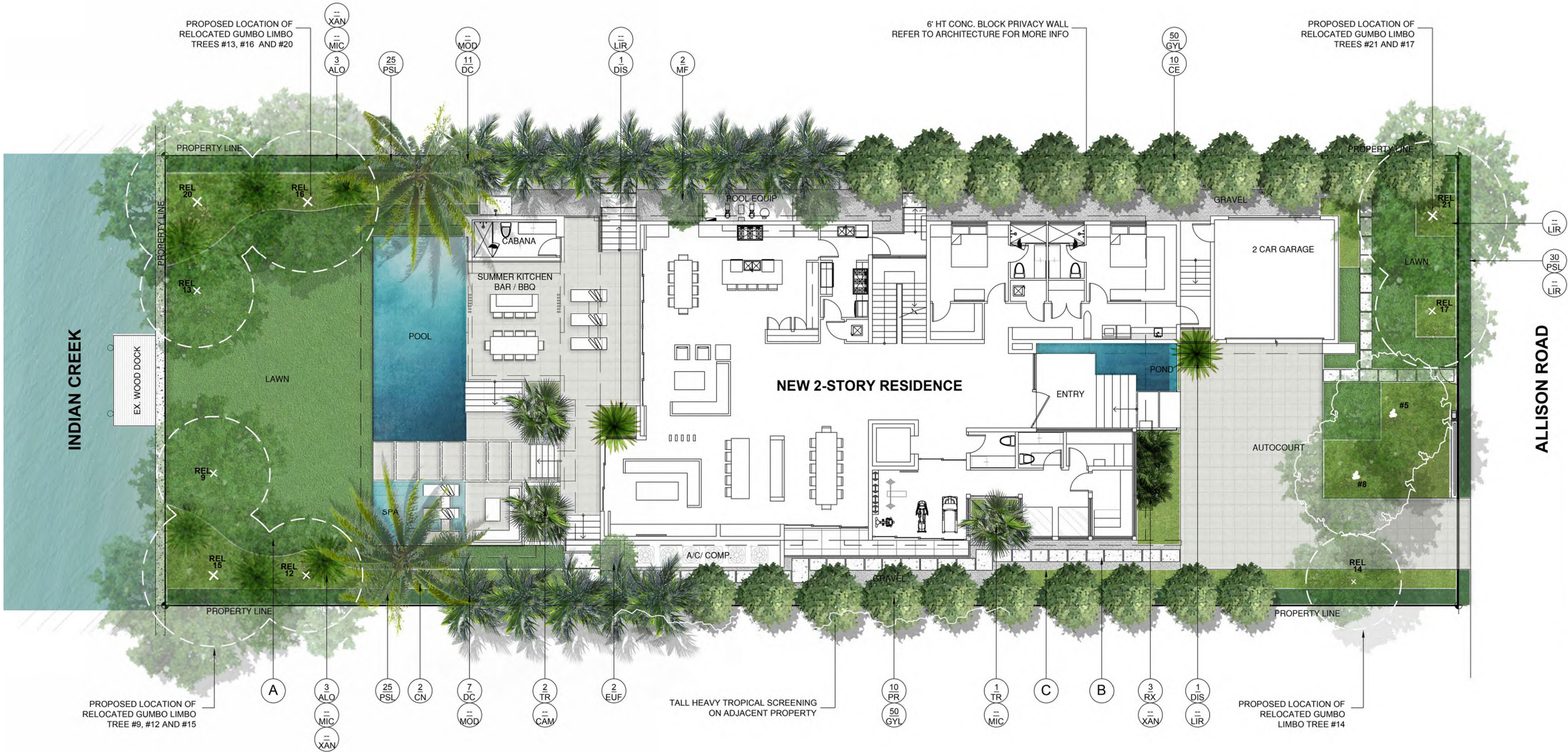


C.M.B. ROOT PRUNING DETAIL

N.T.S.

TREE AND PALM TRANSPLANTING PROCEDURAL SPECIFICATION	
1.	PURPOSE: TO MAXIMIZE THE SUCCESS OF TREE TRANSPLANTING OPERATIONS.
2.	ALL STANDARDS SHALL MEET OR EXCEED THE ANSI A300 (PART 6)-2005 (TRANSPLANTING) STANDARD PRACTICES AND ANY APPLICABLE LOCAL CODES.
3.	CONTRACTOR SHALL EMPLOY AN ISA CERTIFIED ARBORIST OR BIOLOGIST WITH VERIFIABLE TREE TRANSPLANT EXPERIENCE AS THE "EXPERT ARBORIST OF RECORD" TO CARRY OUT THE FOLLOWING DUTIES: <div><ul style="list-style-type: none">SHALL MAKE SITE VISITS PRIOR TO AND DURING ANY RELOCATION WORK TO INSPECT THAT PROPER PREPARATION IS PERFORMED ACCORDING TO ALL APPLICABLE TREE RELOCATION GUIDELINES.SHALL DOCUMENT ALL INSPECTIONS AND PROVIDE REPORT TO THE OWNER'S AGENT WITHIN 5 BUSINESS DAYS OF SITE VISIT.SHALL SUBMIT PRIOR TO FINAL ACCEPTANCE BY OWNER'S AGENT, A POST-TRANSPLANT CARE GUIDE FOR UP TO THREE YEARS THAT INCLUDES WATERING, FERTILIZATION, PRUNING, PEST CONTROL, STAKING, ETC</div>

C.M.B. EXISTING TREE INVENTORY + DISPOSITION CHART - 6494 ALLISON ROAD												
NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	CANOPY AREA	CANOPY LOSS / MIT. REQ. (SF)	COMMENTS	PERMIT REQUIREMENTS P+Z - OPM / PW, N/A
#1	Queen Palm	Syagrus romanzoffiana	NO	+/- 12"	+/- 35'	+/- 10'	FAIR	REMOVE	79 SF	79 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#2	Queen Palm	Syagrus romanzoffiana	NO	+/- 12"	+/- 35'	+/- 10'	FAIR	REMOVE	79 SF	79 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#3	Queen Palm	Syagrus romanzoffiana	NO	+/- 12"	+/- 35'	+/- 10'	FAIR	REMOVE	79 SF	79 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#4	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#5	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMAIN	314 SF	0 SF	PRESERVE + PROTECT DURING CONTRUCTION	GREEN SPACE MANGMT / PW
#6	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#7	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#8	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMAIN	314 SF	0 SF	PRESERVE + PROTECT DURING CONTRUCTION	GREEN SPACE MANGMT / PW
#9	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#10	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#11	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#12	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#13	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#14	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#15	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#16	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#17	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#18	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#19	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	REMOVE	314 SF	314 x 2 = 628 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#20	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#21	Gumbo Limbo	Bursera simaruba	YES	+/- 18"	+/- 25'	+/- 20'	GOOD	RELOCATE	314 SF	0 SF	IN CONFLICT SEE PROPOSED NEW LOCATION	GREEN SPACE MANGMT / PW
#22	Royal Palm	Roystonea regia	NO	+/- 12"	+/- 20'	+/- 8'	GOOD	REMOVE	50 SF	50 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	N/A
#23	Alexander Palm	Ptychosperma elegans	NO	+/- 5"	+/- 20'	+/- 8'	GOOD	REMOVE	50 SF	0 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION NOT REQ.	N/A - NO MITIGATION REQ.
#24	Alexander Palm	Ptychosperma elegans	NO	+/- 5"	+/- 20'	+/- 8'	GOOD	REMOVE	50 SF	0 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION NOT REQ.	N/A - NO MITIGATION REQ.
#25	Ponytail Palm	Beaucarnea recurvata	NO	+/- 12"	+/- 20'	+/- 5'	GOOD	REMOVE	20 SF	20 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#26	Ponytail Palm	Beaucarnea recurvata	NO	+/- 12"	+/- 20'	+/- 5'	GOOD	REMOVE	20 SF	20 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#27	Queen Palm	Syagrus romanzoffiana	NO	+/- 12"	+/- 20'	+/- 12'	GOOD	REMOVE	113 SF	113 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#28	Ponytail Palm	Beaucarnea recurvata	NO	+/- 12"	+/- 20'	+/- 5'	GOOD	REMOVE	20 SF	20 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#29	Bottle Palm	Hyophorbe lagenicaulis	NO	+/- 14"	+/- 8'	+/- 8'	FAIR	REMOVE	50 SF	50 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#30	Bottle Palm	Hyophorbe lagenicaulis	NO	+/- 14"	+/- 8'	+/- 8'	FAIR	REMOVE	50 SF	50 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#31	Bottle Palm	Hyophorbe lagenicaulis	NO	+/- 14"	+/- 8'	+/- 8'	FAIR	REMOVE	50 SF	50 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#32	Bottle Palm	Hyophorbe lagenicaulis	NO	+/- 14"	+/- 8'	+/- 8'	FAIR	REMOVE	50 SF	50 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#33	Unknown Tree	Unknown Tree	NO	+/- 12"	+/- 40'	+/- 20'	GOOD	REMOVE	314 SF	314 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#34	Unknown Tree	Unknown Tree	NO	+/- 12"	+/- 40'	+/- 20'	GOOD	REMOVE	314 SF	314 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
#35	Unknown Tree	Unknown Tree	NO	+/- 12"	+/- 40'	+/- 20'	GOOD	REMOVE	314 SF	314 SF	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED	GREEN SPACE MANGMT / PW
TOTAL MITIGATION REQUIRED: 5,998 SF										TOTAL MITIGATION PROVIDED : 6,450 SF		
* CANDIDATE FOR RELOCATION (TOTAL CANOPY AREA FOR ALL RELOCATION CANDIDATES = 5,652 SF)												



LANDSCAPE PLAN LEGEND

- A 'EMPIRE TURF' ZOYSIA GRASS - OVER 2" TOPSOIL BED, SEE PLANTING SPECS
- B NATURAL STONE PAVERS
- C 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC

LANDSCAPE PLAN RENDERING



comm no.
1836

date:
05-07-2019

revised:
FINAL DRB
SUBMITTAL 08.05.19

sheet no.

L-2.0

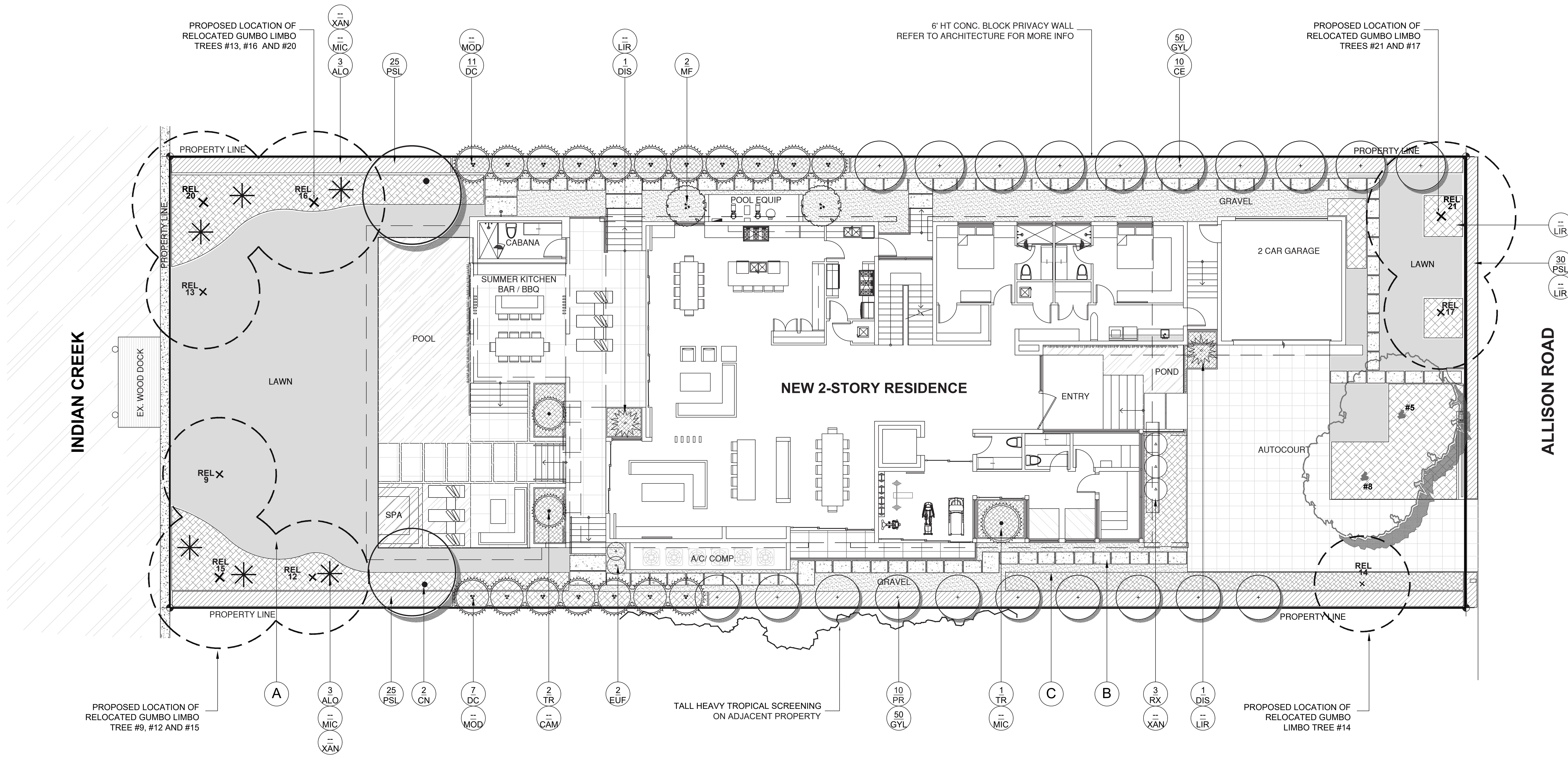
OCTOBER, 2019 AGENDA

RATNER RESIDENCE
6494 ALLISON RD.
MIAMI BEACH, FLORIDA 33141

CHRISTOPHER CAWLEY | CC
LANDSCAPE ARCHITECTURE LLC | LA
Florida Landscape Architecture Business LC 26000460
780 NE 69th Street | Suite 1106 | Miami, FL 33138
O 786.534.5327 | C 305.979.1585 | www.christophercawley.com

CHOEFFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd, suite 201
Miami, Florida 33188
www.cdfarchitects.com
(t) 305.434.8338
(f) 305.892.5292

CHRISTOPHER CAWLEY, RLA
Florida License LA 6668786



LANDSCAPE PLAN LEGEND

- A 'EMPIRE TURF' ZOYSIA GRASS - OVER 2" TOPSOIL BED, SEE PLANTING SPECS
- B NATURAL STONE PAVERS
- C 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.

2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.

3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

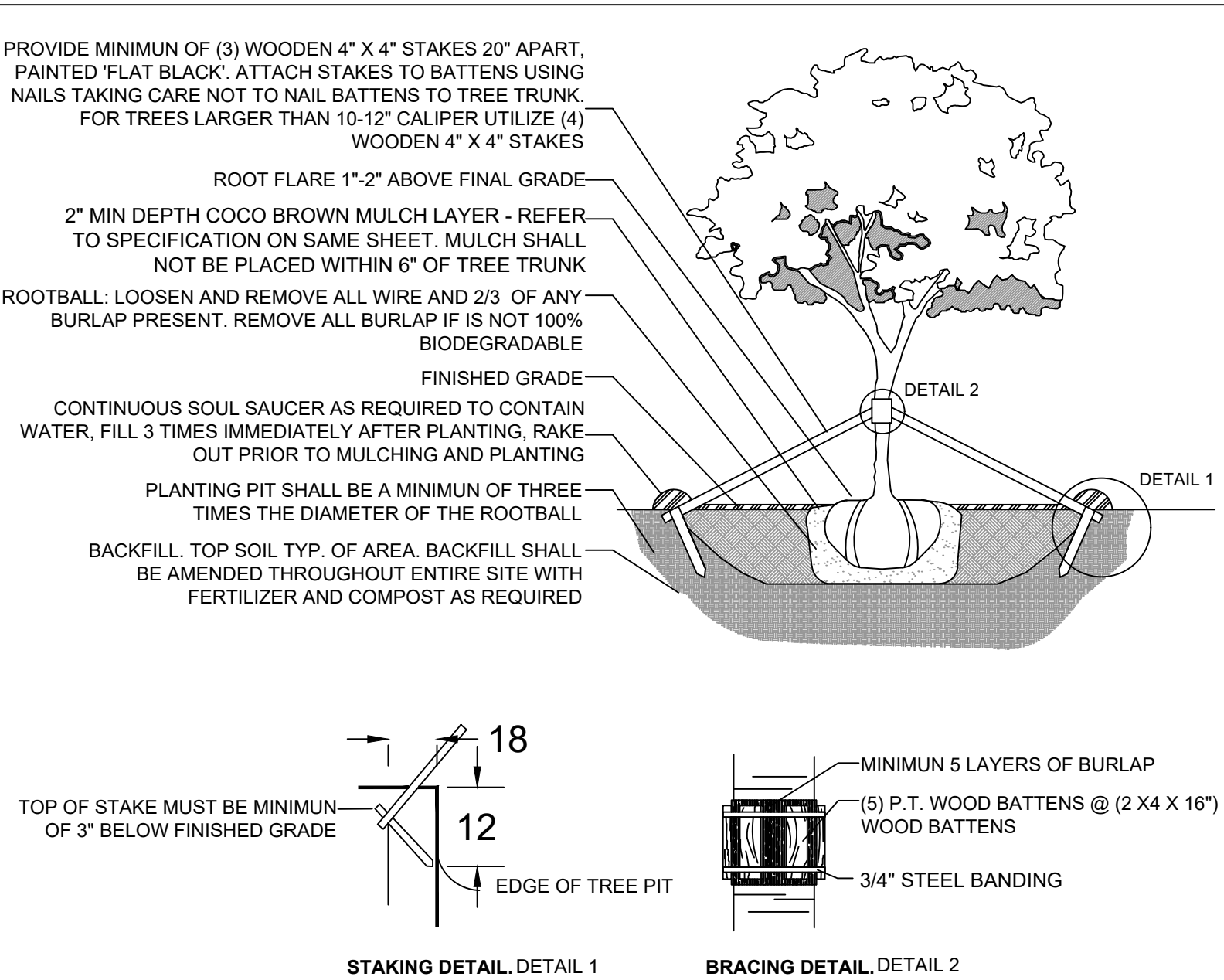
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

6. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH A SMALL GRAY GRANITE AGGREGATE FREE FROM WEEDS AND PESTS. NO 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 3' AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
7. SOD SHALL BE 'EMPIRE TURF' ZOYSIA GRASS IN ALL LAWN AREAS AS SHOWN ON THE PLANS. SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED. SOD SHALL CARRY A 5-MONTH WARRANTY.

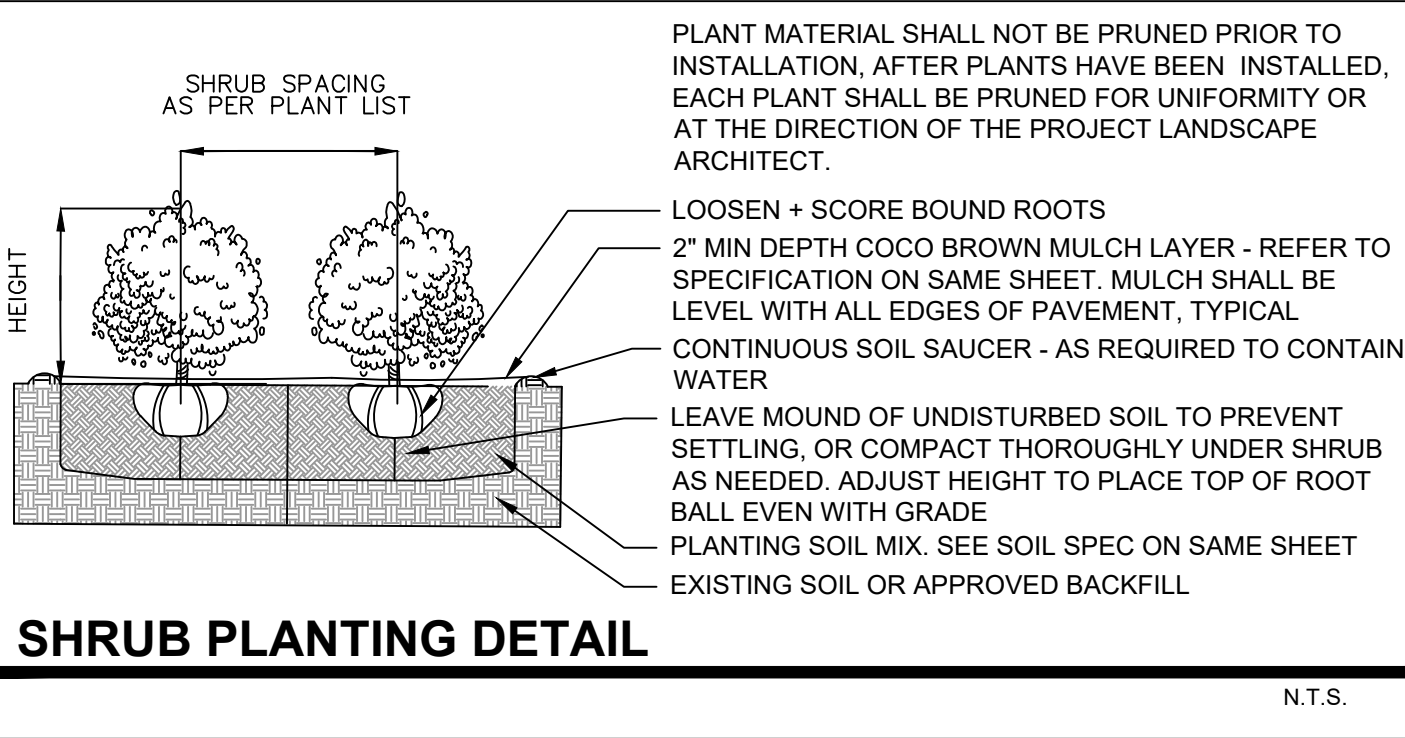
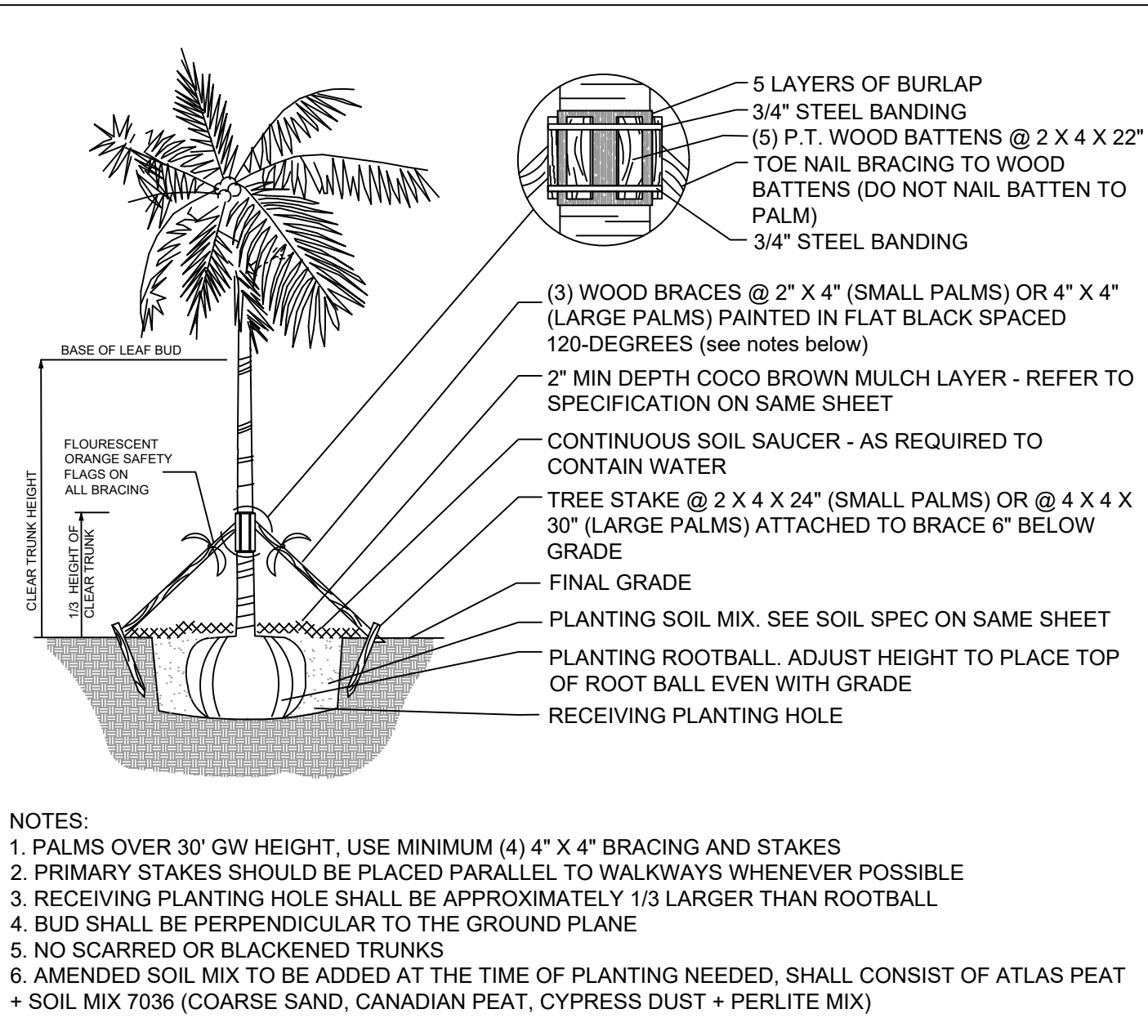
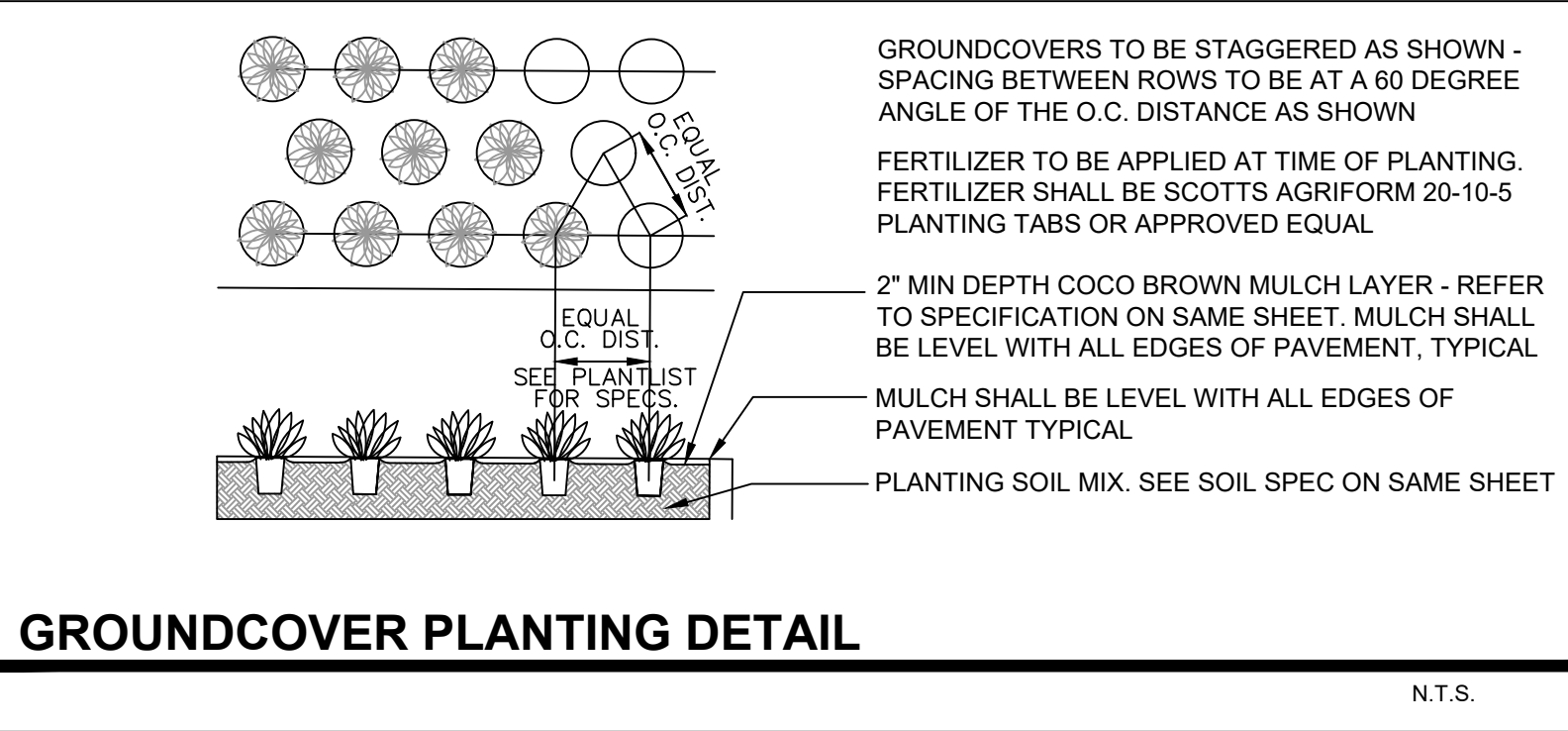
8. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

9. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 'F' IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

PLANT LIST - 6494 ALLISON ROAD					
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES					
CE	10	YES	GREEN BUTTONWOOD	Conocarpus erectus	12' ht min, 6' spread min, standard trunk, equal to Treeworld Wholesale
MF1	2	YES	SIMPSON STOPPER TREE	Myrcianthes fragrens	12' ht min, 6' spread min, standard trunk, equal to Treeworld Wholesale
PR	10	NO	BAY RUM TREE	Pimenta racemosa	50 gallon, 10-12' ht min, 5-6' spread min, standard, equal to Treeworld Wholesale
PALMS & BAMBOO					
CN	2	NO	'MAYPAN' COCONUT PALM	Cocos nucifera 'Maypan'	12' min grey wood, full heads, curved character trunk, Florida Fancy
DC	18	NO	CABADA PALM	Dypsis cabadae	Field grown, 14-16' height, multi trunk, full
RX	3	NO	LADY PALM	Rhapis excelsa	7 gallon, 4' spread, full
TR	3	NO	THATCH PALM	Thrinax radiata	7 gallon, 4' spread, full
SHRUBS					
EUF	2	YES	SPANISH STOPPER SHRUB	Eugenia foetida	25 gallon, 6'-8' height, 3' spread
GYL	100	YES	CRABWOOD SHRUB	Gymnathes lucida	25 gallon, 4' ht min, full, space 36" on center
PSL	80	YES	BAHAMA WILD COFFEE SHRUB	Psychotria ligustrifolia	7 gallon, full, 3' height, space 30" on center.
TROPICALS, GROUNDCOVERS, + ACCENTS					
ALO	AS REQ	NO	BROMELIAD 'ODORATA'	Alcantarea 'Odorata'	7 gallon, full, 2' spread
ALS	AS REQ	NO	ELEPHANT EAR	Alocasia spp	7 gallon, full, 3' spread
DIS	AS REQ	NO	DIOON	Dioon spp	7 gallon, full, 3' height
MIC	AS REQ	NO	WART FERN	Microsorium scolopendrium	1 gallon, full, 18" on center
MOD	AS REQ	NO	SWISS CHEESE PLANT	Monstera deliciosa	7 gallon, full, 18" on center
LIR	AS REQ	NO	LILYTURF	Liriope muscari	1 gallon, full, 18" on center
XAN	AS REQ	NO	PHILODENDRON 'XANADU'	Philodendron 'Xanadu'	3 gallon, full, 18" on center
SOD, AGGREGATE & MULCH					
MLC	AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH				
SOD	'EMPIRE TURF' ZOYSIA GRASS - OVER 2" TOPSOIL BED, SEE PLANTING SPECS				
DGA	3/8" DECOMPOSED GRANITE AGGREGATE OR STONE TO BE SELECTED, INSTALLED OVER FILTER FABRIC AND WEED BARRIER MATERIAL / OLIMAR, 2" MIN. DEPTH				



C.M.B. LARGE TREE PLANTING DETAIL



LANDSCAPE LEGEND

MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 26 (RS1 - RS4 Single Family Home Residential)

ZONING: RS-3 LOT SIZE: 16,200 SF ACRES: 0.37

TREES
FRONT YARD - 2 TREES REQUIRED / 8 TREES PROVIDED
REAR YARD -3 TREES REQUIRED / 4 TREES PROVIDED

TOTAL OF 5 TREES REQUIRED FOR LOTS UP TO 6,000 SF.
1 ADDITIONAL TREE IS REQUIRED FOR EACH ADDITIONAL 1,000 SF OF LOT AREA.

16,163 SF - 6000 SF = 10,163 SF = 10 ADDITIONAL TREES + 5 REQUIRED TREES = 15 TOTAL TREES REQUIRED / 29 TREES PROVIDED. (10 NATIVE GREEN BUTTONWOOD TREES + 2 NATIVE SIMPSON STOPPER TREES + 10 BAY RUM TREES + 7 EXISTING GUMBO LIMBO TREES PROVIDED)

DIVERSITY REQUIREMENT
11-15 REQUIRED TREES = 4 TREE SPECIES / 4 SPECIES PROVIDED

NATIVE TREES
30% OF REQUIRED TREES OR .30 X 15 = 4.5 NATIVE TREES REQUIRED / 19 NATIVE TREES PROVIDED (10 NATIVE GREEN BUTTONWOOD TREES + 2 NATIVE SIMPSON STOPPER TREES + 7 EXISTING GUMBO LIMBO TREES PROVIDED)

LOW MAINTENANCE TREES
50% OF REQUIRED TREES OR .50 X 15 = 7.5 LOW MAINTENANCE TREES REQUIRED / 19 LOW MAINTENANCE TREES PROVIDED (10 NATIVE GREEN BUTTONWOOD TREES + 2 NATIVE SIMPSON STOPPER TREES + 7 EXISTING GUMBO LIMBO TREES PROVIDED)

STREET TREE REQUIREMT
AVERAGE STREET TREE SPACING 20' ON CENTER
ALLISON ROAD: 75 LF / 20 = 3.75 STREET TREES REQUIRED / 4 EXISTING GUMBO LIMBO STREET TREES PROVIDED

SHRUBS
12 SHRUBS (OR VINES) REQUIRED FOR EACH REQUIRED LOT AND STREET TREE or 12 X (15) = 180 SHRUBS REQUIRED / 182 SHRUBS PROVIDED

NATIVE SHRUBS
50% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE or .50 X 180 = 90 NATIVE SHRUBS REQUIRED / 182 NATIVE SHRUBS PROVIDED (100 NATIVE CRABWOOD SHRUBS + 80 NATIVE BAHAMA COFFEE SHRUBS + 2 NATIVE SPANISH STOPPER SHRUBS PROVIDED)

LARGE SHRUBS / SMALL TREES
10% OF TOTAL SHRUBS REQUIRED MUST BE LARGE SHRUBS OR SMALL TREES or .10 X 180 = 18 LARGE SHRUBS / SMALL TREES REQUIRED / 102 LARGE SHRUBS PROVIDED (100 CRABWOOD SHRUBS + 2 NATIVE SPANISH STOPPER SHRUBS PROVIDED)

NATIVE LARGE SHRUBS / SMALL TREES
50% OF TOTAL LARGE SHRUBS REQUIRED MUST BE NATIVE or .50 X 23 = 12 NATIVE LARGE SHRUBS REQUIRED / 102 PROVIDED (100 CRABWOOD SHRUBS + 2 NATIVE SPANISH STOPPER SHRUBS PROVIDED)

LAWN AREA
50% MAXIMUM OF LANDSCAPE AREA: NEW LAWN AREAS ARE LESS THAN 50% OF LANDSCAPE AREA

IRRIGATION SYSTEM
100% COVERAGE PROVIDED PURSUANT TO CMB REQUIREMENTS SET IN CHAPTER 126

seal

comm no.

1836

date:

05-07-2019

revised:

FINAL DRB
SUBMITTAL 08.05.19

sheet no.



COCONUT PALM



CABADA PALMS



BAY RUM TREE



GREEN BUTTONWOOD TREE



SIMPSON STOPPER TREE



LADY PALMS AND TROPICAL GROUNDCOVERS



GUMBO LIMBO SPECIMENS



THATCH PALMS