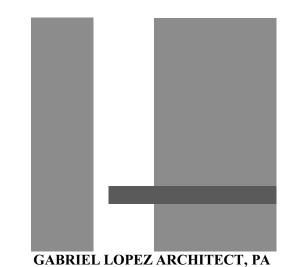
## DRB FINAL SUBMISSION 07/08/2019 DRB19-0384



# 11 CENTURY LN.

### SINGLE FAMILY RESIDENTIAL



TEL 305 479 4956

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

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### Diego Vanderbiest

6200 SW 80 ST MIAMI, FLORIDA 33143 (305) 528-4001

LA-1 LANDSCAPE PLAN LA-2 LANDSCAPE PLAN

> GABRIEL LOPEZ ARCHITECT, PA AA26001622
> PLANNING, ARCHITECTURE, INTERIOR DESIGN TEL 305 479 4956 FAX 786 391 1989 gl@gabriellopezarchitect.com 2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

Feb 15, 2019

City of Miami Beach 1700 Convention Center Drive Planning Department, second floor Miami Beach, Florida 33139



Dear Members of the Design Review Board, This letter of intent is in regards to a newly proposed residence to be located at 11 Century Lane, Miami Beach.

We are proposing the construction of a new five-story contemporary single-family residence.

The existing lot size is 2,829 square feet. The lot is currently zoned for RM-1 allowing for a buildable area of 3,358 square feet as per the Miami Beach Zoning Code, FAR of 1.25.

In our proposal for the front and surrounding yard we complied with the 30% previous requirement.

The property is located in flood zone AE-9. The minimum required N.G.V.D. for the yard elevation is 6.56'.

We are proposing for this residence, the first habitable floor at 15.56' N.G.V.D. surpassing the minimum.

All of the requested variances were previously approved for this lot; we would like to ask for the same variances for the amended Architectural Design.

The first variance requested is to accommodate the existing undersized lot of 2,829 SF from the required minimum lot size of 5,600 SF, establish by the Zoning Code.

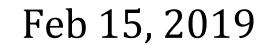
The second variance that we are requesting is for the side setbacks of the property. The active setbacks are set at 7.5' to which we are asking for a reduction to 7'. This would effect both the East and West portion of the lot, perpendicular to the axis facing the street.

The third variance that we are requesting is a rear setback reduction similar to the aforementioned on the north portion of the lot from 5'-4.5" to 5'

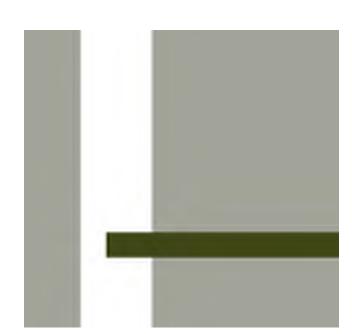
The final variance that we are requesting is a change to the front setback. Since our lot is currently undersized for zone RM-1 we are requesting that the street-facing setback is reduced from 20' to 10', only on the second floor which would otherwise take up 40% of our site since the lot depth is only 49' at the Eastern portion of the lot. The change to this setback would allow us to build a more suitable home for the owners needs.

Sincerely,

Gabriel Lopez, President



City of Miami Beach 1700 Convention Center Drive Planning Department, second floor Miami Beach, Florida 33139



Dear Members of the Design Review Board, this letter of intent is in regards to a newly proposed residence to be located at 11 Century Lane on Miami Beach. In our intent to comply with Article II Sea Level Rise / Sec 133-50

We like to name some of our design fixture.

We are raising the yard of the property to comply with city requirements.

We are proposing all the required equipment to be install above BFE.

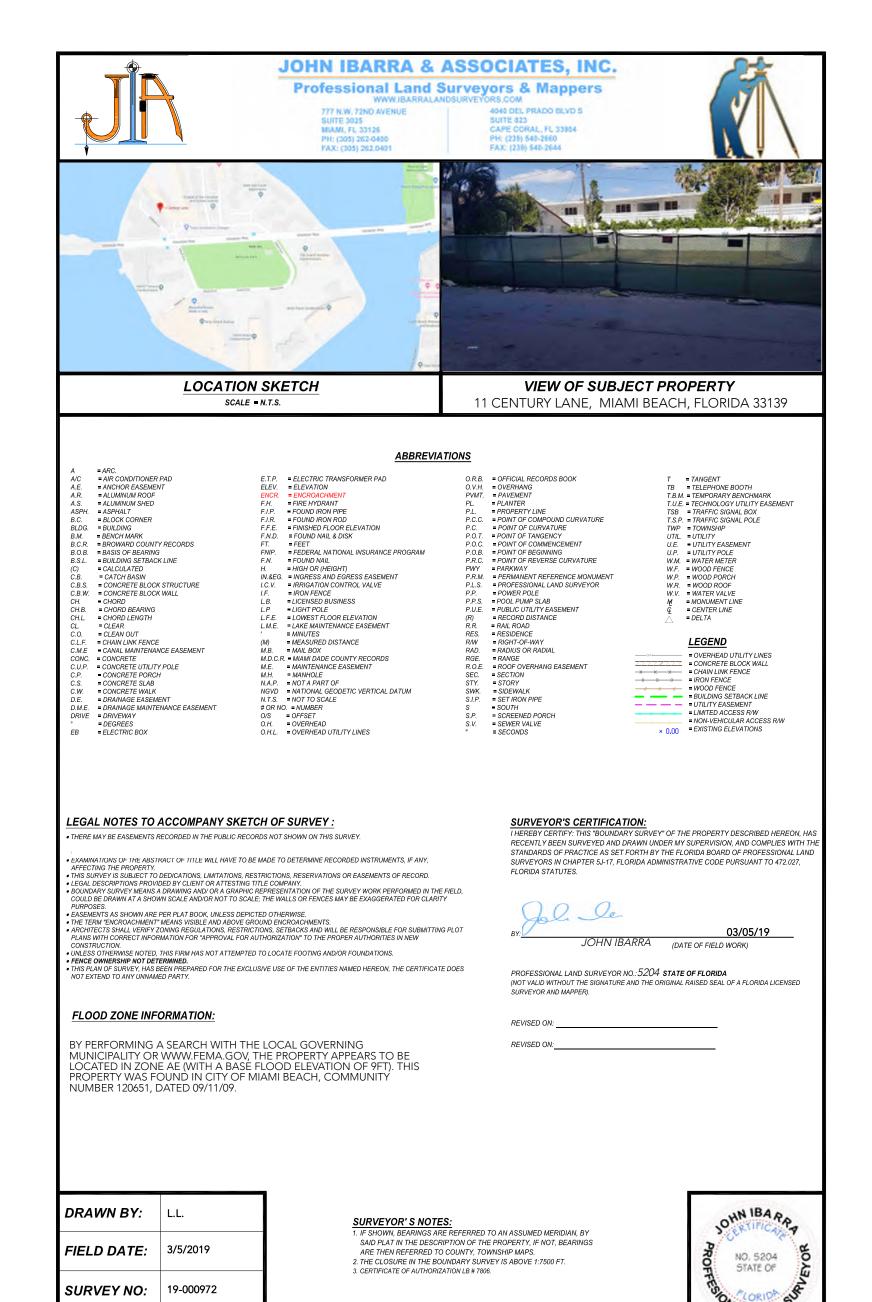
We are proposing our first habitable level to be at 15.56 NGVD, which place us above the requirement.

We are proposing all our windows to be impact resistant and our whole structure is proposed in reinforce concrete.

Our intent is to shape our design to comply with the City efforts to mitigate sea level rise.

Sincerely,

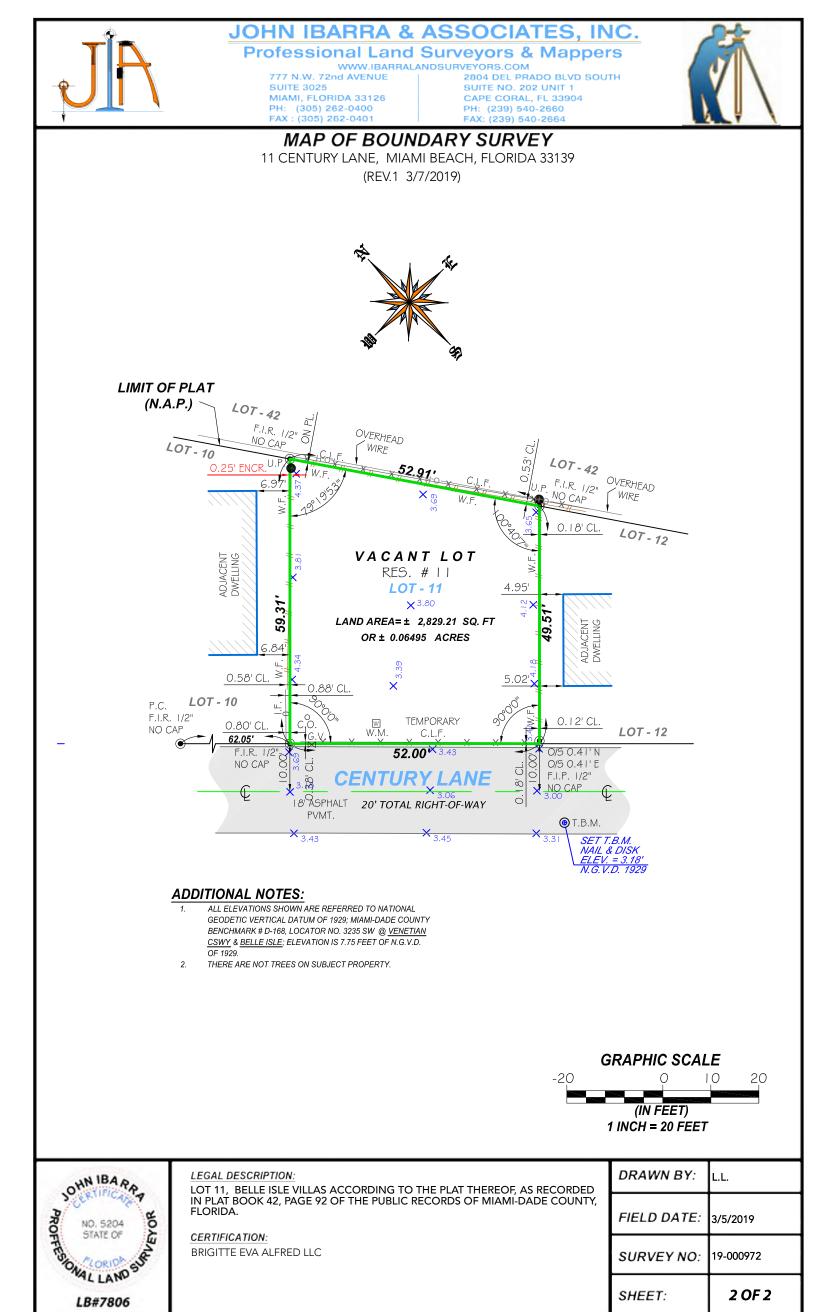
Gabriel Lopez Architect.



LB#7806

1 OF 2

SHEET:



THE CONTRACTOR SHALL VISIT THE PREMISES AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL THE DETAILS OF THE WORK AND WORKING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD, AND ADVISE THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BEFORE PERFORMING THE

THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED UNDER THIS CONTRACT FOR A COMPLETE INSTALLATION IN SUCH MANNER THAT SURFACES NOT AFFECTED BY REMOVAL OF EXISTING WORK OR FROM NEW WORK SHALL REMAIN UNDISTURBED AND NORMAL ACTIVITIES AT THE INSTALLATION MAY CONTINUE WITH THE LEAST POSSIBLE INTERFERENCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE OF THE WORK AT THE END OF EACH WORKING DAY. MATERIALS AND EQUIPMENT SHALL BE STORED ONLY AT LOCATIONS APPROVED BY THE ARCHITECT/ENGINEER AND OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURES AND PERSONNEL DURING THE WORK UNDER THIS CONTRACT. ALL ALTERING, CUTTING, DRILLING OF PAVEMENT, FLOOR AND OTHER MODIFICATIONS SHALL BE NEATLY AND CAREFULLY DONE BY SKILLED

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK, MATERIALS, AND EQUIPMENT AS A RESULT OF HIS OPERATIONS. ALL DAMAGED WORK SHALL BE REPLACED WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER AND TO THE FULL SATISFACTION OF THE ARCHITECT/ENGINEER.

DISPOSAL OF ALL MATERIAL NOT SPECIFIED, OR SHOWN TO BE SALVAGED AND/OR REUSED RESULTING FROM REMOVAL OPERATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS IN CONNECTION WITH DISPOSING OF THE MATERIALS WILL BE AT THE CONTRACTOR'S EXPENSE. ALL LIABILITY OF ANY NATURE RESULTING FROM THE DISPOSAL OF THE MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

6. CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY, AT ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT. CONTRACTOR SHALL INSTALL SECURITY FENCING AND BARRICADES AS REQUIRED BY THE LOCAL AUTHORITIES, AND/OR DIRECTED BY THE ARCHITECT/ENGINEER.

VERIFICATION OF EXISTING CONDITIONS: EACH CONTRACTOR SHALL DETERMINE AND VERIFY ALL DIMENSION AND CONDITIONS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR SAME BEFORE COMMENCING THE WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER AND SHALL BE RESOLVED BEFORE RESUMING THE WORK. DIMENSIONS SHALL BE READ AND NEVER SCALED OR ESTIMATED FROM THE ARCHITECTURAL DRAWINGS.

9. CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF THE WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK

10. EXAMINATION OF THE CONTRACT DOCUMENTS AND SITE: EACH CONTRACTOR FOR THIS PROJECT SHALL STUDY AND FAMILIARIZE HIMSELF WITH THE SITE AND WITH ALL THE DRAWINGS FOR ALL TRADES AND PARTS OF THE WORK. SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS ANY ERRORS OR DISCREPANCIES IN THE ARCHITECTURAL DRAWINGS, OR THAT CONDITIONS OF THE WORK OF ANY OTHER CONTRACTOR IS SUCH THAT IT WILL PREVENT HIM FROM COMPLETING HIS WORK IN A COMPETENT MANNER, HE SHALL NOTIFY THE ARCHITECT OF SUCH BEFORE PROCEEDING WITH HIS WORK.

THE CONTRACTOR SHALL HAVE AT THE BUILDING SITE, FROM START TO FINISH OF CONSTRUCTION, A RESPONSIBLE FORMAN. IN ADDITION, THE CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK. THE FOREMAN SHALL BE ON DUTY DURING ALL WORKING HOURS. ANY INSTRUCTIONS OR NOTICES GIVEN TO HIM SHALL HAVE THE SAME IMPORTANCE AS IF GIVEN TO THE CONTRACTOR IN PERSON.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY PROVISIONS SUCH AS TOILETS, WATER SUPPLY, LIGHT AND POWER AS WELL AS ANY OTHER PROVISIONS DEEMED NECESSARY FOR THE COMPLETION OF THE BUILDING.

ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN A MANNER DEEM GOOD PRACTICE OF THE TRADE INVOLVED.

11. PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSE FEES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES. AND ALL OBLIGATION UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FROM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATIONS TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR

PERFORMANCE OF WORK: 12.

NO SUBCONTRACTOR SHALL BEGIN HIS WORK UNLESS THE PREVIOUS TRADES UPON WHOM HE IS DEPENDENT, HAVE PERFORMED THEIR WORK SATISFACTORILYACCORDING TO THE PLANS AND SPECIFICATIONS, ONCE THE CONTRACTOR HAS STARTED HIS WORK, HE ASSUMES FULL RESPONSIBILITY FOR THAT WORK, BOTH FOR MATERIALS AND LABOR PERFORMED. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVING DEBRIS RESULTING FROM THEIR WORK FROM THE PREMISES. 13. CLEANUP: IN ADDITION TO THE REMOVAL OF ALL CONSTRUCTION DEBRIS

FROM THE PREMISES, IT IS THE FINAL RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL SMUDGES, SPOTS OF PLASTER, PUTTY, CAULKING COMPOUND, ADHESIVE, PAINT AND PENCIL MARKINGS, TAGS AND DESTINATION LABELS NOT CALLED FOR AS BEING PERMANENT. THE CONTRACTOR SHALL ALSO CLEAN EACH AREA SEPARATELY, INCLUDING THE WASHING OF ALL WINDOWS AND VACUUMING OR WAXING OF ALL FLOORS, PRIOR TO HANDING THE COMPLETED PROJECT OVER TO THE OWNER. 14. MATERIALS:

ALL MATERIALS SHALL BE NEW, AS CALLED FOR IN THE DRAWINGS, AND THE BEST OF THEIR RESPECTIVE KINDS. NO SUBSTITUTIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER OR UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS. FOR PORTIONS OF THE WORK NOT SHOWN IN DETAIL, BUT WHICH ARE SHOWN GENERALLY, OR ARE REASONABLY INFERABLE AS BEING REQUIRED FOR A COMPETENT AND COMPLETE INSTALLATION, THE MATERIAL, METHODS AND WORKMANSHIP SHALL CONFORM AS A MINIMUM TO THE TYPICAL OR REPRESENTATIVE QUALITY. 15. FIRE RESISTANCE/UNDERWRITERS LABORATORY RATINGS:

WHERE ASSEMBLIES OR THEIR VARIOUS COMPONENTS, MATERIALS OR CONSTRUCTION SYSTEMS ARE INDICATED TO HAVE FIRE RESISTANCE RATINGS/UNDERWRITERS LABORATORY RATINGS, ALL SUCH SHALL BE COMPOSED OF MATERIALS AND BE ASSEMBLED SO AS TO CONFORM TO THE STANDARDS ESTABLISHED IN GOVERNING CODES IN ORDER TO ACHIEVE THE REQUIRED RATING IN THE COMPLETED WORK. 16. CUTTING AND PATCHING:

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, PATCHING AND MATCHING OF HIS NEW WORK TO EXISTING WORK WHERE APPLICABLE AND INDICATED IN THE DRAWINGS. NO CONTRACTOR SHALL ENDANGER ANY WORK OF ANY OTHER CONTRACTOR BY EXCAVATING. CUTTING OR OTHERWISE ALTERING ANY WORK OF ANY OTHER CONTRACTOR.

17. DEMOLITION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF DEBRIS REQUIRED TO COMPLETE THE CONSTRUCTION AS SPECIFIED ON THE DRAWINGS.

EXISTING UNUSED ELECTRIC AND PLUMBING SUPPLIES SHALL BE REMOVED OR ADEQUATELY CAPPED AS ALLOWED BY CODE. 18. IF THE NEW ADDITION BLOCKS THE REQUIRED VENTILATION AREA FOR ANY SPACE, CRAWL SPACE, OR ATTIC, THE VENTILATION AREA SHOULD BE

REPLACED ACCORDINGLY. 19. ALL AREAS ATTACHED BY THE NEW ADDITION SHOULD BE CHECKED FOR DISTURBANCES OR DAMAGE OF WATERPROOFING.

SECURITY NOTES:

ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE 36C. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY

OPERATED FROM EXTERIOR WITH A MIN. OF 6,000 POSSIBLE KEY CHANGES OR NATIONAL STANDARDS INSTITUTE'S STANDARD 297.1. LOCKING AUXILIARY THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT

LOCKS WITH 3/8" MIN. THROW BOLTS WITH INSERTS. HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.

JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWING DOORS SHALL BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES. SINGLE, SWINGING, EXTERIOR DOORS, IF USED, SHALL BE SOLID CORE OF NO LESS THAN 1 3/4" THICK.

GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITH 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE'S

STANDARD 297.1.

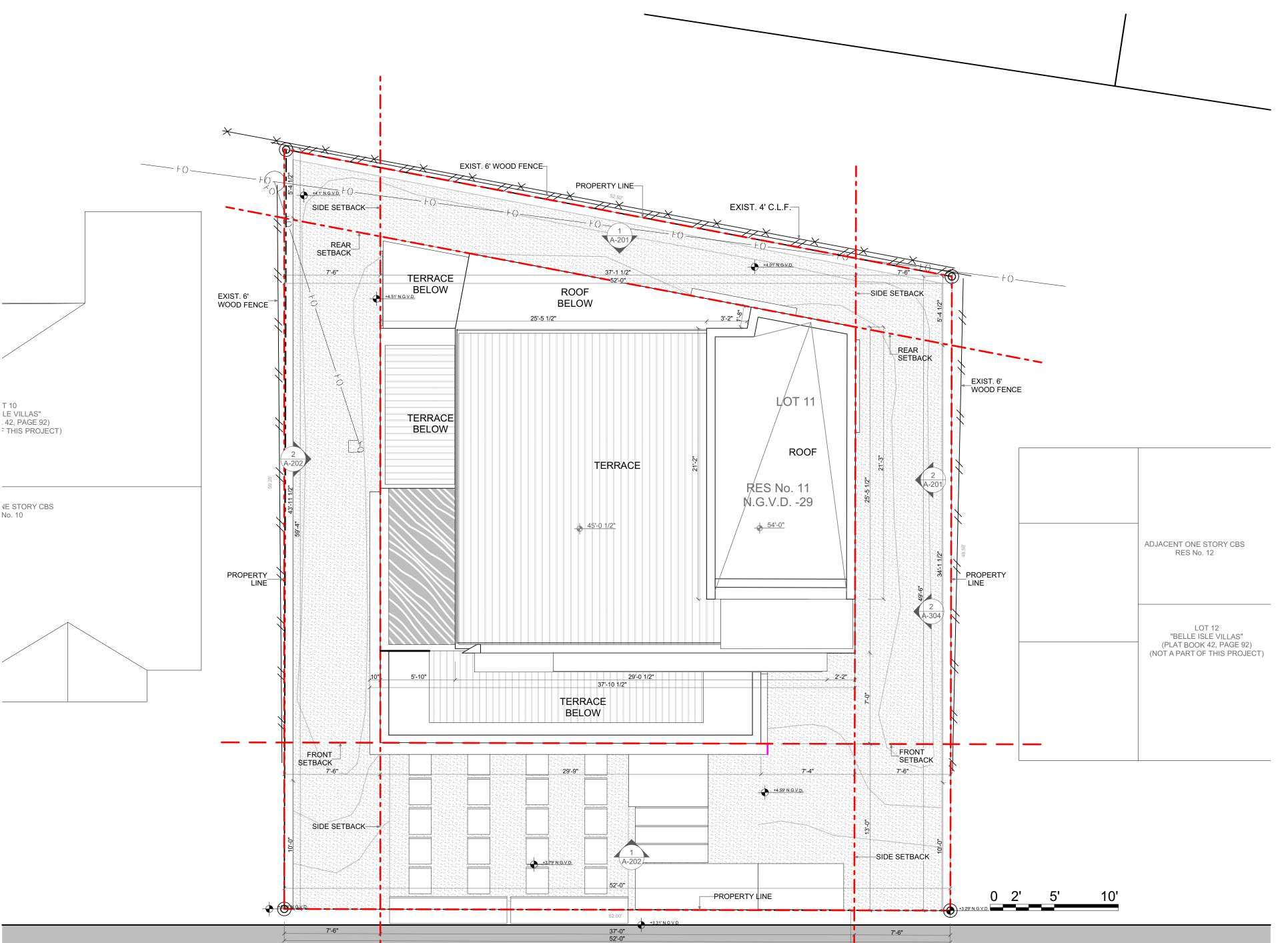
+3.06' N.G.V.D.

SITE PLAN

SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MFG'S ASSOCIATION STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1303.3.

10. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANEL. **SCOPE OF WORK:** 

NEW TWO STORY HOUSE.



**CENTURY LANE** 

ASPHALT

PVMT

+2.93' N.G.V.D.



**LOCATION PLAN: N.T.S.** 

**PROPERTY TYPE:** Single Family Residential **PROPERTY ADDRESS:** 11 Century Lane Miami Beach

**PROPERTY USE:** Single Family Residential

FOLIO:02-3233-002-0110

**ZONING**: RM-1

**LOT AREA:** 2,829 Sq.Ft.

FLOOD ZONE: AE +9

**BASE FLOOD ELEVATION:** 9' N.G.V.D.

MINIMUM FREEBOARD: 9'+1'=10' N.G.V.D.

MAXIMUM FREEBOARD: 9'+5'=14' N.G.V.D.

**EXISTING GROUND LEVEL:** 3.40' N.G.V.D.

**REQUIRED YARD ELEVATION:** 6.56' N.G.V.D.

**LEGAL DESCRIPTION:** LOT 11, BELLE ISLE VILLAS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 42, AT PAGE(S) 92, OF THE PUBLIC ECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**CODE COMPLIANCE**: FLORIDA BUILDING CODE 2017

General Setback Information					
		Required	Existing	Proposed	Deficiencie
15	Height:	50'-0"		37'-6"	
16	Setbacks:				
17	Front First Level	20'-0"		13'-0"	7'-0"
18	Front Second Level	10'-0"		10'-0"	
19	Side 1:	7.5'		7'-5"	
20	Side 2 or (Facing street):	10'-0"		N.A.	
21	Rear:	5'-4.5"		5'-4.5"	
22	Accessory Structure Side 1:	N.A.		N.A.	
23	Accessory Structure Side 2:	N.A.		N.A.	
24	Accessory Structure Rear:	N.A.		N.A.	
25	Sum of Side yard:	N.A.		N.A.	

**REQUESTED VARIANCE:** 

AS OUR LOT IS BELOW MINIMUM LOT SIZE WE WOULD LIKE TO ASK FOR RELIEF FROM CODE SECTION 142-156 (A) (1) WE ARE REQUESTING TO WAIVE THE 20'-0" FRONT SETBACK TO 10'-0" ON THE SECOND FLOOR ONLY.

2. FOR THE SAME REASON (LOT TO SMALL) AND BECAUSE THE LOCATION OF THE LOT MAKES IT TO OUT OF SCALE WE WOULD LIKE TO ASK FOR THE RELIEF FROM THE CODE SECTION 142-155 (a) (3) (f) 1. A MINIMUM HEIGHT OF 12 FEET ABOVE BFW +1 TO THE UNDER SIDE OF FIRST FLOOR SLAB. (PLEASE SEE A-304 FOR REFERENCE).

GABRIEL LOPEZ ARCHITECT, PA AA26001622 ANNING, ARCHITECTURE, INTERIOR DESIGN TEL 786 391 1989 info@gabriellopezarchitect.com

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

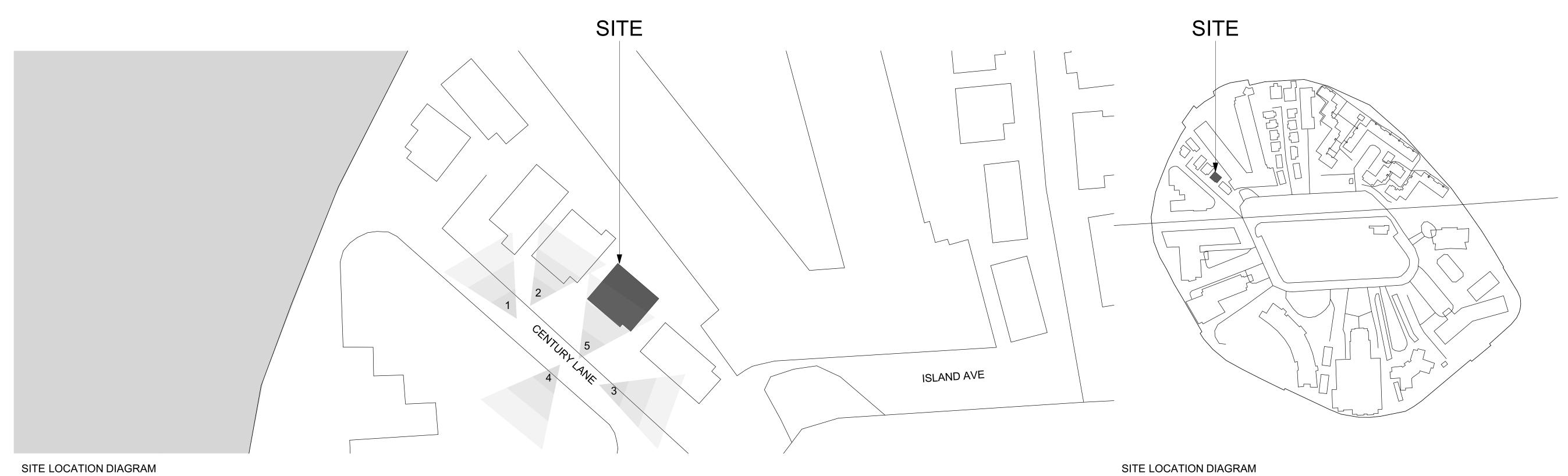
**CONSULTANTS** 

MARK DATE DESCRIPTION

DRAWING BY : LUCA DI GAICOMO SCALE DATE 7/5/2019 PROJECT NO : 1901.00 PHASE : CONST. DOCS. CHEKED BY CHEKED ON

SITE PLAN

GABRIEL LOPEZ



SITE LOCATION DIAGRAM





VIEW 2











GABRIEL LOPEZ ARCHITECT, PA
AA26001622
PLANNING, ARCHITECTURE, INTERIOR DESIGN
TEL 786 391 1989
info@gabriellopezarchitect.com 2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

CONSULTANTS

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SITE IMAGES

ARCHITECT: GABRIEL LOPEZ AR94243

VIEW 5

Site Information					
ITEM #	New Construction Floodplain Management Data				
1	Flood Zone AE +9				
2	FIRM Map Number				
3	Base Flood Elevation	9' N.G.V.D.			
4	Proposed Flood Desgn Elevation	9'+5'=14' N.G.V.D.			
5	Crown of Road Elevation	3.09' N.G.V.D.			
6	Classification of Structure	Category II			
7	Building use	Single Family Residence			
8	Lowest Elevation of Equipment	10.00 N.G.V.D.			
9	Lowest Ajacent Grade				
10	Highest Ajacent Grade				

	Single Family Residential - Zoning Data Sheet				
ITEM #	Zoning Information				
1	Address	11 CENTURY LN Miami Beach, FL 33139			
2	Legal Description	BELLE ISLE VILLAS PB 42-92 L	OT 11 LOT SIZE 2829 SQUARE FEET	OR 16847-4127 0795 1 COC 23	025-1448 01 2005 1
3	Folio Number(s)	02-3233-002-0110			
4	Board and file numbers	DRB19-0384			
5	Year Built	N/A	Zoning District:		RM-1
6	Base Flood Elevation	9' N.G.V.D.	Grade Value in N.G.V.D.		3.9' N.G.V.D.
7	Adjusted grade (Flood+Grade/2)	9'+5'=14' N.G.V.D.	Free Board	Free Board	
8	Lot Area:	2,829.21 Sq. Ft.			
9	Lot Width:	52'	Lot Depth: 54.41'		54.41'
10	Max Lot Coverage SF and %	N/A	Proposed Lot Coverage SF and %: 1,337 Sq.Ft. (47.25%)		1,337 Sq.Ft. (47.25%)
11	Existing Lot Coverage:	0% Rear Yard Open Space SF and % 239 Sq.Ft. (85.35%		239 Sq.Ft. (85.35%)	
12	Max Unit Size SF and %	N/A Proposed Unit Size SF and % 3,417 Sq.Ft. (96.62		3,417 Sq.Ft. (96.62%)	
13	Existing First Floor Unit Size.	N/A	Required F.A.R. 1.25 3,536.5 Sq.Ft.		3,536.5 Sq.Ft.

		General Setba	ck Information			
	Required Existing Proposed Deficiencies					
15	Height:	50'-0"		37-6"		
16	Setbacks:	•	•	•	•	
17	Front First Level	20'-0"		13'-0"	7'-0"	
18	Front Second Level	10'-0"		10'-0"		
19	Side 1:	7'-6''		7'-6"		
20	Side 2:	7'-6''		7'-6"		
21	Rear:	5'-4 1/2"		5'-4 1/2"		
22	Accessory Structure Side 1:	N.A.		N.A.		
23	Accessory Structure Side 2:	N.A.		N.A.		
24	Accessory Structure Rear:	N.A.		N.A.		
25	Sum of Side yard:	15'		15'		
26	Ground floor requirements	12' from BFE +1' to underside of first floor slab		5'-6"	6'-6"	

Located within a Local Historic District?

Determined to be Architecturally Significant?

Designated as an individual historic single family residence site?

GABRIEL LOPEZ ARCHITECT, PA
AA26001622
PLANNING, ARCHITECTURE, INTERIOR DESIGN TEL 786 391 1989 info@gabriellopezarchitect.com 2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

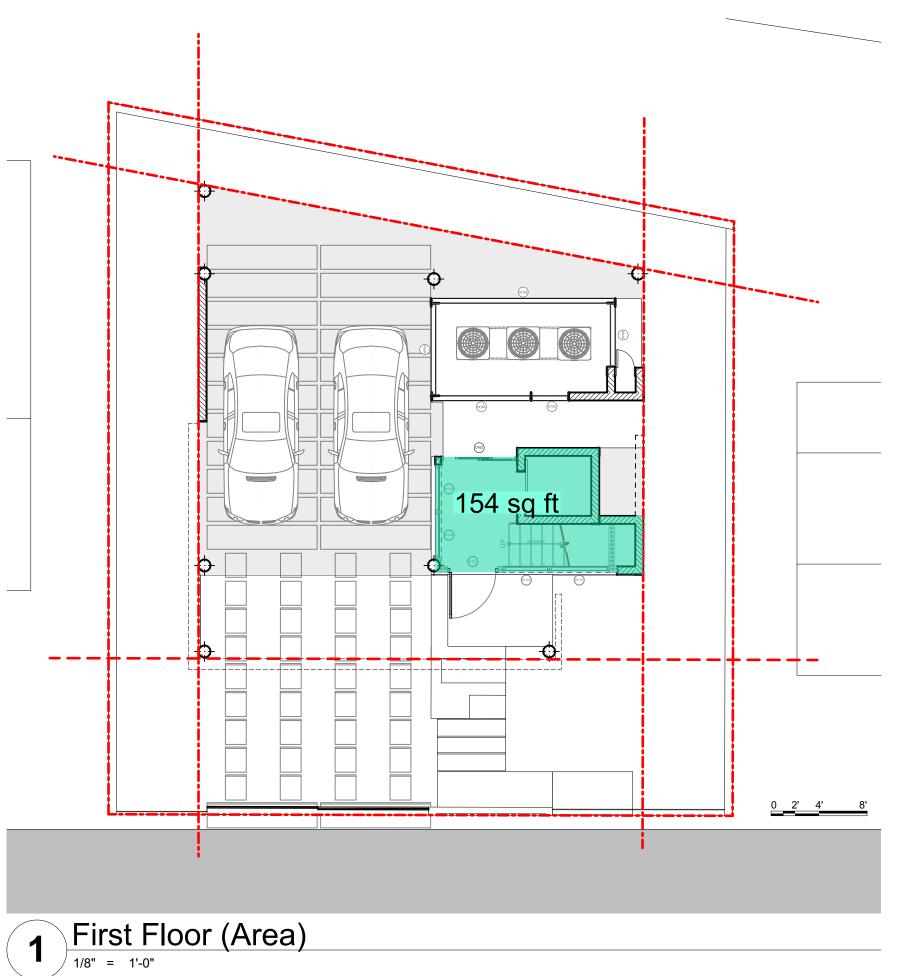
CONSULTANTS

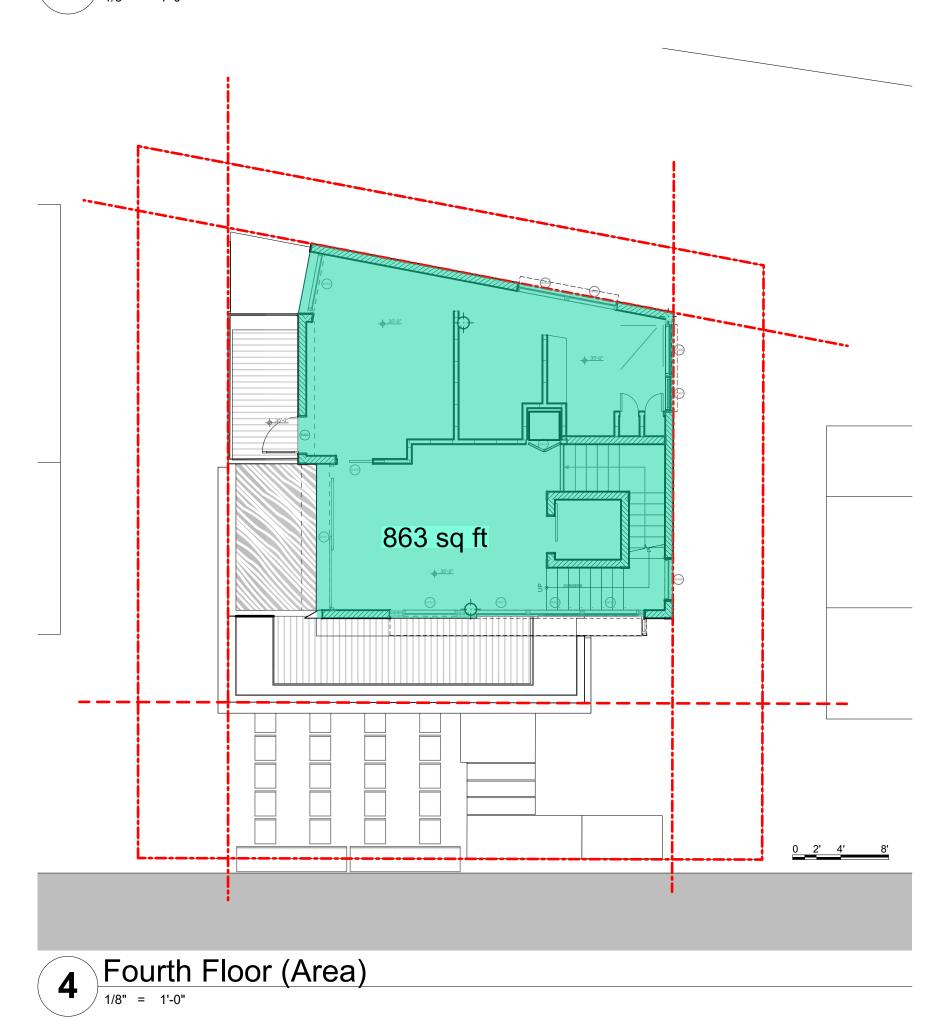
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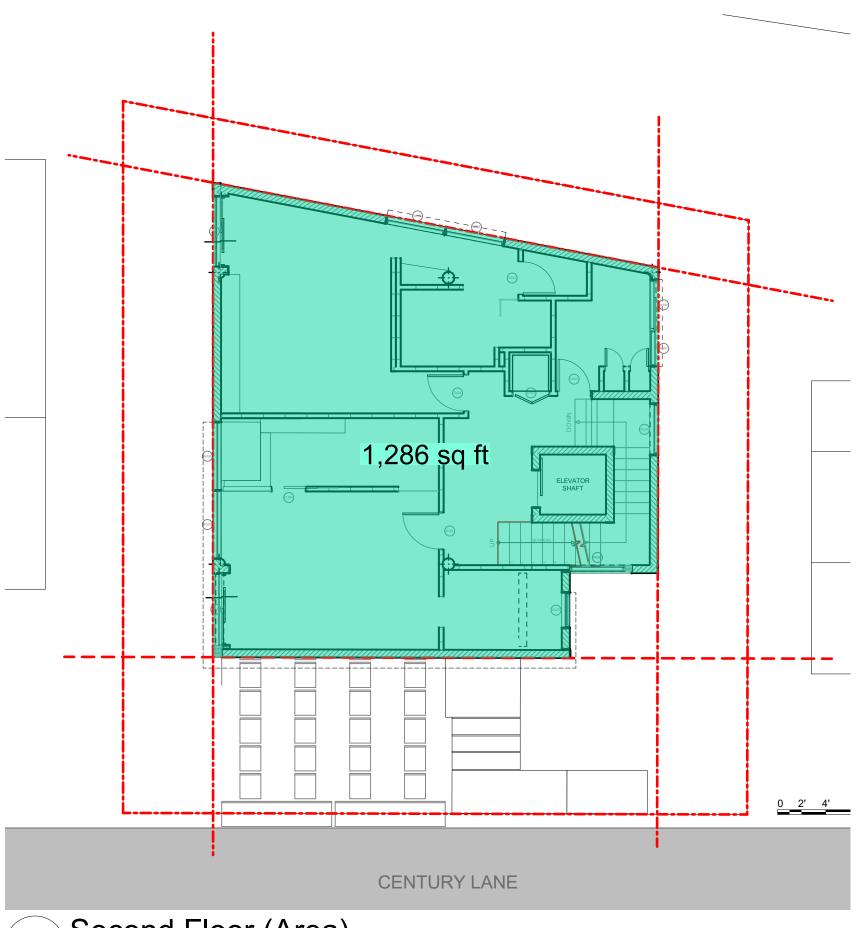
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DRAWING BY : LUCA DI GAICOMO SCALE : PROJECT NO : 1901.00 CHEKED BY CHEKED ON

GENERAL SITE INFORMATION

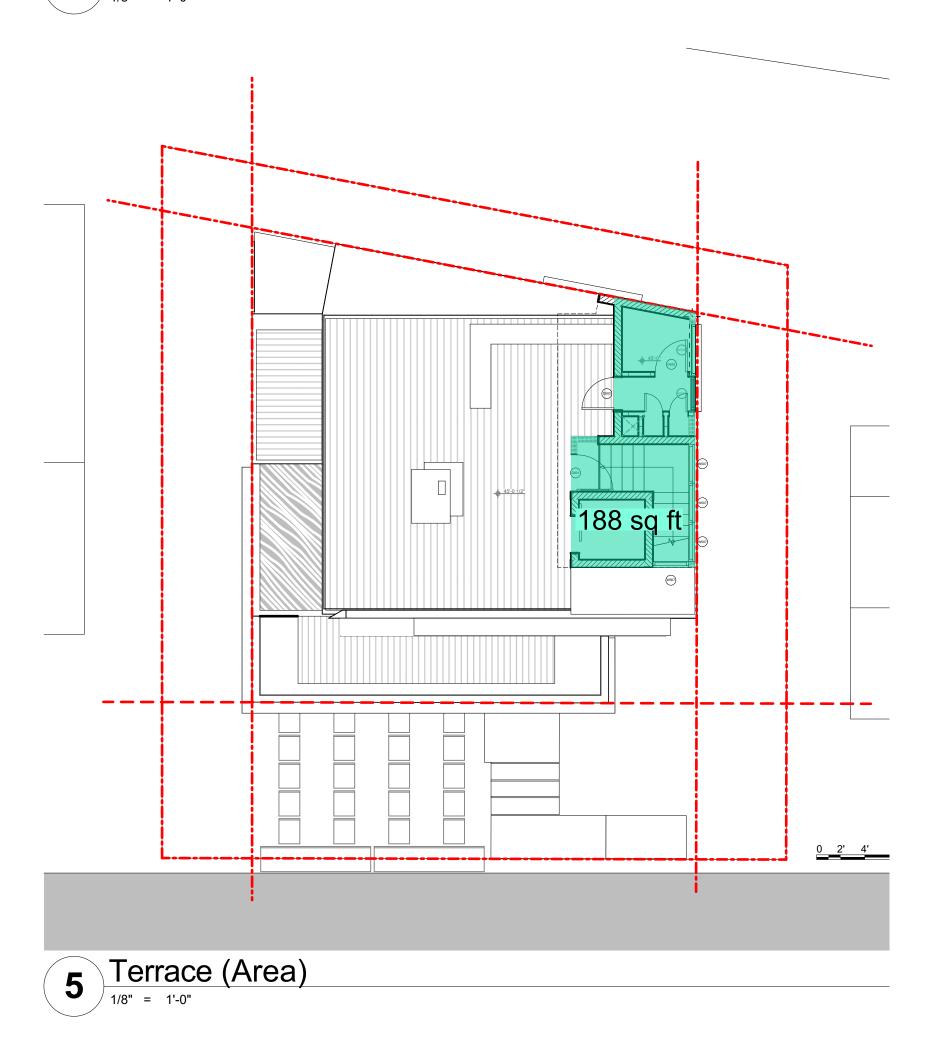


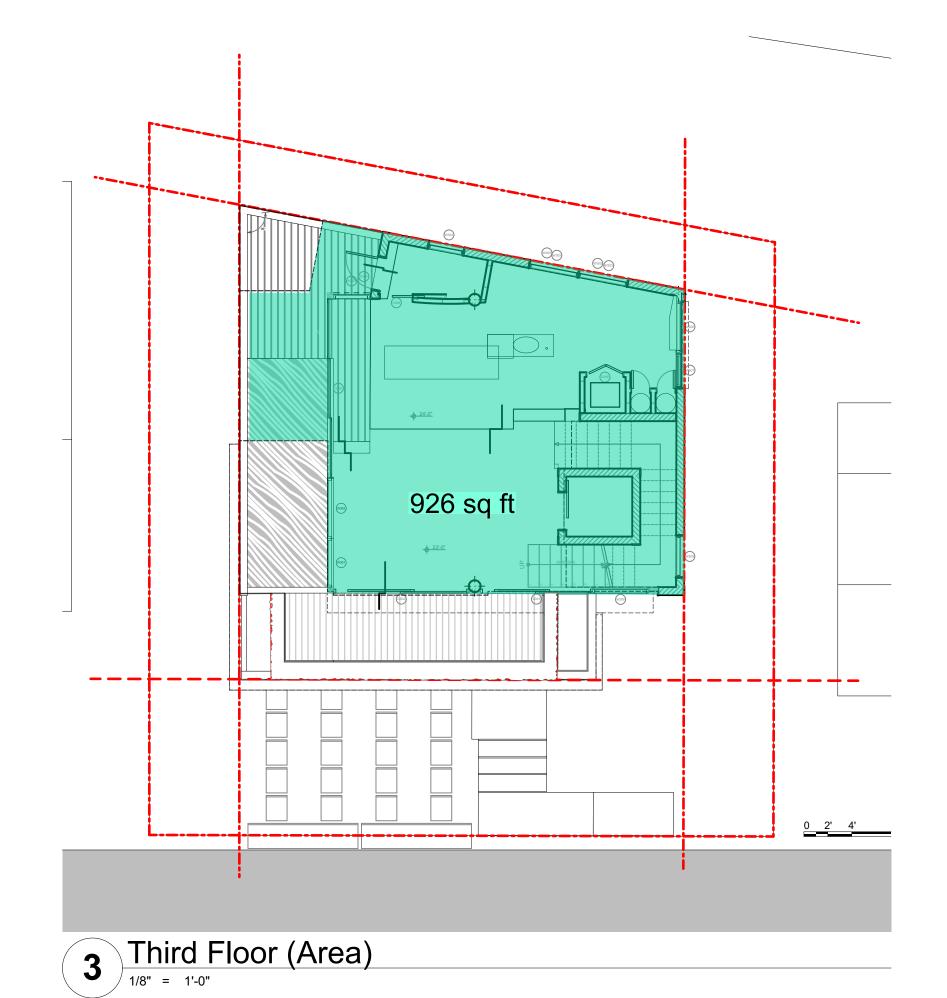




Second Floor (Area)

1/8" = 1'-0"





154 Sq.Ft. 1,286 Sq.Ft. 926 Sq.Ft.

863 Sq.Ft. 188 Sq.Ft.

Total: 3,417 Sq.Ft.

GABRIEL LOPEZ ARCHITECT, PA
AA26001622
PLANNING, ARCHITECTURE, INTERIOR DESIGN
TEL 786 391 1989 info@gabriellopezarchitect.com

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

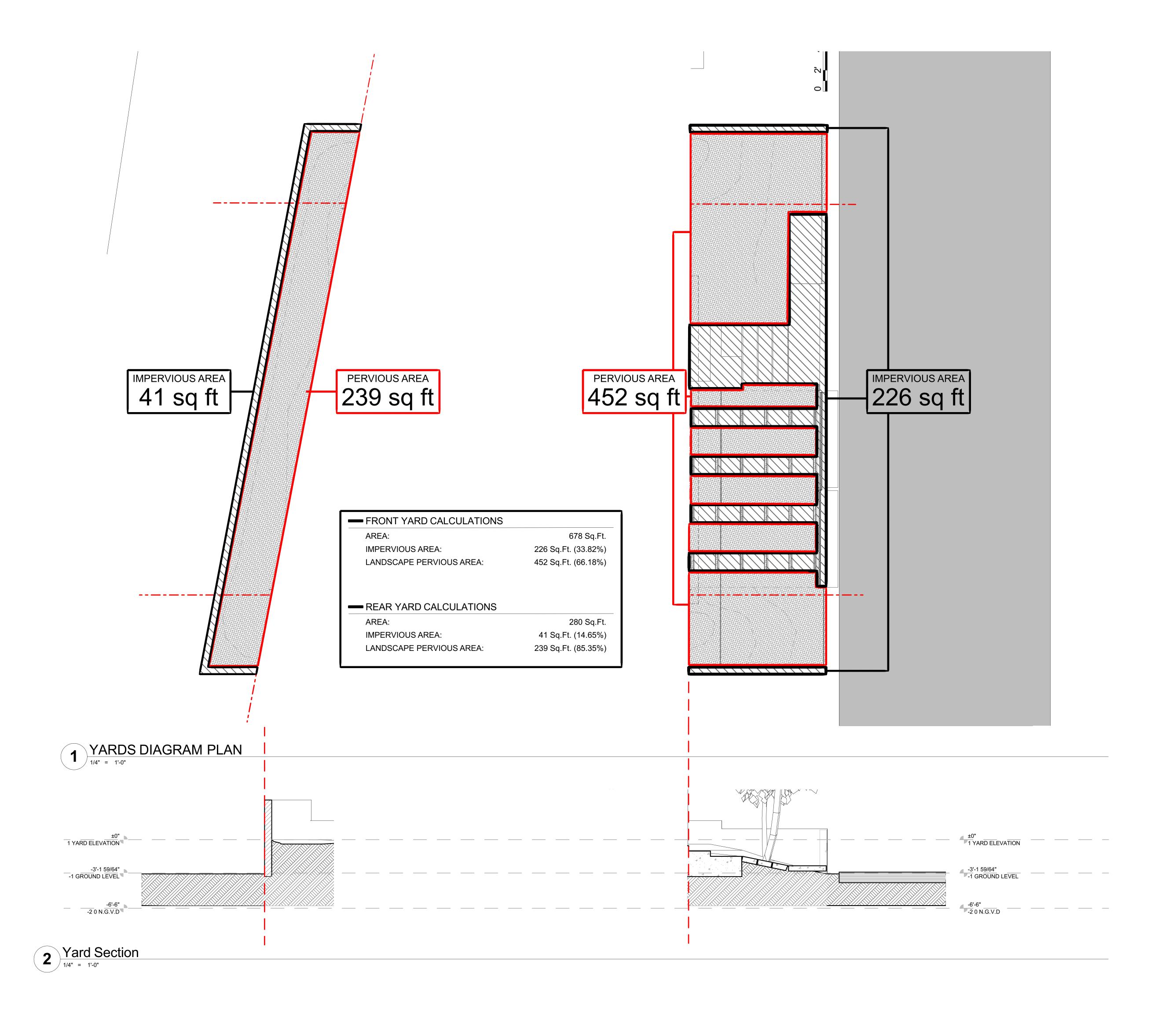
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MARK DATE DESCRIPTION

DRAWING BY : LUCA DI GAICOMO SCALE : PROJECT NO : 1901.00 : CONST. DOCS.

**FLOOR AREA** 

**A-105** 



2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

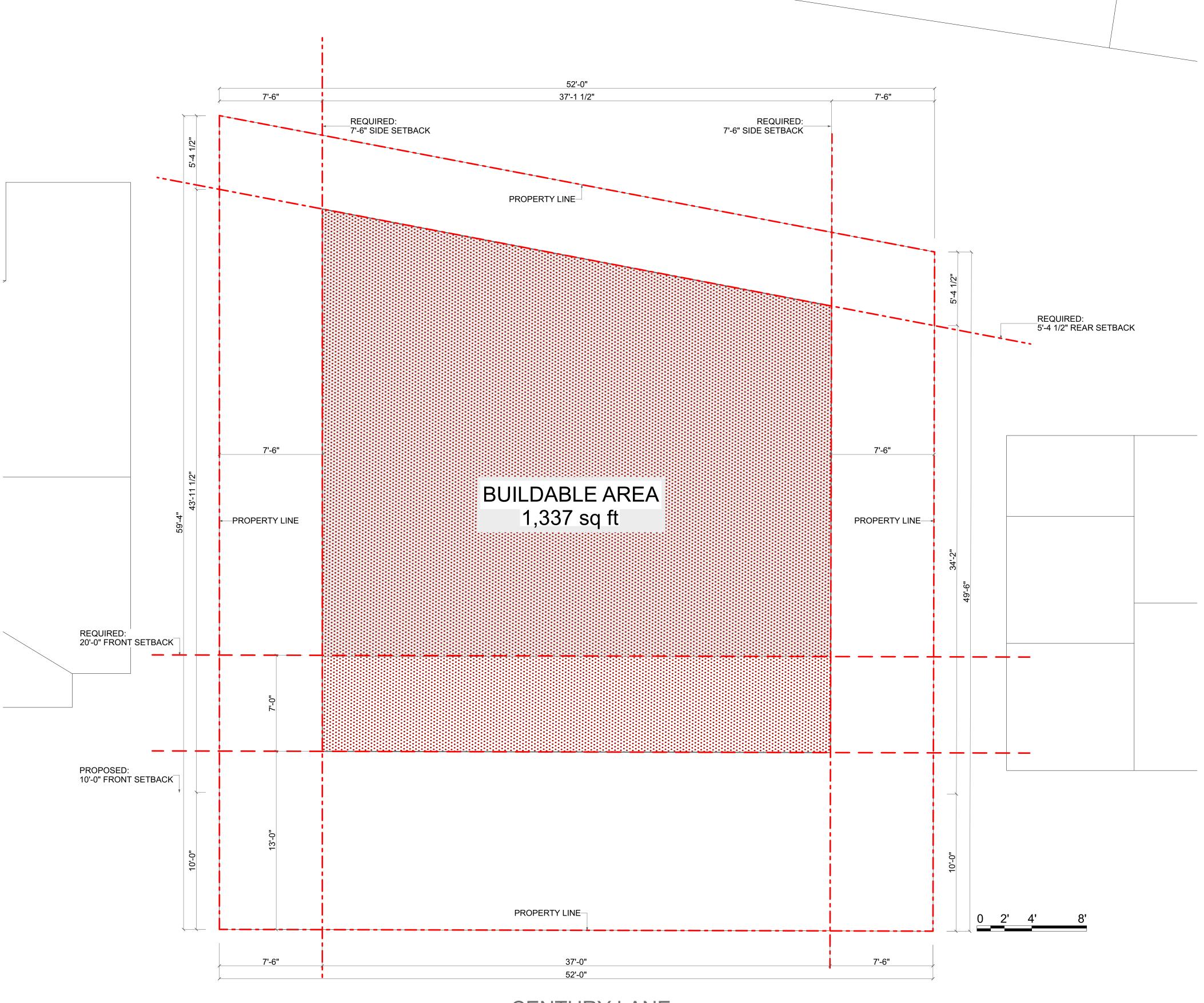
11 CENTURY LN. NGLE FAMILY RESIDENTIAL

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YARD CALCULATIONS

**A-106** 



CENTURY LANE

ASPHALT PVMT

1 VARIANCE DIAGRAM PLAN

1/4" = 1'-0"

REQUESTED VARIANCE:

1. AS OUR LOT IS BELOW MINIMUM LOT SIZE WE WOULD LIKE TO ASK FOR RELIEF FROM CODE SECTION 142-156 (a) (1) WE ARE REQUESTING TO WAIVE THE 20'-0" FRONT SETBACK TO 7'-0" ON THE SECOND FLOOR ONLY

2. FOR THE SAME REASON (LOT TO SMALL) AND BECAUSE THE LOCATION OF THE LOT MAKES IT TO OUT OF SCALE WE WOULD LIKE TO ASK FOR THE RELIEF FROM THE CODE SECTION 142-155 (a) (3) (f) 1. A MINIMUM HEIGHT OF 12 FEET ABOVE BFW +1 TO THE UNDER SIDE OF FIRST FLOOR SLAB. (PLEASE SEE A-304 FOR REFERENCE).

GABRIEL LOPEZ ARCHITECT, PA

AA26001622
PLANNING, ARCHITECTURE, INTERIOR DESIGN

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info@gabriellopezarchitect.com

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

SLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC

11 Century Lane Miami Beach El LIS

CONSULTANTS

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DATE : 7/5/2019

PROJECT NO : 1901.00

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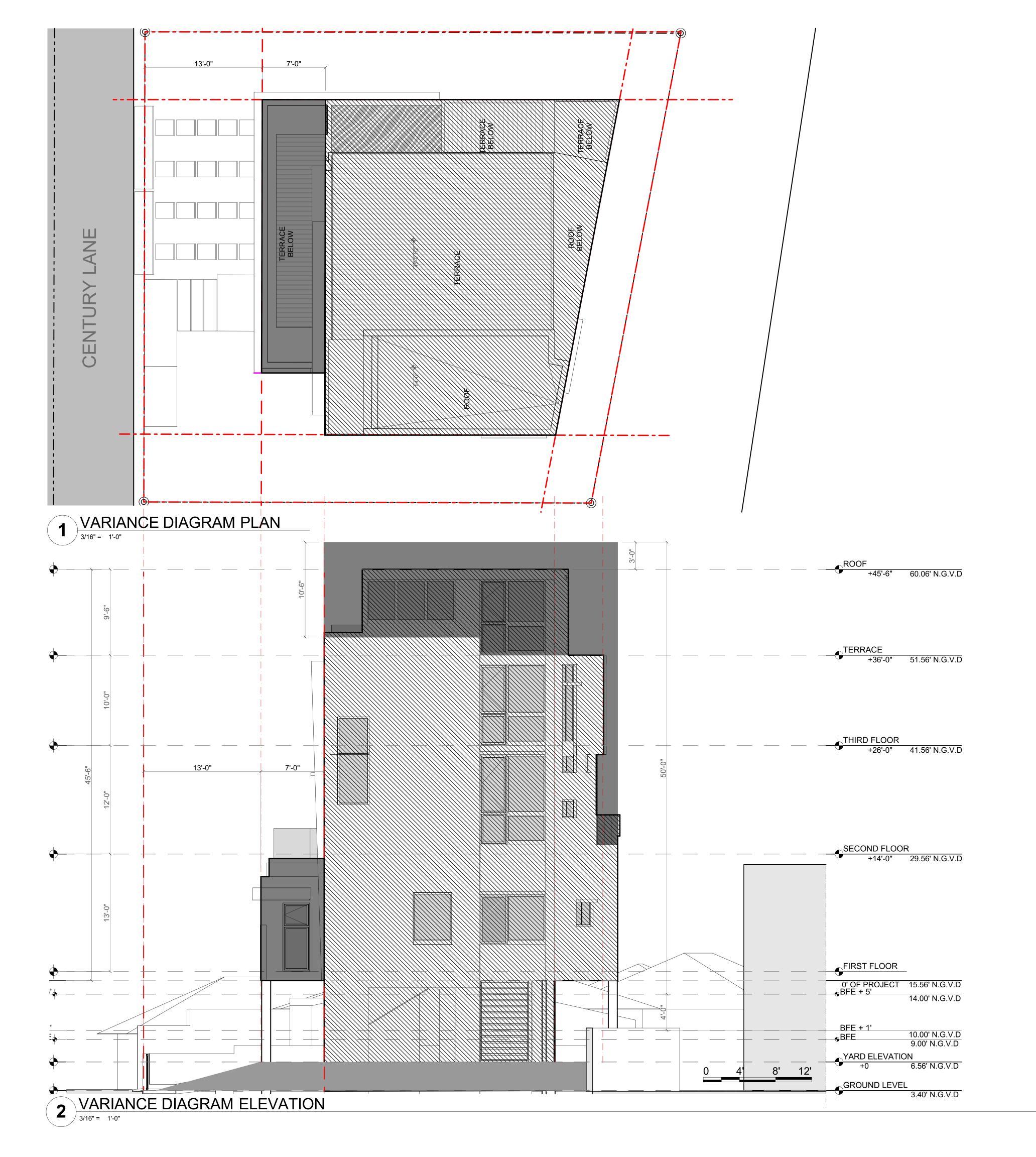
CHEKED BY :
CHEKED ON :

DRAWING BY : LUCA DI GAICOMO

SCALE

VARIANCE DIAGRAM

**A-10**7



KEY:

AREA APPROVED WITHIN SETBACK

VARIANCE REQUESTED

BY RIGHT ALLOWABLE

HEIGHT

OUTSIDE SETBACK

GABRIEL LOPEZ ARCHITECT, PA
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FAMILY RESIDENTIAL RIGITTE EVAALFRED LLC

CONSULTANTS

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DATE : 7/5/2019

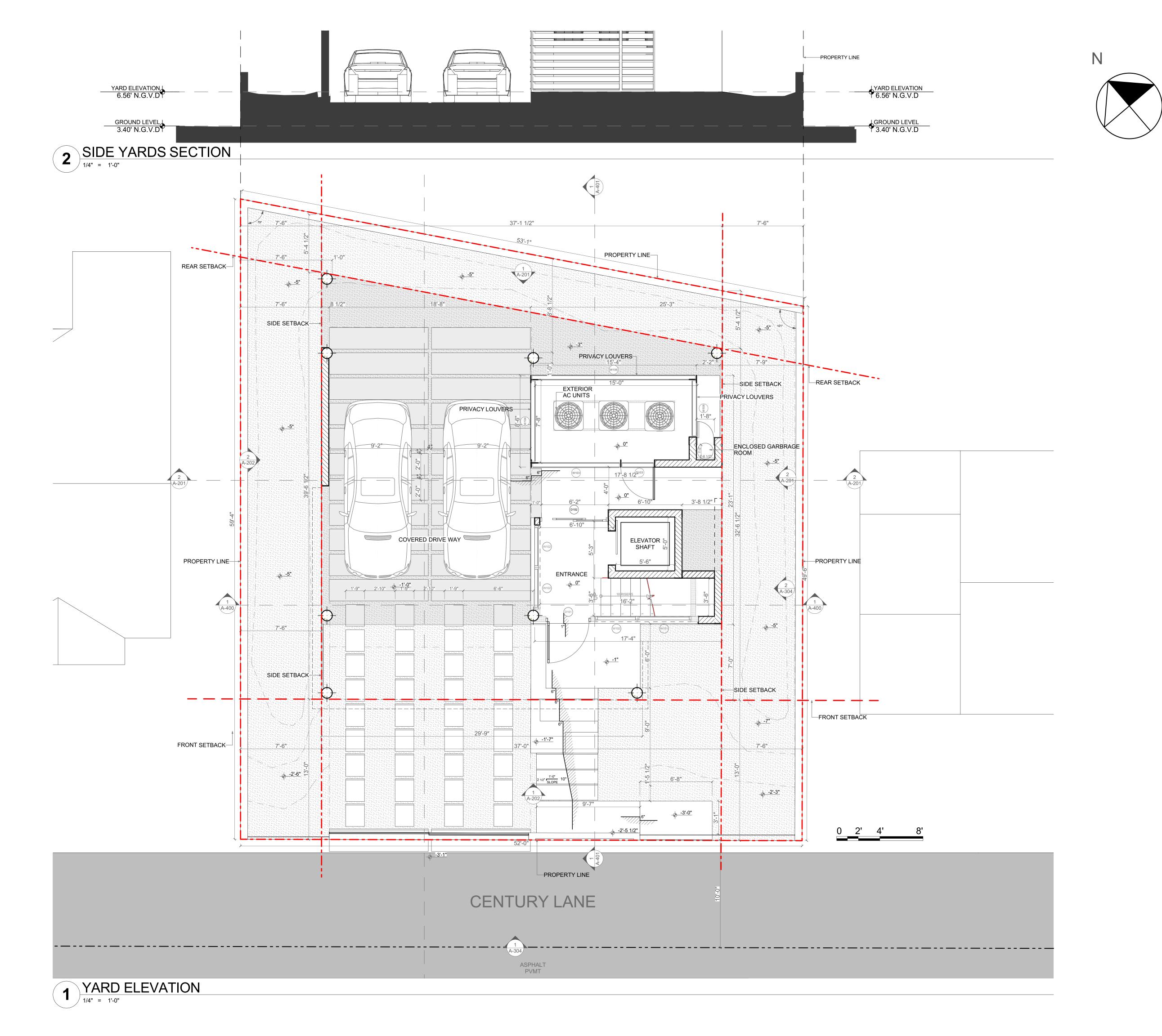
PROJECT NO : 1901.00

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**VARIANCE DIAGRAM** 

**A-108** 



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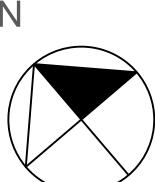
PROJECT NO : 1901.00

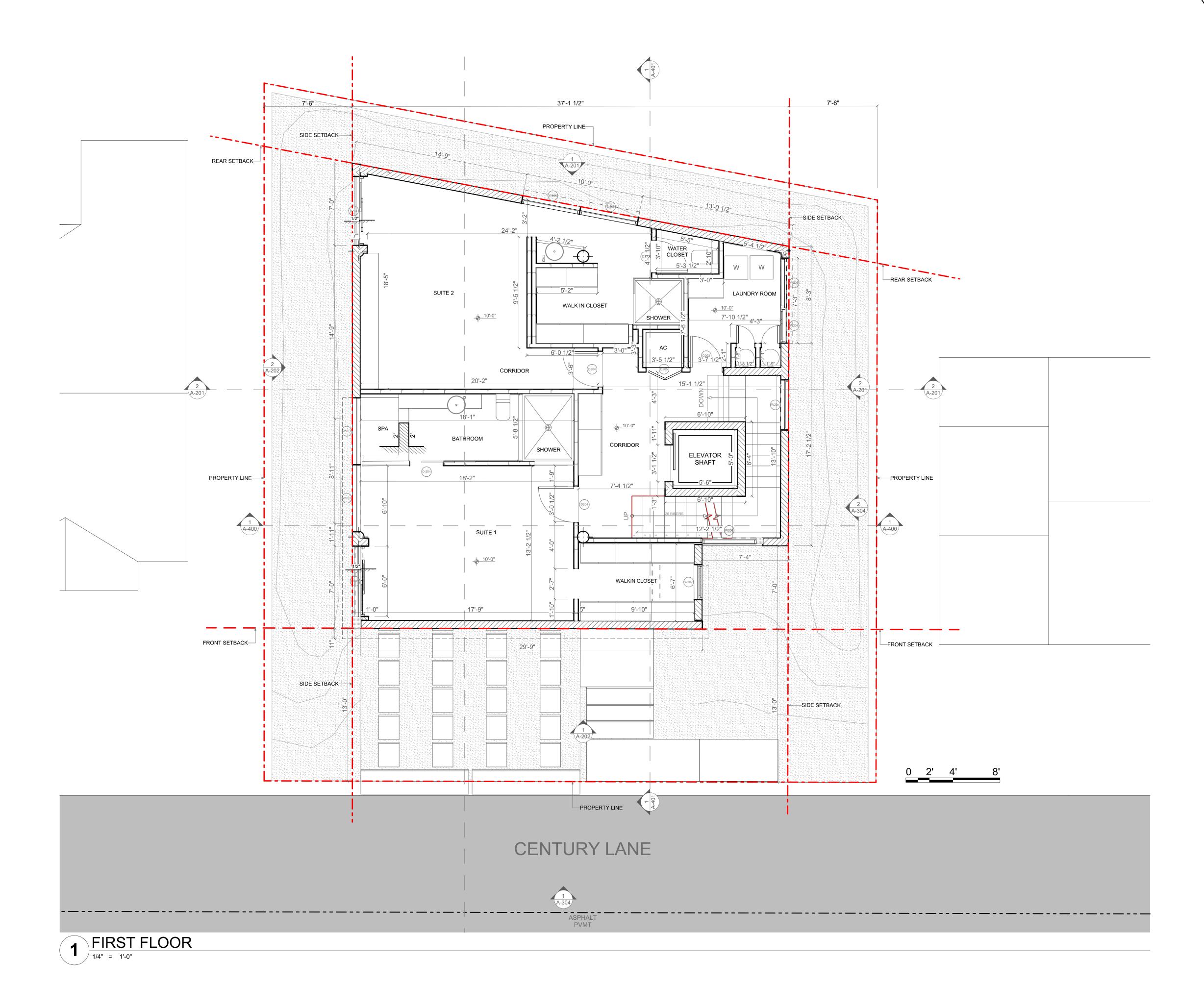
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BASE FLOOD LEVEL

**A-20** 





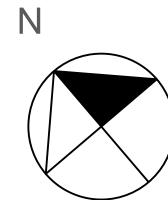
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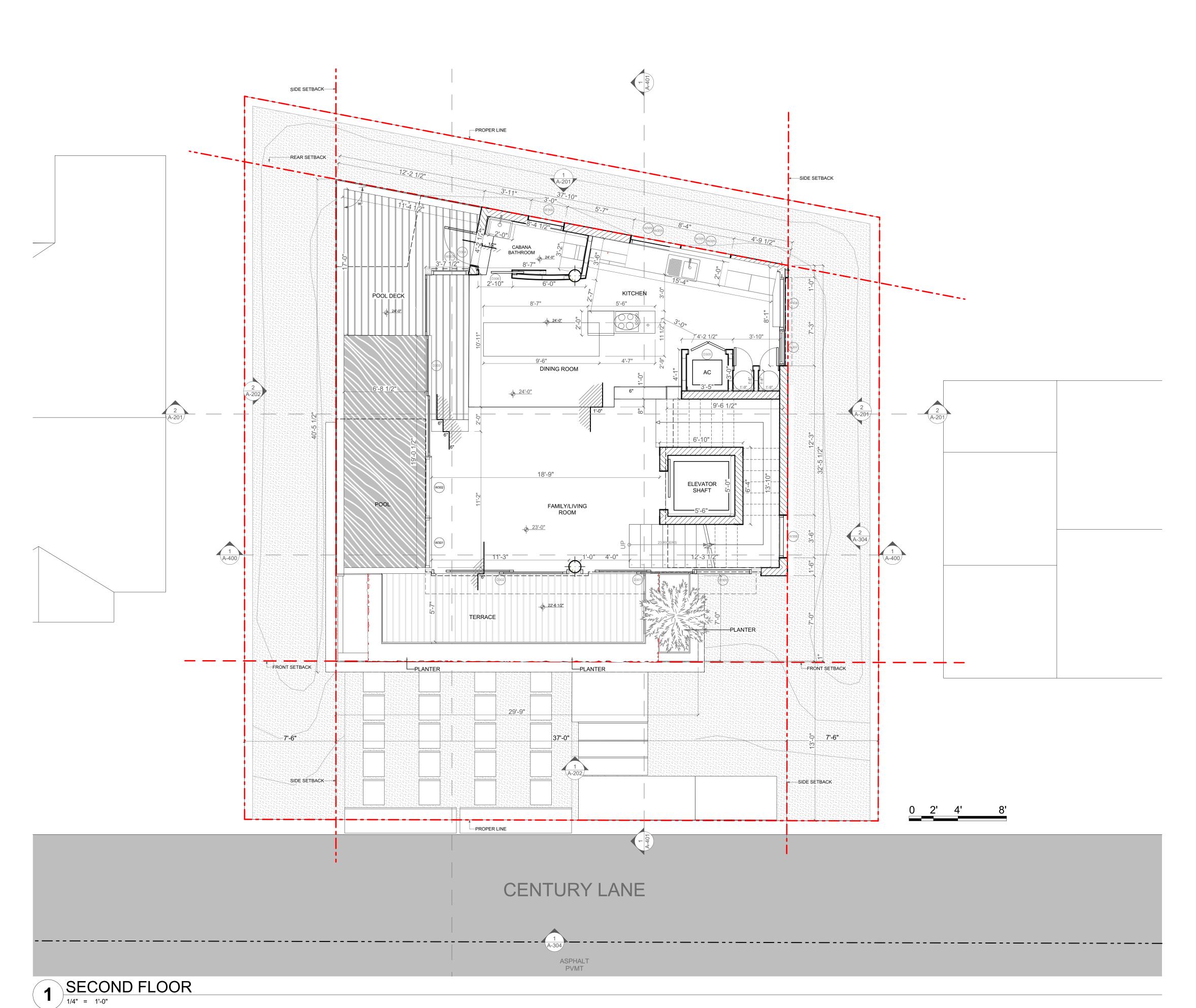
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**SECOND LEVEL PLAN** 





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11 CENTURY LN.

IGLE FAMILY RESIDENTIAL

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DATE : 7/5/2019

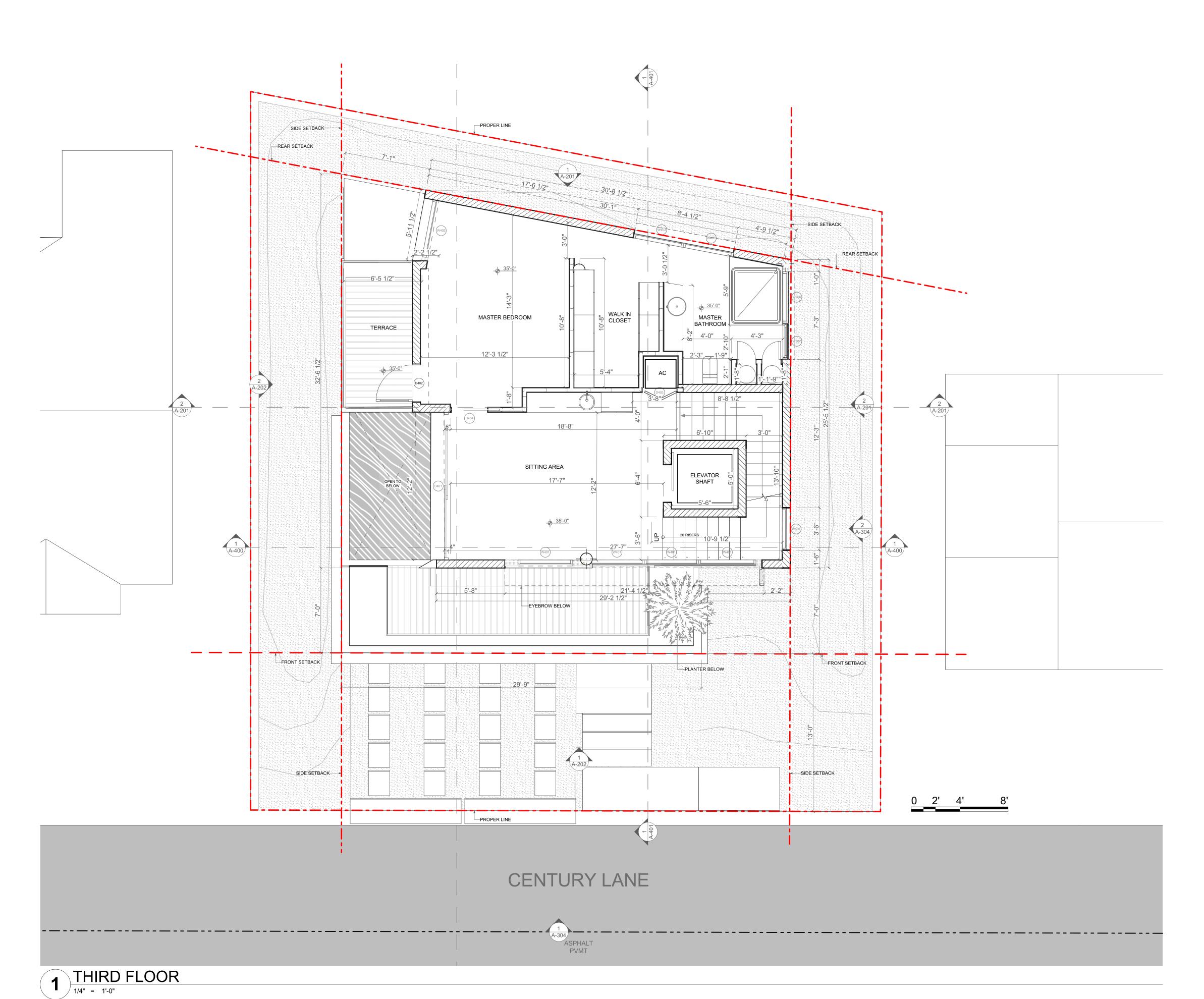
PROJECT NO : 1901.00

PHASE : CONST. DOCS.

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CHEKED ON :

THIRD LEVEL PLAN

**A-20**3



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11 CENTURY LN.
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CONSULTANTS

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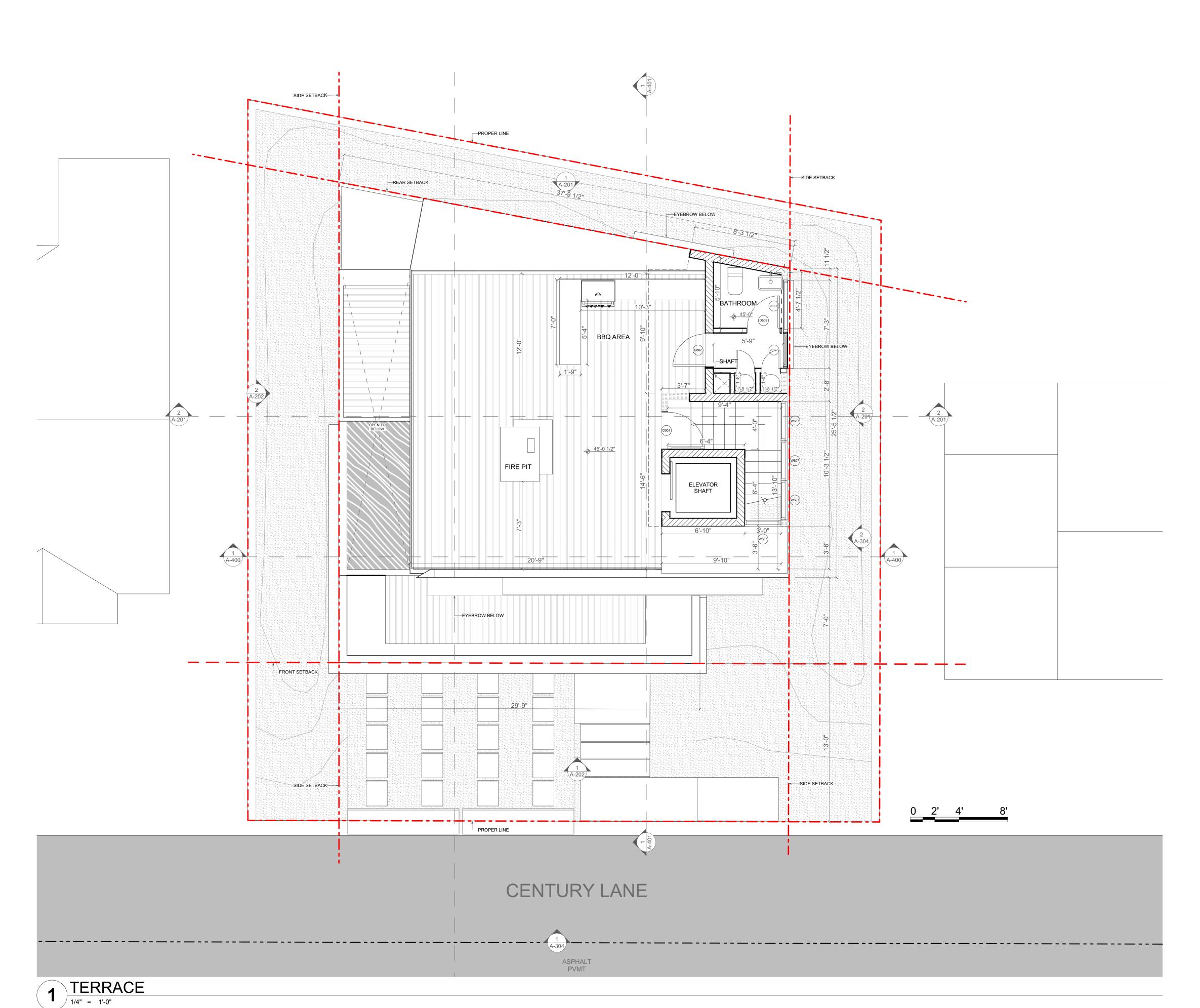
PROJECT NO : 1901.00

PHASE : CONST. DOCS.

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CHEKED ON :

FOURTH LEVEL PLAN

**A-204** 



2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN. 3le family residential

CONSULTANTS

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DATE : 7/5/2019

PROJECT NO : 1901.00

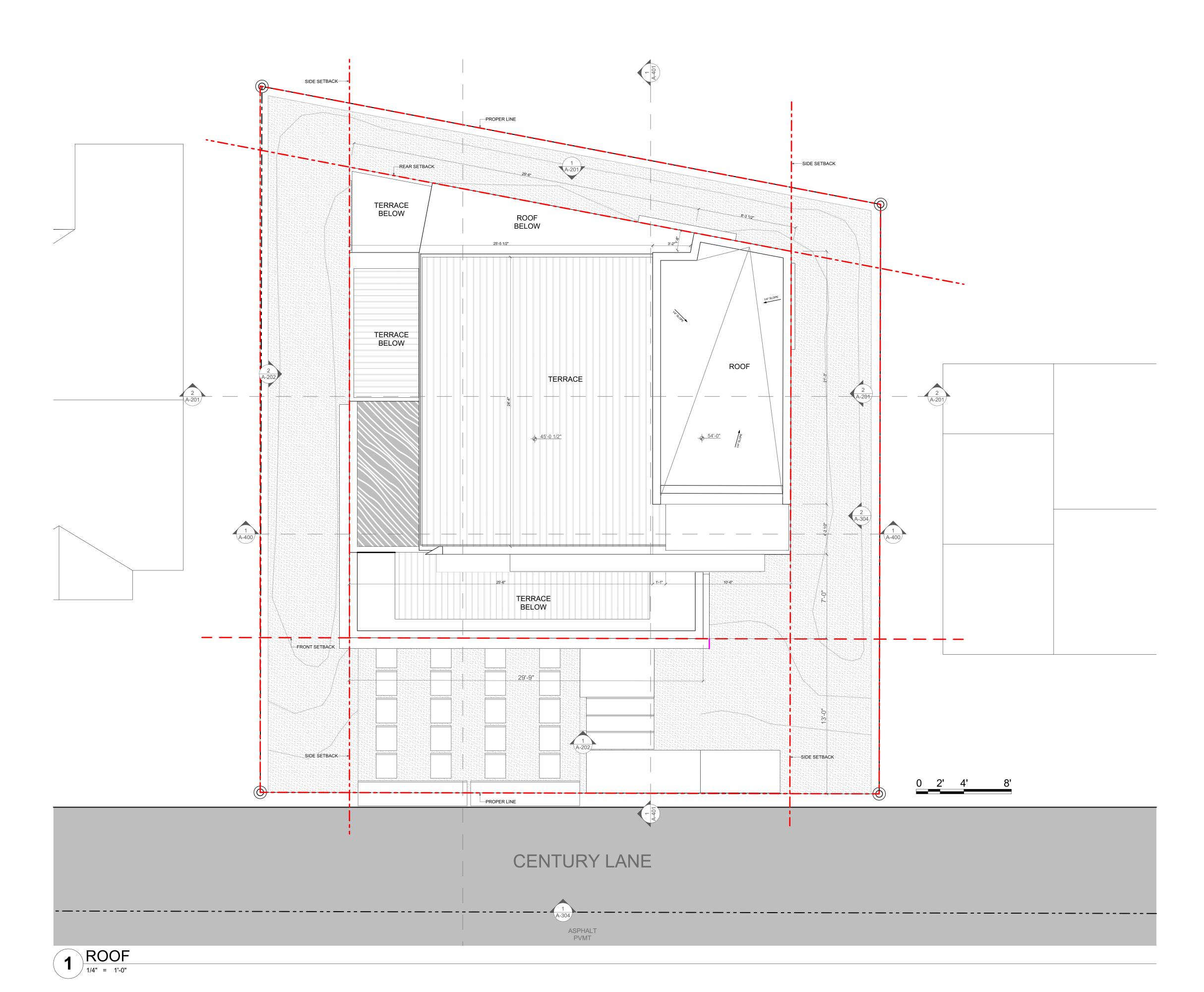
PHASE : CONST. DOCS.

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TERRACE LEVEL PLAN

**A-205** 





2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

CONSULTANTS

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**ROOF LEVEL PLAN** 

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL
BRIGITTE EVAALFRED LLC

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**ELEVATIONS** 

**A-300** 

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL
BRIGITTE EVAALFRED LLC

CONSULTANTS

MARK	DATE	DESCRIPTION

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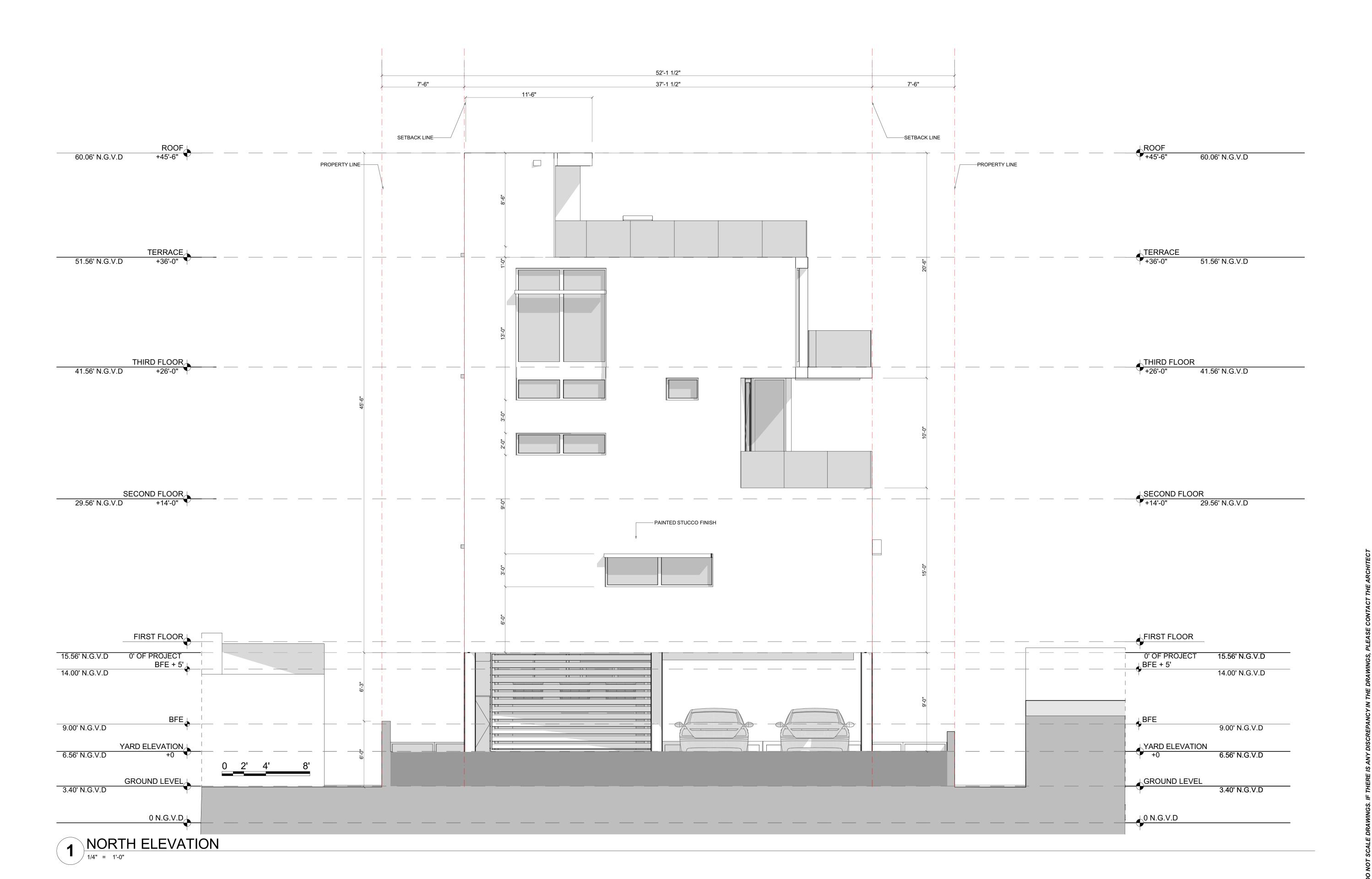
PROJECT NO : 1901.00

PHASE : CONST. DOCS.

CHEKED BY : CHEKED ON :

**ELEVATIONS** 

A-301



2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.
INGLE FAMILY RESIDENTIAL

CONSULTANTS

MARK	DATE	DESCRIPTION

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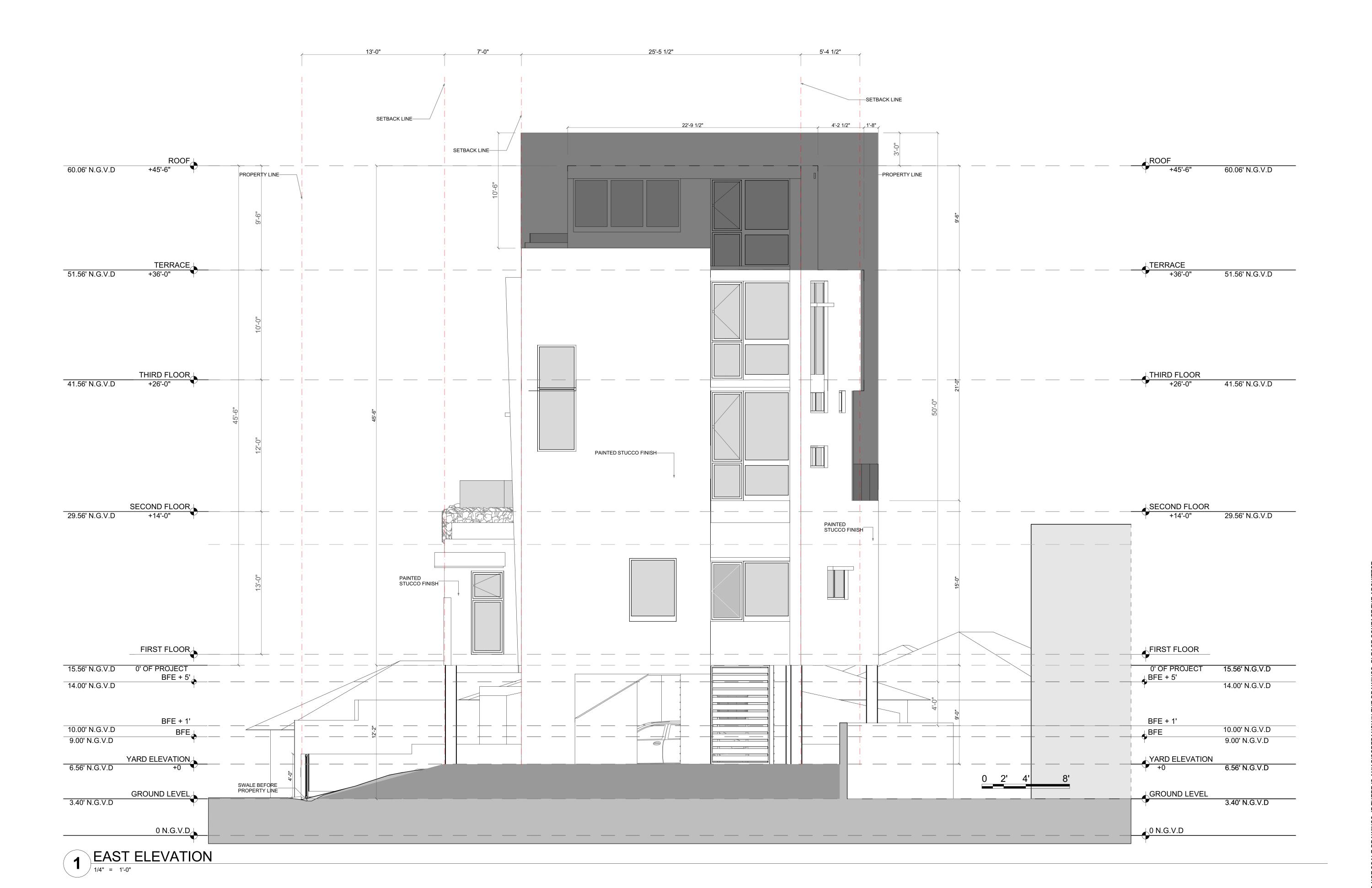
PROJECT NO : 1901.00

PHASE : CONST. DOCS.

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CHEKED ON :

**ELEVATIONS** 

**A-302** 



2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.

NGLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC

CONSULTANTS

MARK DATE DESCRIPTION

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DATE : 7/5/2019

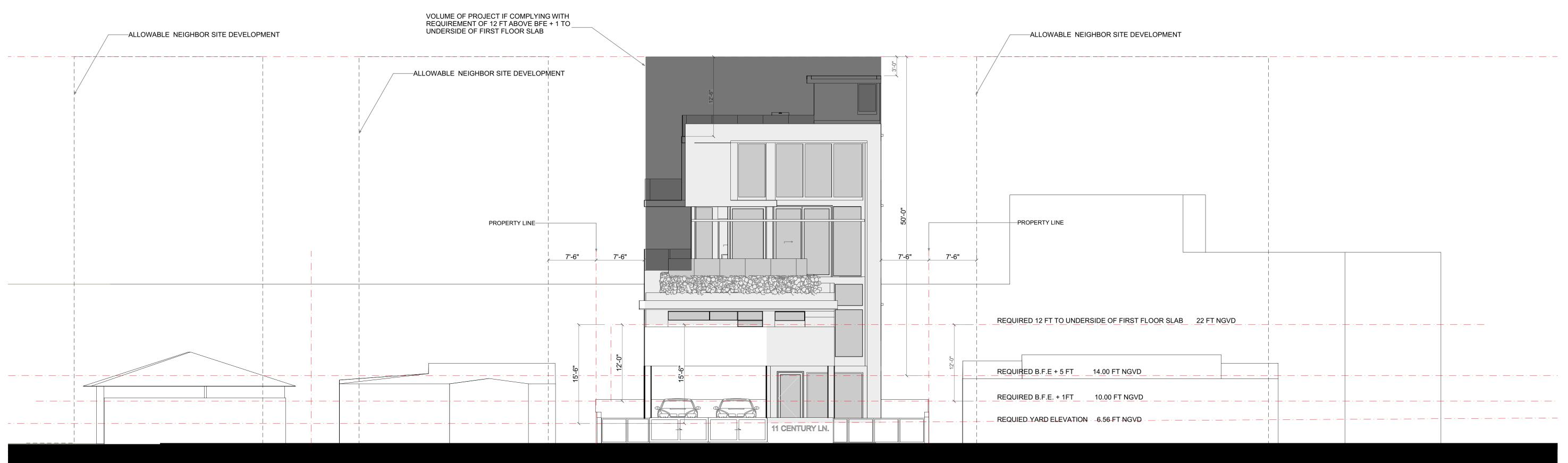
PROJECT NO : 1901.00

PHASE : CONST. DOCS.

CHEKED BY :
CHEKED ON :

**ELEVATIONS** 

**A-303** 



1 Context Elevation

1/8" = 1'-0"

REQUIRED 12 ET TO LINDERSONE OF ERST RICCR SLAS. 22 ET MOD.

REQUIRED 12 ET TO LINDERSONE OF ERST RICCR SLAS. 22 ET MOD.

REQUIRED 8 E E + 6 ET LL 20 ET MOVD.

RECOURCE DLE E + 10 TLL 10 00 TLMAND.

RECOURCE DLE E + 10 TLL 10 00 TLMAND.

2 Context Section

1/8" = 1'-0"

GABRIEL LOPEZ ARCHITECT, PA
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2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTORY LN.

VGLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC

CONSULTANTS

MARK	DATE	DESCRIPTION
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PHASE : CONST. DOCS.

CHEKED BY :
CHEKED ON :

**ELEVATIONS** 

**A-304** 

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL

CONSULTANTS

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CHEKED BY :
CHEKED ON :

**SECTIONS** 

**A-400** 

2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.

VGLE FAMILY RESIDENTIAL

BEGITTE EXAMINED IN CONTRACTOR IN CONTRACTOR

CONSULTANTS

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SECTIONS

**A-401** 





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info@gabriellopezarchitect.com
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NGLE FAMILY RESIDENTIA BRIGITTE EVAALFRED LLC

CONSULTANTS

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PHASE : CONST. DOCS.

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CHEKED ON :

CONTEXT

**A-700** 

ARCHITECT: GABRIEL LOPEZ AR94243

SITE SITE

SITE LOCATION DIAGRAM





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CONSULTANTS

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CONTEXT

**A-701** 

ARCHITECT: GABRIEL LOPEZ AR94243

SITE CENTURL 1 ISLAND AVE



#### PROPOSED MATERIAL PALETTE

	DESCRIPTION	APPLICATION
1	IPE WOOD FINISH	EXTERIOR CEILING MATERIAL
2	SMOOTH WHITE STUCCO FINISH	EXTERIOR WALL MATERIAL
3	MATE SILVER METAL	WINDOW & DOOR FRAMES
4	EXPOSED CONCRETE FINISH	FRONT FACADE MATERIAL
5	DECORATIVE STONE	FRONT FACADE MATERIAL

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SLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC

Century Lane Miami Beach FL US

CONSULTANTS

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PROJECT NO : 1901.00

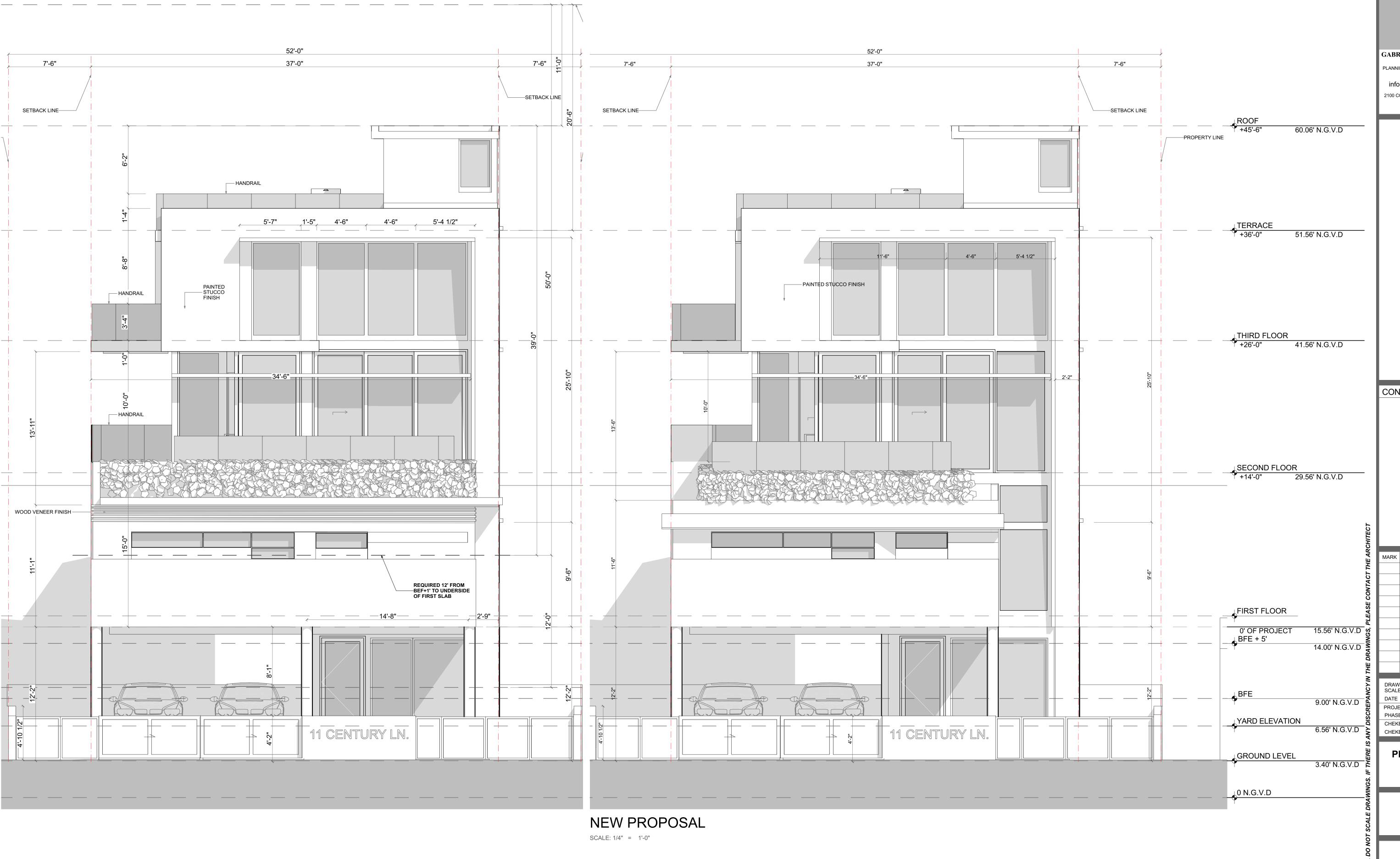
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CONTEXT

**A-702** 

ARCHITEC GABRIEL LO



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11 CENTURY LN.

VGLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC

CONSULTANTS

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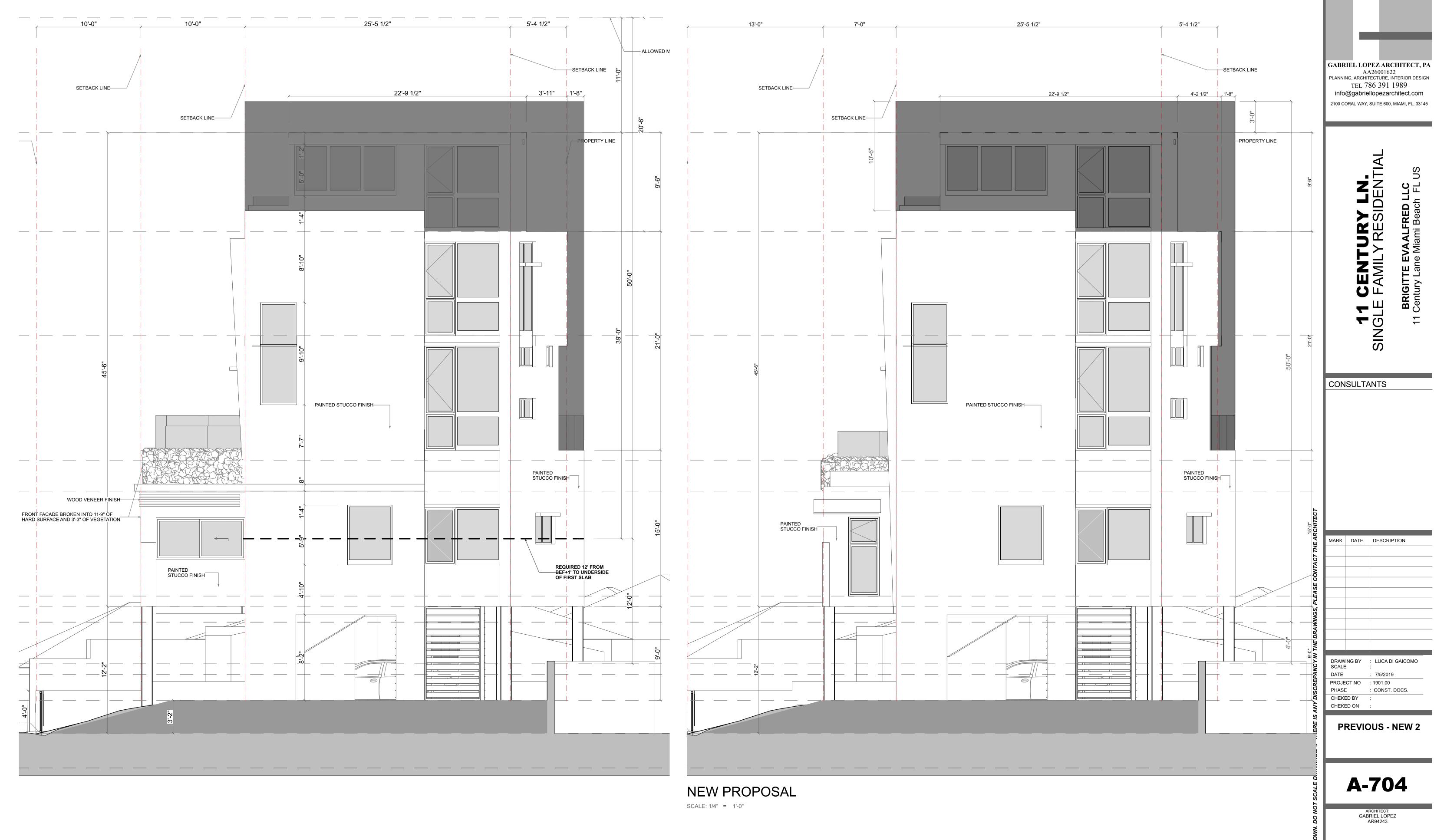
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PROJECT NO : 1901.00
PHASE : CONST. DOCS.

CHEKED BY : CHEKED ON :

PREVIOUS - NEW 1

**A-703** 



DATE 3/17/19 SCALE

1/4"=1'-0" SHEET

CITY OF MIAMI BEACH

LANDSCAPE LEGI	END	)
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LARGE SHRUBS OR SMALL TREES

or small trees provided x 50%=

A. Number of large shrubs or small trees required: Number of required

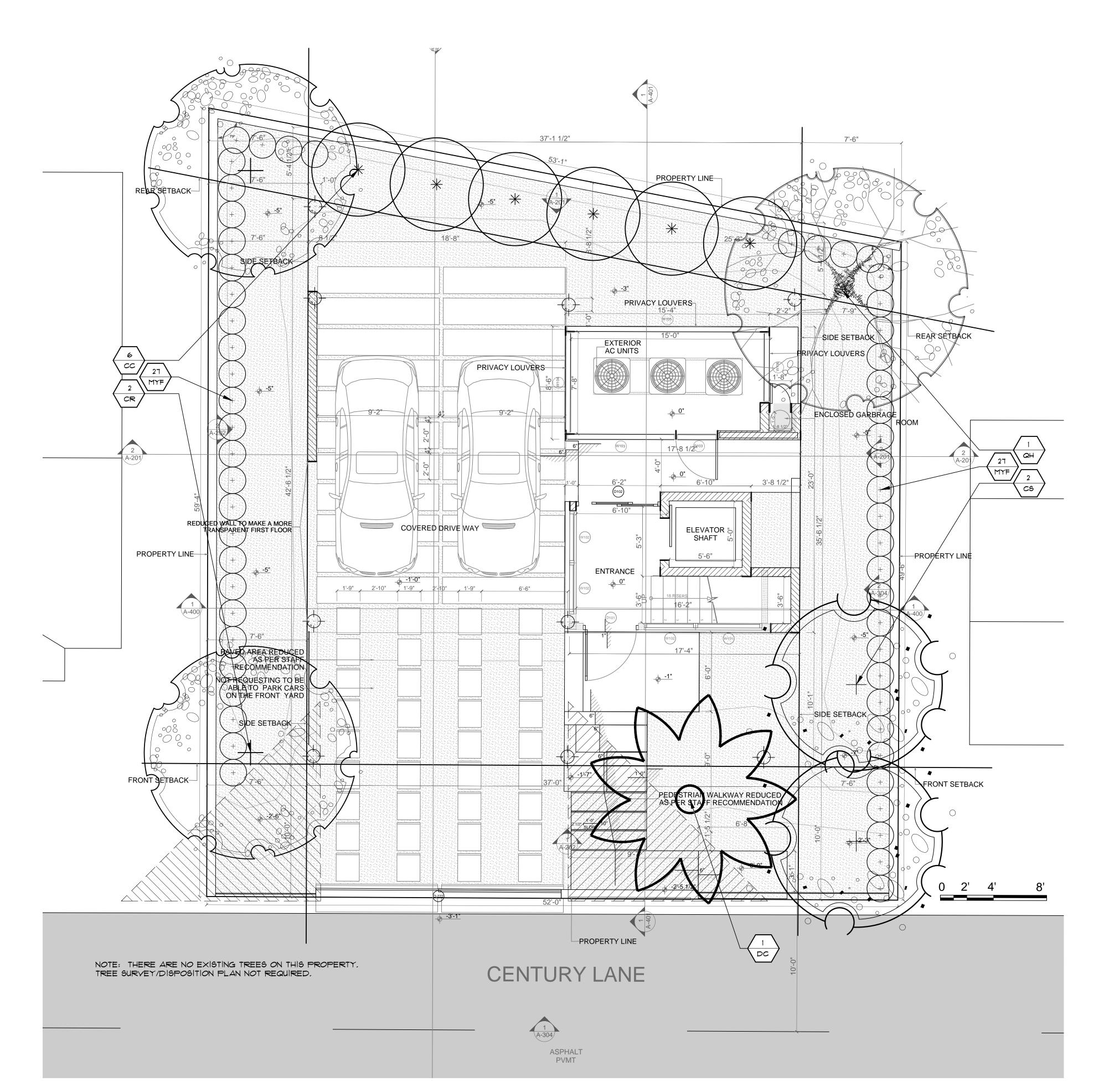
B. % Native large shrubs or small trees required: Number of large shrubs

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS
---

	INFORMATION REQUIRED TO BE PERMAN	IENTLY AFFIXED TO PLAN	ıs ·	
		ot Area <u>2,829 S.F.</u>	Acres 0.064	
			REQUII	RED/
	OPEN SPACE		ALLOV	•
A.	Square feet of required Open Space as in	ndicated on site plan:	• •	
	Lot Area = $\frac{2,829}{5}$ s.f.x $\frac{50}{9}$ % = $\frac{1,415}{5}$ s.f.		1,41	1,555
В.	Square feet of parking lot open space re	quired as indicated on s	ite	
	Number of parking spacesx 10 s	.f. parking space =	N//	A N/A
C.	Total square feet of landscaped open spa	· ·	1,41	
				······································
	LAWN AREA CALCULATION			
A.	Square feet of landscaped open space re	quired	1,41	1,555
B.	Maximum lawn area (sod) permitted= 50	2% x <u>1,555</u> s.f.	778	2,861
	TREES			
A.	Number of trees required per lot or net l	<del>-</del>	mber	
	of trees meeting minimum requirement	S=		
	trees xnet lot acres		es= 2	2
	% Natives required: Number of trees pro		1	2
C.	% Low maintenance / drought and salt to	lerant required:		•
Ь	Number of trees provided x 50%=	of 201 o. o. l	1	2
D.	Street Trees (maximum average spacinglinear feet along street div		9	2
E	Street tree species allowed directly bend		3	
<b>L</b> .	(maximum average spacing of 20' o.c.):	cam power mies.		
	linear feet along street divided by 20	)'=	erena. T	
	meas rect arong street divides by Ze	현교 : 1 	N//	A N/A
	SHRUBS			
A.	Number of shrubs required: Sum of lot a	nd street trees required	l x 12= 60	443
В.	% Native shrubs required: Number of sh	rubs provided x 50%=	222	2 301
			•	

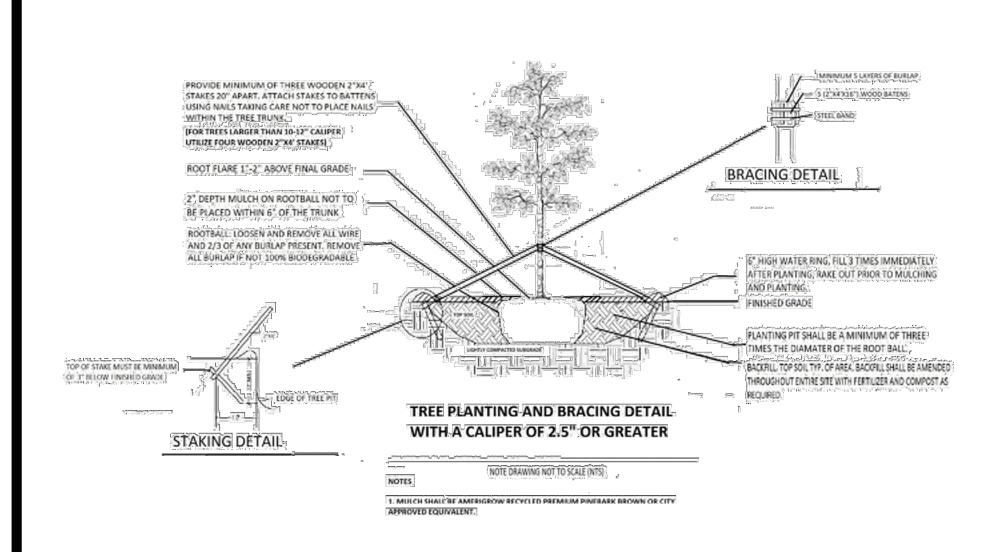
REE:	S & PA	\LMS		
QTY	KEY	BOTANICAL NAME	COMMON NAME	OESCRIPTION
6	CC*	Capparis cynophallophora	Jamaican Caper	25 gal, 8' ht
2	CS*	Conocarpus erectus 'sericeus'	Silver Buttonwood	12' ht, 2" cal
1	DC	Dypsis cabadae	Cabada Palm	14' oa ht, triple
1	QV*	Quercus virginiana 'high rise'	High Rise Live Oak	16' ht, 8' spr, 4" cal
2	CR*	Clusia rosea	Clusia	12' ht, 2" cal
HRU	BS & (	GROUNDCOVERS		
QTY	KEY	BOTANICAL NAME	COMMON NAME	OESCRIPTION
54	MYF*	Myrciathes fragans	Simpson Stopper	3 gal, 24" ht
2000400	Native Spe	vaio a		

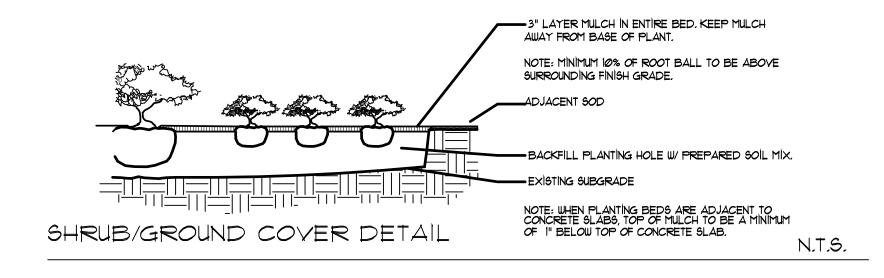
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED UTILITIES. SHOULD LANDSCAPE INTERFERE WITH PROPOSED UTILTIES CONTACT THE LANDSCAPE ARCHITECT TO FIELD ADJUST PROPOSED LANDSCAPE.
- SHOULD PROPOSED UTILITIES INTERFERE WITH EXISTING ROOTS, CONTACT THE LANDSCAPE ARCHITECT. UTILITIES NEED TO BE READJUSTED IN ORDER TO AVOID ANY EXISTING ROOTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW TREES AND PALMS FOR A PERIOD OF 1-YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- ALL GUYING AND STAKING SHALL BE REMOVED FROM ALL TREES AND PALMS WITHIN TWELVE MONTHS AFTER PLANTING. EXCEPTIONS REQUIRE WRITTEN AUTHORIZATION FROM THE CITY URBAN FORESTER.
- A FINAL ONSITE INSPECTION SHALL BE REQUIRED WITH URBAN FORESTRY STAFF PRIOR TO ANY OFFICIAL ACCEPTANCE OF ROW PLANT MATERIAL IN ORDER TO VERIFY PROPER PLANTING DEPTH, SPACING AND QUALITY OF MATERIAL. FAILURE TO CONDUCT THE INSPECTION COULD RESULT IN REJECTION OF THE PLANT MATERIAL.

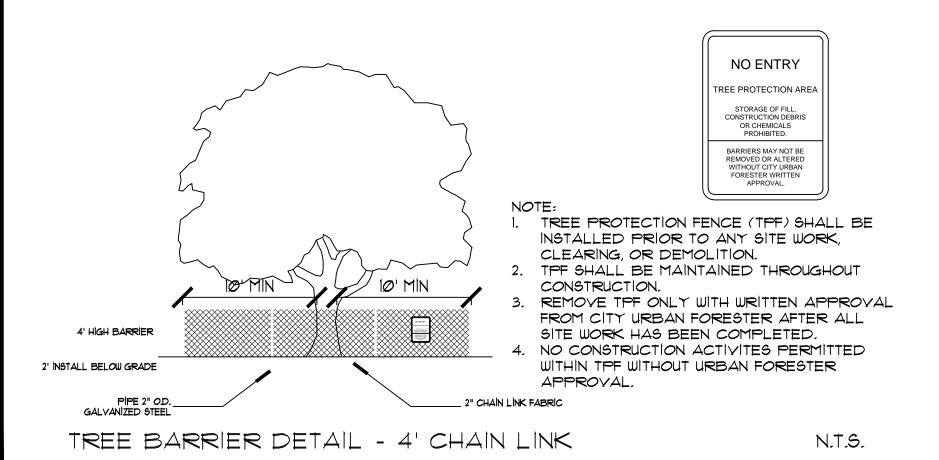


BROWN OR CITY APPROVED EQUIVALENT.

2. DO NOT APPLY MULCH WITHIN 6" OF THE TREE TRUNK





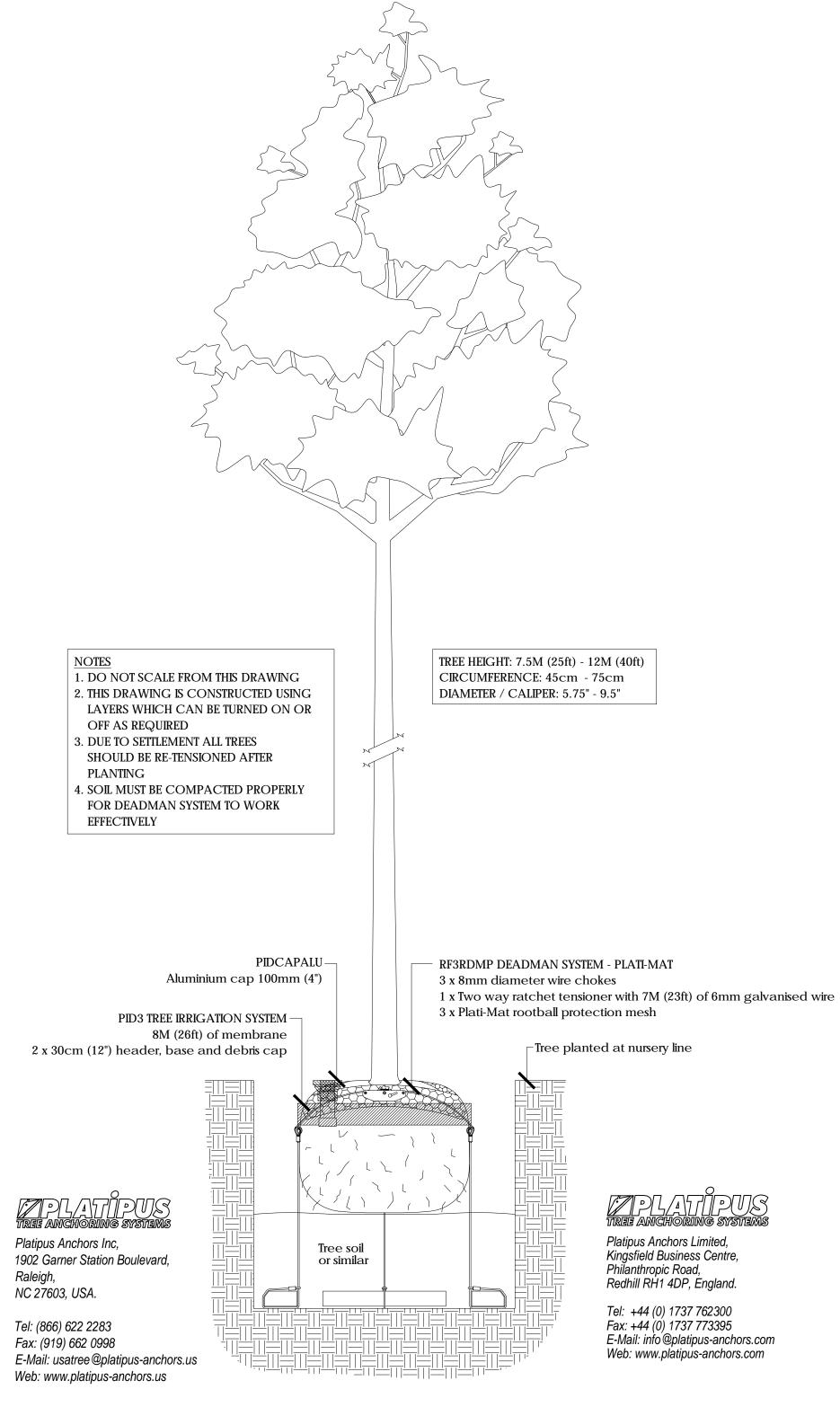


#### PLANT NOTES

- 1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA
  DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS PARTS 1
  AND 11, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
- 2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
- 3. ALLTREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
- 4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- 5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
- 6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
- 1. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONES OWN QUANTITY COUNTS( PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
- 8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDER-GROUND UTILITIES PRIOR TO DIGGING.
- 9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
- 10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

#### NOTE:

- REFER TO ARCHITECTURAL PLANS FOR PROPOSED UTILITIES. SHOULD LANDSCAPE INTERFERE WITH PROPOSED UTILITIES CONTACT THE LANDSCAPE ARCHITECT TO FIELD ADJUST PROPOSED LANDSCAPE.
- SHOULD PROPOSED UTILITIES INTERFERE WITH EXISTING ROOTS, CONTACT THE LANDSCAPE ARCHITECT. UTILITIES NEED TO BE READJUSTED IN ORDER TO AVOID ANY EXISTING ROOTS.
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Diego Vanderbiest
6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001

REVISIONS

4/3/19 CITY COMMENTS

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DIEGO J. VANDERBIEST PLA #6661355

> DV DATE 3/17/19 SCALE

> > N.T,S.

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