



11 CENTURY LN.

SINGLE FAMILY RESIDENTIAL



GABRIEL LOPEZ ARCHITECT, PA
TEL 305 479 4956

- 2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145
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Diego Vanderbiest

6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001

- LA-1 LANDSCAPE PLAN
- LA-2 LANDSCAPE PLAN

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Feb 15, 2019

City of Miami Beach
1700 Convention Center Drive
Planning Department, second floor
Miami Beach, Florida 33139



Dear Members of the Design Review Board, This letter of intent is in regards to a newly proposed residence to be located at 11 Century Lane, Miami Beach.

We are proposing the construction of a new five-story contemporary single-family residence.
The existing lot size is 2,829 square feet. The lot is currently zoned for RM-1 allowing for a buildable area of 3,358 square feet as per the Miami Beach Zoning Code, FAR of 1.25.

In our proposal for the front and surrounding yard we complied with the 30% previous requirement.

The property is located in flood zone AE-9. The minimum required N.G.V.D. for the yard elevation is 6.56’.
We are proposing for this residence, the first habitable floor at 15.56’ N.G.V.D. surpassing the minimum.

All of the requested variances were previously approved for this lot; we would like to ask for the same variances for the amended Architectural Design.

The first variance requested is to accommodate the existing undersized lot of 2,829 SF from the required minimum lot size of 5,600 SF, establish by the Zoning Code.

The second variance that we are requesting is for the side setbacks of the property. The active setbacks are set at 7.5’ to which we are asking for a reduction to 7’. This would effect both the East and West portion of the lot, perpendicular to the axis facing the street.

The third variance that we are requesting is a rear setback reduction similar to the aforementioned on the north portion of the lot from 5’-4.5” to 5’

The final variance that we are requesting is a change to the front setback.
Since our lot is currently undersized for zone RM-1 we are requesting that the street-facing setback is reduced from 20’ to 10’, only on the second floor which would otherwise take up 40% of our site since the lot depth is only 49’ at the Eastern portion of the lot. The change to this setback would allow us to build a more suitable home for the owners needs.

Sincerely,

Gabriel Lopez, President

Feb 15, 2019

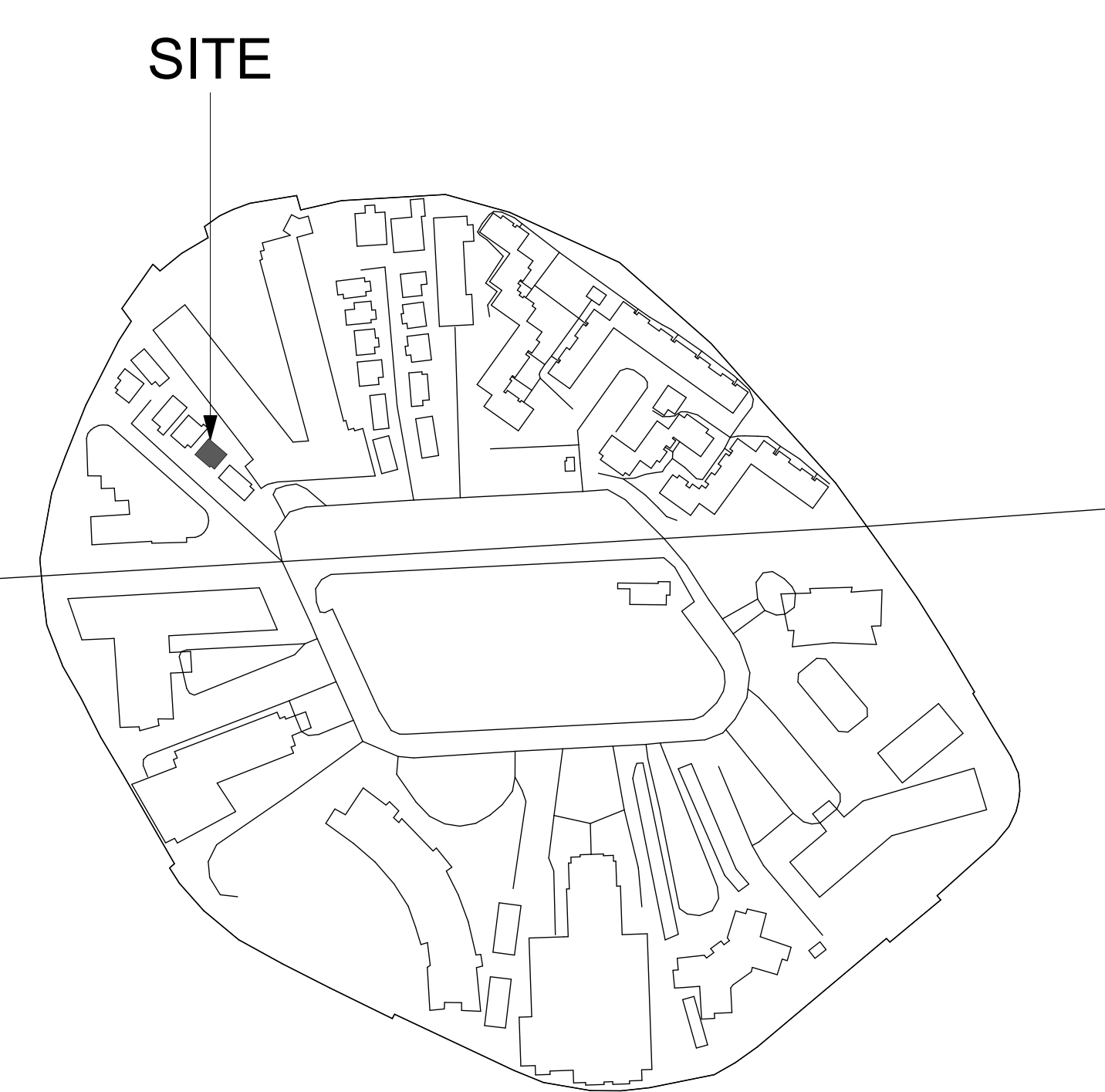
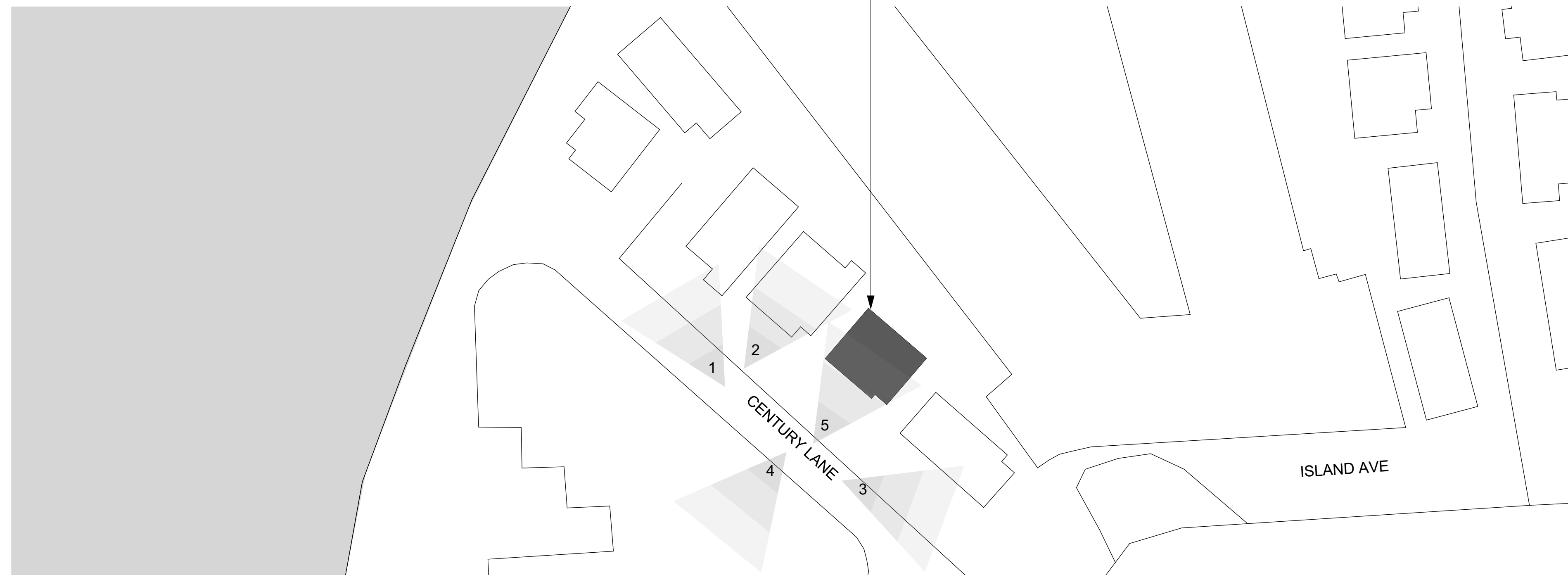
City of Miami Beach
1700 Convention Center Drive
Planning Department, second floor
Miami Beach, Florida 33139



Dear Members of the Design Review Board, this letter of intent is in regards to a newly proposed residence to be located at 11 Century Lane on Miami Beach.
In our intent to comply with Article II Sea Level Rise / Sec 133-50
We like to name some of our design fixture.
We are raising the yard of the property to comply with city requirements.
We are proposing all the required equipment to be install above BFE.
We are proposing our first habitable level to be at 15.56 NGVD, which place us above the requirement.
We are proposing all our windows to be impact resistant and our whole structure is proposed in reinforce concrete.
Our intent is to shape our design to comply with the City efforts to mitigate sea level rise.

Sincerely,

Gabriel Lopez
Architect.



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11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC
11 Century Lane Miami Beach FL US

CONSULTANTS

[illegible]

DRAWING BY	: LUCA DI GAICOMO
SCALE	:
DATE	: 7/5/2019
PROJECT NO	: 1901.00
PHASE	: CONST. DOCS.
CHEKED BY	:
CHEKED ON	:

SITE IMAGES

A-103

ARCHITECT:
GABRIEL LOPEZ
AR94243

 USE DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. IF THERE IS ANY DISCREPANCY IN THE DRAWINGS, PLEASE CONTACT THE ARCHITECT

Site Information		
ITEM #	New Construction Floodplain Management Data	
1	Flood Zone	AE +9
2	FIRM Map Number	
3	Base Flood Elevation	9' N.G.V.D.
4	Proposed Flood Desgn Elevation	9'+5'=14' N.G.V.D.
5	Crown of Road Elevation	3.09' N.G.V.D.
6	Classification of Structure	Category II
7	Building use	Single Family Residence
8	Lowest Elevation of Equipment	10.00 N.G.V.D.
9	Lowest Ajacent Grade	
10	Highest Ajacent Grade	

Single Family Residential - Zoning Data Sheet				
ITEM #	Zoning Information			
1	Address	11 CENTURY LN Miami Beach, FL 33139		
2	Legal Description	BELLE ISLE VILLAS PB 42-92 LOT 11 LOT SIZE 2829 SQUARE FEET OR 16847-4127 0795 1 COC 23025-1448 01 2005 1		
3	Folio Number(s)	02-3233-002-0110		
4	Board and file numbers	DRB19-0384		
5	Year Built	N/A	Zoning District:	RM-1
6	Base Flood Elevation	9' N.G.V.D.	Grade Value in N.G.V.D.	3.9' N.G.V.D.
7	Adjusted grade (Flood+Grade/2)	9'+5'=14' N.G.V.D.	Free Board	14' N.G.V.D.
8	Lot Area:	2,829.21 Sq. Ft.		
9	Lot Width:	52'	Lot Depth:	54.41'
10	Max Lot Coverage SF and %	N/A	Proposed Lot Coverage SF and %:	1,337 Sq.Ft. (47.25%)
11	Existing Lot Coverage:	0%	Rear Yard Open Space SF and %	239 Sq.Ft. (85.35%)
12	Max Unit Size SF and %	N/A	Proposed Unit Size SF and %	3,417 Sq.Ft. (96.62%)
13	Existing First Floor Unit Size.	N/A	Required F.A.R.	1.25 3,536.5 Sq.Ft.

General Setback Information					
		Required	Existing	Proposed	Deficiencies
15	Height:	50'-0"		37'-6"	
16	Setbacks:				
17	Front First Level	20'-0"		13'-0"	7'-0"
18	Front Second Level	10'-0"		10'-0"	
19	Side 1:	7'-6"		7'-6"	
20	Side 2:	7'-6"		7'-6"	
21	Rear:	5'-4 1/2"		5'-4 1/2"	
22	Accessory Structure Side 1:	N.A.		N.A.	
23	Accessory Structure Side 2:	N.A.		N.A.	
24	Accessory Structure Rear:	N.A.		N.A.	
25	Sum of Side yard:	15'		15'	
26	Ground floor requirements	12' from BFE +1' to underside of first floor slab		5'-6"	6'-6"

27	Located within a Local Historic District?	No
28	Designated as an individual historic single family residence site?	No
29	Determined to be Architecturally Significant?	No

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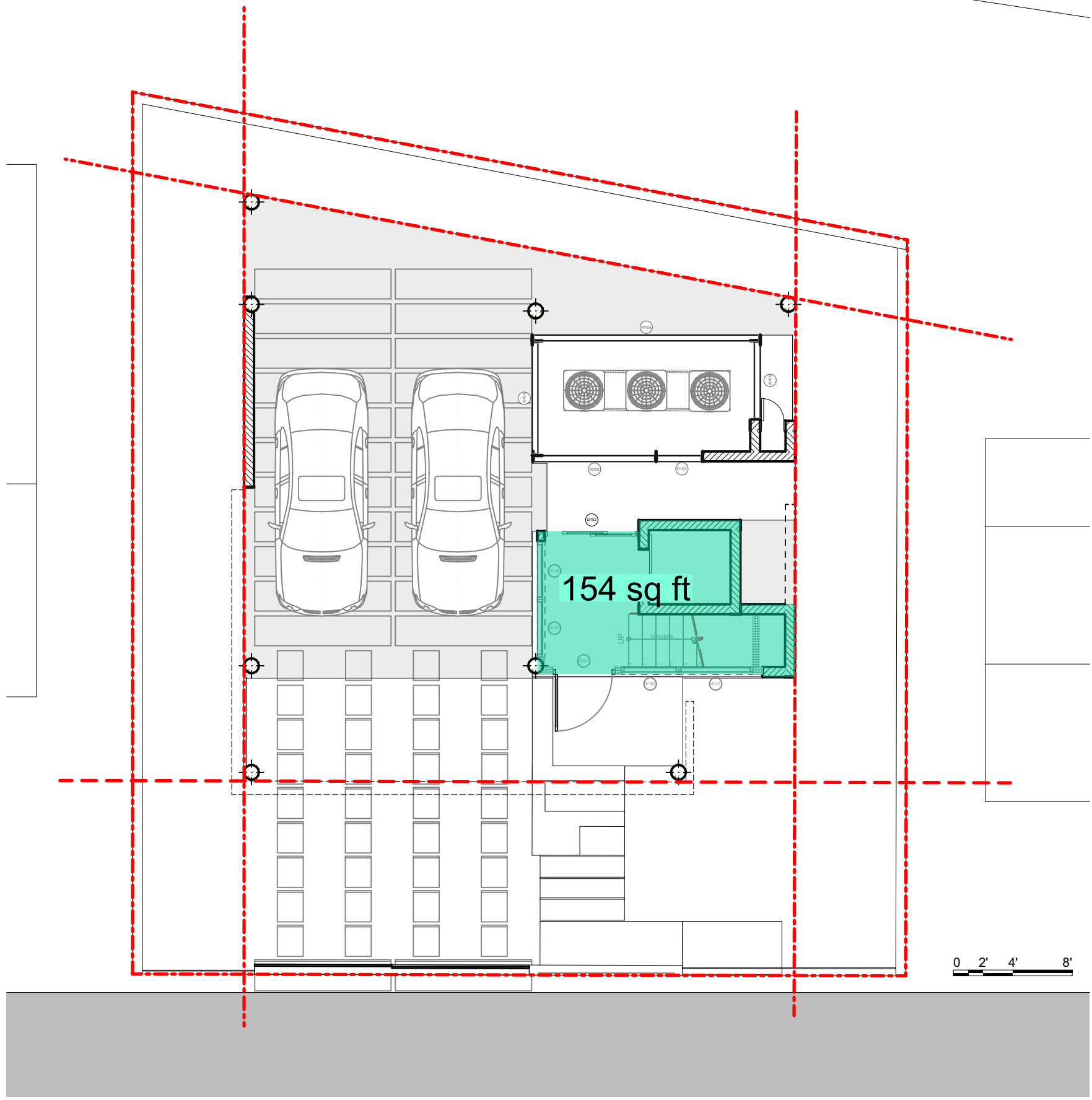
GENERAL SITE
INFORMATION

A-104

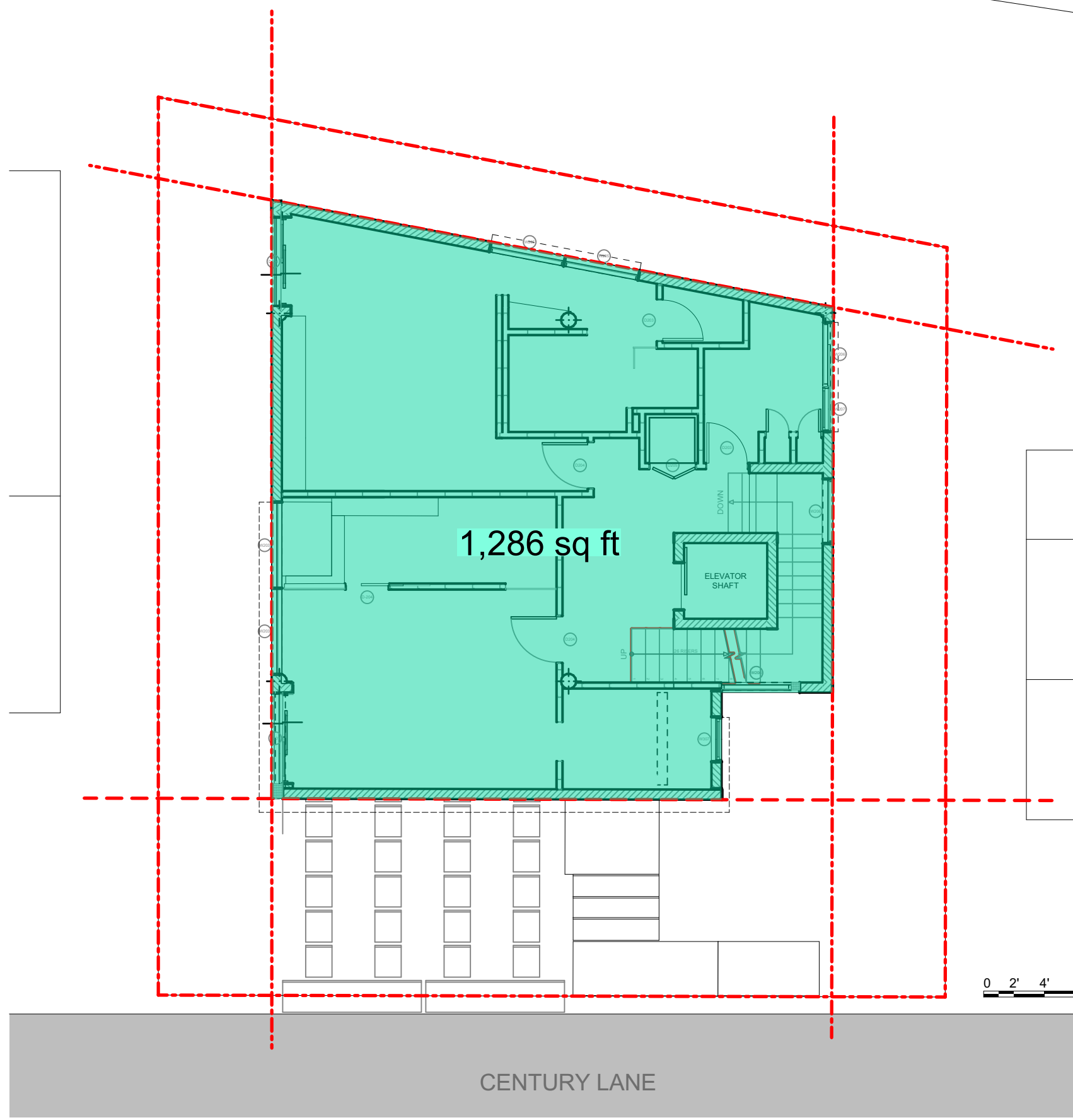
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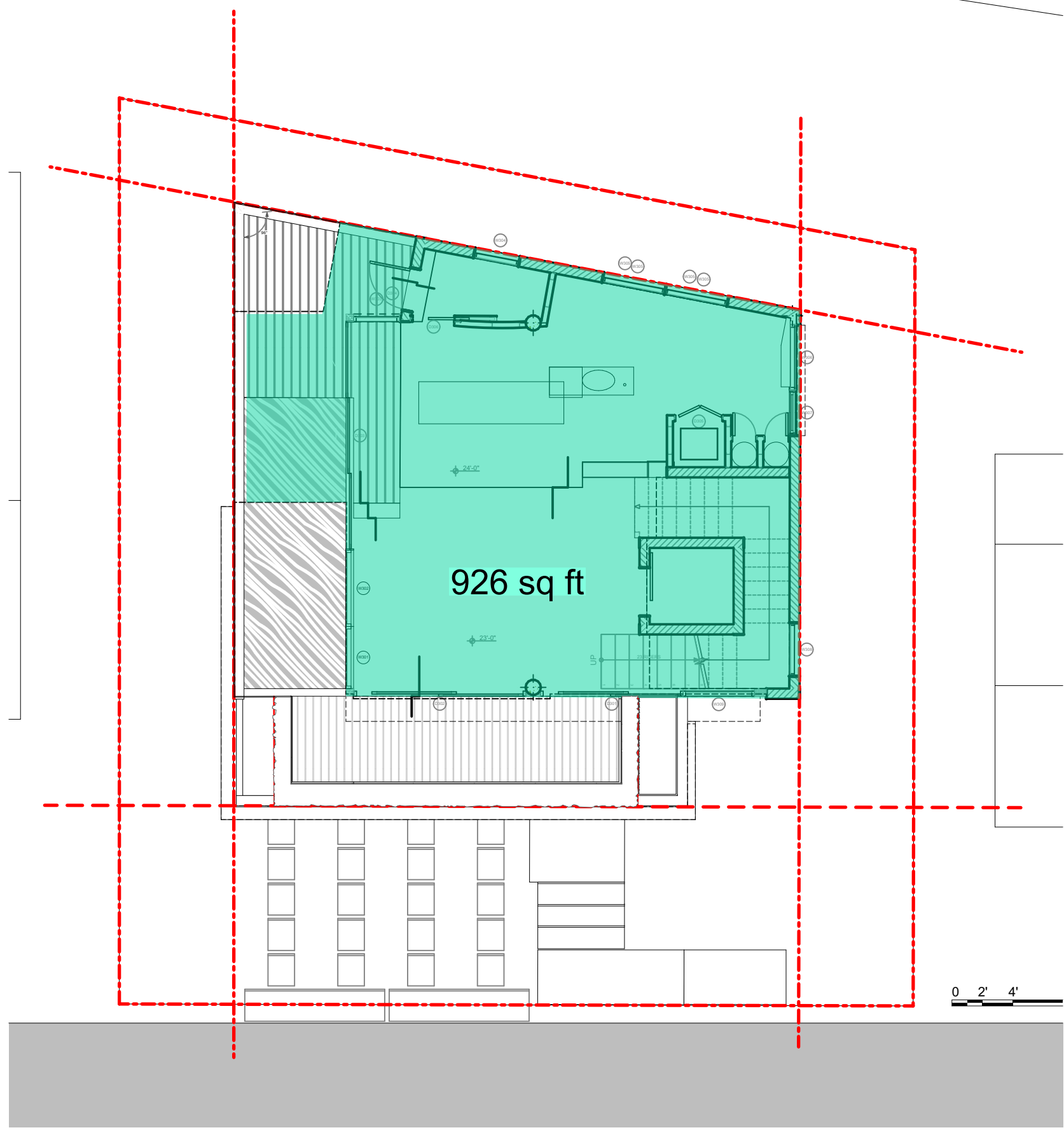
USE DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. IF THERE IS ANY DISCREPANCY IN THE DRAWINGS, PLEASE CONTACT THE ARCHITECT



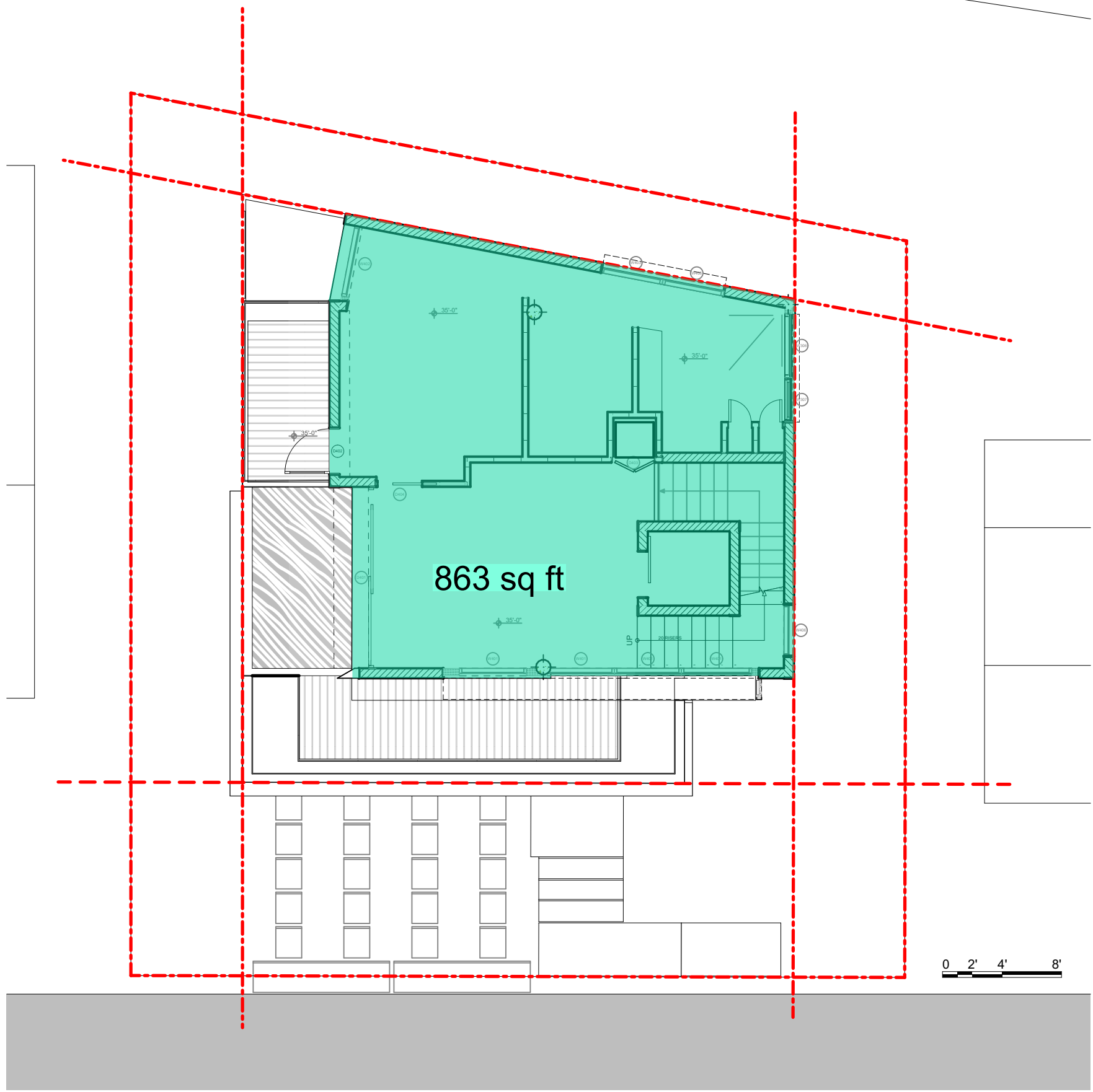
1 First Floor (Area)
1/8" = 1'-0"



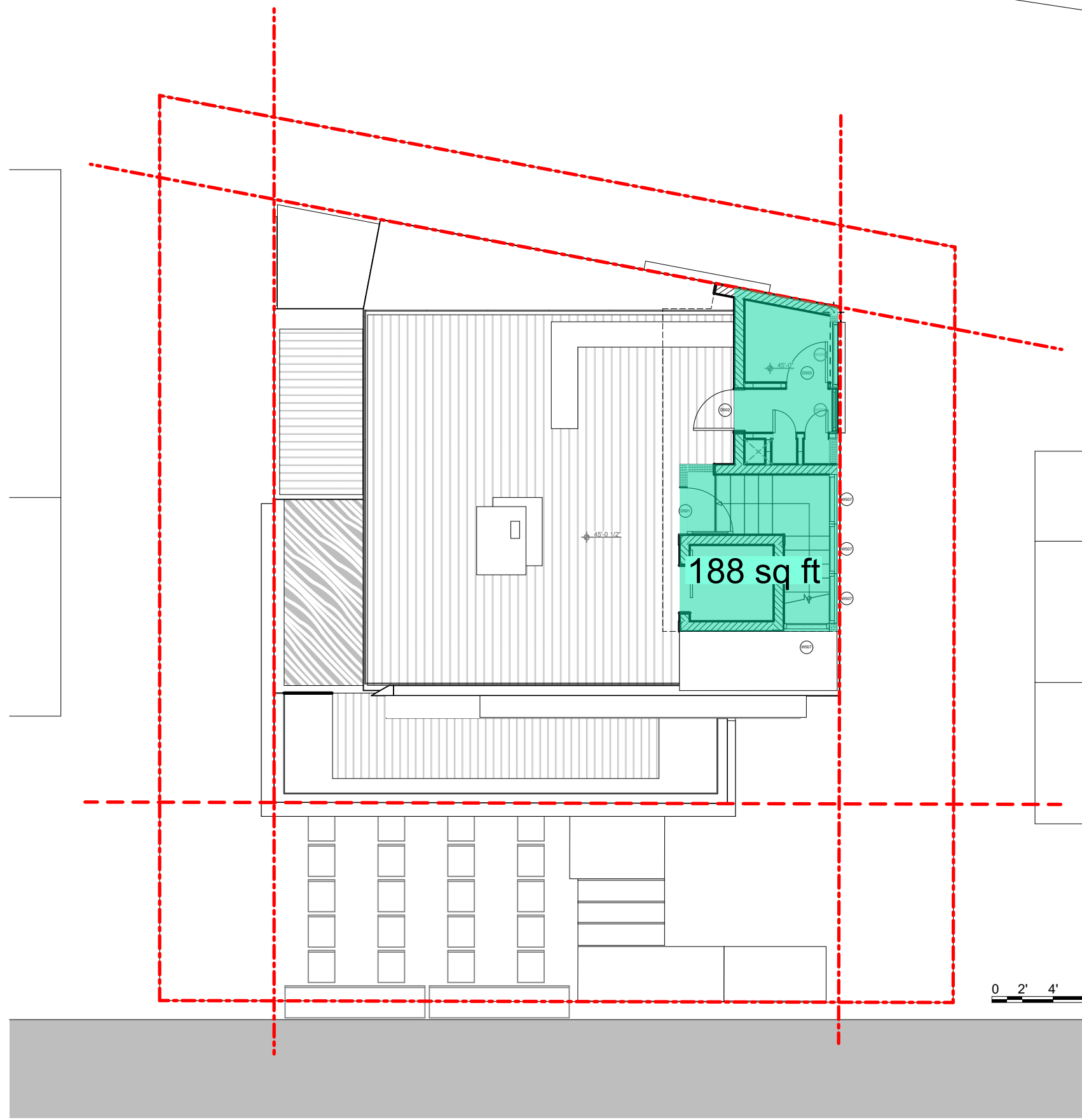
2 Second Floor (Area)
1/8" = 1'-0"



3 Third Floor (Area)
1/8" = 1'-0"



4 Fourth Floor (Area)
1/8" = 1'-0"



5 Terrace (Area)
1/8" = 1'-0"

1. 154 Sq.Ft.
2. 1,286 Sq.Ft.
3. 926 Sq.Ft.
4. 863 Sq.Ft.
5. 188 Sq.Ft.

Total: 3,417 Sq.Ft.

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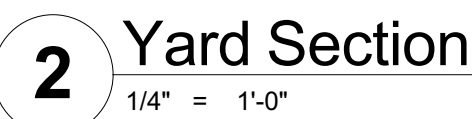
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SCALE	: 1/8" = 1'-0"
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CHEKED ON	:

FLOOR AREA

A-105

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REQUESTED VARIANCE:

1. AS OUR LOT IS BELOW MINIMUM LOT SIZE WE WOULD LIKE TO ASK FOR RELIEF FROM CODE SECTION 142-156 (a) (1) WE ARE REQUESTING TO WAIVE THE 20'-0" FRONT SETBACK TO 7'-0" ON THE SECOND FLOOR ONLY.

2. FOR THE SAME REASON (LOT TO SMALL) AND BECAUSE THE LOCATION OF THE LOT MAKES IT TO OUT OF SCALE WE WOULD LIKE TO ASK FOR THE RELIEF FROM THE CODE SECTION 142-155 (a) (3) (f) 1. A MINIMUM HEIGHT OF 12 FEET ABOVE BFW +1 TO THE UNDER SIDE OF FIRST FLOOR SLAB. (PLEASE SEE A-304 FOR REFERENCE).

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VARIANCE DIAGRAM

A-107

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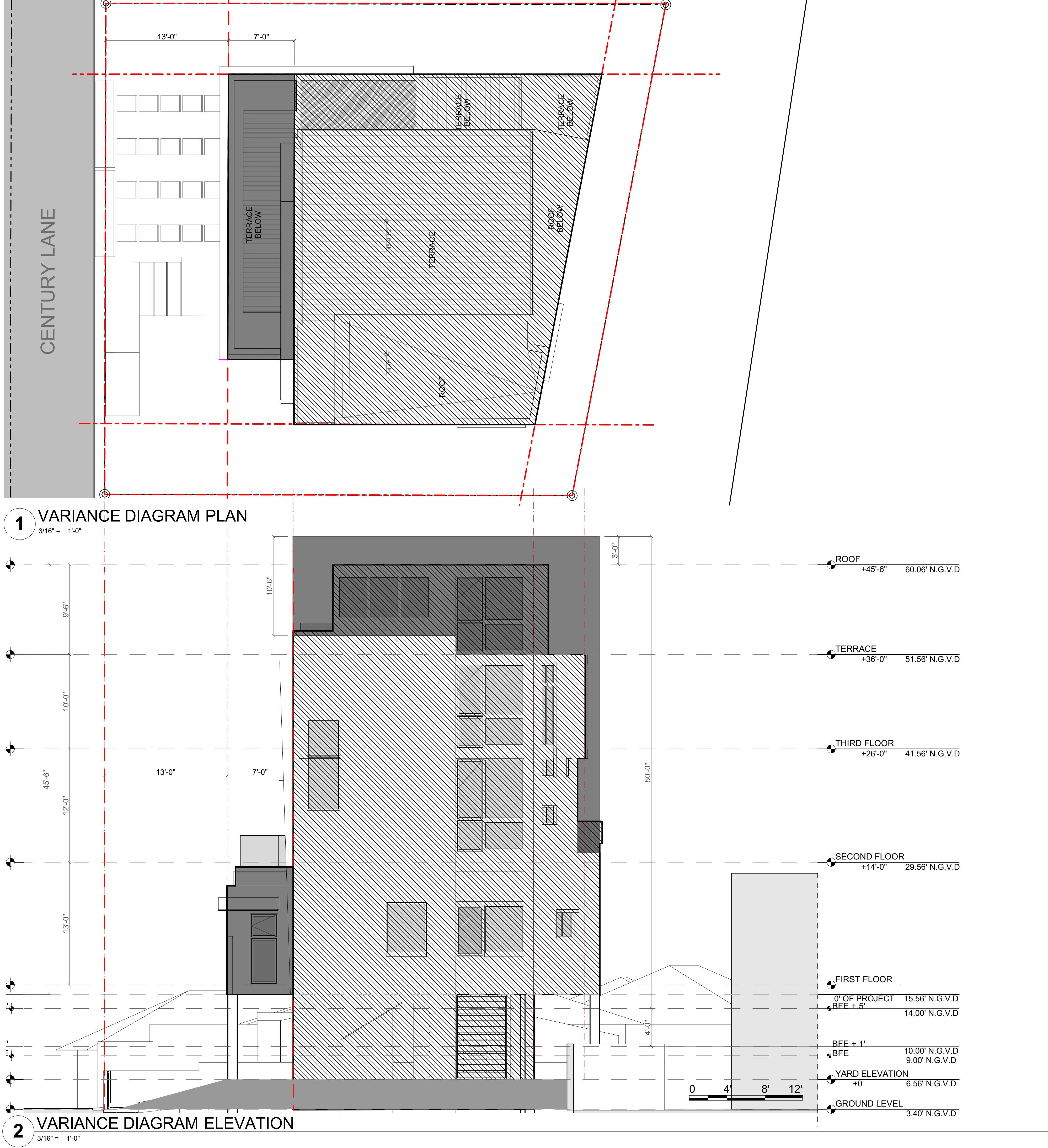
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PROJECT NO	: 1901.00
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CHECKED ON	:

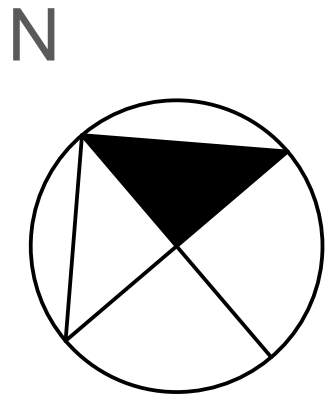
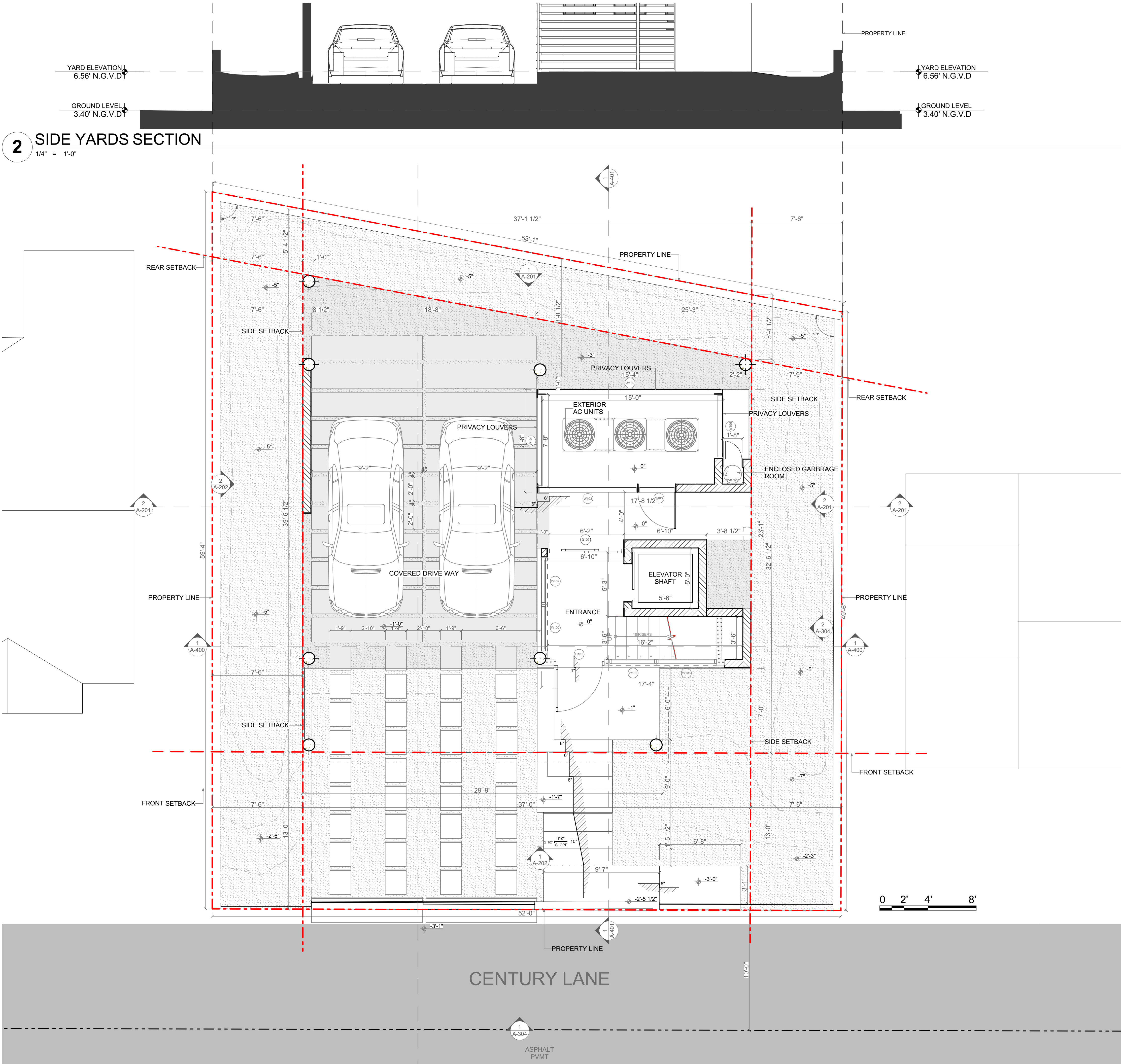
VARIANCE DIAGRAM

A-108

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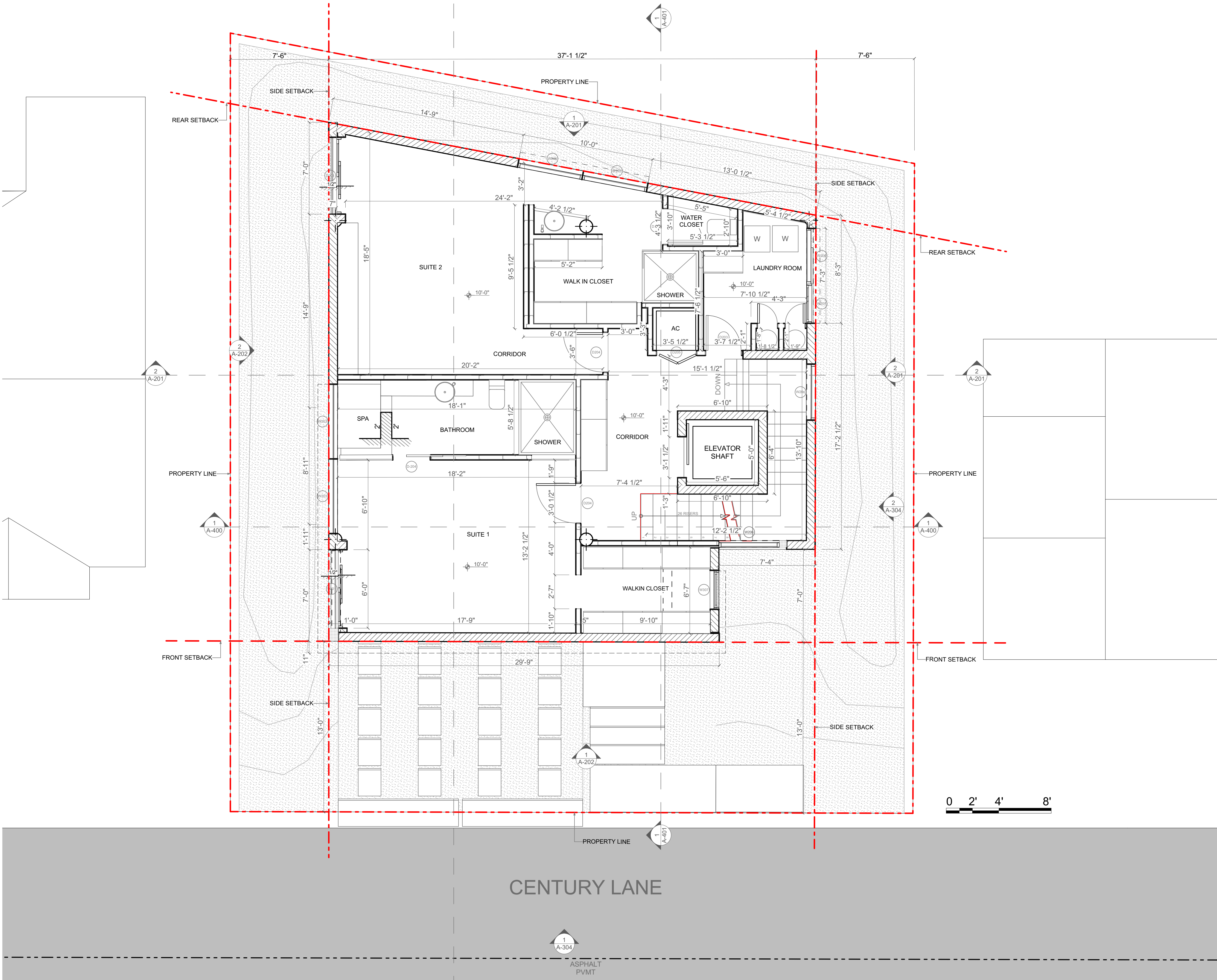
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BASE FLOOD LEVEL

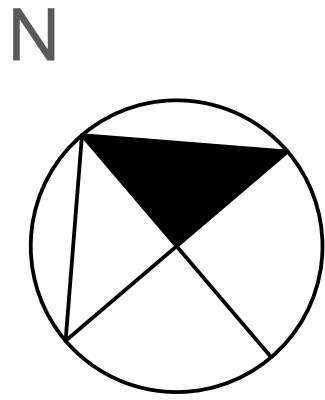
A-201

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1 FIRST FLOOR
1/4" = 1'-0"



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SECOND LEVEL PLAN

A-202

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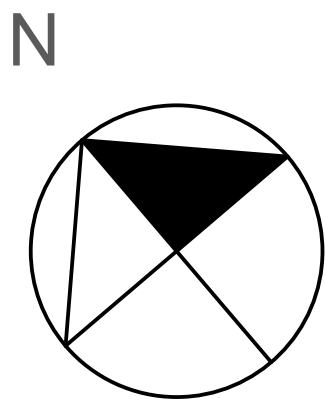
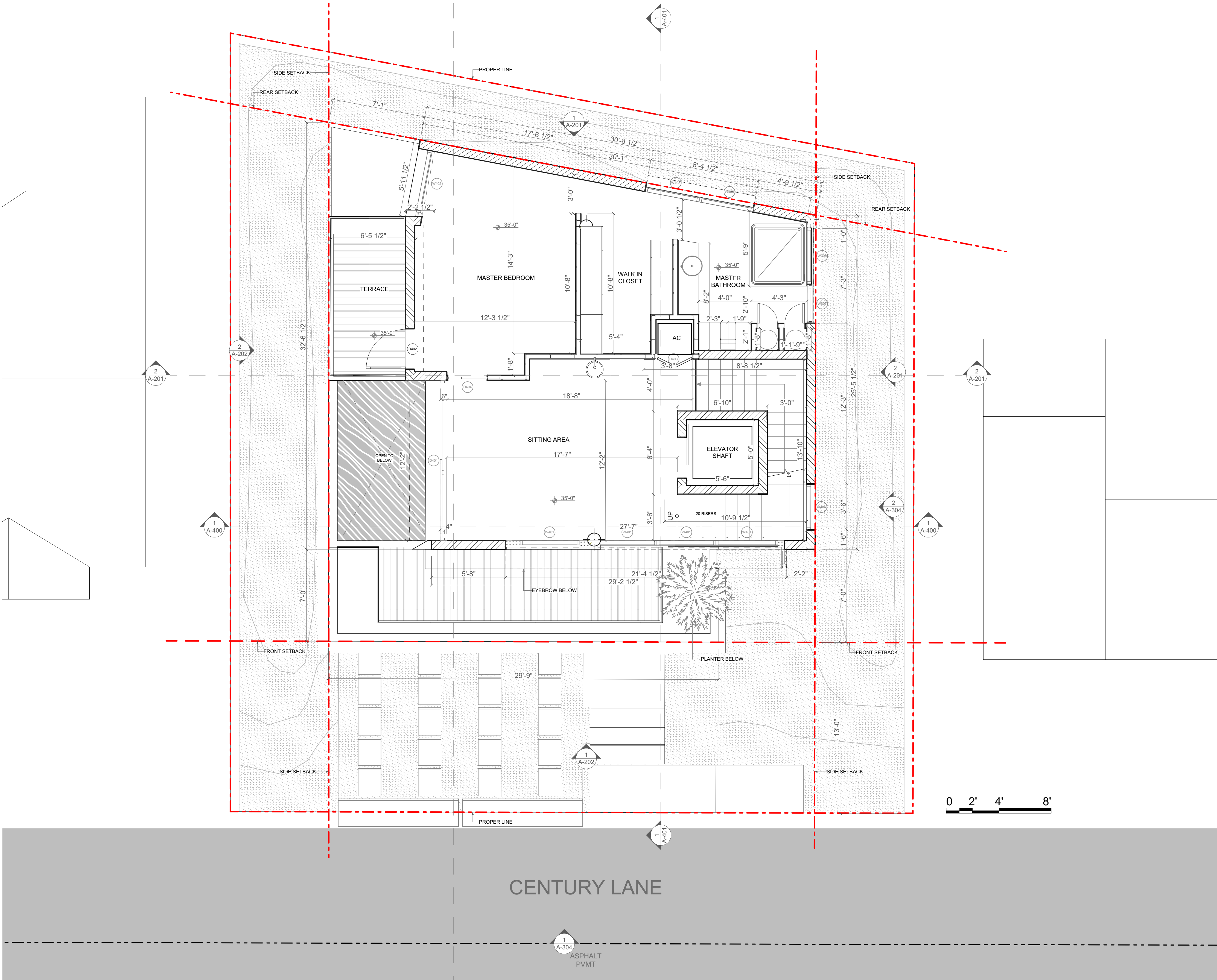
THIRD LEVEL PLAN

ARCHITECT:
GABRIEL LOPEZ
AR94243

Site plan showing a property layout with setbacks and dimensions. The plan includes a pool, cabana, kitchen, dining room, family/living room, and elevator shaft. The property is surrounded by setbacks (front, rear, side) and a proper line. A scale bar indicates 0, 2, 4, and 8 feet. The property is adjacent to Century Lane, which is labeled as ASPHALT PVMT. The plan includes various dimensions and labels for setbacks and proper lines.

1

$$1/4'' = 1'-0''$$



1 THIRD FLOOR
1/4" = 1'-0"

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FOURTH LEVEL PLAN

A-204

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BRIGITTE EVAALFRED LLC
11 Century Lane Miami Beach FL US

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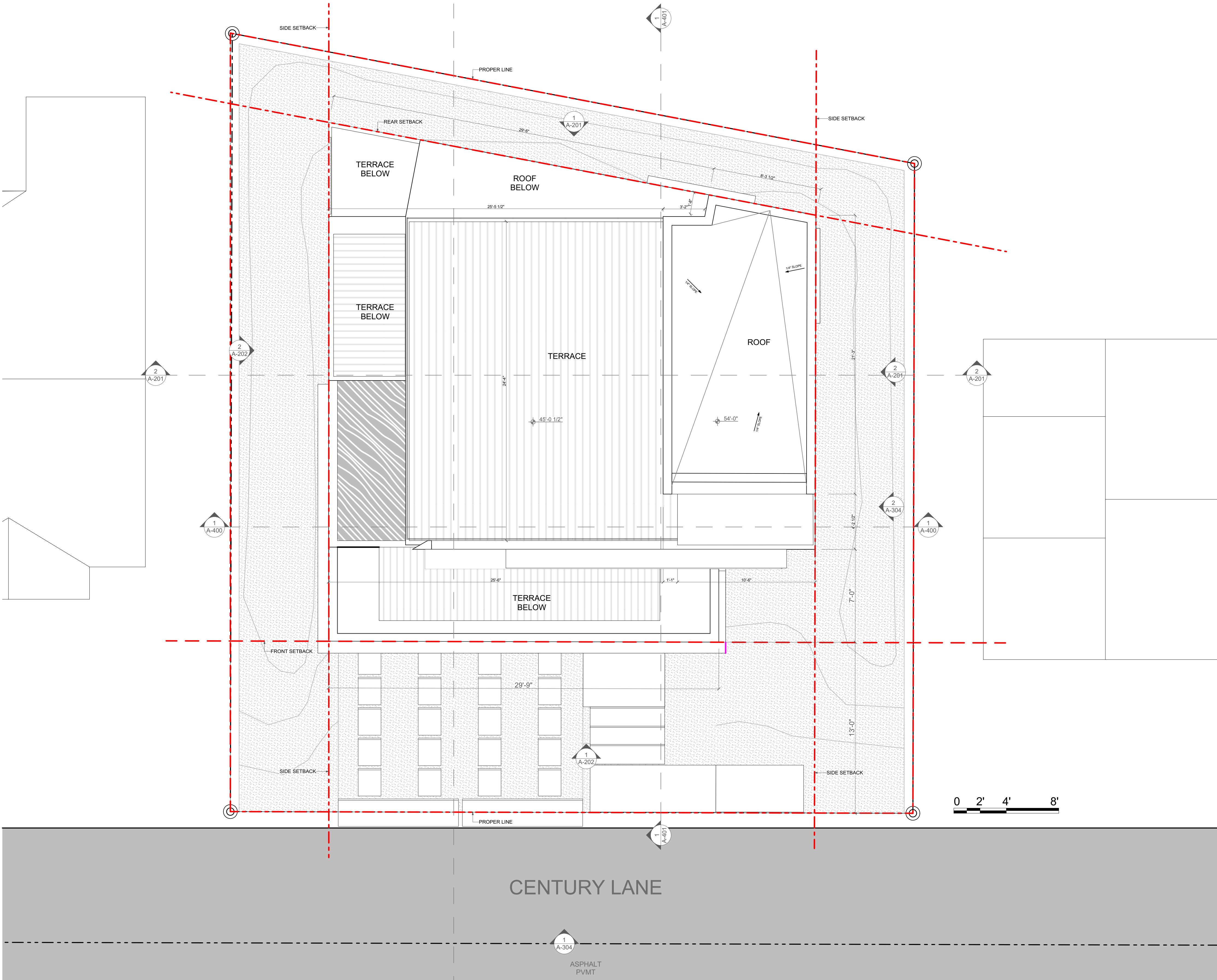
TERRACE LEVEL PLAN

ARCHITECT:
GABRIEL LOPEZ
AR94243

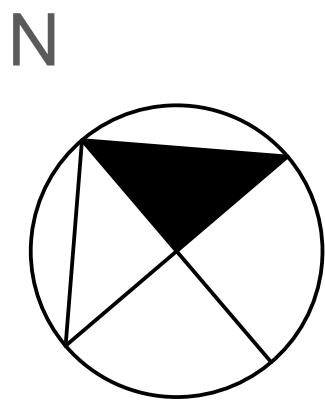
Architectural site plan for a building on Century Lane. The plan shows a rectangular building footprint with various setbacks (Front, Side, Rear) and easements (EYEBROW BELOW). Key features include a BBQ AREA, FIRE PIT, BATHROOM, SHAFT, and ELEVATOR SHAFT. The plan is oriented with Century Lane at the bottom. A scale bar indicates 0, 2, 4, and 8 feet. Section markers 1 A-400, 2 A-201, 2 A-202, and 1 A-304 are shown along the perimeter.

1 TERRACE
1/4" = 1'-0"

$$\overline{1/4'' = 1'-0''}$$



1 ROOF
1/4" = 1'-0"



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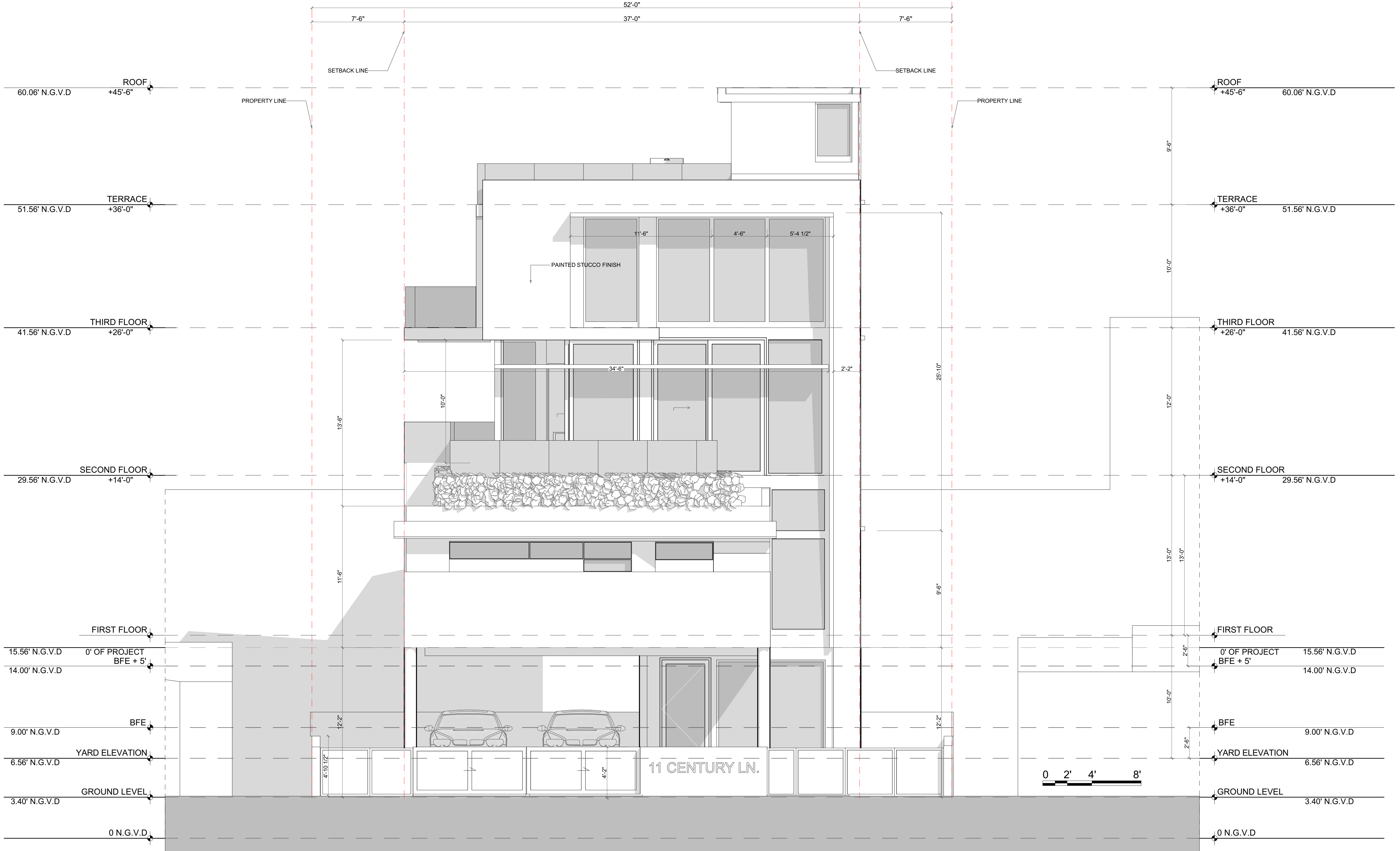
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PROJECT NO : 1901.00
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CHEKED ON :

ROOF LEVEL PLAN

A-206

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1 SOUTH ELEVATION
1/4" = 1'-0"

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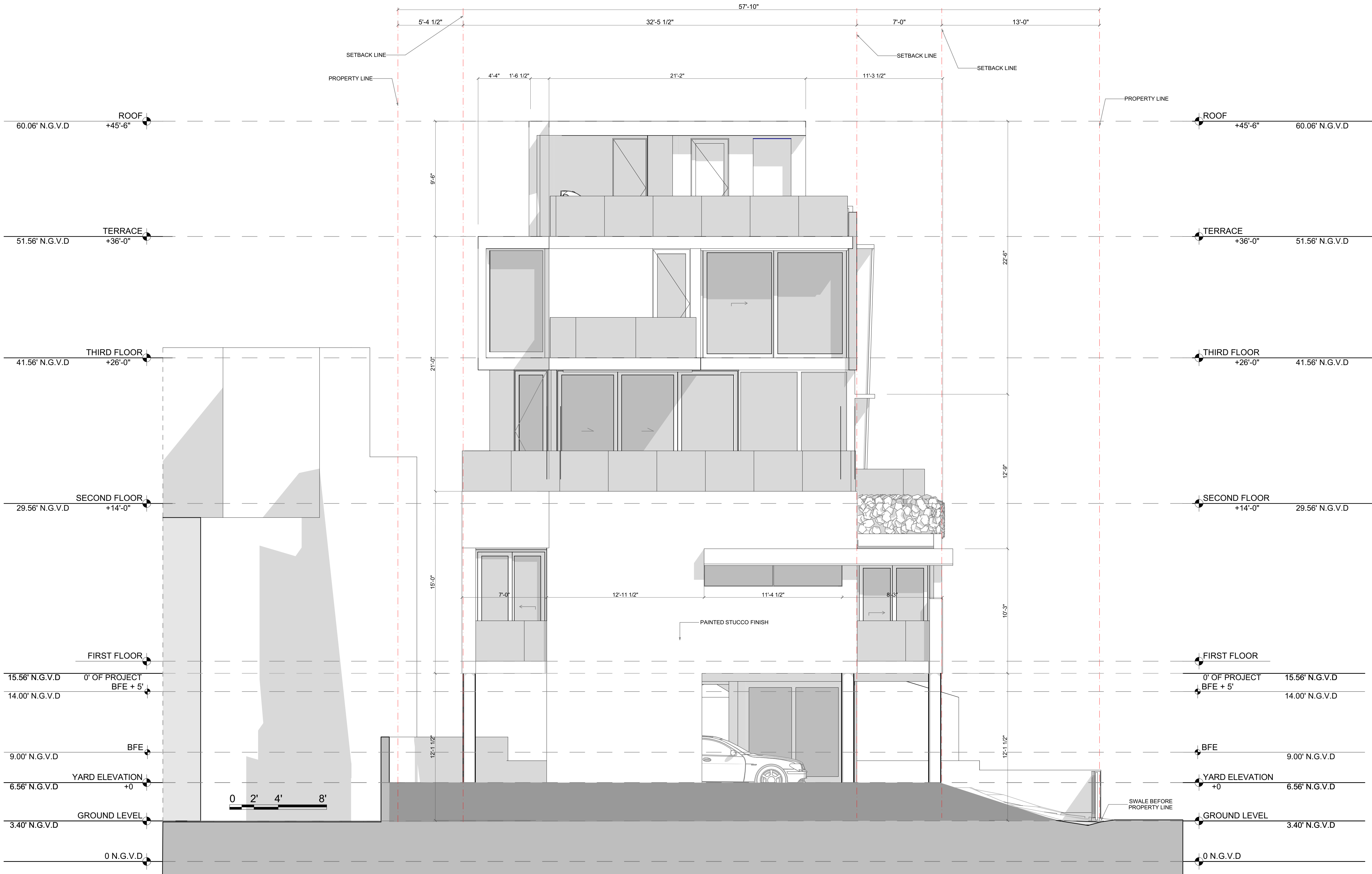
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ELEVATIONS

A-300

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1 WEST ELEVATION
1/4" = 1'-0"

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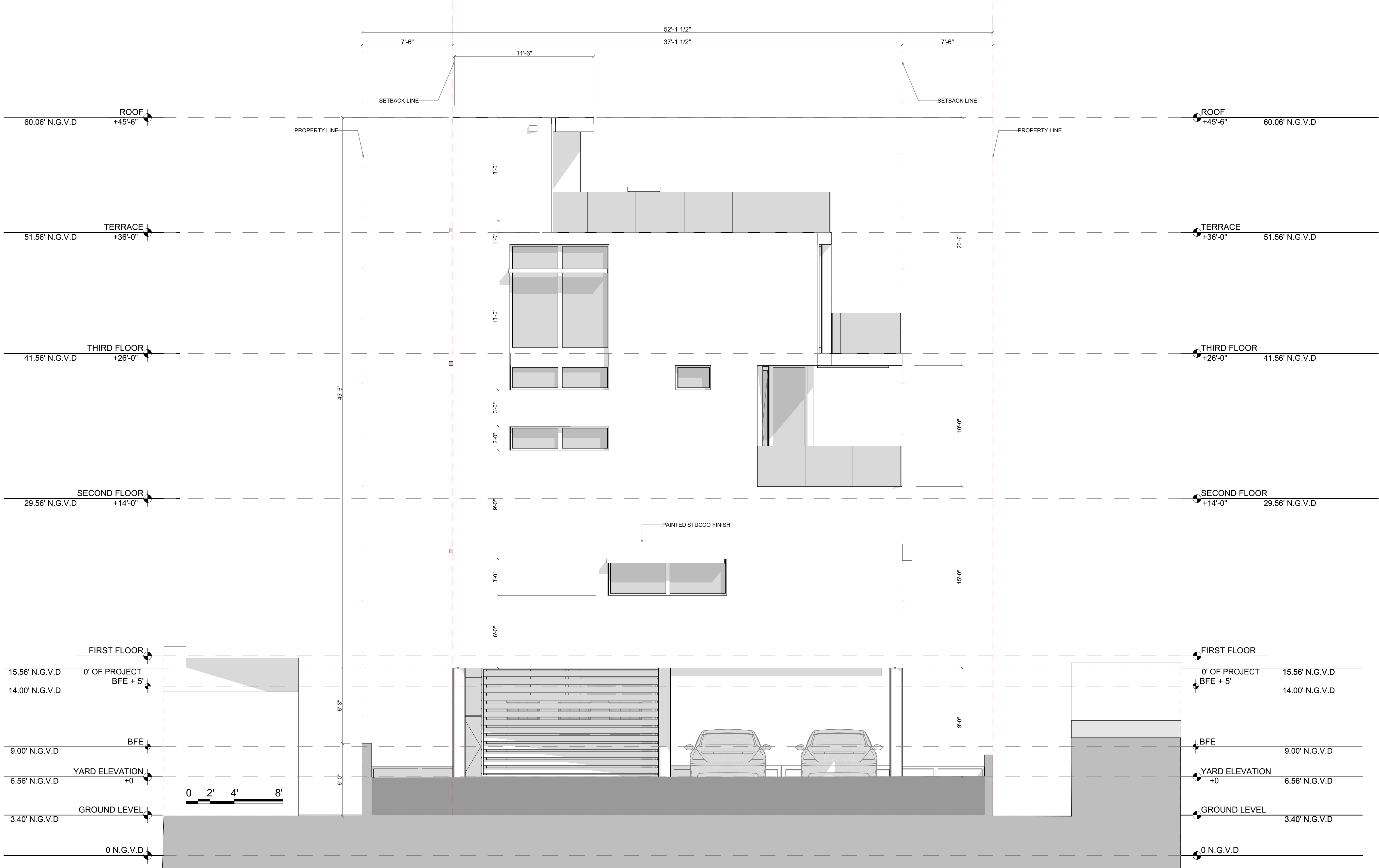
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PHASE	:
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ELEVATIONS

A-301

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1 NORTH ELEVATION
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CHECKED ON	:

ELEVATIONS

A-302

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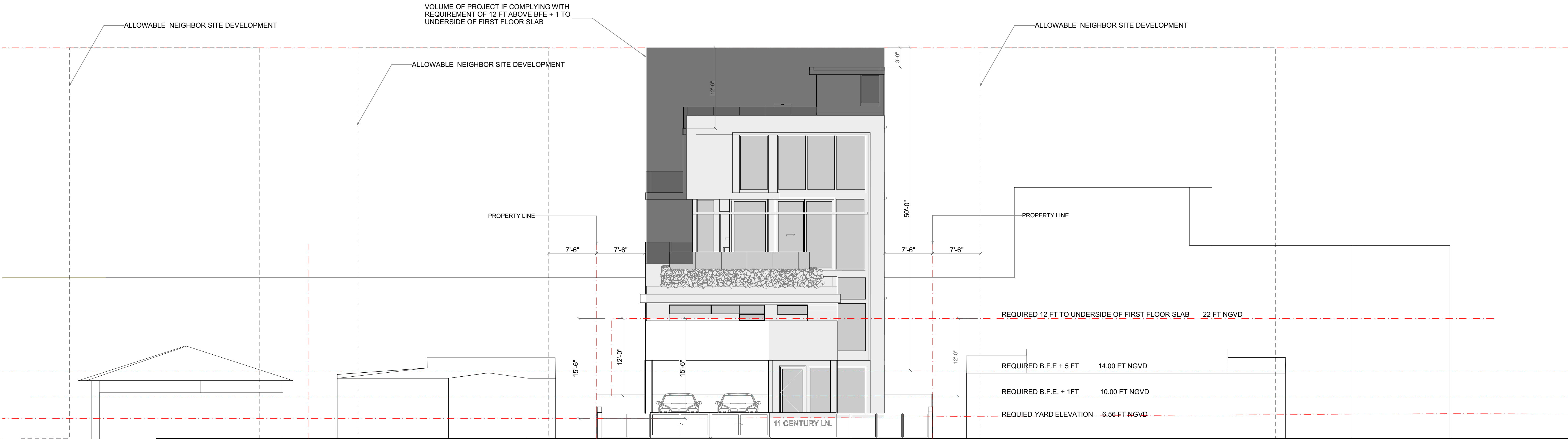
BRIGITTE EVAALFRED LLC
11 Century Lane Miami Beach FL US

MARK	DATE	DESCRIPTION
DRAWING BY :	LUCIA DI GAICOMO	
SCALE :		
DATE :	7/5/2019	
PROJECT NO :	1901.00	
PHASE :	CONST. DOCS.	
CHECKED BY :		
CHECKED ON :		

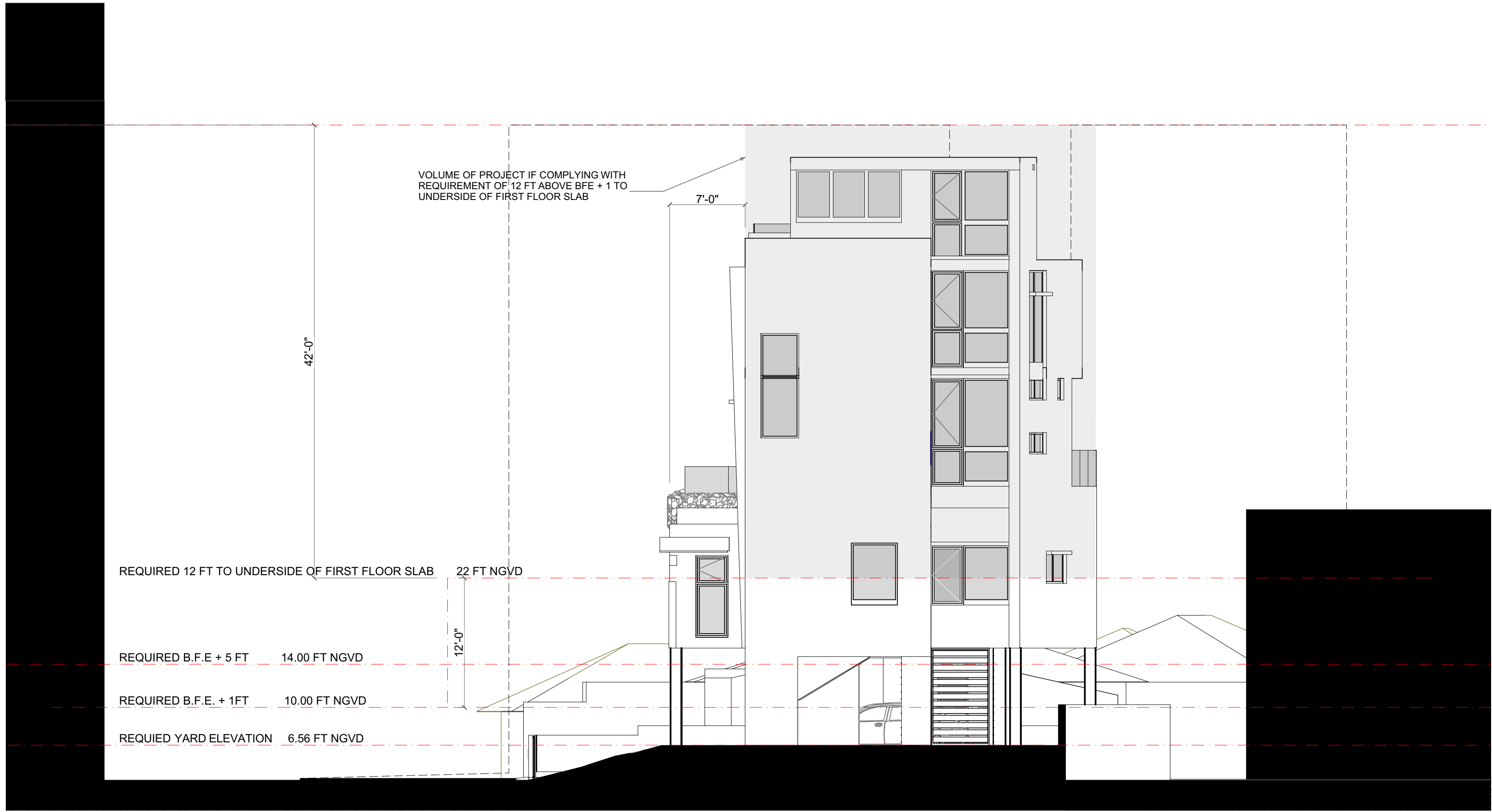
A-303

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1 Context Elevation
1/8" = 1'-0"



2 Context Section
1/8" = 1'-0"

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CONSULTANTS

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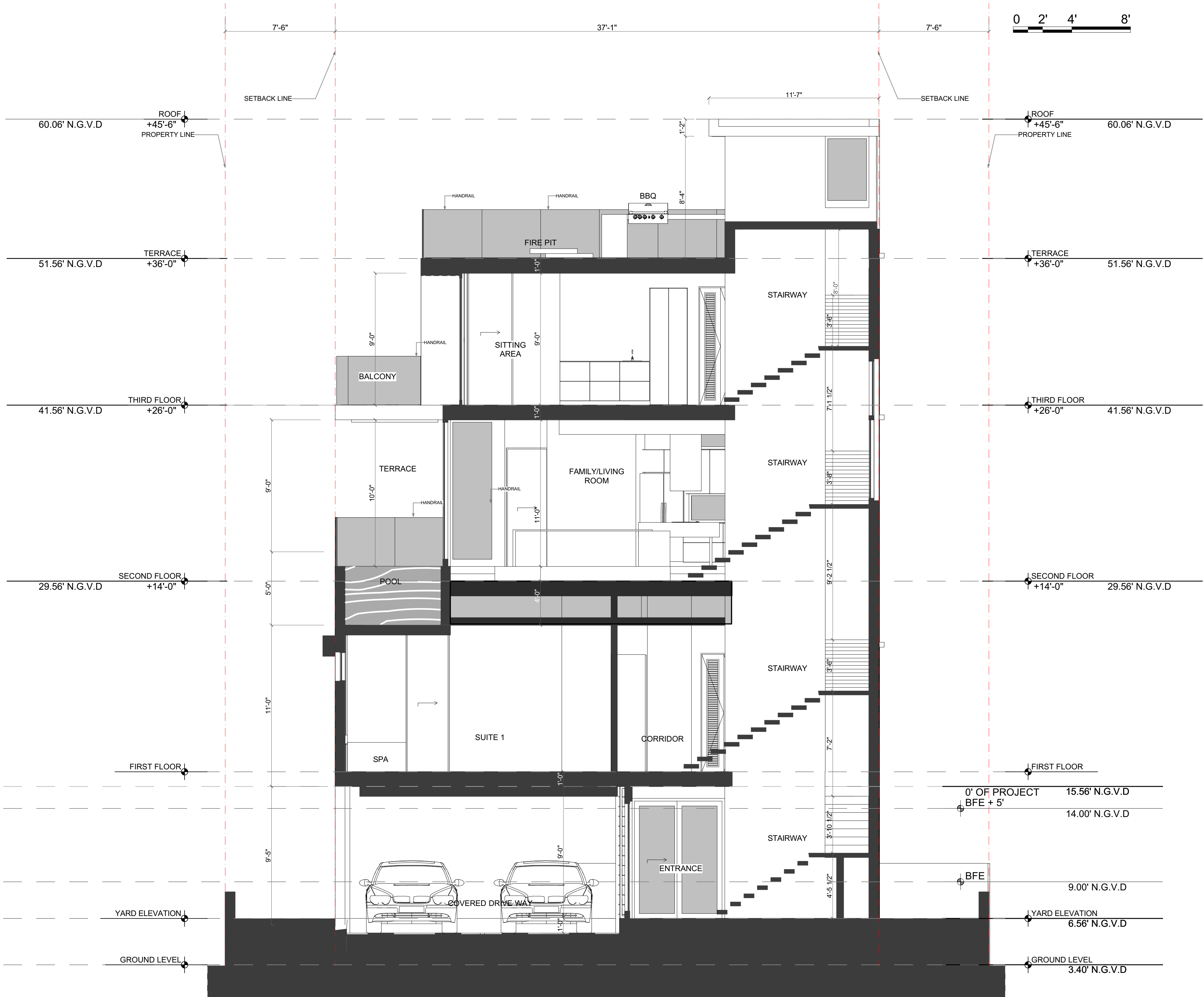
DRAWING BY : LUCA DI GAICOMO
SCALE :
DATE : 7/5/2019
PROJECT NO : 1901.00
PHASE : CONST. DOCS.
CHEKED BY :
CHEKED ON :

ELEVATIONS

A-304

ARCHITECT:
GABRIEL LOPEZ
AR94243

USE DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. IF THERE IS ANY DISCREPANCY IN THE DRAWINGS, PLEASE CONTACT THE ARCHITECT



1 SOUTH SECTION
1/4" = 1'-0"

GABRIEL LOPEZ ARCHITECT, PA
AA26001622
PLANNING, ARCHITECTURE, INTERIOR DESIGN
TEL 786 391 1989
info@gabriellopezarchitect.com
2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL
BRIGITE EVAALFRED LLC
11 Century Lane Miami Beach FL US

CONSULTANTS

MARK	DATE	DESCRIPTION

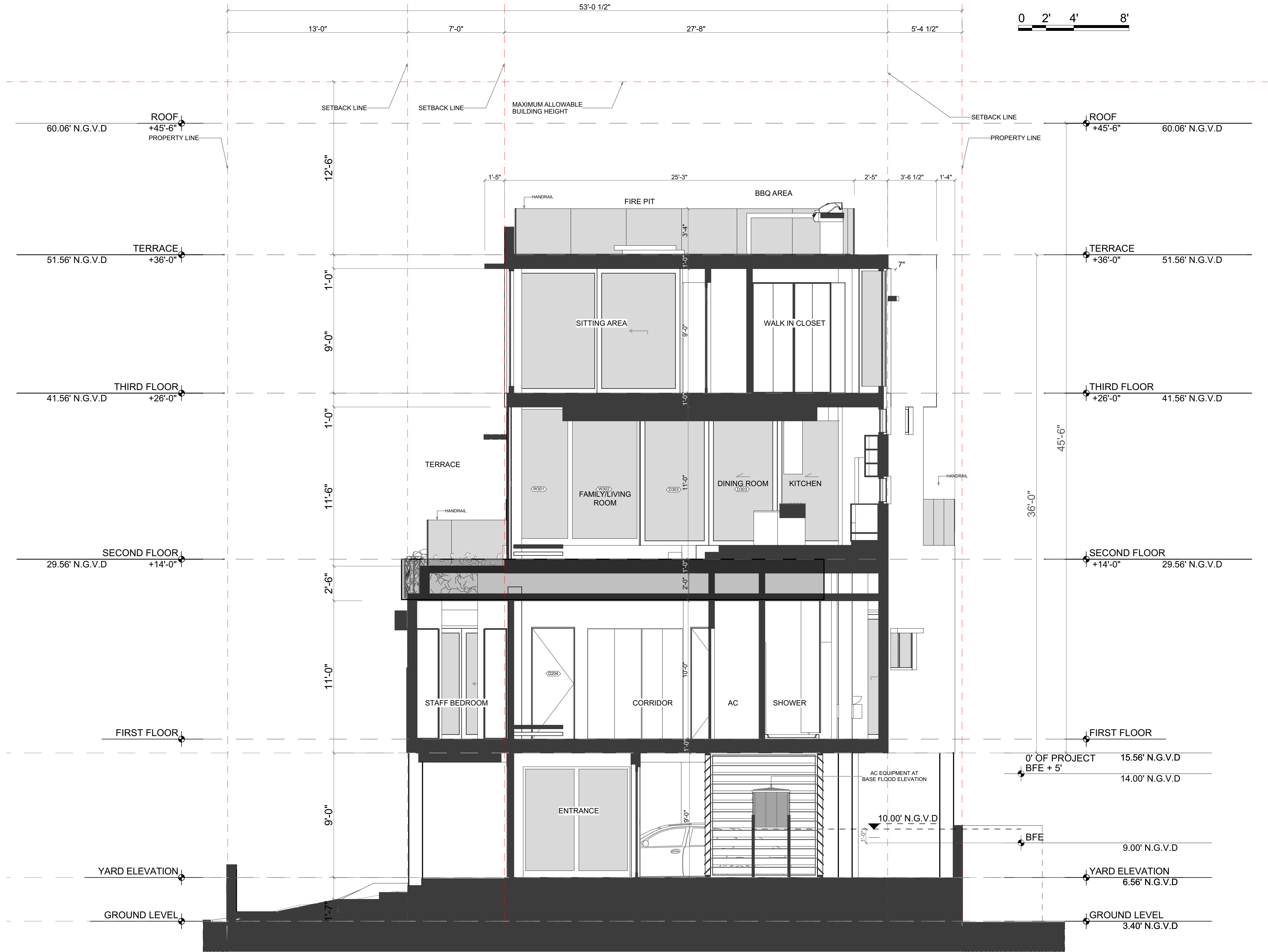
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SCALE	: 1/4" = 1'-0"
DATE	: 7/5/2019
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PHASE	: CONST. DOCS.
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CHEKED ON	:

SECTIONS

A-400

ARCHITECT:
GABRIEL LOPEZ
AR94243

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1 EAST SECTION
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11 Century Lane Miami Beach FL US

CONSULTANTS

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CHEKED ON :

SECTIONS

A-401

ARCHITECT:
GABRIEL LOPEZ
AR94243

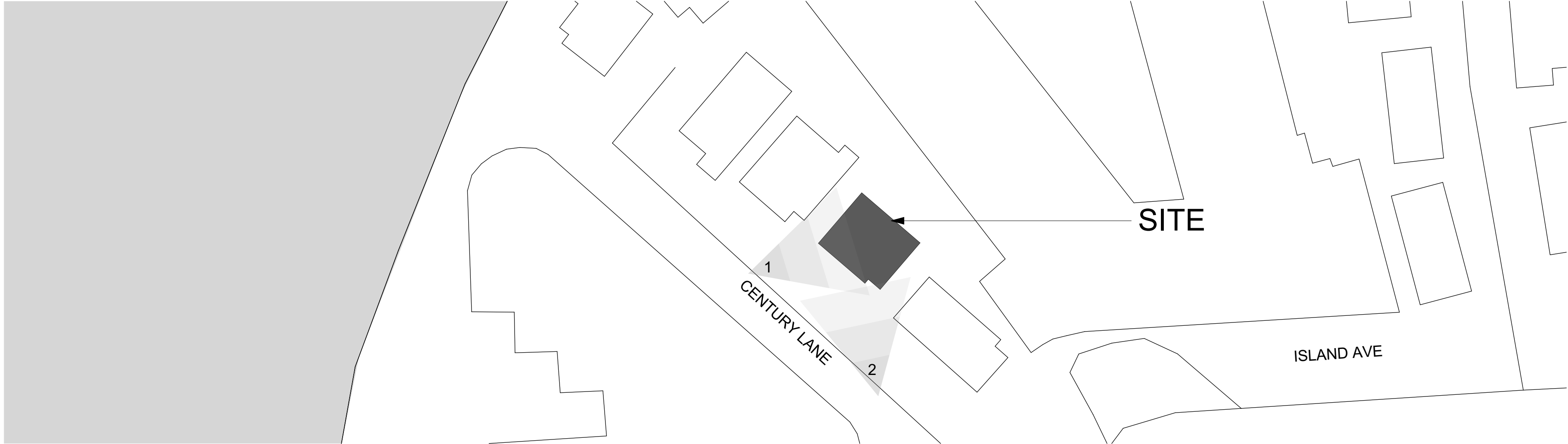
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1



2



SITE LOCATION DIAGRAM

GABRIEL LOPEZ ARCHITECT, PA
AA26001622
PLANNING, ARCHITECTURE, INTERIOR DESIGN
TEL 786 391 1989
info@gabriellopezarchitect.com
2100 CORAL WAY, SUITE 600, MIAMI, FL, 33145

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL
BRIGITTE EVAALFRED LLC
11 Century Lane Miami Beach FL US

CONSULTANTS

MARK	DATE	DESCRIPTION

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SCALE :
DATE : 7/5/2019
PROJECT NO : 1901.00
PHASE : CONST. DOCS.
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CHEKED ON :

CONTEXT

A-700

ARCHITECT:
GABRIEL LOPEZ
AR94243

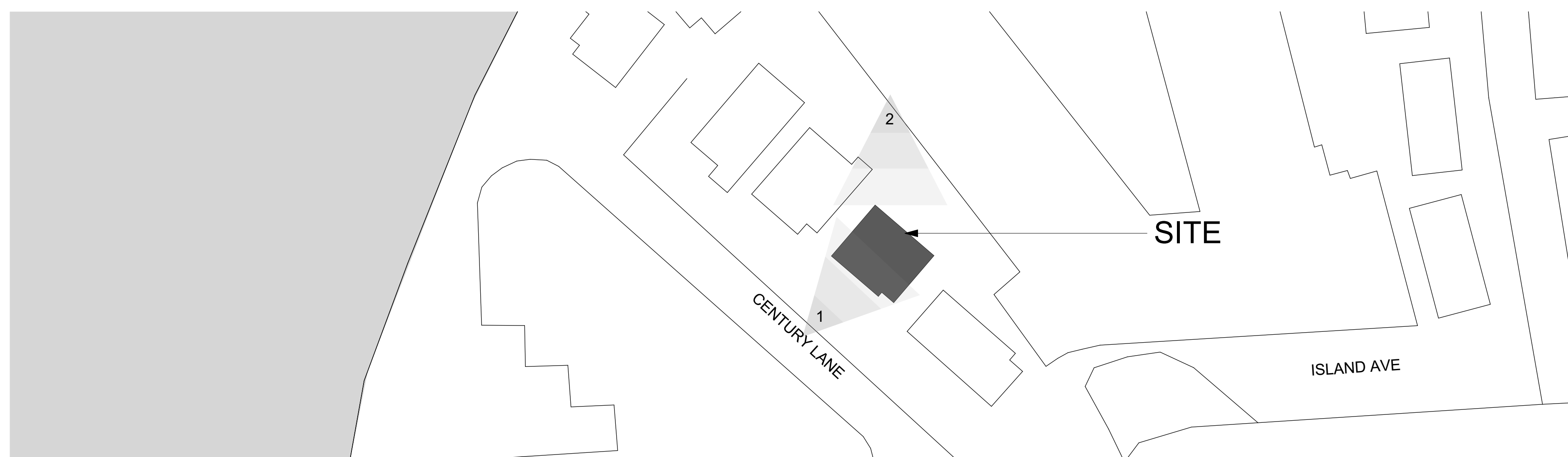
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1



2



SITE LOCATION DIAGRAM

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL

BRIGITTE EVAALFRED LLC
11 Century Lane Miami Beach FL US

CONSULTANTS

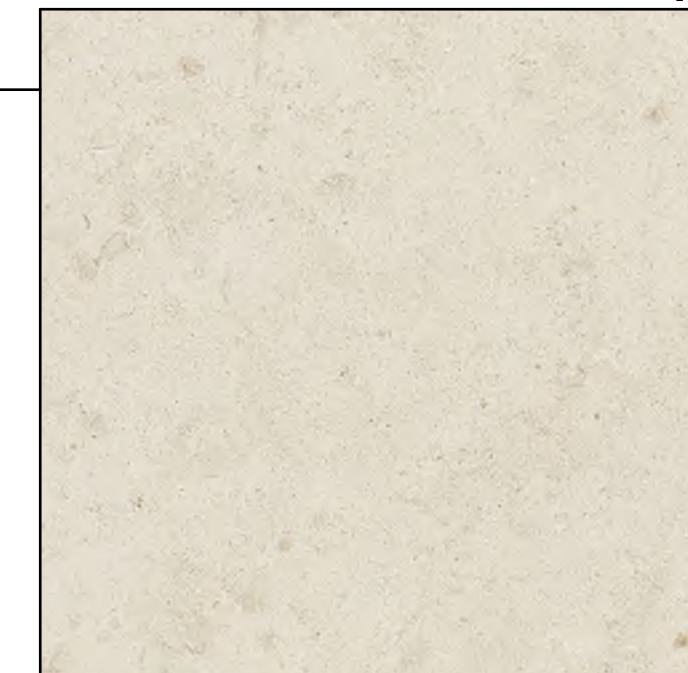
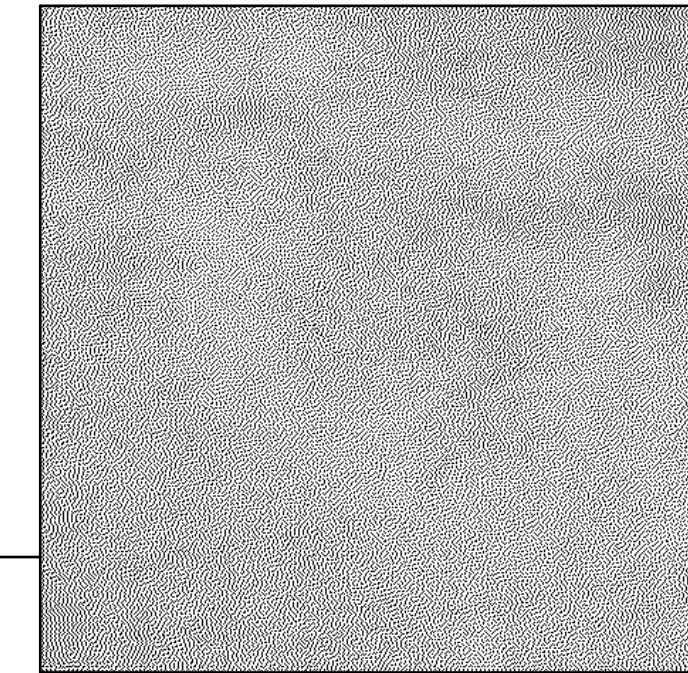
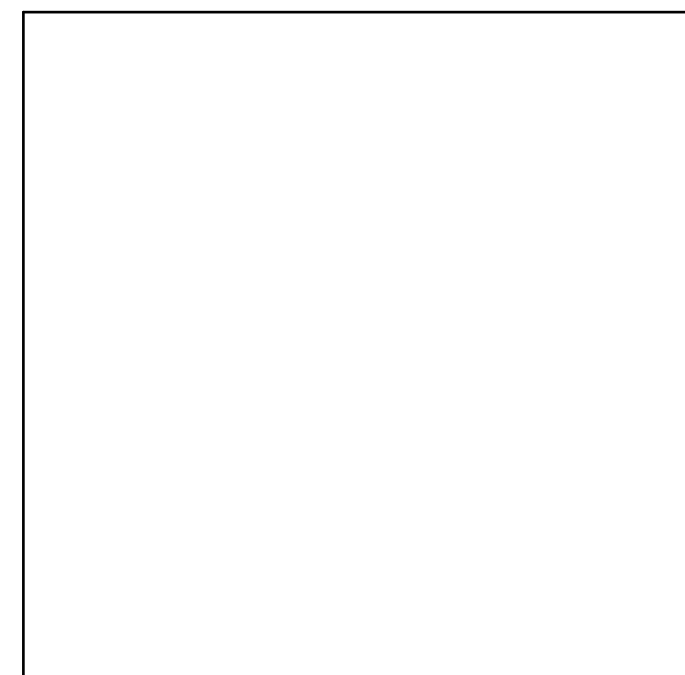
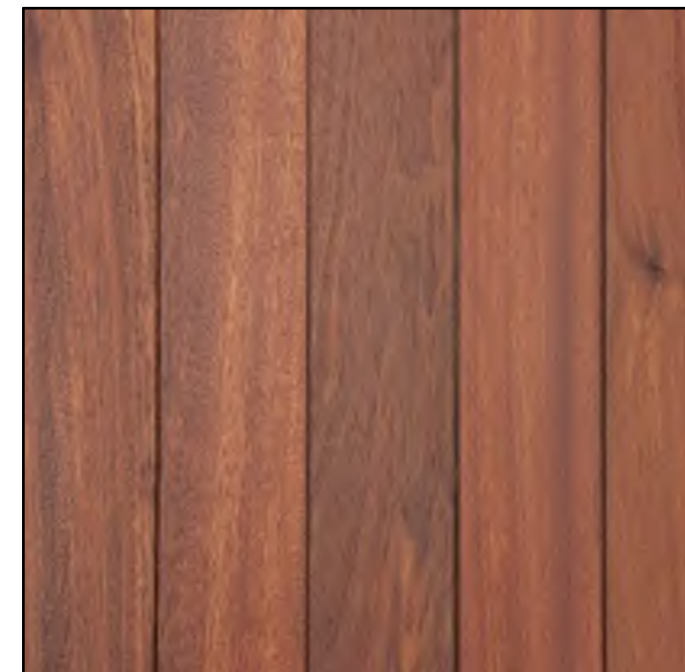
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SCALE	:	
DATE	:	7/5/2019
PROJECT NO	:	1901.00
PHASE	:	CONST. DOCS.
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CONTEXT

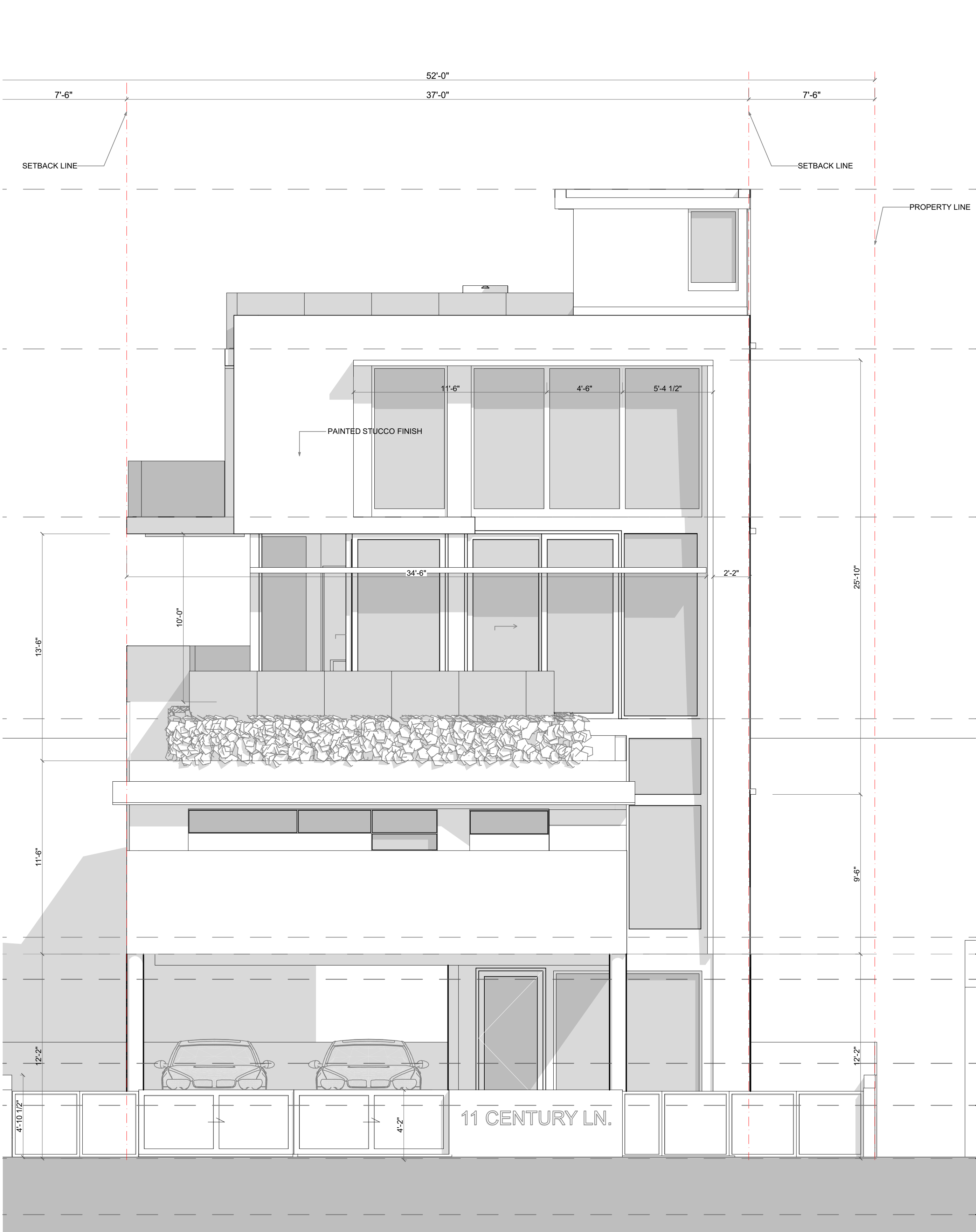
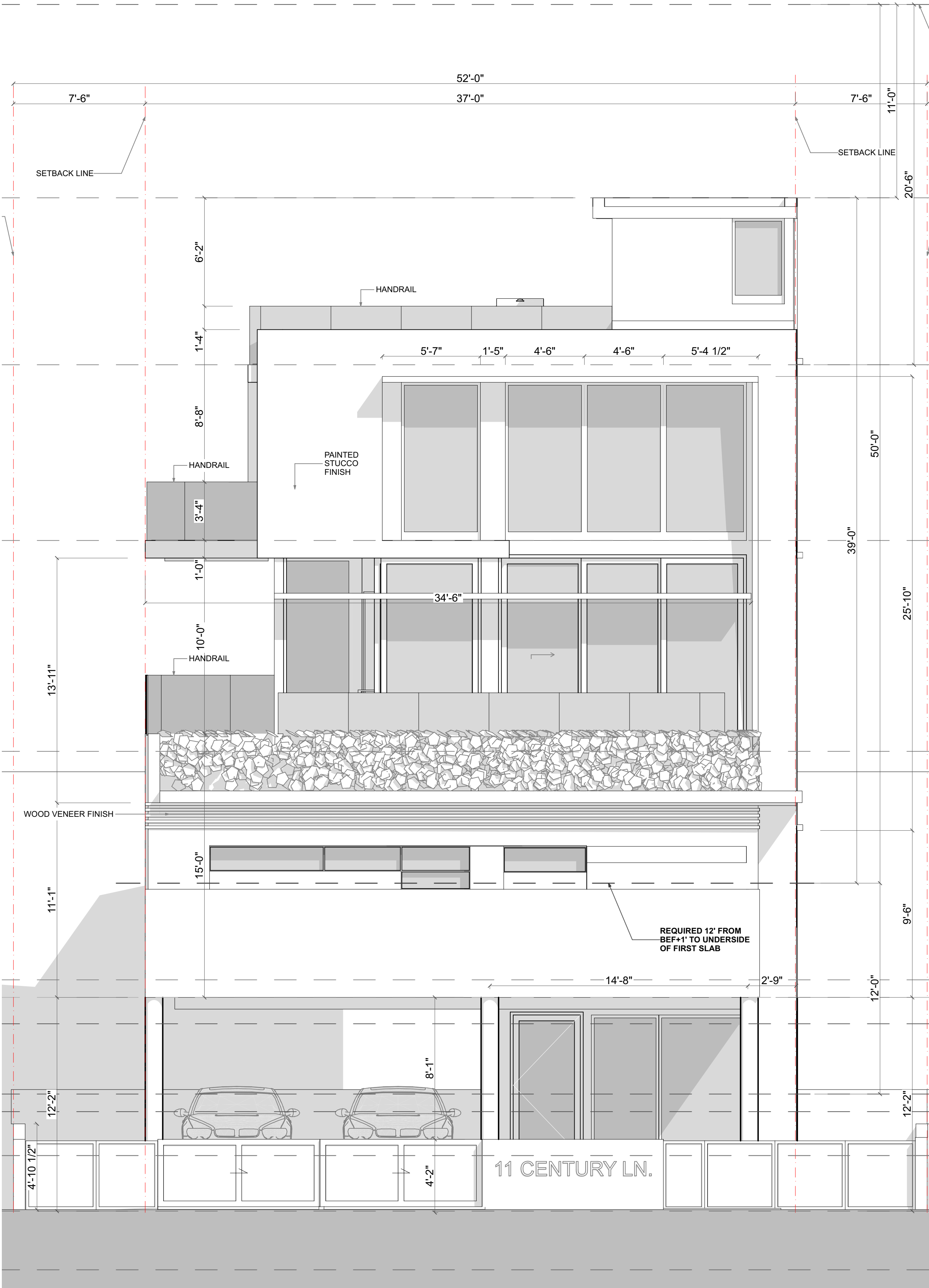
A-701

ARCHITECT:
GABRIEL LOPEZ
AR94243



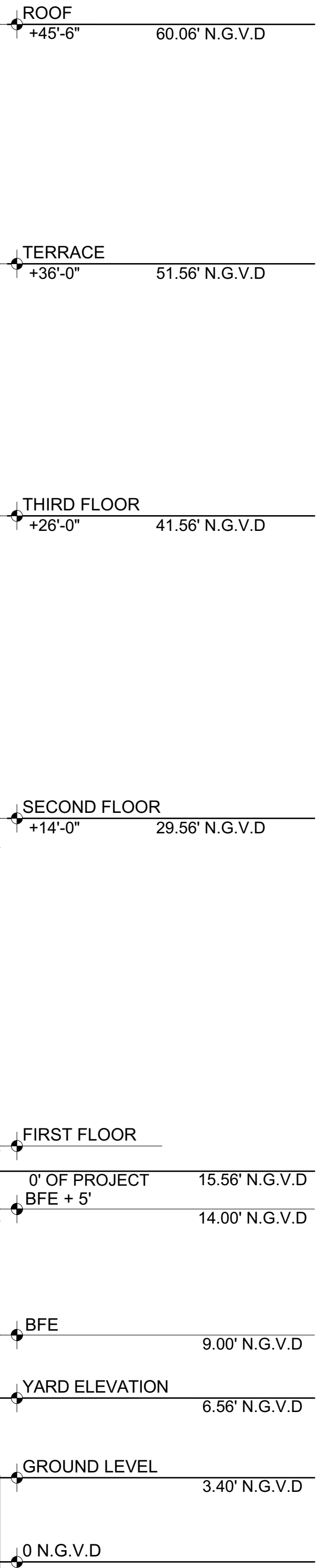
PROPOSED MATERIAL PALETTE

DESCRIPTION		APPLICATION
1	IPE WOOD FINISH	EXTERIOR CEILING MATERIAL
2	SMOOTH WHITE STUCCO FINISH	EXTERIOR WALL MATERIAL
3	MATE SILVER METAL	WINDOW & DOOR FRAMES
4	EXPOSED CONCRETE FINISH	FRONT FACADE MATERIAL
5	DECORATIVE STONE	FRONT FACADE MATERIAL



NEW PROPOSAL

SCALE: 1/4" = 1'-0"



USE DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. IF THERE IS ANY DISCREPANCY IN THE DRAWINGS, PLEASE CONTACT THE ARCHITECT

11 CENTURY LN.
SINGLE FAMILY RESIDENTIAL
BRIGITTE EVAALFRED LLC
11 Century Lane Miami Beach FL US

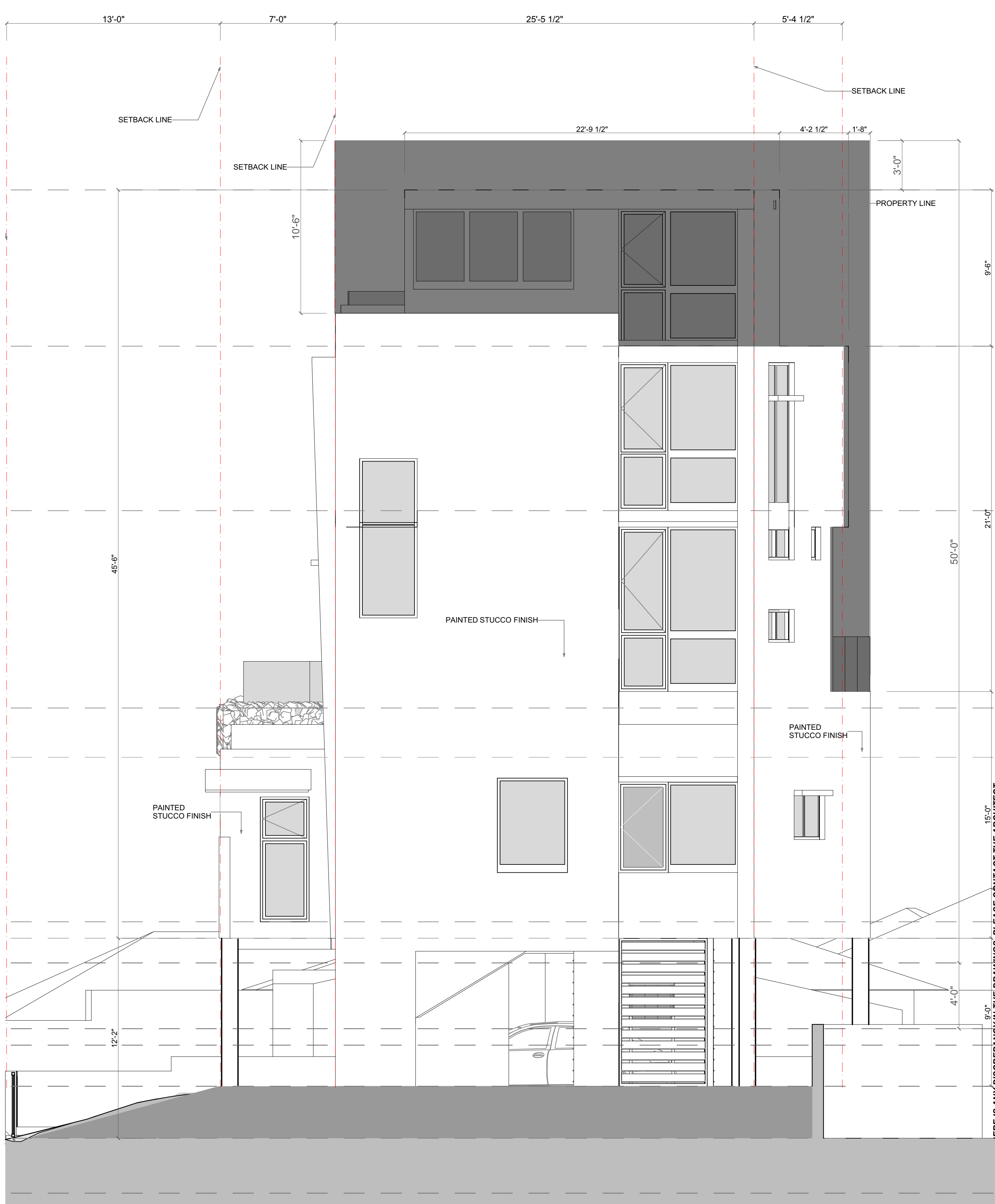
CONSULTANTS

MARK	DATE	DESCRIPTION

DRAWING BY	: LUCA DI GAICOMO
SCALE	: 1/4" = 1'-0"
DATE	: 7/5/2019
PROJECT NO	: 1901.00
PHASE	: CONST. DOCS.
CHECKED BY	:
CHECKED ON	:

PREVIOUS - NEW 1

A-703



SCALE: 1/4" = 1'-0"

ARCHITECT:
GABRIEL LOPEZ
AR94243

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS
Zoning District: RM-1 Lot Area 2,829 S.F. Acres 0.064

OPEN SPACE

	REQUIRED/ ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = 2,829 s.f. x 50 % = 1,415 s.f.	1,415	1,555
B. Square feet of parking lot open space required as indicated on site Number of parking spaces _____ x 10 s.f. parking space =	N/A	N/A
C. Total square feet of landscaped open space required: A+B=	1,415	1,555

LAWN AREA CALCULATION

A. Square feet of landscaped open space required	1,415	1,555
B. Maximum lawn area (sod) permitted= 50 % x 1,555 s.f.	778	2,861

TREES

A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=		
_____ trees x _____ net lot acres - number of existing trees=	2	2
B. % Natives required: Number of trees provided x 30% =	1	2
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	1	2
D. Street Trees (maximum average spacing of 20' o.c.) _____ linear feet along street divided by 20'=	3	3
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): _____ linear feet along street divided by 20'=	N/A	N/A

SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12=	60	443
B. % Native shrubs required: Number of shrubs provided x 50%=	222	301

LARGE SHRUBS OR SMALL TREES

A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	6	54
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	1	6

PLANTLIST

TREES & PALMS

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
6	CC*	Capparis cynophallophora	Jamaican Caper	25 gal, 8' ht
2	CS*	Conocarpus erectus 'sericeus'	Silver Buttonwood	12' ht, 2" cal
1	DC	Dyopsis cabadae	Cabada Palm	14' oa ht, triple
1	QV*	Quercus virginiana 'high rise'	High Rise Live Oak	16' ht, 8' spr, 4" cal
2	CR*	Clusia rosea	Clusia	12' ht, 2" cal

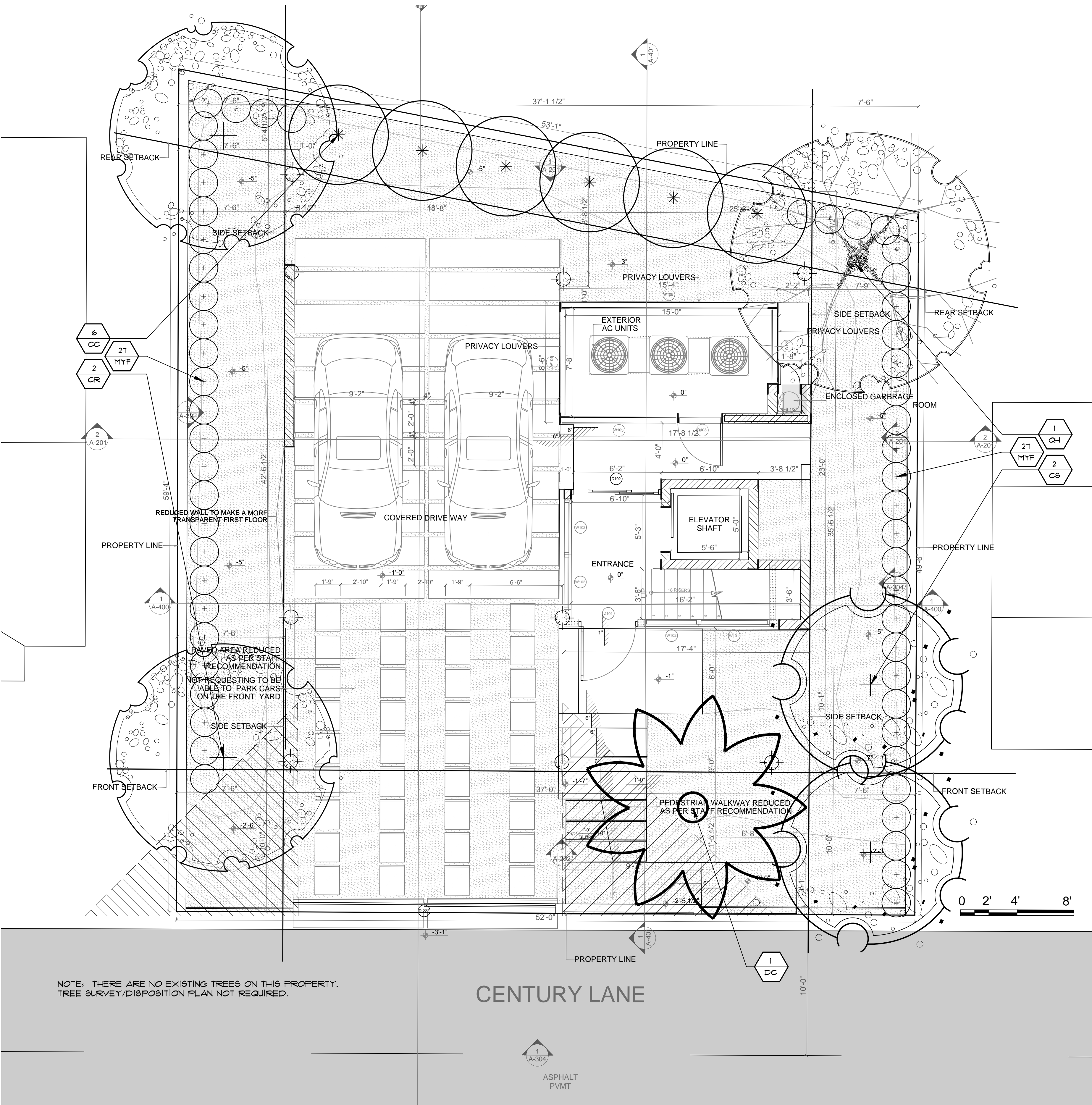
SHRUBS & GROUNDCOVERS

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
54	MYF*	Myrciathes fragrans	Simpson Stopper	3 gal, 24" ht

* Denotes Native Species

NOTE:

- REFER TO ARCHITECTURAL PLANS FOR PROPOSED UTILITIES. SHOULD LANDSCAPE INTERFERE WITH PROPOSED UTILITIES CONTACT THE LANDSCAPE ARCHITECT TO FIELD ADJUST PROPOSED LANDSCAPE.
- SHOULD PROPOSED UTILITIES INTERFERE WITH EXISTING ROOTS, CONTACT THE LANDSCAPE ARCHITECT. UTILITIES NEED TO BE READJUSTED IN ORDER TO AVOID ANY EXISTING ROOTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW TREES AND PALMS FOR A PERIOD OF 1-YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- ALL GUYING AND STAKING SHALL BE REMOVED FROM ALL TREES AND PALMS WITHIN TWELVE MONTHS AFTER PLANTING. EXCEPTIONS REQUIRE WRITTEN AUTHORIZATION FROM THE CITY URBAN FORESTER.
- A FINAL ONSITE INSPECTION SHALL BE REQUIRED WITH URBAN FORESTRY STAFF PRIOR TO ANY OFFICIAL ACCEPTANCE OF ROW PLANT MATERIAL IN ORDER TO VERIFY PROPER PLANTING DEPTH, SPACING AND QUALITY OF MATERIAL. FAILURE TO CONDUCT THE INSPECTION COULD RESULT IN REJECTION OF THE PLANT MATERIAL.



REVISIONS

4/3/19 CITY COMMENTS
6/6/19 SITE PLAN

LANDSCAPE PLAN

NEW RESIDENCE
11 CENTURY LANE
MIAMI BEACH, FLORIDA

Diego Vanderbiest
6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001

SEAL

DIEGO J. VANDERBIEST
FLA 16661395

DRAWN

DV

DATE

3/17/19

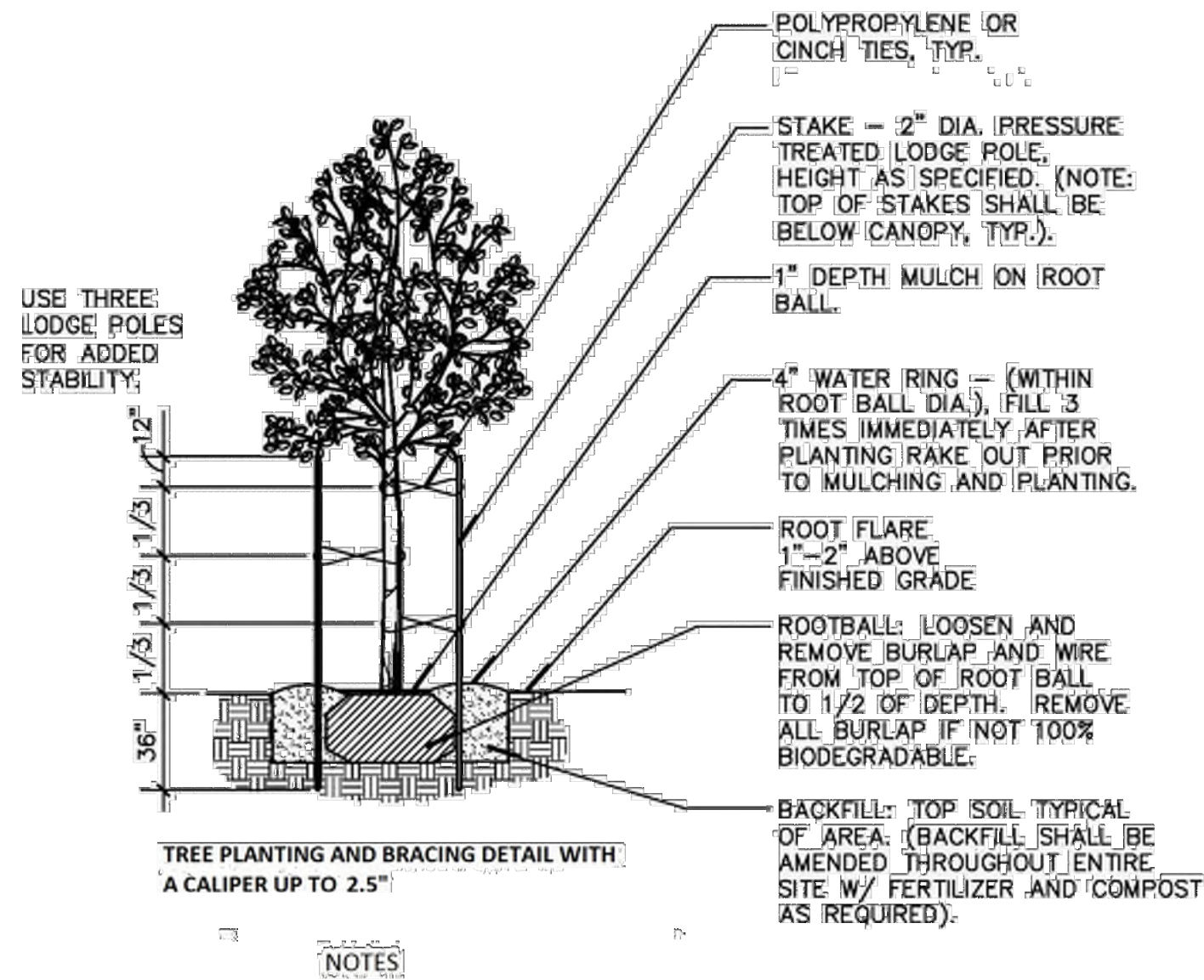
SCALE

1/4" = 1' - 0"

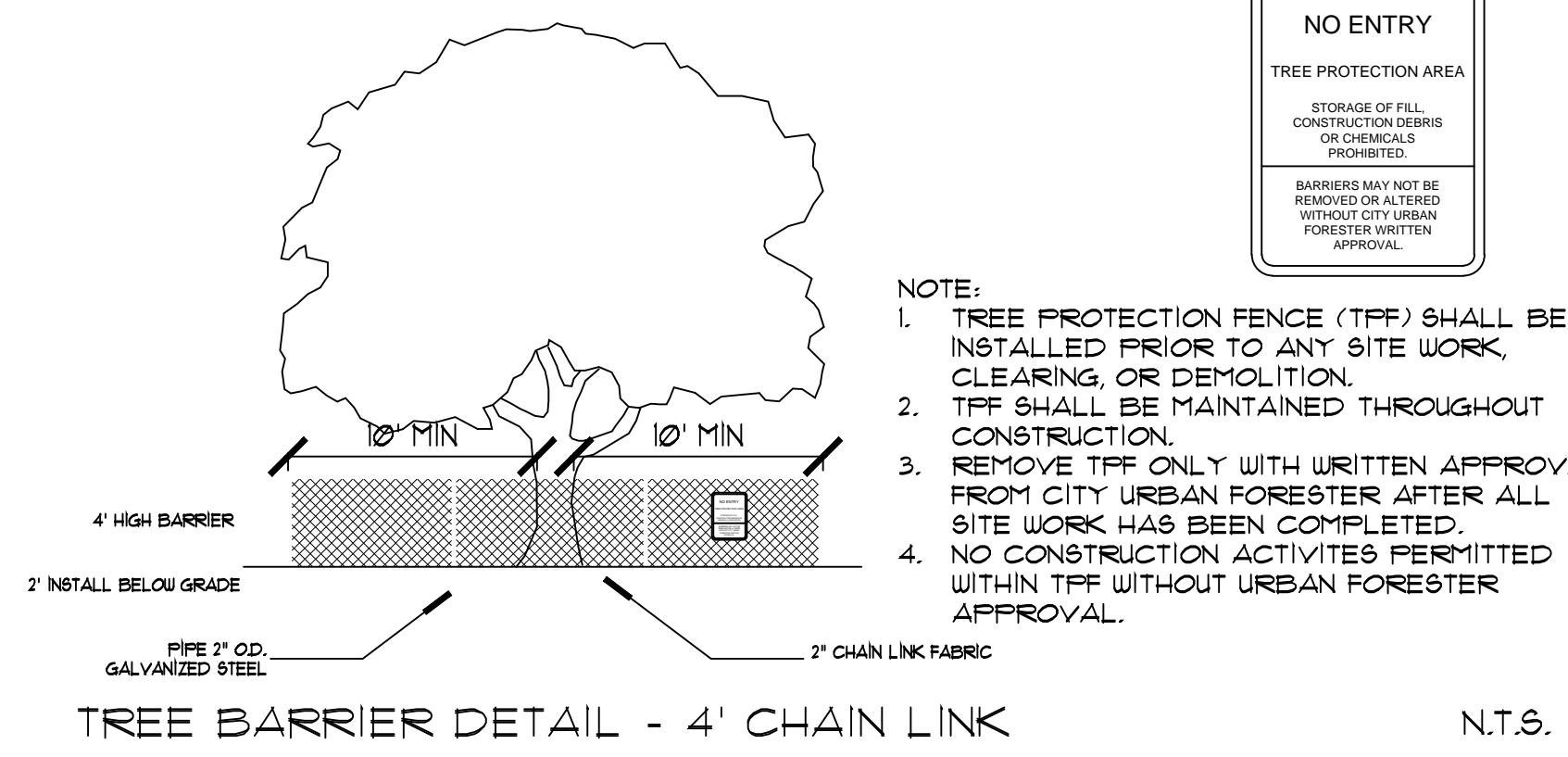
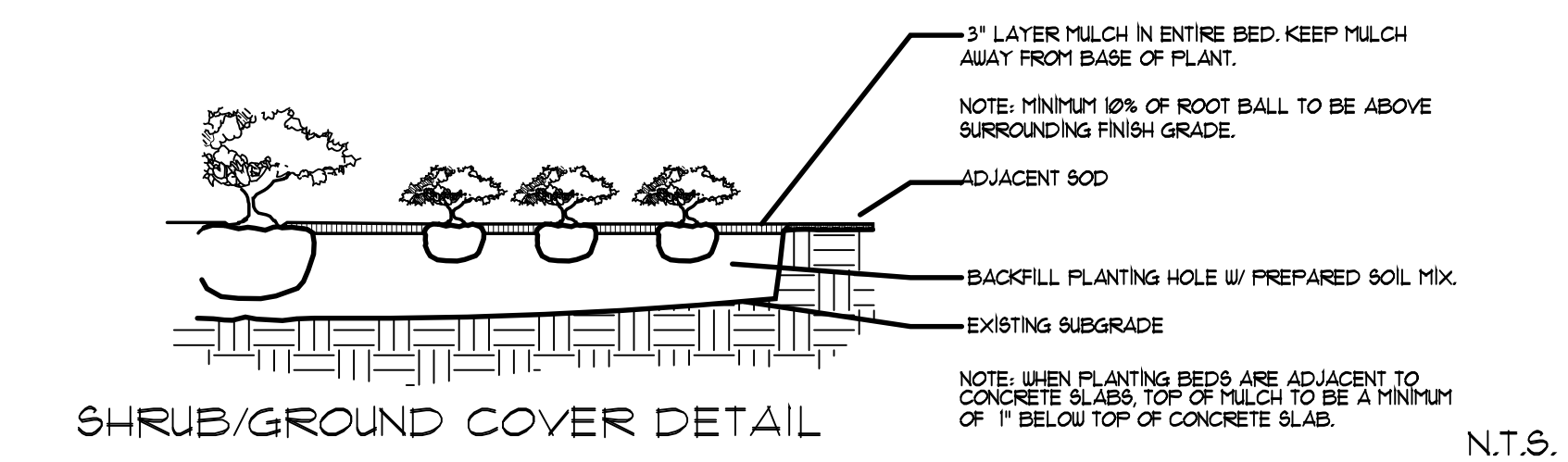
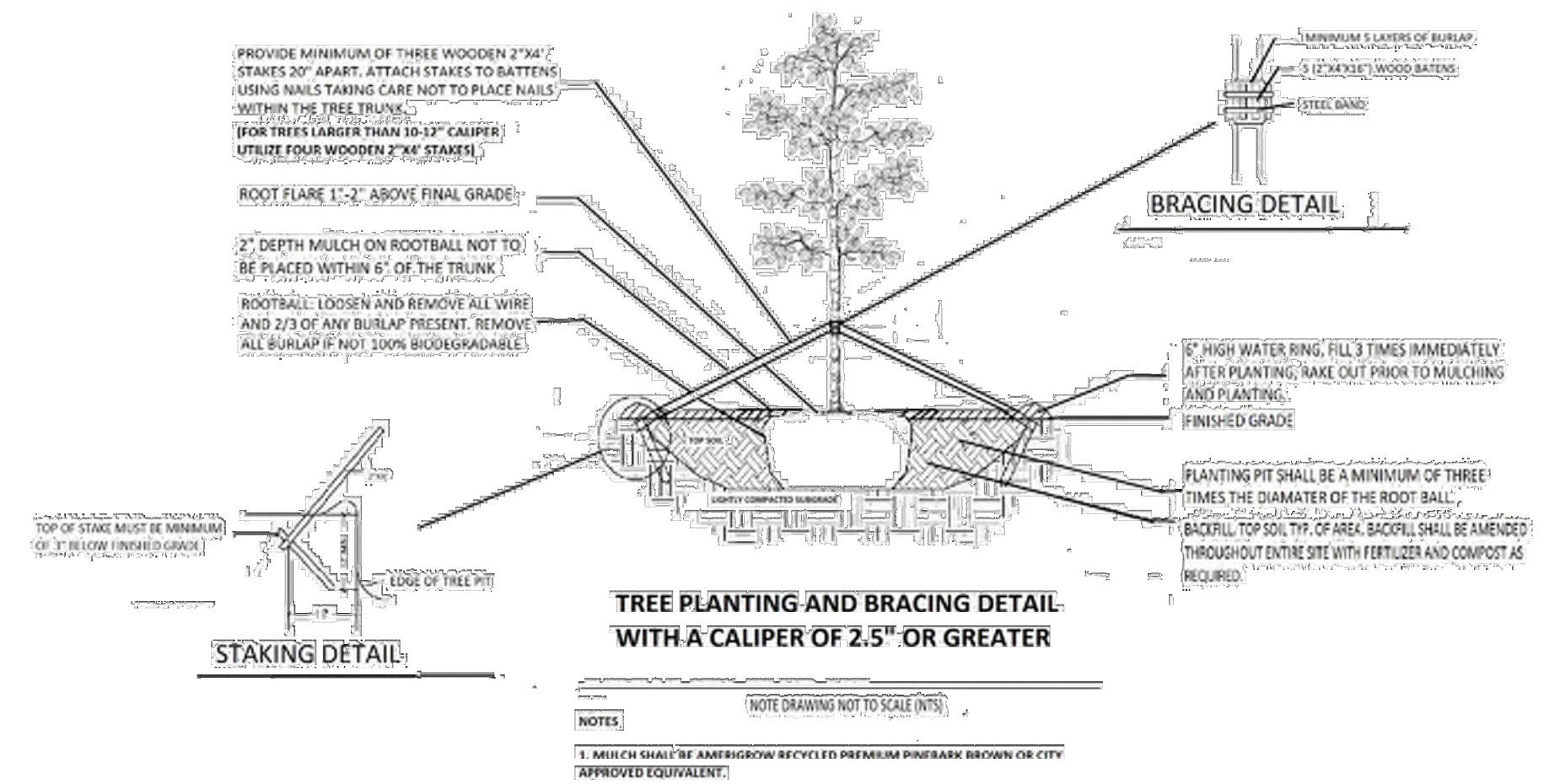
SHEET

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OF - SHEETS

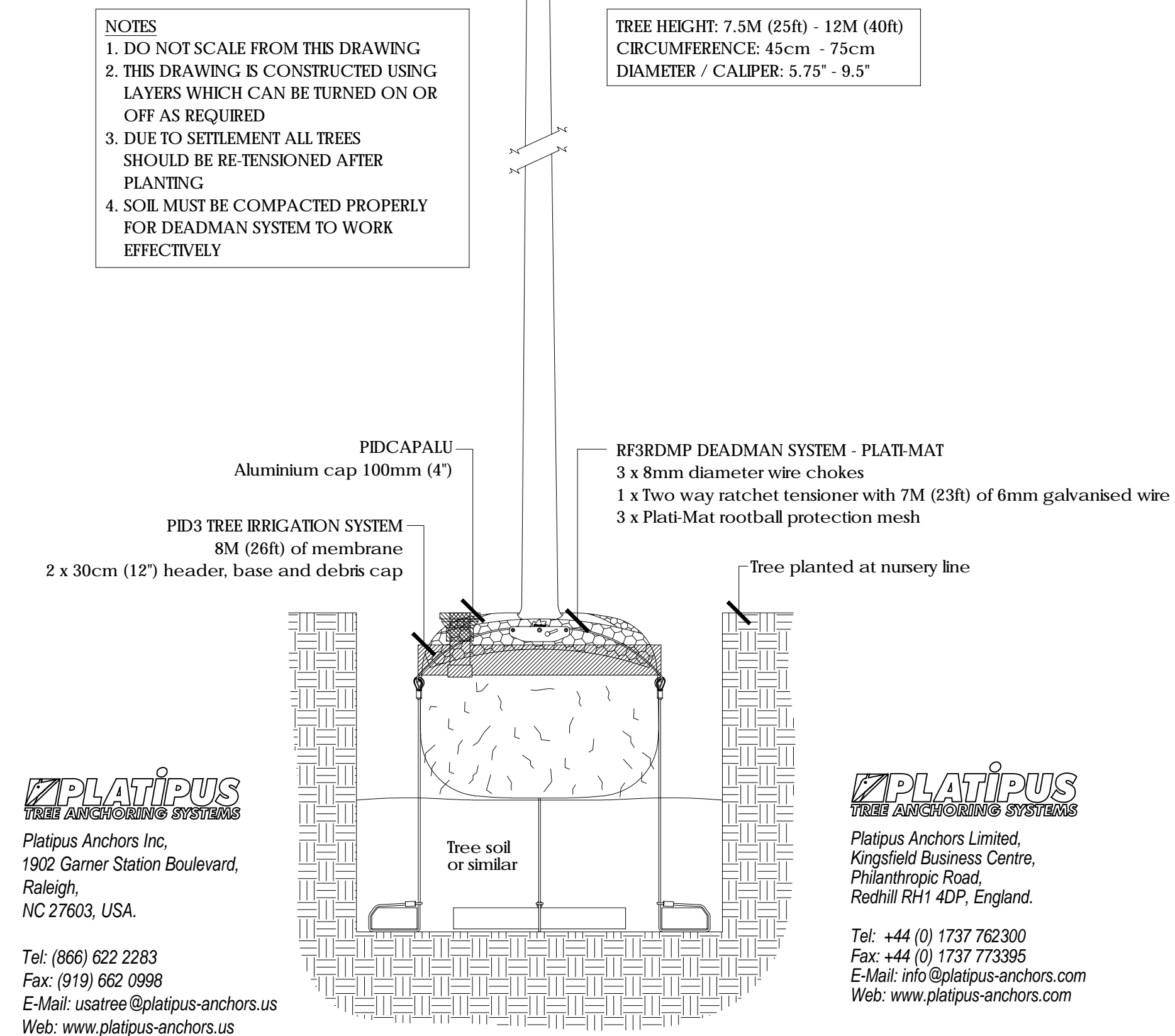
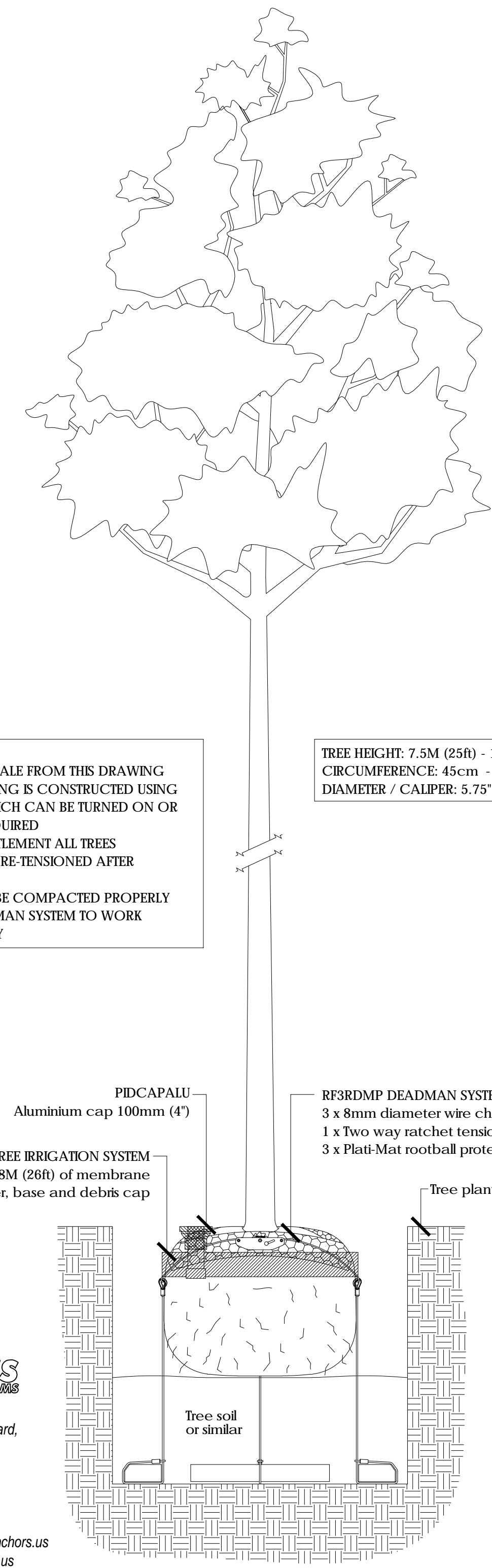


- NOTES
- 1. MULCH SHALL BE AMERIGROW RECYCLED PREMIUM PINEBARK BROWN OR CITY APPROVED EQUIVALENT.
 - 2. DO NOT APPLY MULCH WITHIN 6" OF THE TREE TRUNK



- PLANT NOTES
1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
 2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
 3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
 4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
 5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
 6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
 7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONE'S OWN QUANTITY COUNTS PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
 8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
 10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

- NOTE:
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PLATIPUS
TREE ANCHORING SYSTEMS

Platipus Anchors Inc,
1902 Garner Station Boulevard,
Raleigh,
NC 27603, USA.

Tel: (866) 622 2283
Fax: (919) 662 0998
E-Mail: usatree@platipus-anchors.us
Web: www.platipus-anchors.us

PLATIPUS
TREE ANCHORING SYSTEMS

Platipus Anchors Limited,
Kingsfield Business Centre,
Philanthropic Road,
Redhill RH1 4DP, England.

Tel: +44 (0) 1737 762300
Fax: +44 (0) 1737 773395
E-Mail: info@platipus-anchors.com
Web: www.platipus-anchors.com

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REVISIONS

4/3/19 CITY COMMENTS

LANDSCAPE PLAN

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SCALE
N.T.S.

SHEET
LA=2

OF - SHEETS

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SEAL