

6618 COLLINS AVENUE

STOREFRONT RENOVATION

6618 Collins Avenue
Miami, Florida 33141



Project Number: 16316

DRB Final Submittal
06.27.2019

Project Team

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Project Information

DEMOLITION OF THE EXISTING ENTRY STOREFRONT, CONCRETE BEAM AND SOLID WALL PANELING TO BE REPLACED WITH A NEW FULL-HEIGHT ALUMINUM & GLASS STOREFRONT SYSTEM.

Sheet Index

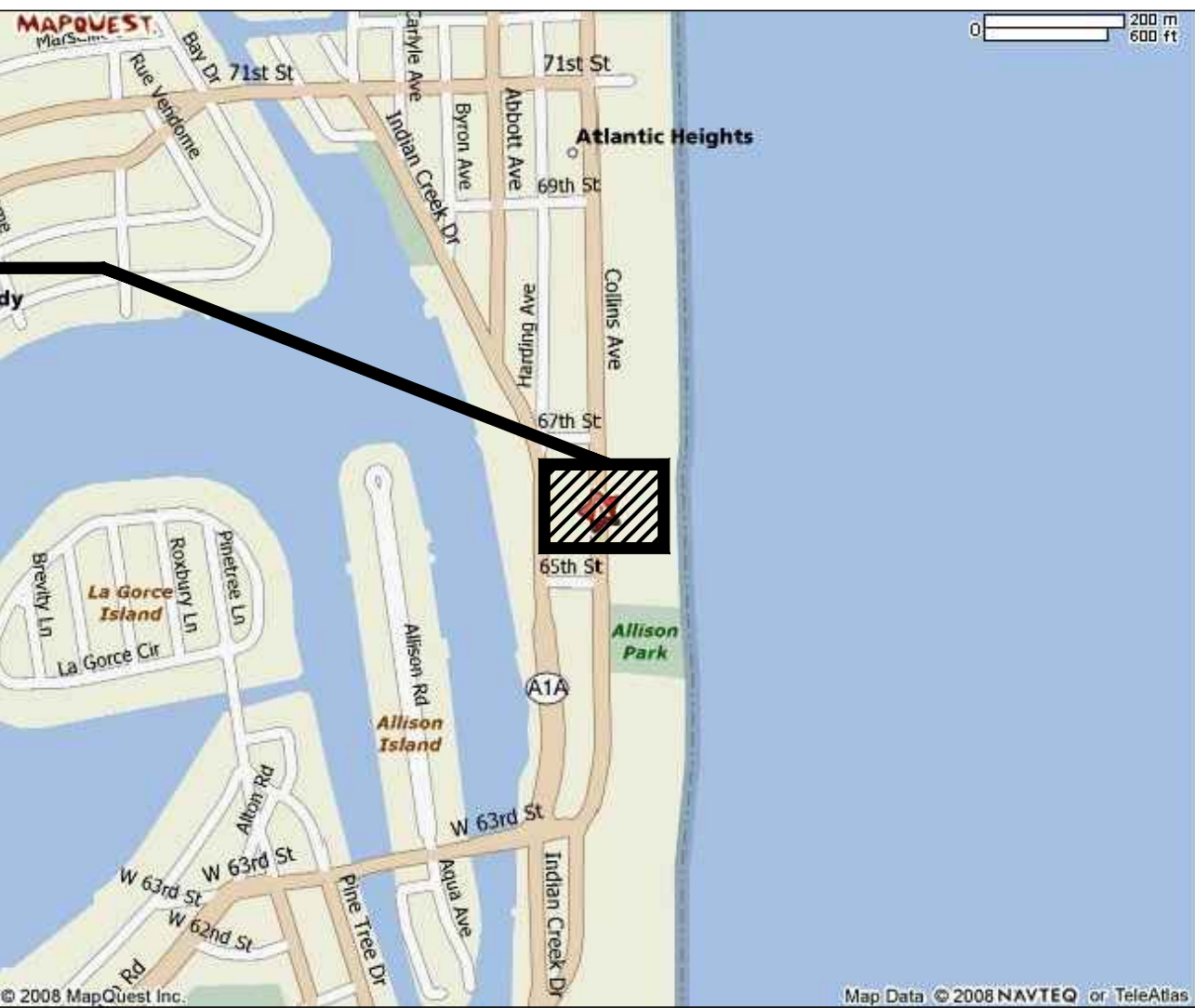
COVER SHEET
SURVEY

- ARCHITECTURAL:
- A1.0 EXISTING SITE PHOTOGRAPHS
 - A2.0 EXISTING AND DEMOLITION FLOOR PLANS
 - A2.1 PROPOSED FLOOR PLAN AND NOTES
 - A3.0 AS-BUILT & PROPOSED ELEVATIONS
 - A4.0 3-D RENDERING

Code Analysis

BUILDING CODE:	FLORIDA BUILDING CODE 6th EDITION (2017) - FLORIDA FIRE PREVENTION CODE 5th EDITION (2014) NFPA 1 AND 101 - 2012 EDITIONS WITH FLORIDA AMENDMENTS			REFER TO FL BLDG CODE
EXISTING BUILDING:	STOREFRONT RENOVATION OF EXISTING MERCANTILE STORE			
OCCUPANCY:	MERCANTILE - GROUP M - RETAIL STORE			SEE SECT. 304.1
CONSTRUCTION TYPE:	BUILDING TYPE IIIB UN-SPRINKLERED & NO FIRE ALARM			FBC - EXISTING BUILDING, CHAPTER 6.
SCOPE OF WORK:	EXISTING BUILDING ALTERATION - LEVEL 1 ALTERATION OF EXISTING STOREFRONT FACADE ONLY			FBC EXISTING BUILDING, CHAPTER 6 & FPPC 101 SECT. 4.8.8.152, CHAPTER 43 SECT. 43.2.2.1.3, & FBC SECT. 43.5.1.3.
	STOREFRONT RENOVATION TO INCLUDE REMOVAL OF EXISTING CONCRETE BEAM, REPLACEMENT OF EXISTING STOREFRONT GLAZING, AND REPLACEMENT OF SOLID PANELING WITH NEW STOREFRONT GLAZING.			
	OCCUPANCY LOAD - INTERIOR SPACE			
AREA	RETAIL	REQUIRED	OCCUPANT LOAD	SEE TABLE 1004.1.1 FPPC 101-7.3.1.2
STORAGE	GROUND FL.	AREA PER OTHER FLOORING		
2,905 SQ.FT. 2,228 SQ.FT.		70 SQ.FT. & 80 SQ.FT.	97 + 37= 134	
MEANS OF EGRESS				
DESCRIPTION	REQUIRED	PROVIDED		
EGRESS WIDTH	10" MIN. (2) + 2	36" MIN.	SEE SECT. 1005.1	
CORRIDOR WIDTH	44" MIN.	44" MIN.	SEE SECT. 1018.2	
CLEAR OPENING	32" MIN.	34" MIN.	1008.1.1	
COMMON PATH	75" MAX.	48" MAX.	SEE 1014.3	
TRAVEL DISTANCE	SHALL NOT EXCEED 200'	121" MAX.	SEE TABLE 1016.1	
NUMBER OF EXITS	2	2	SEE TABLE 1021.1	
INTERIOR WALLS & CEILING FINISHES				
	REQUIRED	PROVIDED		FBC TABLE 903.9 & FPPC 101-38.3.3.1
IN BUILDING	EXIT ENCLOSURE AND EXITWAYS	TYPE A	TYPE A	
	CORRIDORS	TYPE B	TYPE B	
	ROOMS AND ENCLOSED SPACES	TYPE C	TYPE C	
INTERIOR FLOOR FINISHES				
	FLOORS	CLASS II	CLASS II	FBC 804.1-804.4 FPPC 101-38.3.3.3

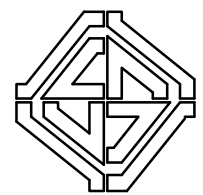
SITE



Site Location Plan
N.T.S.

Revisions

NO.	DATE	DESCRIPTION
1	06.27.2019	DRB COMMENTS



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Arch. reg. No. 6819 Corp. No. AA26001642

SEAL:



Existing Exterior Photograph

Scale: N.T.S.

1

A1.0

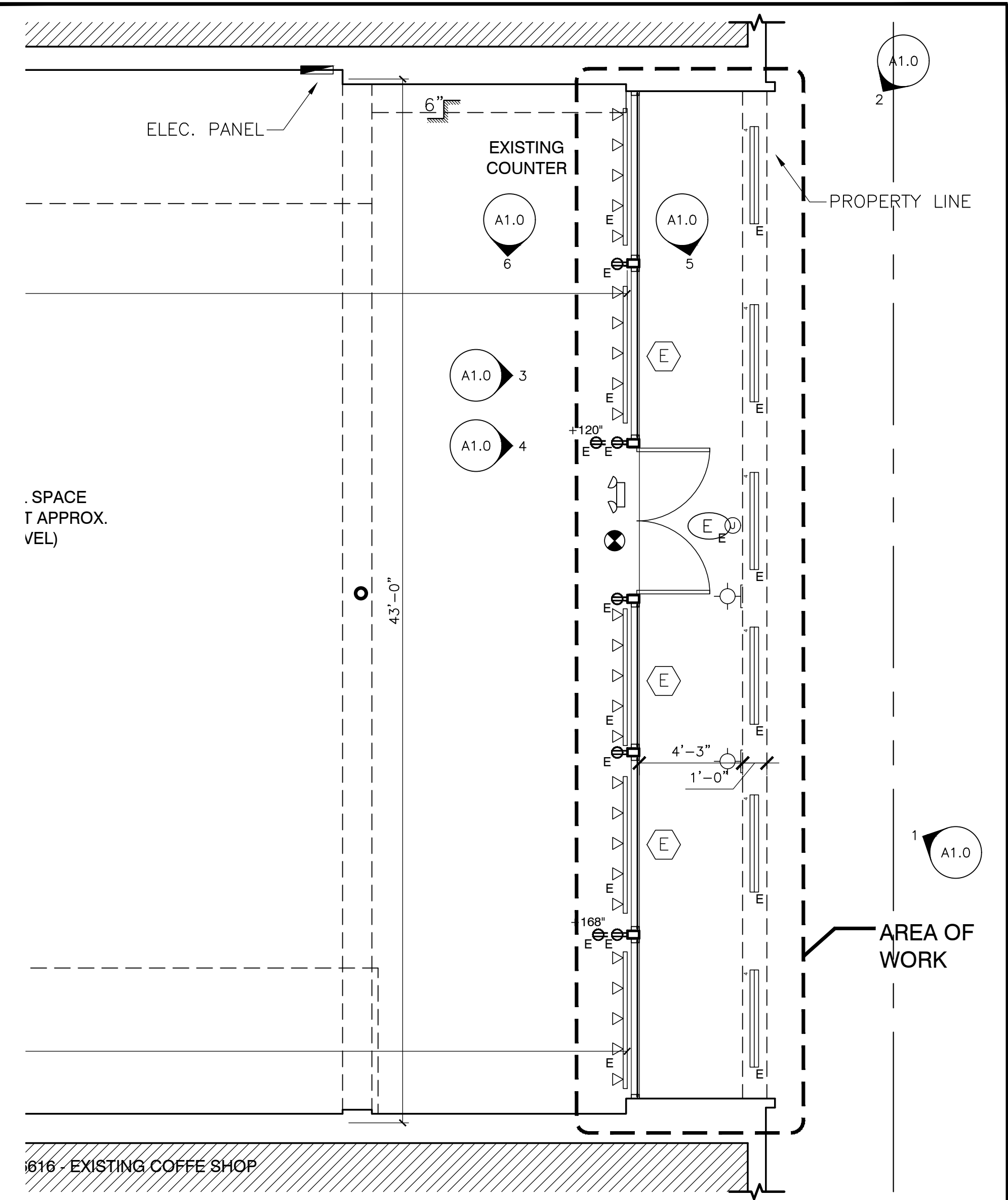


Existing Exterior Photograph

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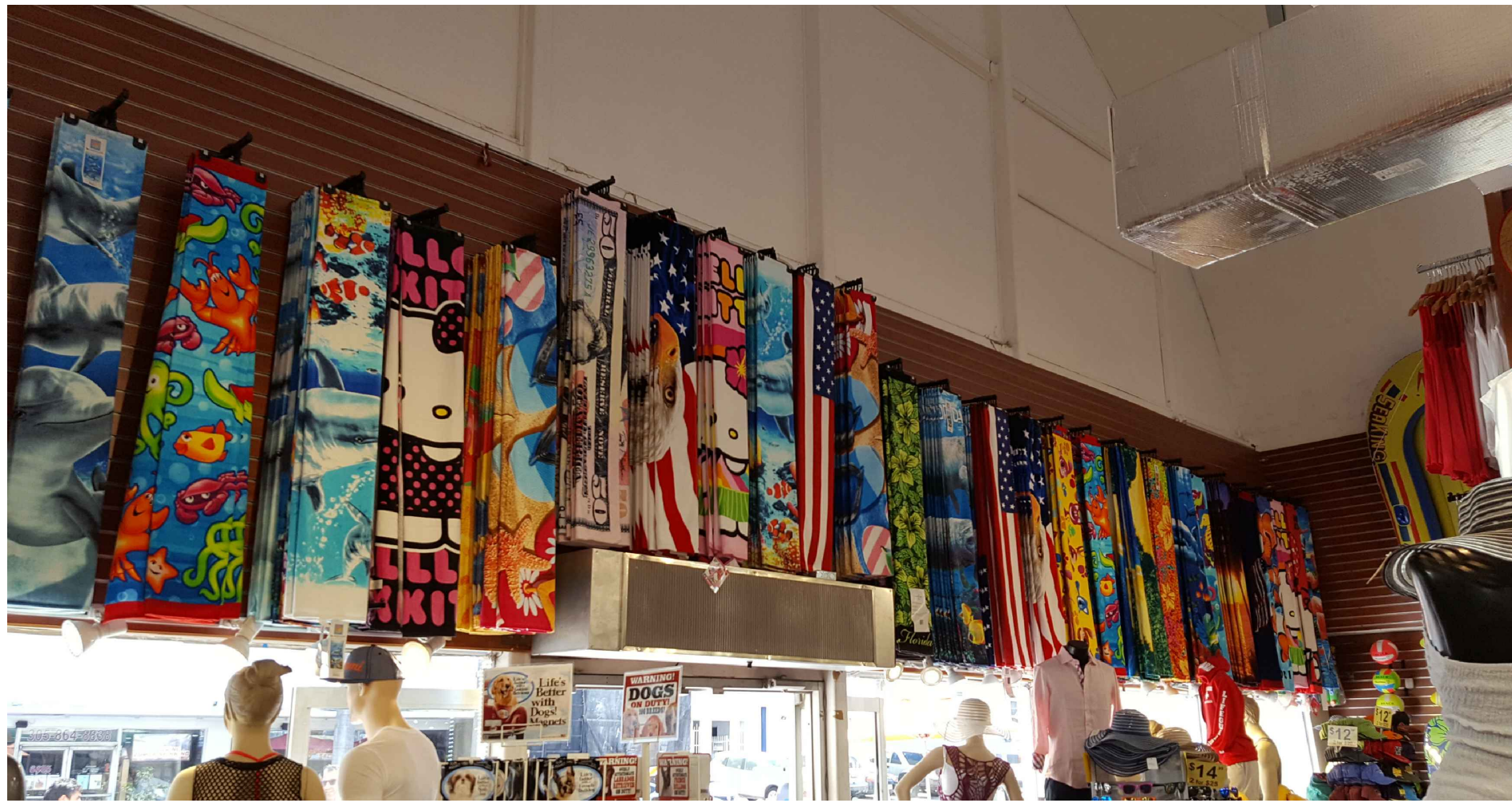
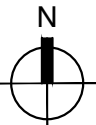
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Existing Floor Plan

Scale: 1/4" = 1'-0"



Existing Interior Photograph

Scale: N.T.S.

3

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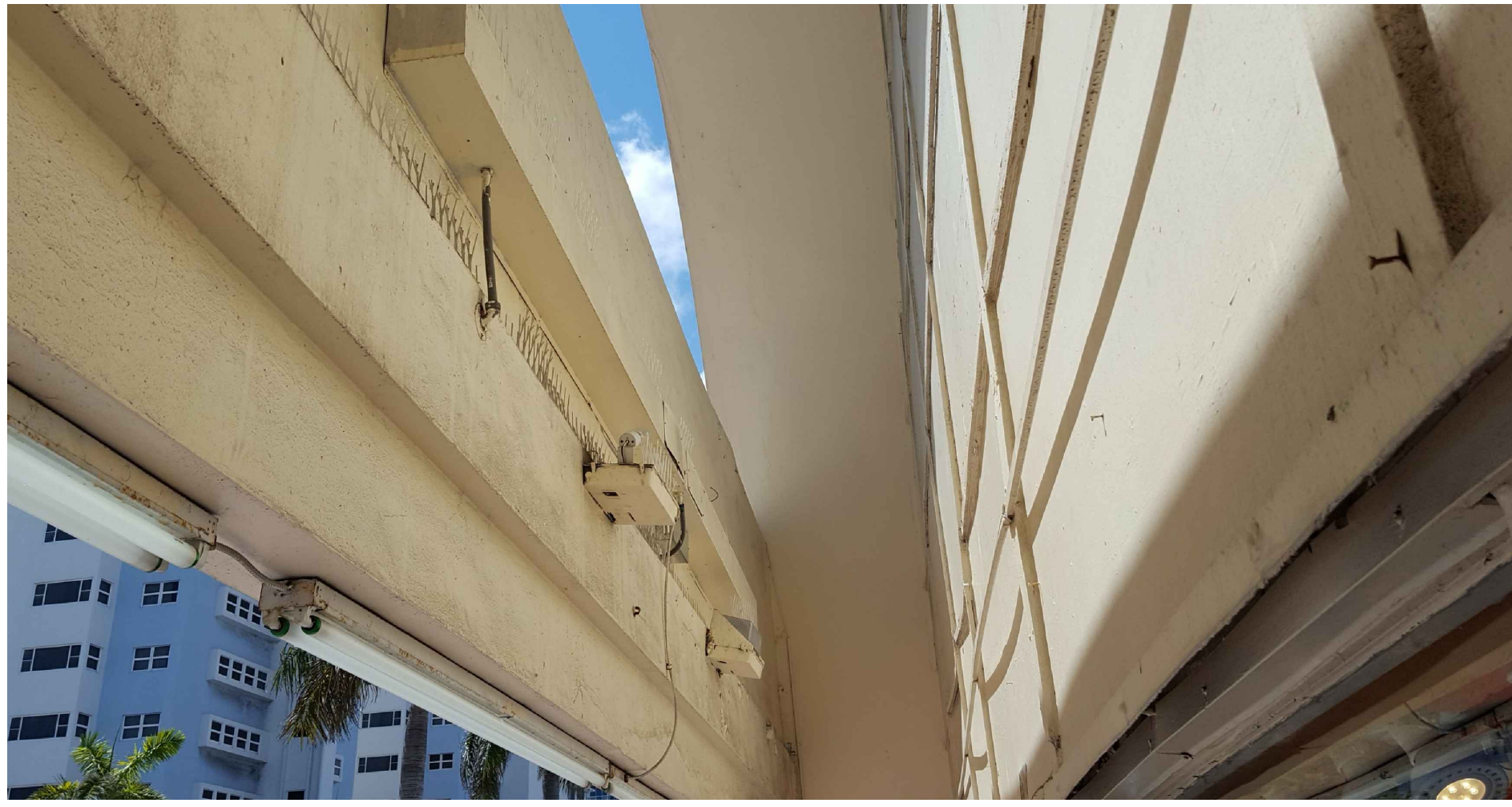


Existing Interior Photograph

Scale: N.T.S.

4

A1.0



Existing Exterior Photograph

Scale: N.T.S.

5

A1.0



Existing Interior Photograph

Scale: N.T.S.

6

A1.0

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**6618 COLLINS AVENUE
EXTERIOR FACADE RENOVATION**
6618 COLLINS AVENUE
MIAMI BEACH, FL

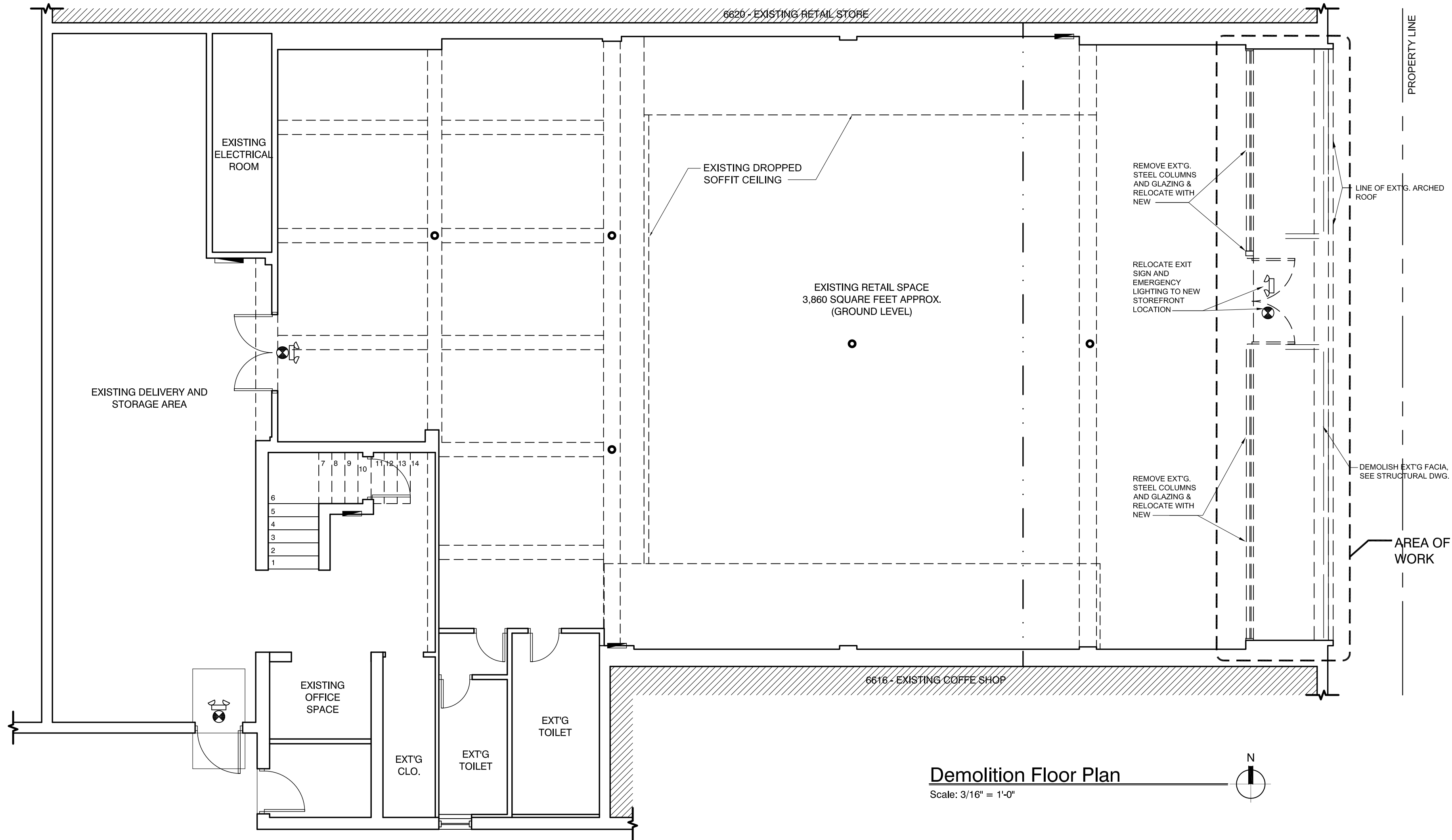
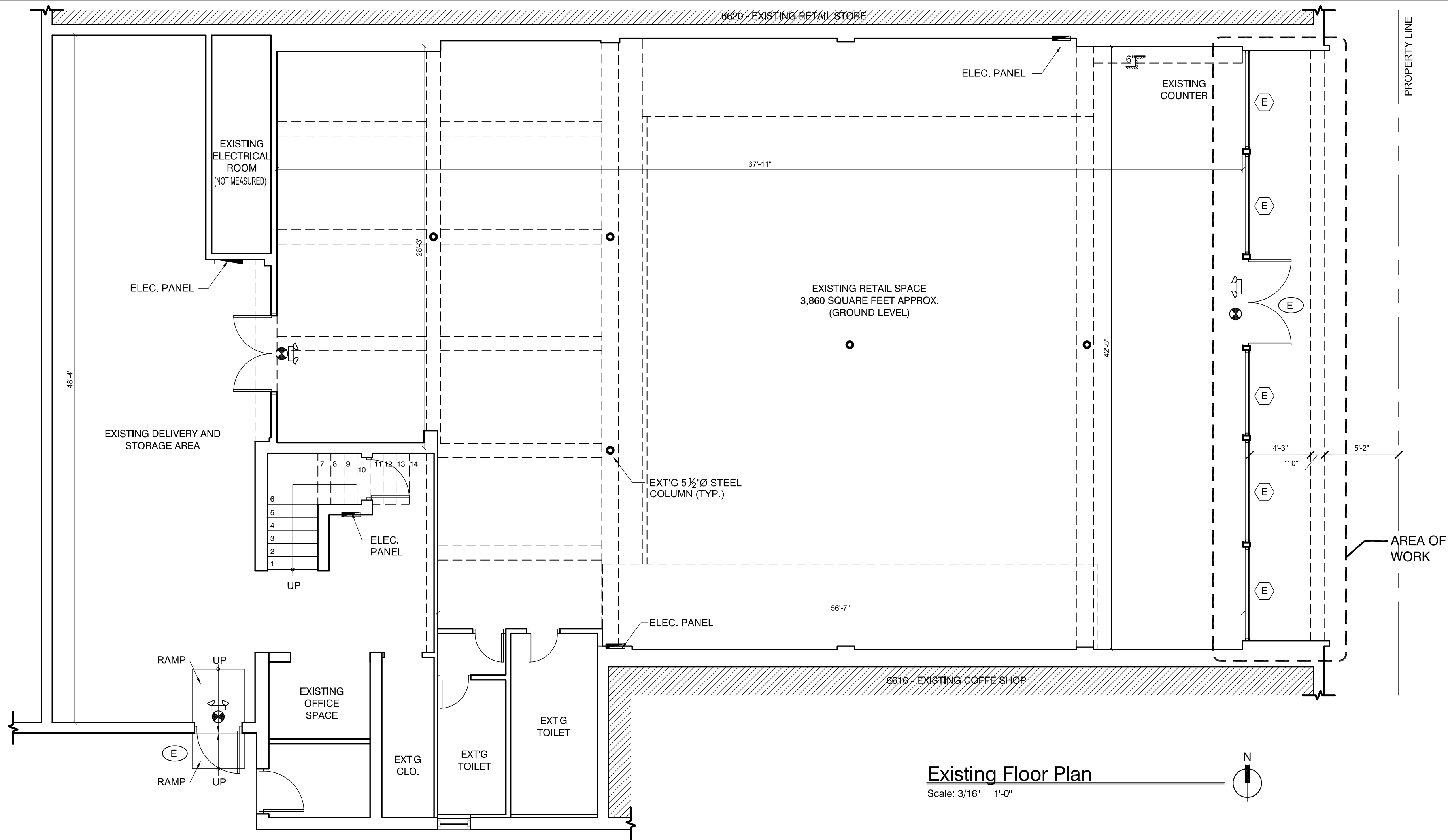
Revisions:	
No.	Description:

Date: 06.15.16
Project Number: 16316
Principal: SLC
Project Manager: NVP
Drawn by: AG

Drawing Name:
**EXISTING
SITE
PHOTOGRAPHS**

Drawing No:
A1.0

Total Sheets: # Issue Date: 06.27.2019



Legend:

- EXISTING PARTITION / EXTERIOR WALLS TO REMAIN
- PARTITION WALLS TO BE DEMOLISHED
- EXISTING DOORS AND FRAME TO BE REMOVED
- (R) ITEM TO BE RELOCATED
- (E) EXISTING DOOR TO REMAIN
- (E) EXISTING WINDOW TO REMAIN
- 0'-0" T.O.S. FINISH FLOOR ELEVATION
- ELEC. PANEL
- BATTERY POWERED EXIT SIGN
- BATTERY POWERED EMERGENCY LIGHTING FIXTURE

Demolition Notes:

- ACCESS TO SITE SHALL BE COORDINATED WITH OWNER BEFORE START OF CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH OWNER.
- GENERAL CONTRACTOR MUST FURNISH AND INSTALL A TEMPORARY BARRICADE WITH ACCESS DOOR IN COMPLIANCE WITH OWNER REQUIREMENTS, INCLUDING SIGNAGE.
- CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS AND/OR PERMITS BEFORE COMMENCING WORK INCLUDING POSSIBLE OBSTRUCTION OF STREETS, WALKWAYS AND/OR ADJACENT FACILITIES FROM PROPER AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO LOCATE ALL UTILITIES. NOTIFY THE ARCHITECT IF ANY CONFLICTS EXIST. CARE MUST BE TAKEN NOT TO DAMAGE ANY UTILITIES OR EXISTING SYSTEMS. REPAIR OF DAMAGES WILL BE RESPONSIBILITY OF THE CONTRACTOR. SEE OWNER REPRESENTATIVE FOR DETAILS. SAFETY ON THE JOB IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY IF ANY EXISTING UTILITIES ARE SERVICING ANY OTHER SPACE PRIOR TO BEING DISCONNECTED.
- ALL EXISTING UTILITY LINES IN CONSTRUCTION ARE TO BE REROUTED AS REQUIRED TO MAINTAIN SYSTEM IN WORKING ORDER AS REQUIRED BY OWNER OR AS INDICATED ON PLANS.
- CONTRACTOR TO REMOVE EXISTING ELECTRICAL AS REQUIRED. CAP OFF END WALLS AND CEILINGS. PULL ALL WIRES BACK TO MAIN PANEL. REFER TO ELECTRICAL DOCUMENTS.
- CONTRACTOR TO REMOVE EXISTING PLUMBING AS REQUIRED. ALL CAPPED PLUMBING INCLUDING WATER & SEWER SHALL BE PRESSURE TESTED AND INSPECTED PRIOR TO COVERING THEM. REFER TO PLUMBING DOCUMENTS.
- CONTRACTOR TO REMOVE AND CAP OFF EXISTING GAS LINES AS REQUIRED. SEE PLUMBING DOCUMENTS.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS SHOWING ALL CHANGES OF UTILITIES.
- CONTRACTOR TO REMOVE ALL PARTITIONS, EQUIPMENT DOORS AND FRAMES AS SHOWN DASHED ON DEMOLITION PLANS.
- CONTRACTOR TO REMOVE ALL FLOOR FINISHES AND BASE TO THE EXISTING CONCRETE SLAB AS SHOWN ON THE FLOOR PLAN.
- CONTRACTOR TO PREPARE THE EXISTING CONCRETE SLABS AS REQUIRED TO BE EVEN ELEVATION THROUGHOUT. SMOOTH, CONTINUOUS LEVEL & READY TO ACCEPT NEW FINISHES. THIS INCLUDES "FLOATING" ANY UNACCEPTABLE AREAS AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF THE DEMOLITION.
- CONTRACTOR TO REMOVE ALL CEILING, LIGHT FIXTURES AND ACCESS HATCHES SHOWN AS HATCHED. REFER TO REFLECTED CEILING PLAN FOR EXISTING CEILING AREA TO REMAIN.
- THE USE OF DUMPSTER AND WORK PROCEDURES ARE TO BE COORDINATED WITH THE OWNER.
- THE DISPOSAL OF ALL DEMOLITION ITEMS SHALL BE BY THE CONTRACTOR, HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.
- IF DURING CONSTRUCTION EVIDENCE OF ASBESTOS IS FOUND, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF s.469.003 FLORIDA STATUTES AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF THEIR INTENTIONS TO REMOVE ASBESTOS, IN ACCORDANCE WITH STATE AND FEDERAL LAW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STABILITY OF THE EXISTING STRUCTURE UNTIL THE CONSTRUCTION IS COMPLETE. DO NOT REMOVE STRUCTURAL WALLS, COLUMNS AND OR BEAMS UNLESS AS SHOWN ON PLAN. DO NOT SAW CUT INTO STRUCTURAL WALLS, COLUMNS AND OR BEAMS. EXPOSE ALL STRUCTURAL LOAD BEARING CONDITIONS FOR ARCHITECT'S OBSERVATION. NOTHING SHALL RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY TO PROVIDE FOR SAFETY AND PROTECTION OF PERSONS/PROPERTY.
- PROTECT ALL EXISTING AREAS FROM DUST AND DAMAGE, BY USE OF TEMPORARY ENCLOSURES OR OTHER SUITABLE METHODS. ANY DAMAGE OCCURRING DURING DEMOLITION IS TO BE FIXED/REPLACED BY THE CONTRACTOR TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
- THESE PLANS ARE GENERAL IN NATURE AND DO NOT ATTEMPT TO INDICATE SMALLER INDIVIDUAL ITEMS WHICH MAY ALSO NEED TO BE REMOVED. THEREFORE, CONTRACTOR SHALL VISIT THE SITE TO DETERMINE WHETHER SUCH NON-SPECIFIED ITEMS EXIST AND ARE TO BE REMOVED TO ACHIEVE THE OVERALL INTENT.
- ALL EXISTING CONDITIONS SHOWN ON DRAWINGS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. IN THE EVENT OF ANY INCONSISTENCY NOTIFY THE ARCHITECT.

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ALL LEGAL ARRANGEMENTS AND PLAN INDICATED OR REFERRED TO IN THESE DRAWINGS ARE THE SOLE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT. NONE OF THE INFORMATION CONTAINED HEREIN IS TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT. NONE OF THE INFORMATION CONTAINED HEREIN IS TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT. NONE OF THE INFORMATION CONTAINED HEREIN IS TO BE USED FOR ANY OTHER PURPOSE.

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MIAMI BEACH, FL

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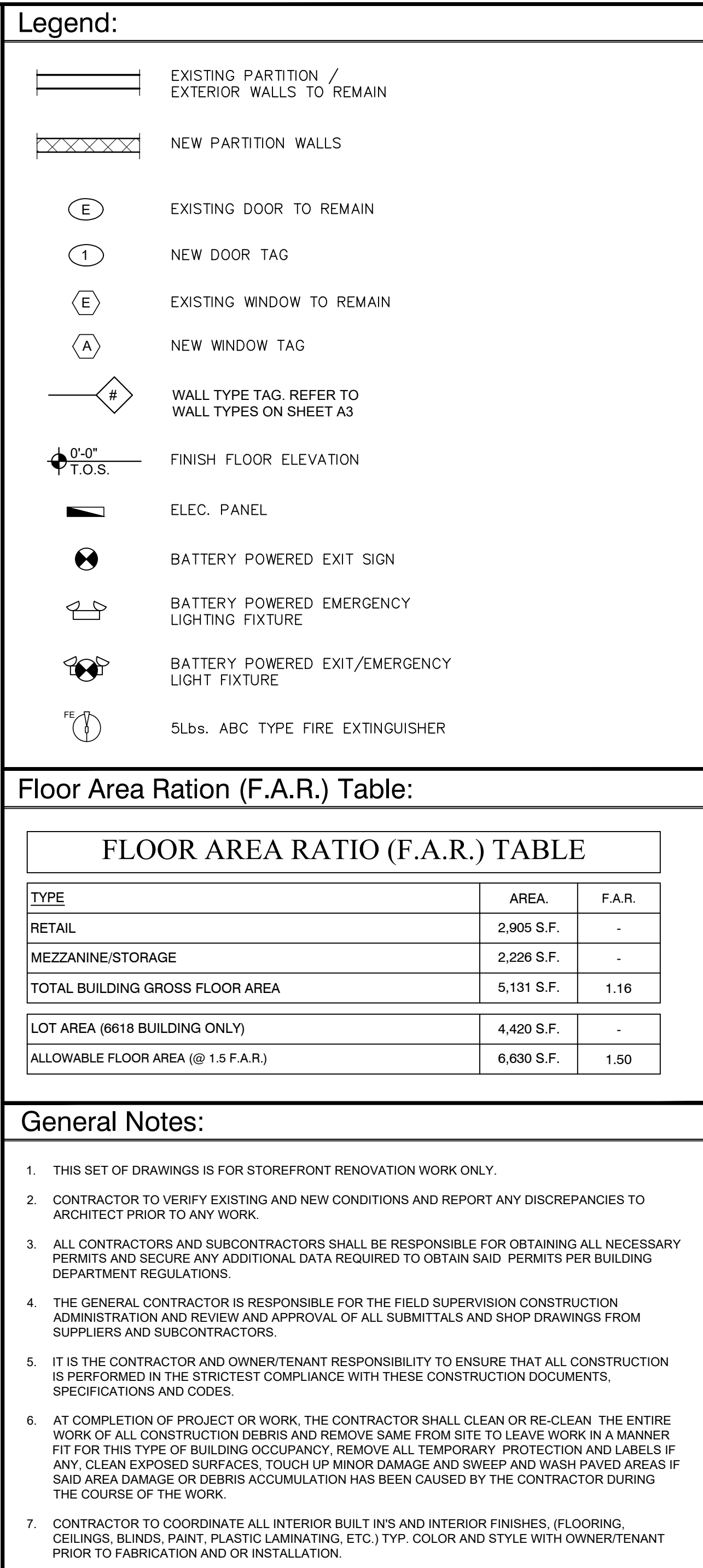
Date: 08.15.16
Project Number: 16316
Principal: SLC
Project Manager: NVP
Drawn by: AG

Drawing Name:
EXISTING & DEMOLITION FLOOR PLANS

Drawing No:
A2.0

Total Sheets:
#

Issue Date:
06.28.2019



Floor Area Ratio (F.A.R.) Table:


FLOOR AREA RATIO (F.A.R.) TABLE		
TYPE	AREA.	F.A.R.
RETAIL	2,905 S.F.	-
MEZZANINE/STORAGE	2,226 S.F.	-
TOTAL BUILDING GROSS FLOOR AREA	5,131 S.F.	1.16
LOT AREA (6618 BUILDING ONLY)	4,420 S.F.	-
ALLOWABLE FLOOR AREA (@ 1.5 F.A.R.)	6,630 S.F.	1.50

General Notes:

1. THIS SET OF DRAWINGS IS FOR STOREFRONT RENOVATION WORK ONLY.
2. CONTRACTOR TO VERIFY EXISTING AND NEW CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO ANY WORK.
3. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURE ANY ADDITIONAL DATA REQUIRED TO OBTAIN SAID PERMITS PER BUILDING DEPARTMENT REGULATIONS.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FIELD SUPERVISION CONSTRUCTION ADMINISTRATION AND REVIEW AND APPROVAL OF ALL SUBMITTALS AND SHOP DRAWINGS FROM SUPPLIERS AND SUBCONTRACTORS.
5. IT IS THE CONTRACTOR AND OWNER/TENANT RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION IS PERFORMED IN THE STRICTEST COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND CODES.
6. AT COMPLETION OF PROJECT OR WORK, THE CONTRACTOR SHALL CLEAN OR RE-CLEAN THE ENTIRE WORK OF ALL CONSTRUCTION DEBRIS AND REMOVE SAME FROM SITE TO LEAVE WORK IN A MANNER FIT FOR THIS TYPE OF BUILDING OCCUPANCY, REMOVE ALL TEMPORARY PROTECTION AND LABELS IF ANY, CLEAN EXPOSED SURFACES, TOUCH UP MINOR DAMAGE AND SWEEP AND WASH PAVED AREAS IF SAID AREA DAMAGE OR DEBRIS ACCUMULATION HAS BEEN CAUSED BY THE CONTRACTOR DURING THE COURSE OF THE WORK.
7. CONTRACTOR TO COORDINATE ALL INTERIOR BUILT INS AND INTERIOR FINISHES, (FLOORING, CEILINGS, BLINDS, PLANT, PLASTIC LAMINATING, ETC.) TYP. COLOR AND STYLE WITH OWNER/TENANT PRIOR TO FABRICATION AND OR INSTALLATION.
8. FLAMMABLE AND COMBUSTIBLE MATERIALS IF USED DURING CONSTRUCTION, SHALL BE HANDLED AND STORED IN ACCORDANCE WITH NFPA 30.
9. AISLES OF NOT LESS THAN 44" IN WIDTH SHALL BE ESTABLISHED TO PROVIDE ACCESS TO EXITS.
10. CONTRACTOR TO ENSURE/VERIFY EXISTING POWER SUPPLY AVAILABLE IS ADEQUATE FOR PROPOSED NEW SIGNAGE.

Storefront Notes:

1. PRODUCT APPROVED IMPACT RESISTANT FIXED GLASS & FRAMED ASSEMBLY TO ALL EXTERIOR GLAZED DOORS & WINDOWS, BY YKK AP - YHS 50 FS PRODUCT LINE OR APPROVED EQUAL.
2. ALL DOORS AND WINDOWS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH CURRENT CODE.
3. CONTRACTOR TO FIELD VERIFY ROUGH OPENING SIZES WITH DOOR/WINDOW MANUFACTURER INSTALLATION REQUIREMENTS PRIOR TO CONSTRUCTION.
4. ALL DOORS SHALL COMPLY WITH NFPA 101-7.2.1.5
5. CONTRACTOR TO ENSURE ALL FIRE RATED DOORS HAVE BALL BEARING HINGES, UL APPROVED LATCHES AND DOOR CLOSERS. SEE LABELS.
6. ALL DOORS IN FIRE RATED WALLS TO HAVE AUTOMATIC OVERHEAD CLOSURES
7. DOORS WITHOUT AN ACCESS TO AN EXIT AND EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AT ALL TIMES WHEN THE PORTION OF THE BUILDING AREA SERVED IS OCCUPIED. THE USE OF A KEY OR A THUMB LOCKING DEVICE ON THE EGRESS DOORS SHALL NOT BE PERMITTED. A SIGN SHALL BE DISPLAYED ON THE INTERNAL FACE OF EACH EXTERIOR DOOR IN LETTERS NOT LESS THAN 1" HIGH READING: "FIRE DOOR - PLACED AS DIRECTED BY FIRE DEPARTMENT DO NOT OBSTRUCT."
8. CONTRACTOR TO COORDINATE DOOR TYPES AND STYLES WITH OWNER/TENANT.
9. SEALANTS SHALL CONFORM TO JOINT DESIGN AND EXPANSION/CONTRACTION PARAMETERS SPECIFIED BY MANUFACTURERS.
10. CONTRACTOR TO PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND DOORS BETWEEN A/C AND NON-A/C AREAS.

<div>6618 COLLINS AVENUE EXTERIOR FACADE RENOVATION</div> <div>6618 COLLINS AVENUE MIAMI BEACH, FL</div>		<div><div>STEVEN L. COHEN AND ASSOCIATES, P.A. Architects - Interior Designers</div><div>2201 NW CORPORATE BLVD SUITE 101 BOCA RATON, FLORIDA 33431 Phone (954) 971-1010 FAX (954) 971-1011 www.slc-arch.com</div></div>	<div>SEAL: Steven L. Cohen and Associates, P.A. License No. 48119</div> <div>Signature:</div>														
<div>Revisions:</div> <table><tr><th>No.</th><th>Date:</th><th>Description:</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table> <div>Date: 08.15.16 Project Number: 16316 Principal: S.C. Project Manager: NVP Drawn by: AG</div> <div>Drawing Name: PROPOSED FLOOR PLAN & NOTES</div> <div>Drawing No: A2.1</div>		No.	Date:	Description:													<div>Total Sheets: #</div> <div>Issue Date: 06.28.2019</div>
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