

2001 BAY DRIVE

2001 Bay Drive, Miami Beach, FL 33141
Folio: 0293210-002-1051

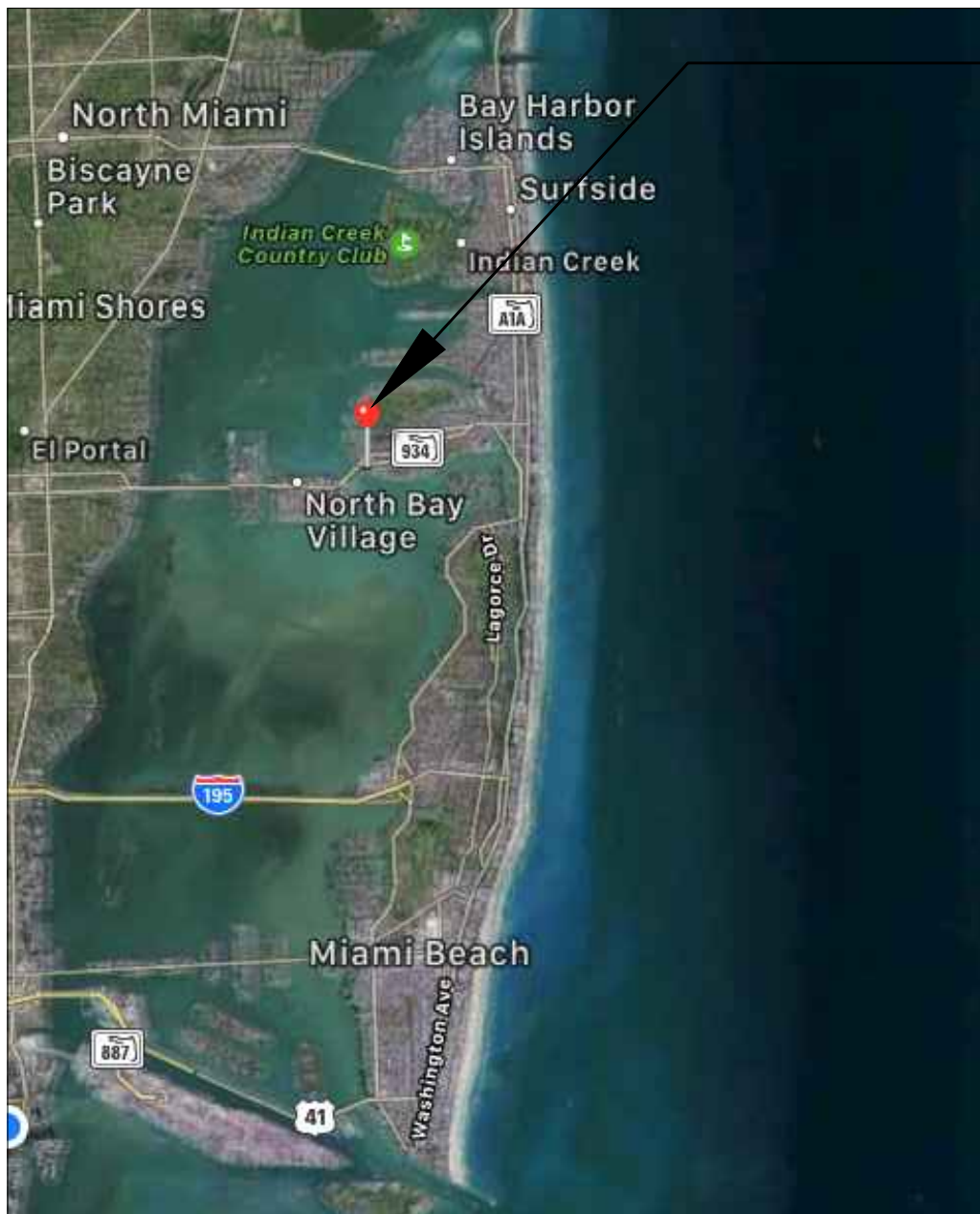
Bay Dr Elevation - Balcony Slab & Railing Renovations
Design Review Board
Final Submittal

JULY 1/2019

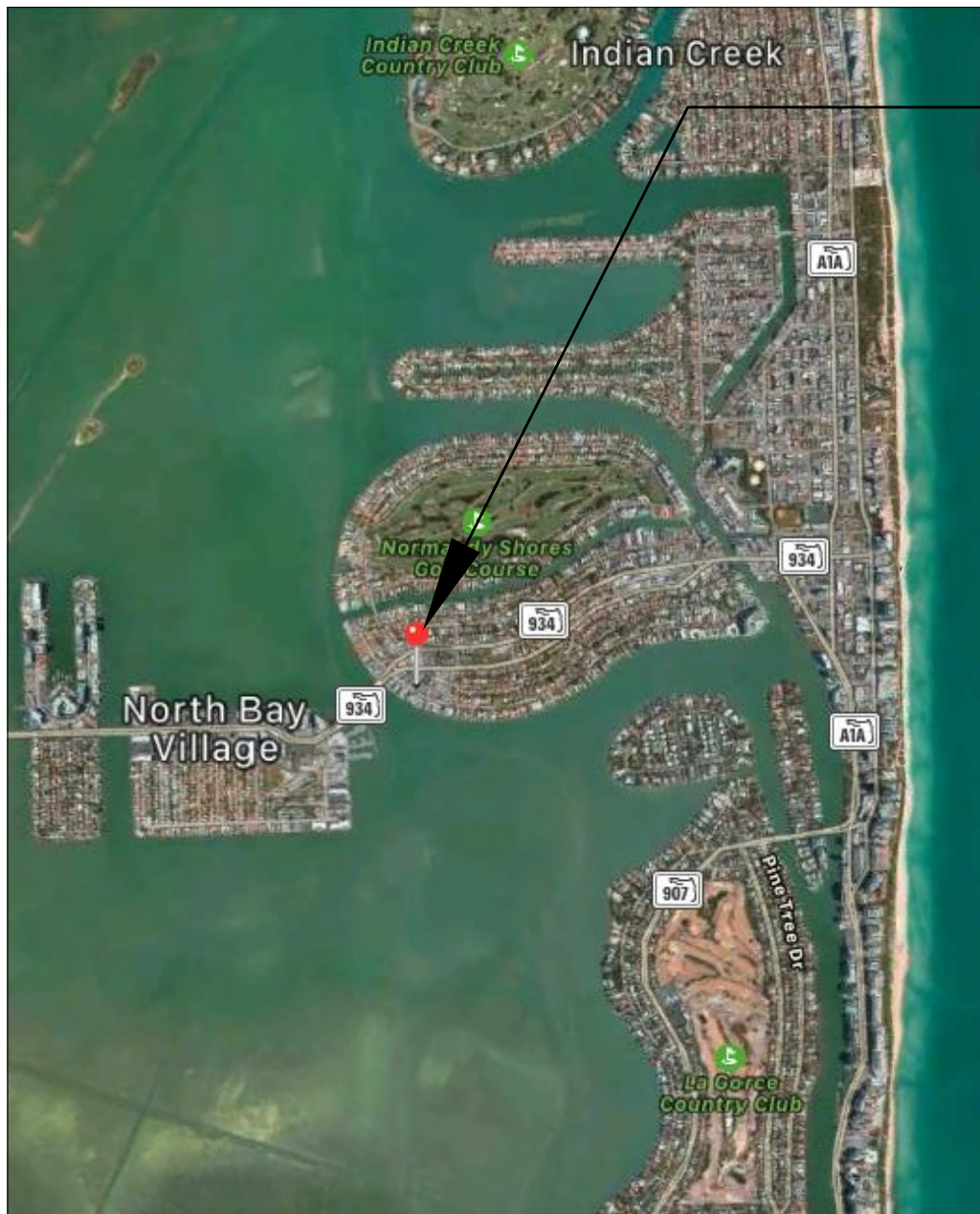


333 SE 2ND AVE. SUITE 2066
MIAMI, FL 33131
Tel: 786.218.5335
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LOCATION



LOCATION



LOCATION



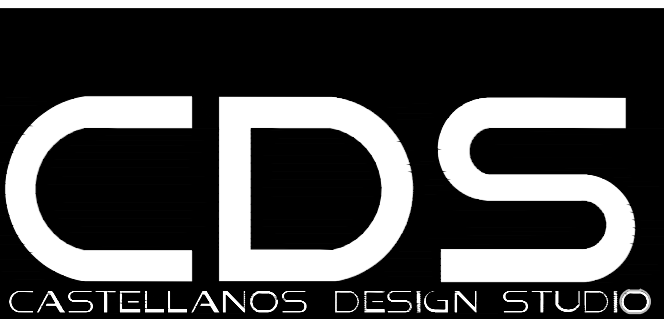
SCOPE OF WORK		ZONING INFORMATION		CODE STATEMENT		INDEX OF DRAWINGS			
<p>THE CLIENT HAS REQUESTED THE FOLLOWING:</p> <p>1. THE REMOVAL OF EXISTING RAILINGS AND BALCONY SLABS AT NORTH ELEVATION (BAY DR.). TOTAL S.F. = 260S.F.</p> <p>2. THE REMOVAL AND REPLACEMENT OF GLASS SLIDING DOORS AT NORTH ELEVATION ONLY.</p> <p>3. NEW JULIET BALCONY STYLE RAILINGS AT NORTH ELEVATION (BAY DR.).</p> <p>••• OPTION 1 - ALUMINUM RAILING PICKET RAILING</p> <p>••• OPTION 2 - ALUMINUM RAILING TO MATCH EXISTING DESIGN</p>		ZONING DESIGNATION: 3900 MULTI-FAMILY - 38-62 U/A		<p>TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES.</p> <p>ARCHITECTURAL STATEMENT: ALL ARCHITECTURAL WORK SHALL BE UNDER 2017 FBC & FBC RESIDENTIAL, 6TH EDITION & EXISTING BUILDING CODE.</p> <p>ZONING STATEMENT: ALL WORK MEETS THE CURRENT MIAMI-DADE COUNTY ZONING DESIGNATION ORDINANCES AND 2017 FBC, AND FBC RESIDENTIAL 6TH EDITION.</p> <p>CIVIL ENGINEERING STATEMENT: NO WORK IS TO BE PERFORMED</p> <p>LANDSCAPING & IRRIGATION STATEMENT: NO LANDSCAPING IS TO BE PERFORMED</p> <p>STRUCTURAL STATEMENT:STRUCTURAL WORK SHALL BE PERFORMED UNDER 2017 FBC.</p> <p>PLUMBING STATEMENT: NO WORK IS TO BE PERFORMED</p> <p>MECHANICAL STATEMENT: NO WORK IS TO BE PERFORMED</p> <p>ELECTRICAL STATEMENT: NO WORK IS TO BE PERFORMED</p> <p>LIFE SAFETY STATEMENT: ALL LIFE SAFETY WORK SHALL BE UNDER 2017 FBC, FBC RESIDENTIAL 6TH EDITION. AND NFPA 1/101 2015 EDITION.</p>		CVR COVER SHEET			
		TAX FOLIO No.: 02-3210-002-1051				GN-1 PROJECT DATA & INFORMATION			
		PROPERTY ADDRESS: 2001 BAY DRIVE MIAMI BEACH, FL 33141				GN-2 EXISTING PHOTOS - CONTEXT			
		OWNER: THE LOIS APARTMENTS LLC				GN-3 EXISTING PHOTOS - BAY DR. ELEVATION			
		MAILING ADDRESS: 1332 BISCAYA DR SURFSIDE, FL 33154				GN-4 EXISTING PHOTOS - SOUTH, EAST, WEST ELEV.			
		LAND USE: 0303 MULTIFAMILY 10 UNITS PLUS MULTIFAMILY 3 OR MORE UNITS				GN-5 EXISTING PHOTOS - CLOSE-UP			
		FLOORS: 4							
		LIVING UNITS 16							
		ADJUSTED SQUARE FT: 19,218 S.F.							
		LOT SIZE: 7,260 S.F.							
YEAR BUILT: 1982									
SETBACKS: FRONT N/A PROPOSED N/A REAR N/A N/A INTERNAL SIDE N/A N/A STREET SIDE N/A N/A									
BUILDING HEIGHT: MAXIMUM N/A PROPOSED N/A									
F.A.R.: MAXIMUM N/A PROPOSED N/A									
LOT COVERAGE: MAXIMUM N/A PROPOSED N/A									
LEGAL DESCRIPTION: ISLE OF NORMANDY MIA VIEW SEC PT 1 PB 34-80 LOT 25 LESS COMMENCE AT THE SELY CORNER LOT 25 RUN NELY 125.20 FT TO POB THEN NWLY 1.70 NELY 9.90FT SELY1.70T SWLY 9.90FT TO O B BLK 38 LOT SIZE 7260 SQ FT OR 21173-2554 0203 5									
BLDG. & LIFE SAFETY INFO.		GOVERNING CODES		ABBREVIATIONS					
OCCUPANCY CLASSIFICATION: MULTI-FAMILY 16 UNITS		ALL CONSTRUCTION WORK, ACTIVITES AND ALTERATIONS SHALL COMPLY WITH THE 2017 FLORIDA BUILDING CODE (FBC), 6TH EDITION.		A.B. ANCHOR BOLT A/C AIR CONDITIONER ACCOM. ACCOMMODATE A.F.F. ABOVE FINISH FLOOR A.H.U. AIR HANDLING UNIT ALUM. ALUMINUM AUX. AUXILIARY BLDG. BUILDING BLK. BLOCK BM. BEAM B.M. BENCH MARK BOT. BOTTOM BRD. BOARD BTWN. BETWEEN C.B CATCH BASIN C.I.P. CAST-IN-PLACE C.J. CONTROL JOINT C.L. CHAIN LINK CLG. CEILING CL. CENTER LINE CLD. CLOSET CMU CONCRETE MASONRY UNIT CNTR. COUNTER CO CLEANOUT COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CONTR. CONTRACTOR CPT CARPET C.T. CERAMIC TILE DBL. DOUBLE DEMO. DEMOLITION DET. DETAIL DIA. DIAMETER DIM. DIMENSION D.F. DRINKING FOUNTAIN DOCS. DOCUMENTS DWG. DRAWINGS DWN. DOWN EA. EACH EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATION / ELEVATOR EQ. EQUAL EQUIP. EQUIPMENT ESC. ESCULATOR E.W. EACH WAY EXH. EXHAUST EXIST. EXISTING EXP. EXPOSED / EXPANSION EXT. EXTERIOR EXTING. EXTINGUISHER (FIRE) FAB. FABRICATE F.D. FLOOR DRAIN FE. FIRE EXTINGUISHER FIN. FINISH FIXT. FIXTURE F.F. FINISH FLOOR FLR. FLOOR FTG. FOOTING F.V. FIELD VERIFY GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR G.C. GENERAL CONTRACTOR GL. GLASS GYP. BD. GYPSUM WALL BOARD		HB. HOSE BIBB HC. HANDICAP / HOLLOW CORE HWR. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HT. HEIGHT H.V.A.C. HEATING VENTILATING & AIR CONDITIONING I.D. INSIDE DIAMETER INFO. INFORMATION INSUL. INSULATION INT. INTERIOR INTERM. INTERMEDIATE JAN. JANITOR JT. JOINT JST. JOIST LAM. LAMINENT LAV. LAVATORY L.P. LIGHT POLE MAT. MATERIAL MAX. MAXIMUM MECH. MECHANICAL MFR. MANUFACTURER M.H. MAN HOLE MIN. MINIMUM MISC. MISCELLANEOUS MTL. METAL N. NORTH N.G.V.D. NATIONAL GEODESIC VERTICAL DATUM N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER PART. PARTITION PLYWD. PLYWOOD PNT. PAINT P.T. PRESSURE TREATED REINF. REINFORCING REQ. REQUIRED RM. ROOM R.D. ROOF DRAIN SC. SOLID CORE SCHED. SCHEDULE SECT. SECTION SF. SQUARE FOOTAGE SHT. SHEET SIM. SIMILAR SPECS. SPECIFICATIONS S.S. STAINLESS STEEL STD. STANDARD STL. STEEL STRUCT.STRUCTURE SQ. FT. SQUARE FOOTAGE TEL. TELEPHONE TEMP. TEMPERED / TEMPORARY THK. THICK TYP. TYPICAL U.C. UNDERCUT U.N.O. UNLESS NOTED OTHERWISE V.B. VINYL BASE V.C.T. VINYL COMPOSITE TILE VERT. VERTICLE VEST. VESTIBULE V.T.R. VENT THRU ROOF W. WITH WD. WOOD WC. WATER CLOSET			
CONSTRUCTION TYPE: II A - UNPROTECTED (F.B.C. 2010)		ALL CONSTRUCTION WORK, ACTIVITES AND ALTERATIONS SHALL COMPLY WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION.							
ALLOWABLE AREA: N/A		ALL CONSTRUCTION WORK, ACTIVITES AND ALTERATIONS SHALL COMPLY WITH THE LATEST EDITION OF O.S.H.A. REQUIREMENTS.							
DEADEND CORRIDOR: 20'-0" MAXIMUM									
MAXIMUM TRAVEL DISTANCE: 150'-0" MAXIMUM									
EGRESS WIDTH: 36" MINIMUM									
STAIR WIDTH: 44" MINIMUM									
HORIZ. FIRE SEPERATION: 1 HOUR									
CEILING / ROOF ASSEMBLY: 1 HOUR									
VERTICAL FIRE SEPERATION: NOT APPLICABLE									
PARTY WALL SEPERATION: 2 HOUR									
MINIMUM DOOR WIDTH: 32" MINMIUM CLR.									
EXIT ACCESS CORRIDOR RATING: 1 HOUR									
MECHANICAL RM. SEPERATION: 1 HOUR									
MAXIMUM CHANGE IN ELEVATION: 1/2"									
MINIMUM NO. OF EXITS: 2									
ALTERATION: LEVEL II									

CLIENT :

2001 BAY
DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051



7300 BISCAYNE BLVD, SUITE 200
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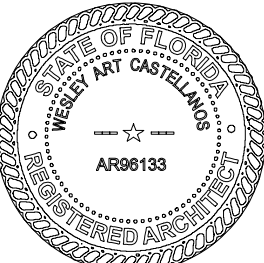
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1	01 AUG/18	SURVEY
2	15 AUG/18	CONSTRUCTION DOCUMENTS
3	30 AUG /18	ISSUED FOR PERMITTING
4	13 MAY /19	DESIGN REVIEW BOARD
5	1 JULY /19	DRB FINAL SUBMITTAL

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SEAL



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

PROJECT DATA & INFORMATION

CHECKED BY : WC

SHEET NO :

DRAWN BY : RS

SCALE:

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GN-1



A *2011 & 2001 BAY DR*
SCALE: N.T.S.



B *2001, 1995, 1985, & 1971 BAY DR*
SCALE: N.T.S.



A *2000 BAY DR*
SCALE: N.T.S.



B *2016 BAY DR*
SCALE: N.T.S.

CLIENT :
2001 BAY DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

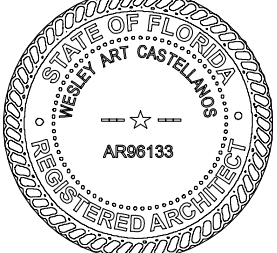
2001 BAY DRIVE
MIAMI BEACH, FL 33141
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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133
PROJECT NO : 2018-32

CONTEXT PHOTOS

CHECKED BY : WC	SHEET NO :
DRAWN BY : RS	GN-2
SCALE:	
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A EXISTING PHOTO (BAY DRIVE) - SCOPE OF WORK
SCALE: N.T.S.

SCALE: N.T.S.



B EXISTING PHOTO (BAY DRIVE) - CLOSE-UP

SCALE: N.T.S.

CLIENT :

2001 BAY
DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051

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[illegible]

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THE GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK, WITHOUT ADJUSTMENT TO THE CONTRACT AMOUNT UNLESS SCOPE OF WORK CHANGES FROM THAT WHICH IS INDICATED ON THE DRAWINGS.

ANY CHANGES TO THE PROJECT SHALL BE INDICATED AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST BURDEN UPON GENERAL CONTRACTOR SHALL GOVERN. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES, DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER AND REPORT TO CDS AND IN NO CASE SHALL PROCEED IN VIOLATION OF THE CONTRACT DOCUMENTS.

SEAL :

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STANLEY ART COLLECTION

AR96133

WESLEY ART CASTELLANOS

WESTLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO.: 2018-32

PROJECT NO. 2016-52

Discussion

PHOTOS

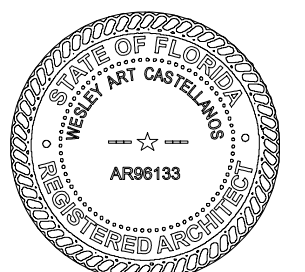
Notes

(RAY DR

(BAY DR.

ELEVATIONS

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

PHOTOS
(BAY DR.
ELEVATION)

CHECKED BY : WC	SHEET NO :
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DRAWN BY : RS

SCALE:

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GN-3



A EXISTING PHOTO (EAST ELEVATION)
SCALE : N.T.S.



B EXISTING PHOTO (WEST ELEVATION)
SCALE : N.T.S.



C EXISTING PHOTO (REAR)
SCALE : N.T.S.

CLIENT :
**2001 BAY
DRIVE**

**BAY DR ELEVATION -
BALCONY RENOVATIONS**

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051

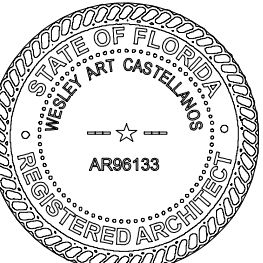
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5	1 JULY /19	DRB FINAL SUBMITTAL

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

**PHOTOS
(SOUTH, EAST
& WEST
ELEVATION)**

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SCALE:

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SHEET NO :

GN-4



A **BALCONY CLOSE-UPS**
SCALE : N.T.S.



B **BALCONY CLOSE-UPS**
SCALE : N.T.S.



C **BALCONY CLOSE-UPS**
SCALE : N.T.S.

CLIENT :
2001 BAY DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

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**PHOTOS
(CLOSE-UP)**

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DRAWN BY : RS

SCALE:

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SHEET NO :

GN-5

- EXISTING ELEVATIONS SCOPE OF WORK:
1. REMOVE EXISTING GUARD RAILS AND BALCONY SLABS TO ACCOMMODATE NEW JULIET BALCONIES AT NORTH ELEVATION. PLEASE REFER TO DEMOLITION & PROPOSED PLANS FOR FURTHER DETAILS.
 2. EXISTING ELEVATIONS FOR REFERENCE ONLY.

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BAY DR ELEVATION - BALCONY RENOVATIONS

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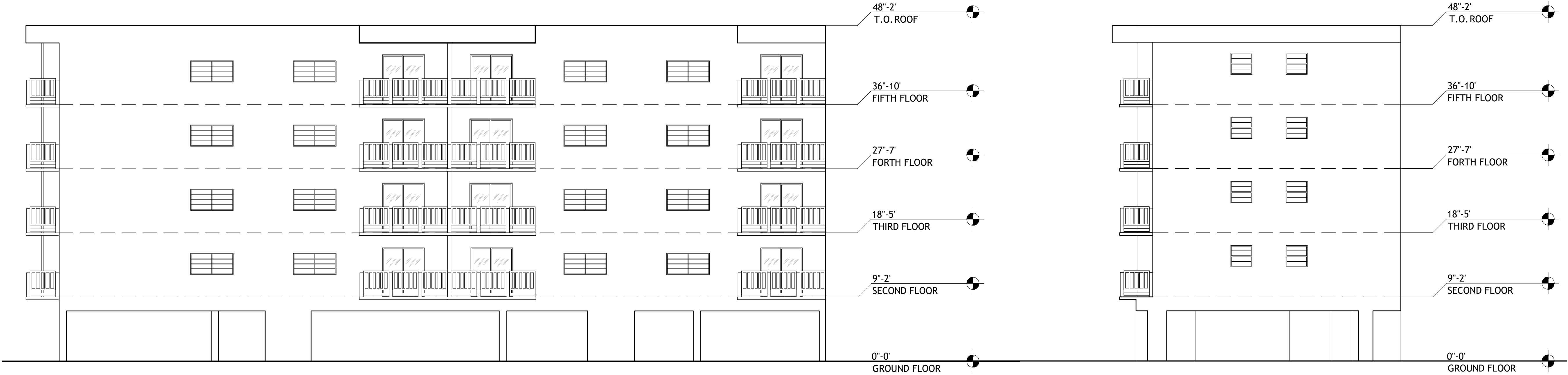
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A EXISTING NORTH ELEVATION (FRONT)
SCALE : 1/8" = 1'-0"

B EXISTING EAST ELEVATION
SCALE : 1/8" = 1'-0"



C EXISTING WEST ELEVATION
SCALE : 1/8" = 1'-0"

D EXISTING SOUTH ELEVATION (REAR)
SCALE : 1/8" = 1'-0"

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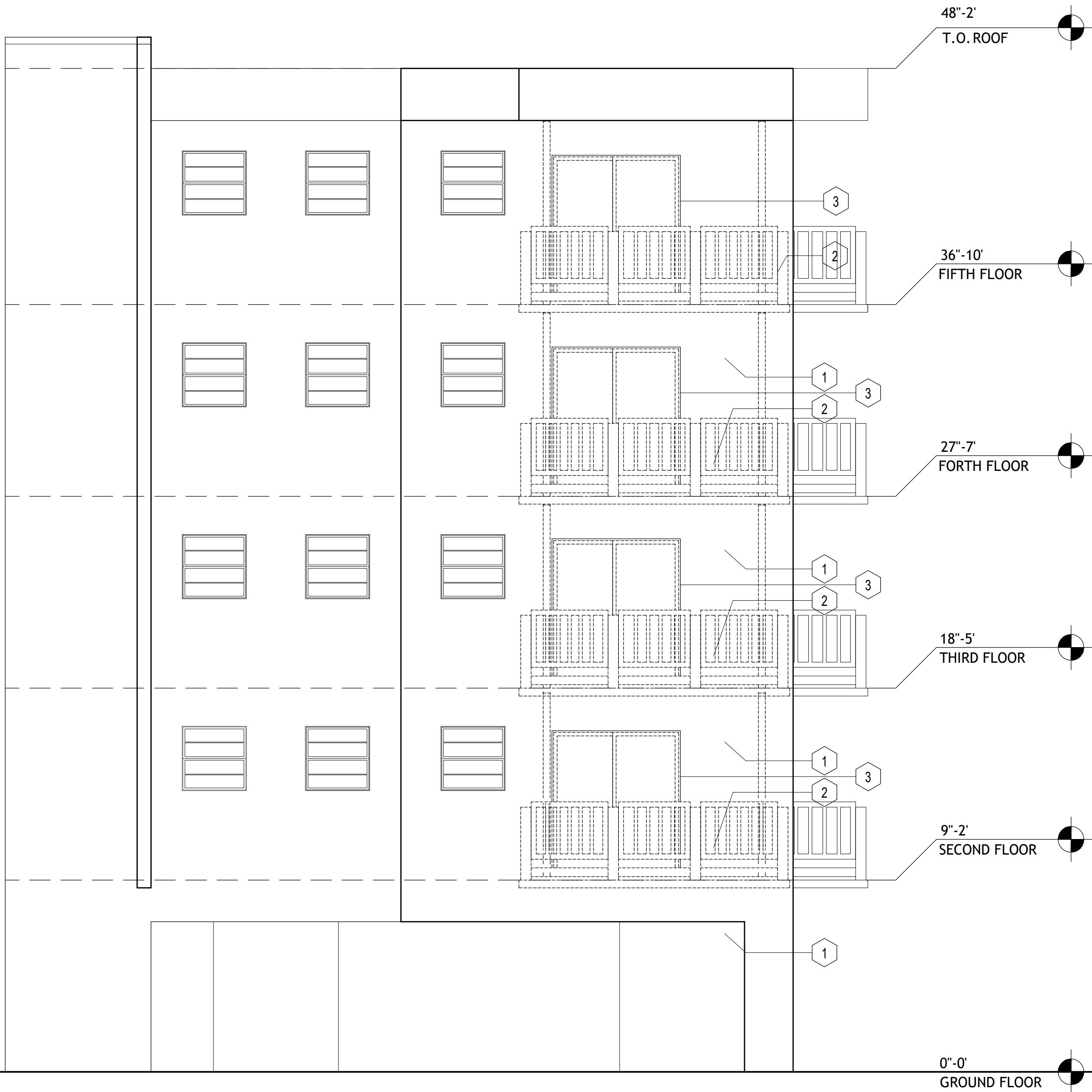


WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

EXISTING ELEVATIONS

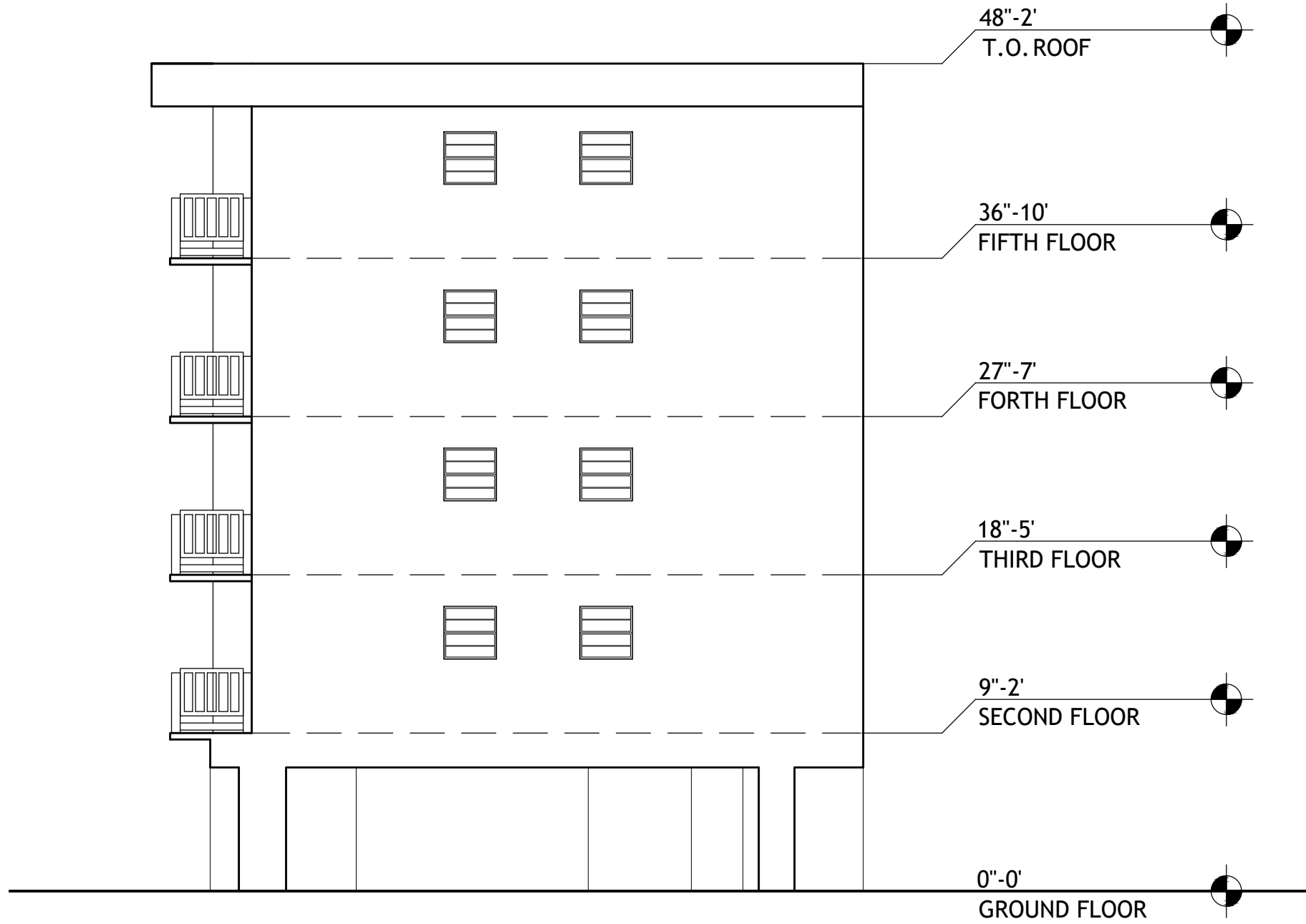
CHECKED BY : WC	SHEET NO :
DRAWN BY : RS	EX-1
SCALE:	
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A NORTH ELEVATION (FRONT)
SCALE : 1/4" = 1'-0"



B EAST ELEVATION
SCALE : 1/8" = 1'-0"



C SOUTH ELEVATION (REAR)
SCALE : 1/8" = 1'-0"



D WEST ELEVATION
SCALE : 1/8" = 1'-0"

- DEMOLITION GENERAL NOTES:
1. NO EVIDENCE OF ASBESTOS OR FRIABLE MATERIALS ARE OBSERVED PRESENT.
 2. ALL EXISTING STRUCTURAL ELEMENTS PRESENT TO BE INTACT AND IN GOOD CONDITION OTHER THAN THE NORTH ELEVATION BALCONIES & RAILINGS.
 3. GENERAL CONTRACTOR TO PROVIDE TEMPORARY GUARDRAILS AFTER EXISTING GUARDRAILS ARE REMOVED.
 4. TEMPORARY GUARD RAILS ARE TO BE 42" HIGH AND TO REJECT A 4" SPHERE IN BETWEEN PICKETS.

- DEMOLITION GENERAL REFERENCE NOTES:
- 1 EXISTING 6" SLAB TO BE SAW CUT & REMOVED AT NORTH ELEVATION.
 - 2 EXISTING RAILING TO BE REMOVED. NORTH ELEVATION ONLY.
 - 3 EXISTING SLIDING DOOR TO BE REPLACED WITH NEW. PLEASE REFER TO DOOR SCHEDULE FOR ADDITIONAL DETAILS. NORTH ELEVATION ONLY.

DEMOLITION GENERAL LEGEND:

--- EXISTING TO BE REMOVED

CLIENT :

2001 BAY DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051

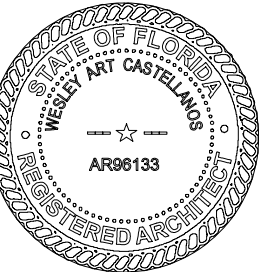
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MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

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No.	DATE	ISSUED / REVISED
1	01 AUG/18	SURVEY
2	15 AUG/18	CONSTRUCTION DOCUMENTS
3	30 AUG /18	ISSUED FOR PERMITTING
4	13 MAY /19	DESIGN REVIEW BOARD
5	1 JULY /19	DRB FINAL SUBMITTAL

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

DEMOLITION (BALCONIES)

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DRAWN BY : RS
SCALE:
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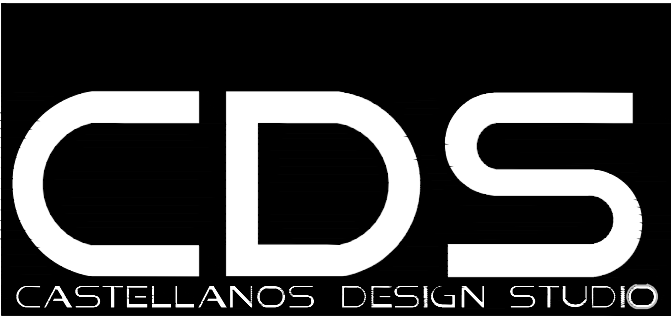
SHEET NO :
D-1

CLIENT :

2001 BAY DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051



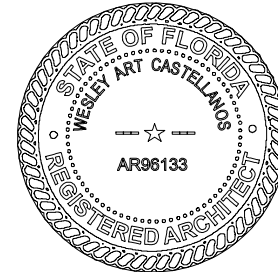
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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

PROPOSED ELEVATIONS (OPTION 1)

CHECKED BY : WC	SHEET NO :
DRAWN BY : RS	A-1.1
SCALE:	
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PROPOSED SCOPE OF WORK:

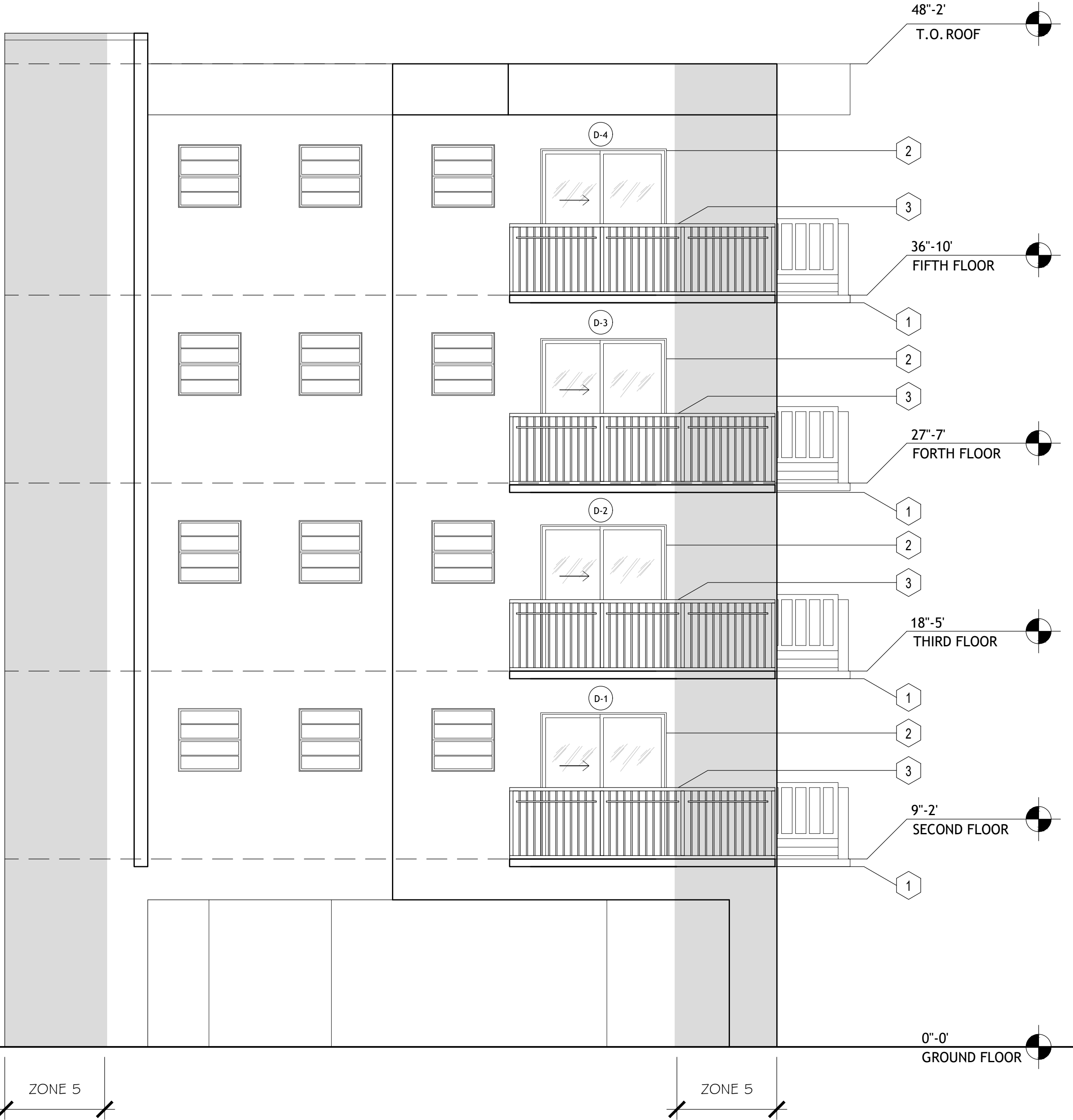
1. NEW JULIET BALCONY STYLE RAILINGS AT NORTH ELEVATION ONLY (FRONT)
2. THE REMOVAL AND REPLACEMENT OF GLASS SLIDING DOORS AT NORTH ELEVATION ONLY.

PROPOSED GENERAL NOTES:

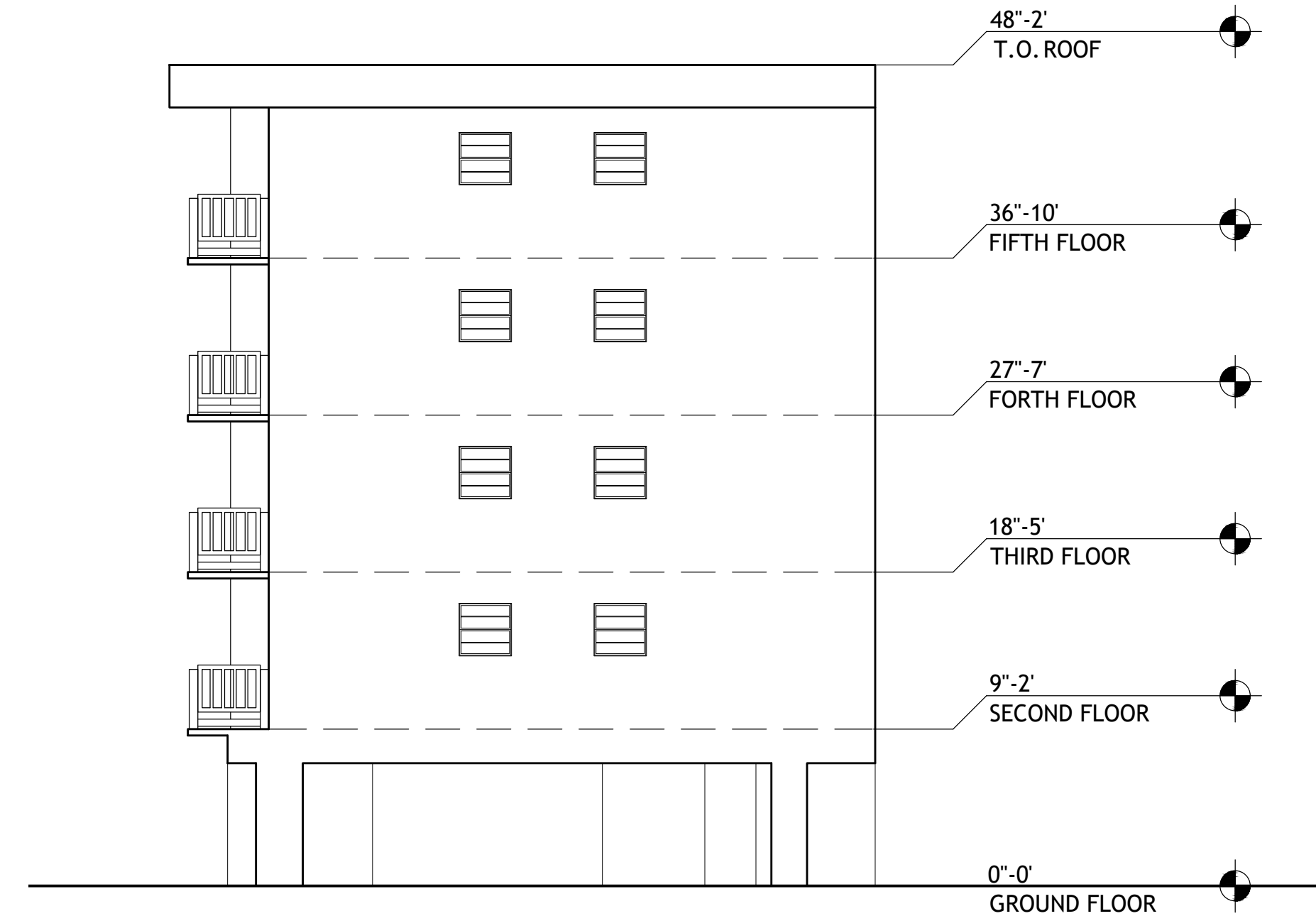
1. ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR) ARE TO COMPLY WITH FCBC CHAPTER 8 FOR FLAME, SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION. (FOR SLIDING GLASS DOORS REPLACEMENT INTERIOR WALL REPAIR).
2. EXISTING GUARD RAIL IN THE COMMON AREAS WALKWAY IS TO REMAIN EXISTING. NO WORK TO BE PERFORMED IN THIS AREAS. NORTH ELEVATION BALCONIES ONLY.

PROPOSED GENERAL REFERENCE NOTES:

- 1 PROPOSED JULIET STYLE BALCONY.
- 2 NEW SLIDING GLASS DOOR. UNDER SEPARATE SUB-PERMIT.
- 3 NEW RAILING. PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL. UNDER SEPARATE PERMIT.



A NORTH ELEVATION (BAY DR.) - WITH ALUMINUM PICKET RAILING DESIGN
SCALE : 1/4" = 1'-0"



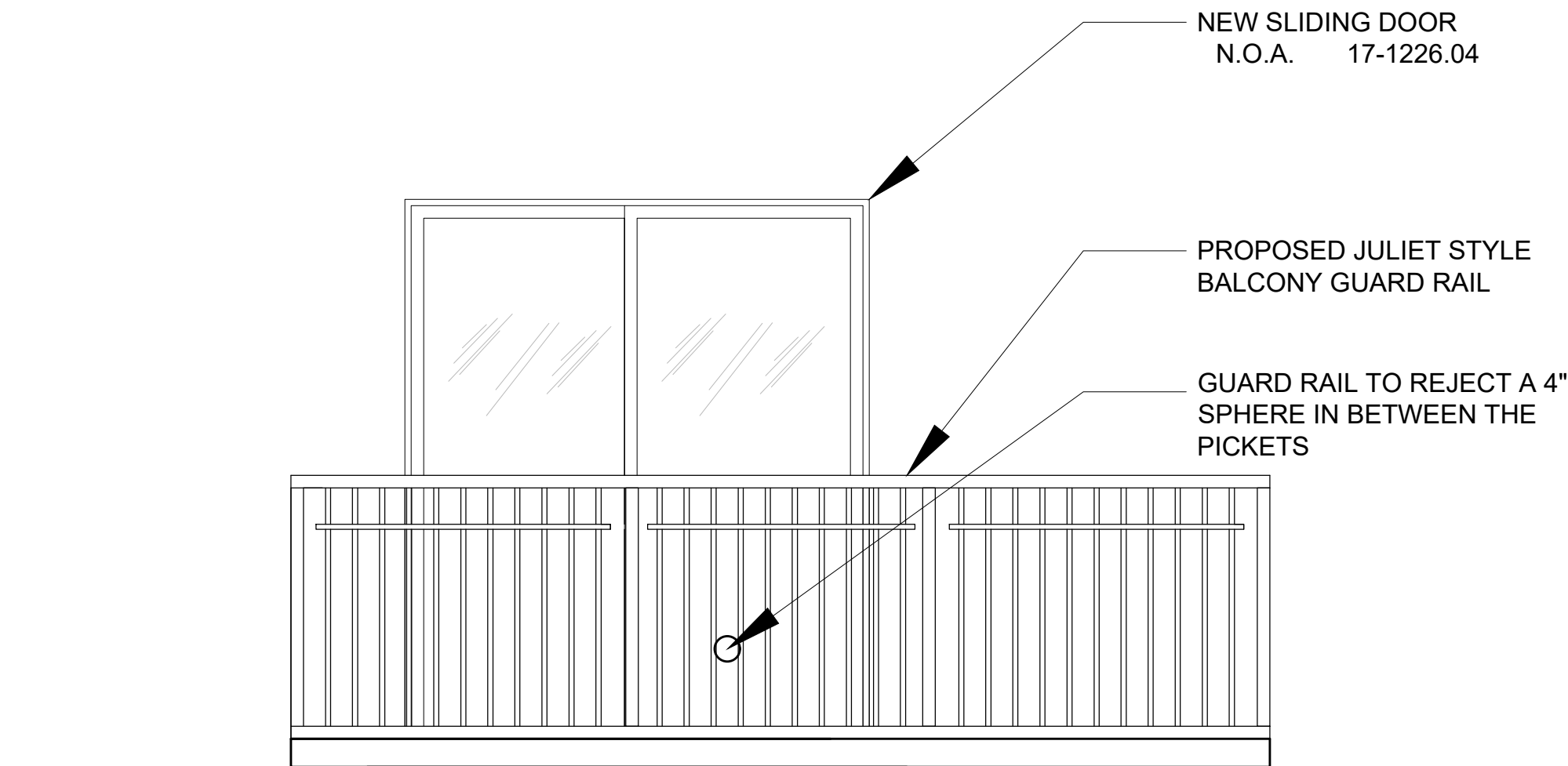
C SOUTH ELEVATION (REAR)
SCALE : 1/8" = 1'-0"



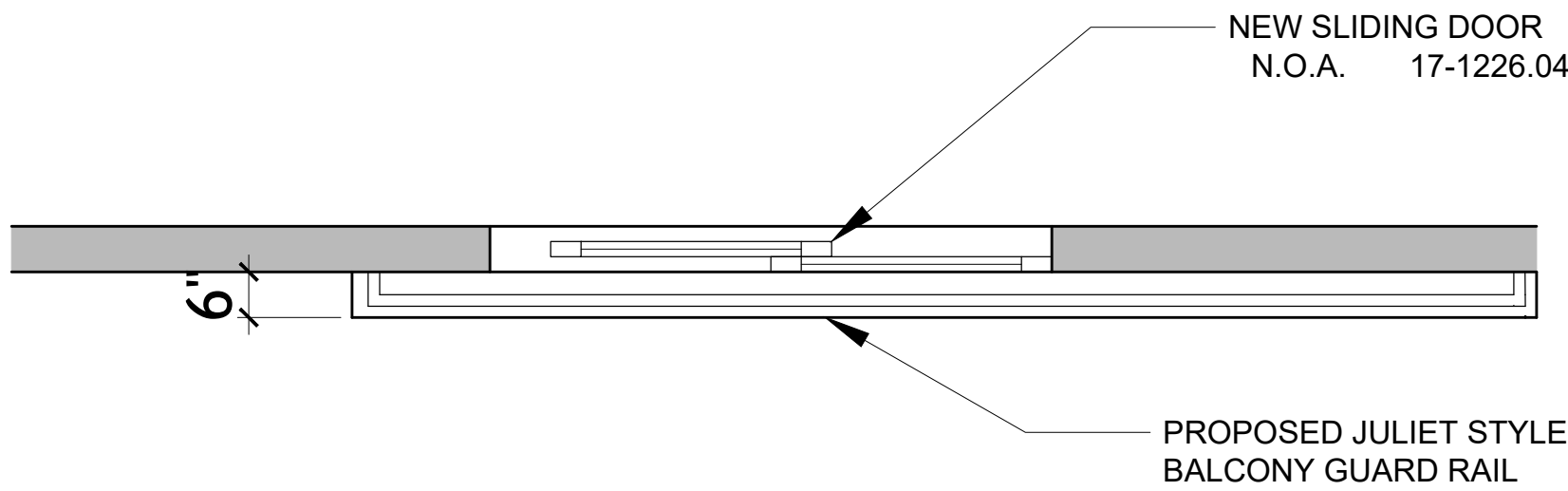
B EAST ELEVATION
SCALE : 1/8" = 1'-0"



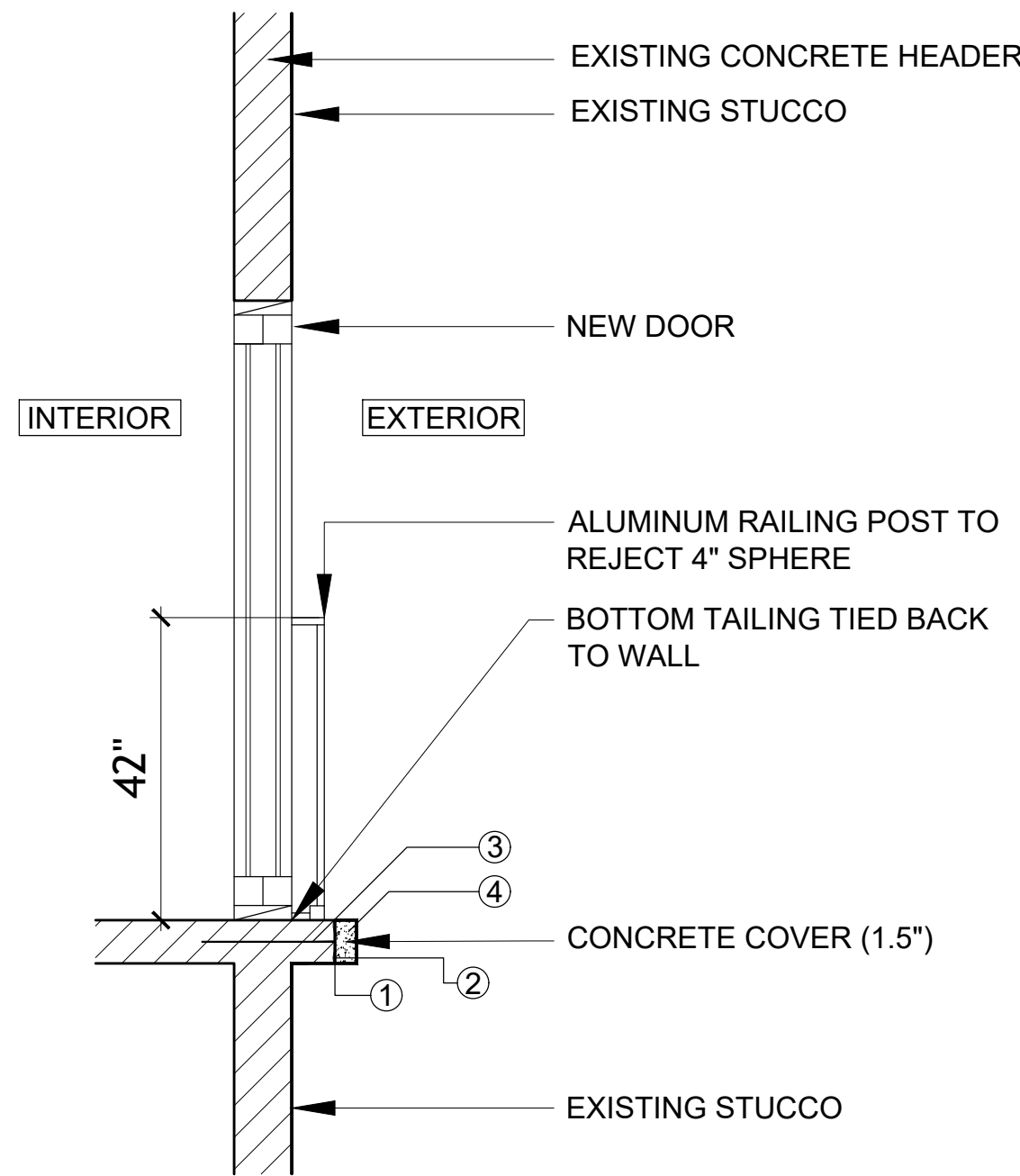
D WEST ELEVATION
SCALE : 1/8" = 1'-0"



1 **EXISTING NORTH ELEVATION BALCONY (TYP.)**
SCALE : 1/2" = 1'-0"



2 **PROPOSED NORTH ELEVATION BALCONY (TYP.)**
SCALE : 1/2" = 1'-0"



A **TYPICAL SECTION**
SCALE : 1/2" = 1'-0"

REFERENCE NOTES:

- ① SAW CUT 1/2" DEEP (90 DEGREES TO THE SURFACE OF SLABS COLUMNS RIBS & BEAMS) CONTINUOUS AROUND THE PERIMETER OF THE REPAIR AREA.
- ② CHIP AND REMOVE CRACKED AND DAMAGES CONCRETE TO A MINIMUM DISTANCE OF 3/4" BEHIND REBAR, EXTEND CHIPPING TO FOLLOW THE REBAR LENGTH UNTIL SOUND, CONCRETE IS ENCOUNTERED AND THE REBAR BEING EXPOSED IS NOT RUSTED. IF HAIRLINE CRACKS CONTINUE INTO OTHERWISE SOUND CONCRETE, CONTRACTOR TO EPOXY INJECT THE INNER CRACKS (WITH SCB CONCRESE 1380, BEFORE APPLYING PATCHING.
- ③ EXPOSED RUSTED REBARS. SAND BLAST CLEAN AND OBSERVE CROSS SECTION. COAT REBAR WITH RUSTPROOF PAINT (EMACO P-24). NEW ADDED REBAR SHALL BE PAINTED WITH EPOXY REBAR COATING.
- ④ PATCH CONCRETE (TO ORIGINAL DIMENSIONS) WITH REPAIR MORTAR (EMACO 588 C1 OR MASTERPATCH 240 CR) ALTERNATIVELY CONCRETE APPLIED BY GUNITE MAY BE CONSIDERED. IF REQUIRED APPLY EMACO P-24 EPOXY BONDING AGENT TO EXISTING CONCRETE. ALL CONCRETE FC=50000 PSI MINIMUM.

CLIENT :

2001 BAY
DRIVE

BAY DR ELEVATION -
BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051

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5	1 JULY /19	DRB FINAL SUBMITTAL

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

BALCONY
DETAILS &
ENLARGEMENTS
(OPTION 1)

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DRAWN BY : RS
SCALE:
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SHEET NO :

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A NORTH ELEVATION (BAY DR.)
SCALE: 1/4" = 1'-0"

CLIENT :

2001 BAY DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051

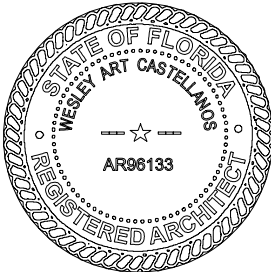
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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

**PROPOSED
RENDERING
(OPTION 1)**

CHECKED BY : WC

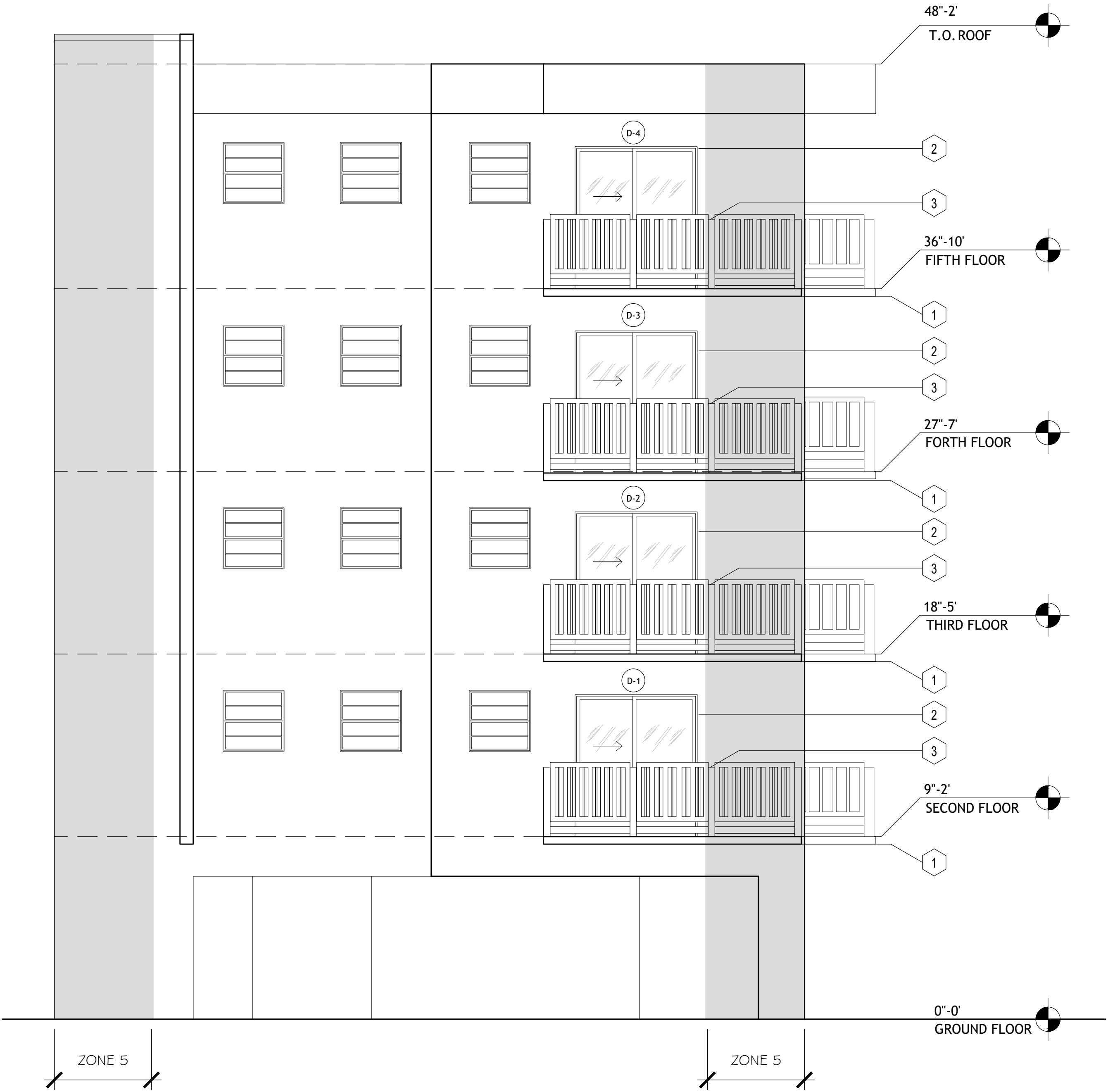
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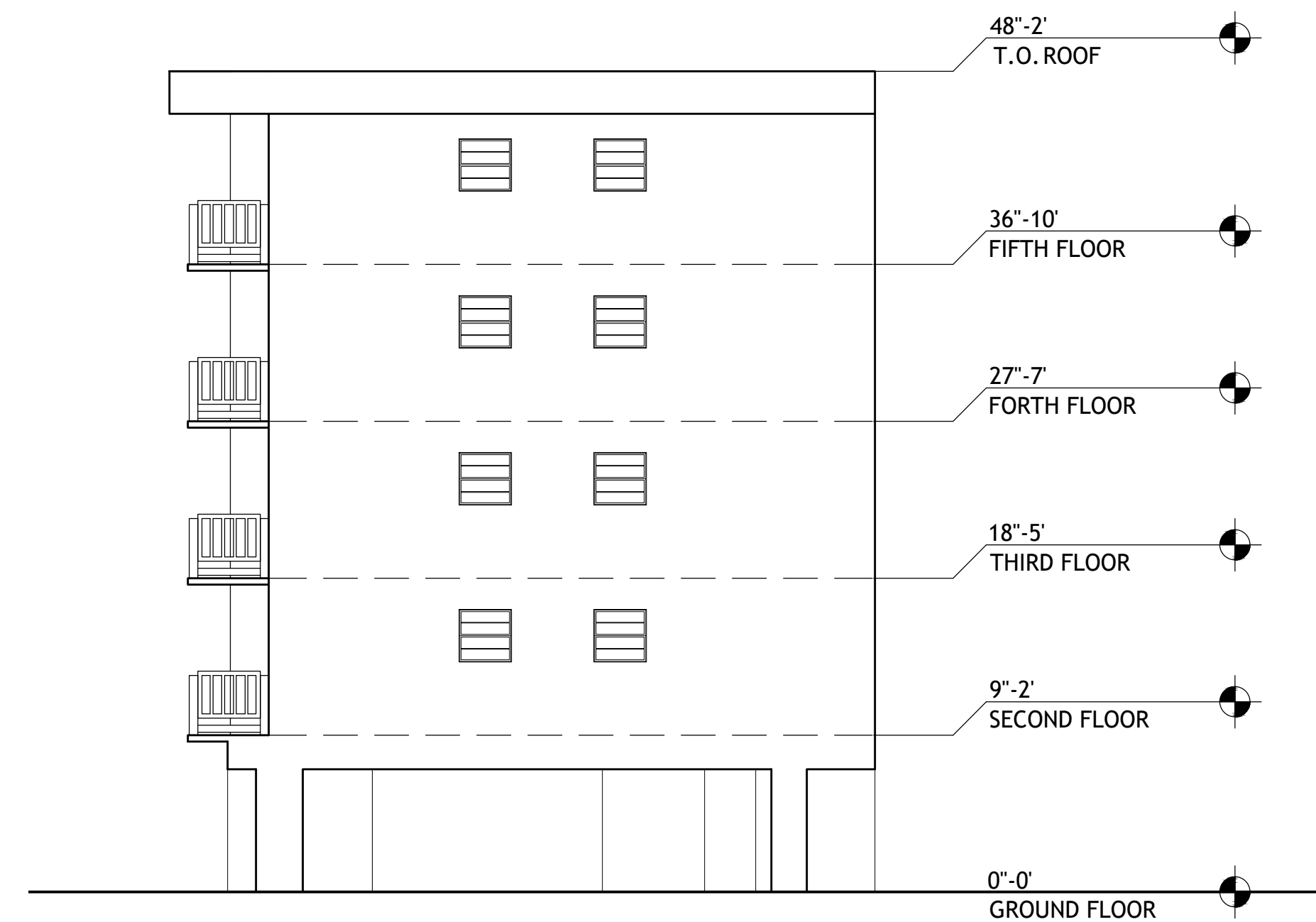
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SHEET NO :

A-1.3



A NORTH ELEVATION (BAY DR.)
SCALE : 1/4" = 1'-0"



C SOUTH ELEVATION (REAR)
SCALE : 1/8" = 1'-0"



B EAST ELEVATION
SCALE : 1/8" = 1'-0"



D WEST ELEVATION
SCALE : 1/8" = 1'-0"

PROPOSED SCOPE OF WORK:

1. NEW JULIET BALCONY STYLE RAILINGS AT NORTH ELEVATION ONLY (FRONT)
2. THE REMOVAL AND REPLACEMENT OF GLASS SLIDING DOORS AT NORTH ELEVATION ONLY.

PROPOSED GENERAL NOTES:

1. ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR) ARE TO COMPLY WITH FCBC CHAPTER 8 FOR FLAME, SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION. (FOR SLIDING GLASS DOORS REPLACEMENT INTERIOR WALL REPAIR).
2. EXISTING GUARD RAIL IN THE COMMON AREAS WALKWAY IS TO REMAIN EXISTING. NO WORK TO BE PERFORMED IN THIS AREAS. NORTH ELEVATION BALCONIES ONLY.

PROPOSED GENERAL REFERENCE NOTES:

1. PROPOSED JULIET STYLE BALCONY.
2. NEW SLIDING GLASS DOOR. UNDER SEPARATE SUB-PERMIT.
3. NEW RAILING. PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL. UNDER SEPARATE PERMIT.

CLIENT :

2001 BAY
DRIVE

BAY DR ELEVATION -
BALCONY RENOVATIONS

2001 BAY DRIVE
MIAMI BEACH, FL 33141
02-3210-002-1051

CDS
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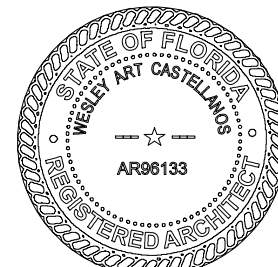
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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

PROPOSED
ELEVATIONS
(OPTION 2)

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SCALE:
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SHEET NO :

A-2.1

REFERENCE NOTES:

- ① SAW CUT ½" DEEP (90 DEGREES TO THE SURFACE OF SLABS COLUMNS RIBS & BEAMS) CONTINUOUS AROUND THE PERIMETER OF THE REPAIR AREA.
- ② CHIP AND REMOVE CRACKED AND DAMAGES CONCRETE TO A MINIMUM DISTANCE OF ¾" BEHIND REBAR, EXTEND CHIPPING TO FOLLOW THE REBAR LENGTH UNTIL SOUND, CONCRETE IS ENCOUNTERED AND THE REBAR BEING EXPOSED IS NOT RUSTED. IF HAIRLINE CRACKS CONTINUE INTO OTHERWISE SOUND CONCRETE, CONTRACTOR TO EPOXY INJECT THE INNER CRACKS (WITH SCB CONCRESEIVE 1380, BEFORE APPLYING PATCHING.
- ③ EXPOSED RUSTED REBARs. SAND BLAST CLEAN AND OBSERVE CROSS SECTION. COAT REBAR WITH RUSTPROOF PAINT (EMACO P-24). NEW ADDED REBAR SHALL BE PAINTED WITH EPOXY REBAR COATING.
- ④ PATCH CONCRETE (TO ORIGINAL DIMENSIONS) WITH REPAIR MORTAR (EMACO 588 C1 OR MASTERPATCH 240 CR) ALTERNATIVELY CONCRETE APPLIED BY GUNITE MAY BE CONSIDERED. IF REQUIRED APPLY EMACO P-24 EPOXY BONDING AGENT TO EXISTING CONCRETE. ALL CONCRETE FC=50000 PSI MINIMUM.

CLIENT :

2001 BAY
DRIVE

BAY DR ELEVATION -
BALCONY RENOVATIONS

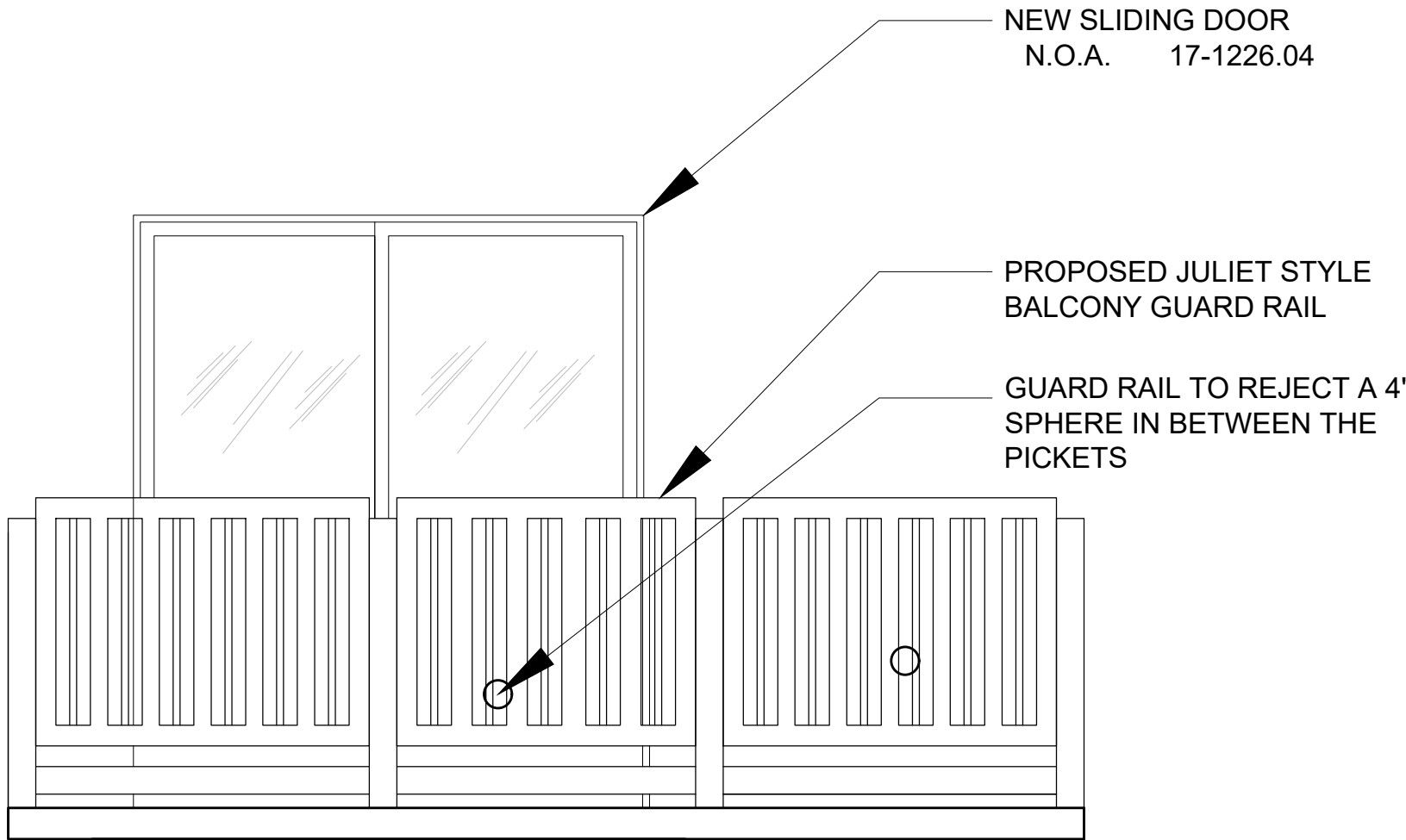
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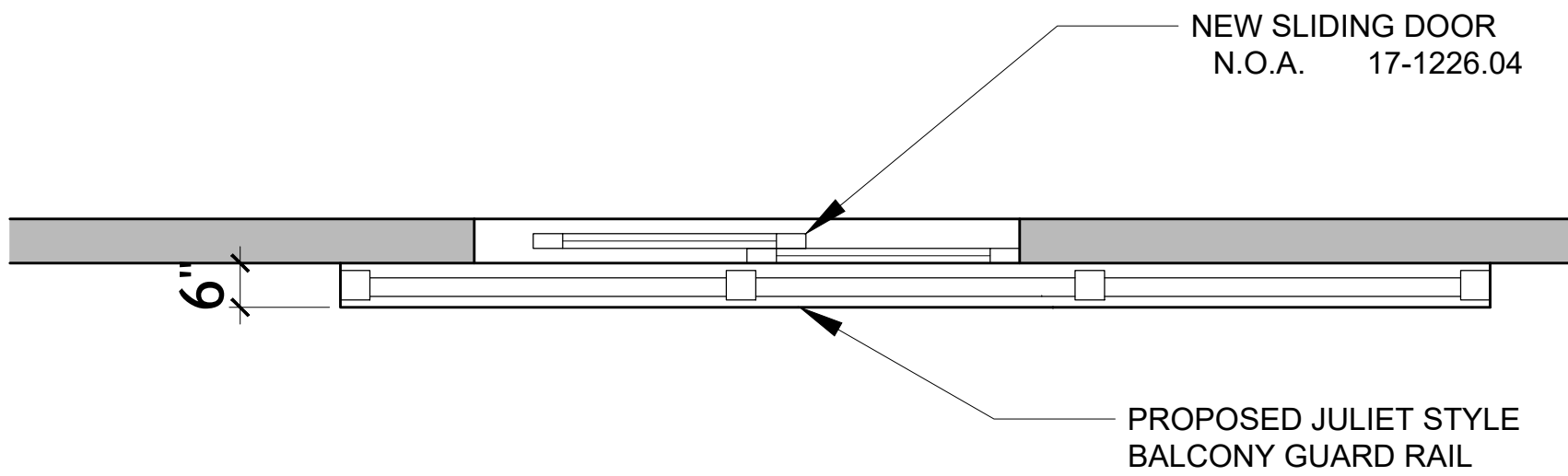
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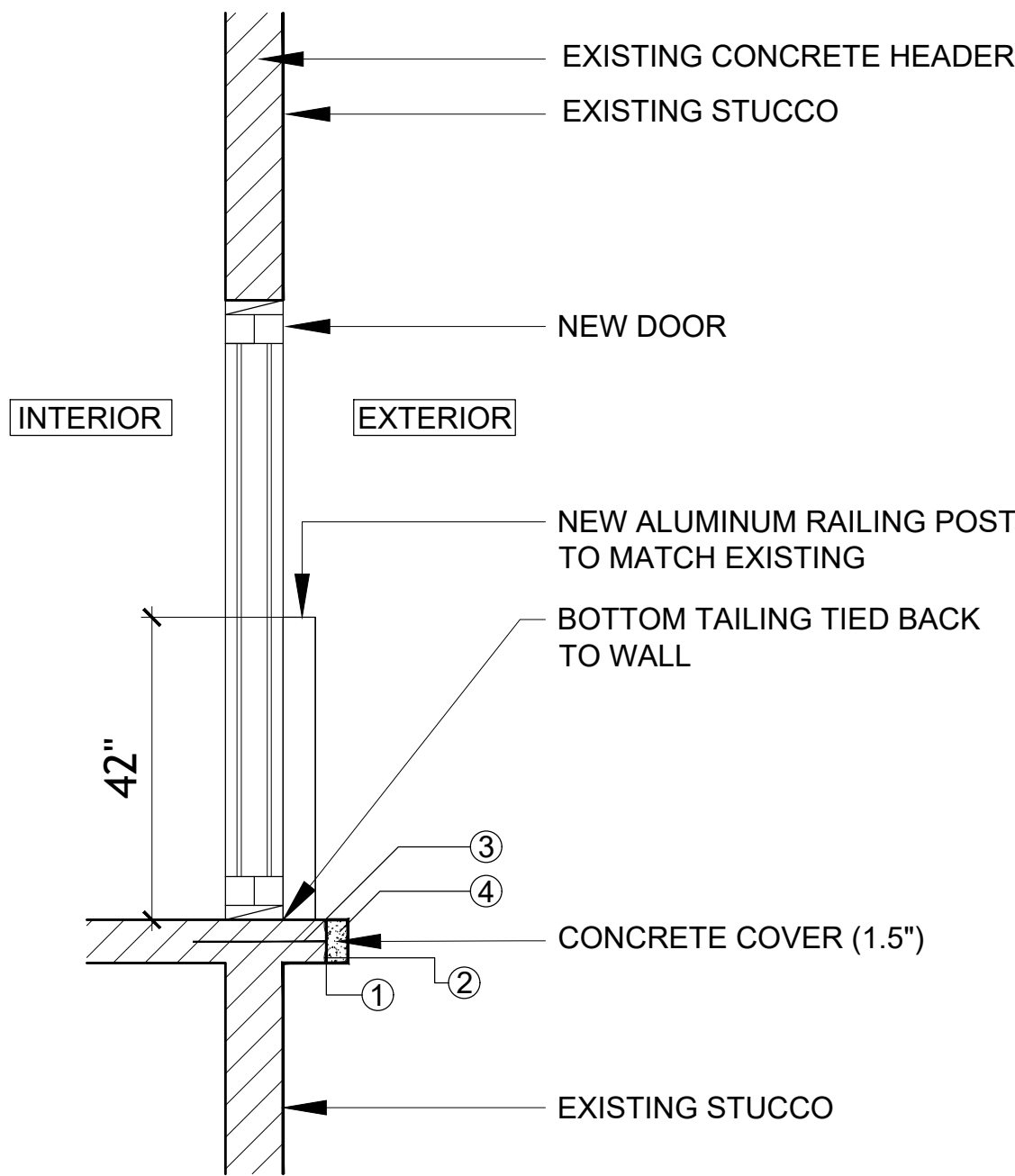
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1 **EXISTING NORTH ELEVATION BALCONY (TYP.)**
SCALE : 1/2" = 1'-0"



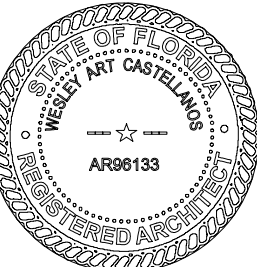
2 **PROPOSED NORTH ELEVATION BALCONY (TYP.)**
SCALE : 1/2" = 1'-0"



A **TYPICAL SECTION**
SCALE : 1/2" = 1'-0"

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

BALCONY
DETAILS &
ENLARGEMENTS
(OPTION 2)

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DRAWN BY : RS

SCALE:

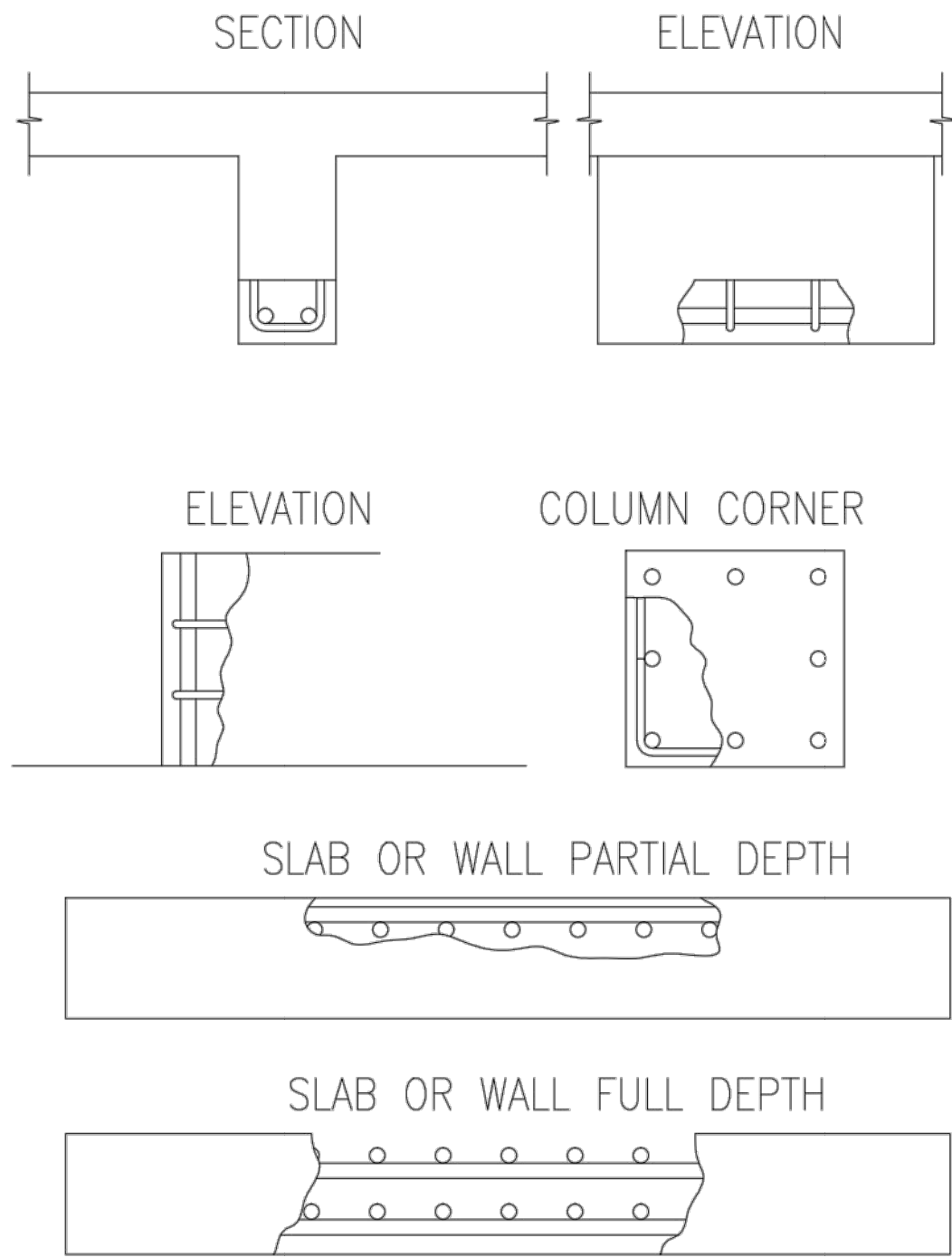
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A-2.2



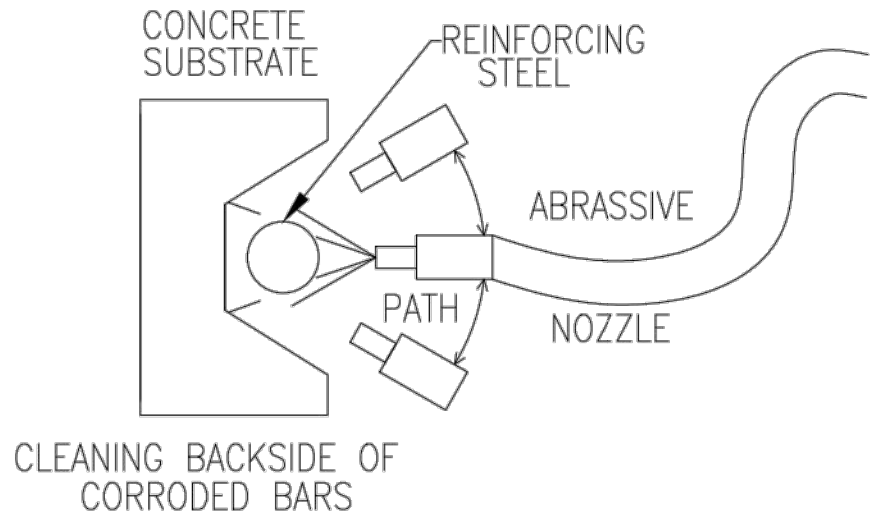
A-2.3



BEAM OVER OPENING PATCH DETAIL
SCALE: 3/4" =1'-0"

CLEANING OF REINFORCING STEEL

- 6 ALL HEAVY CORROSION AND SCALE SHOULD BE REMOVED FROM BAR AS NECESSARY TO PROMOTE MAXIMUM BOND OF REPLACEMENT MATERIAL. OIL FREE ABRASIVE BLAST IS THE PREFERRED METHOD. A TIGHTLY BONDED LIGHT RUST BUILD-UP ON THE SURFACE IS USUALLY NOT DETRIMENTAL TO BOND, UNLESS A PROTECTIVE COATING IS BEING APPLIED TO THE BAR SURFACE, IN WHICH CASE THE COATING MANUFACTURER'S RECOMMENDATION FOR SURFACE PREPARATION SHOULD BE FOLLOWED.

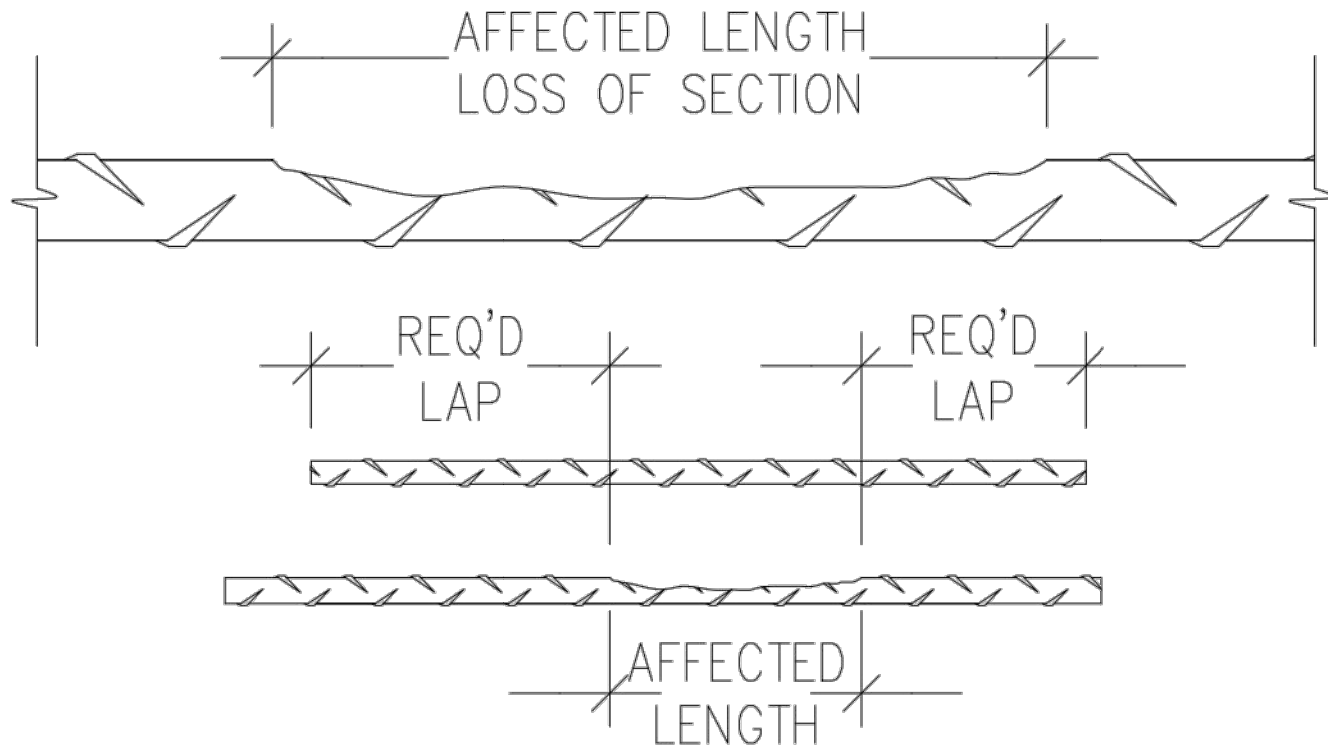


REPAIR OF REINFORCING STEEL DUE TO LOSS SECTION

IF REINFORCING STEEL HAS LOST SIGNIFICANT CROSS SECTION, A STRUCTURAL ENGINEER SHOULD BE CONSULTED. IF REPAIRS ARE REQUIRED TO THE REINFORCING STEEL, ONE OF THE FOLLOWING REPAIR METHODS SHOULD BE USED.

- COMPLETE BAR REPLACEMENT, OR
- ADDITIONAL OF SUPPLEMENT BAR OVER AFFECTED SECTION.

NEW BARS MAY BE MECHANICALLY SPICED TO OLD BARS OR PLACED PARALLEL TO AND APPROXIMATELY 1/4" FROM EXISTING BARS.LAP LENGTH SHALL BE DETERMINED IN ACCORDANCE WITH ACI318; ALSO REFER TO CRSI AND AASHTO MANUAL.

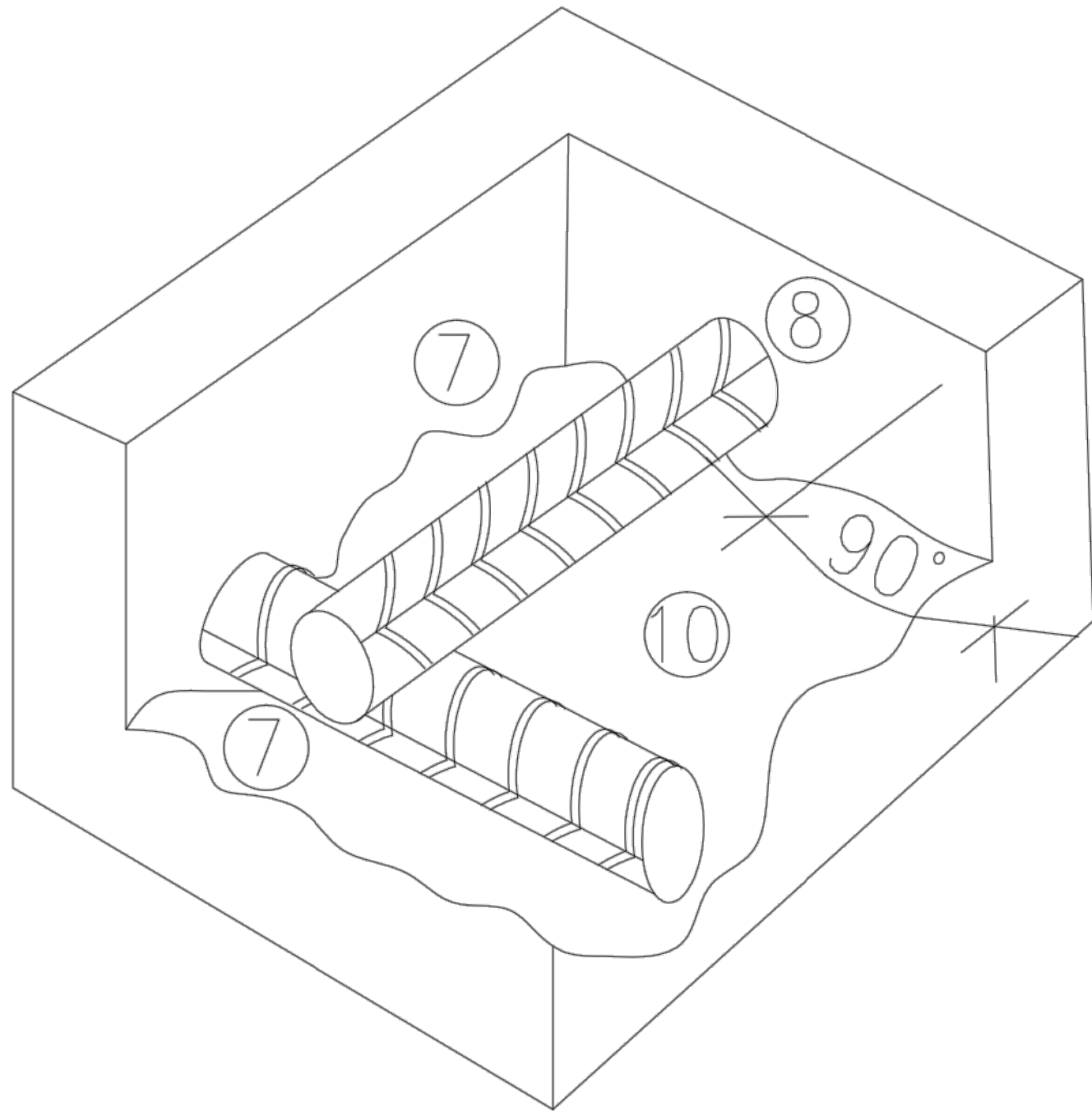


EDGE AND SURFACE CONDITIONING OF CONCRETE

THESE DETAILS ARE APPLICABLE TO HORIZONTAL, VERTICAL, AND OVERHEAD LOCATIONS. THEY ARE ALSO APPLICABLE TO REMOVE BY HYDRO-DEMOLITION, HYDROMILLING, AND ELECTRIC, PNEUMATIC OR HYDRAULIC IMPACT BREAKERS.

DO NOT USE THESE DETAILS FOR SHOTCRETE APPLICATIONS, FOR SHOTCRETE REPAIRS REFER TO AC1506 EDGE PREPARATION GUIDELINES.

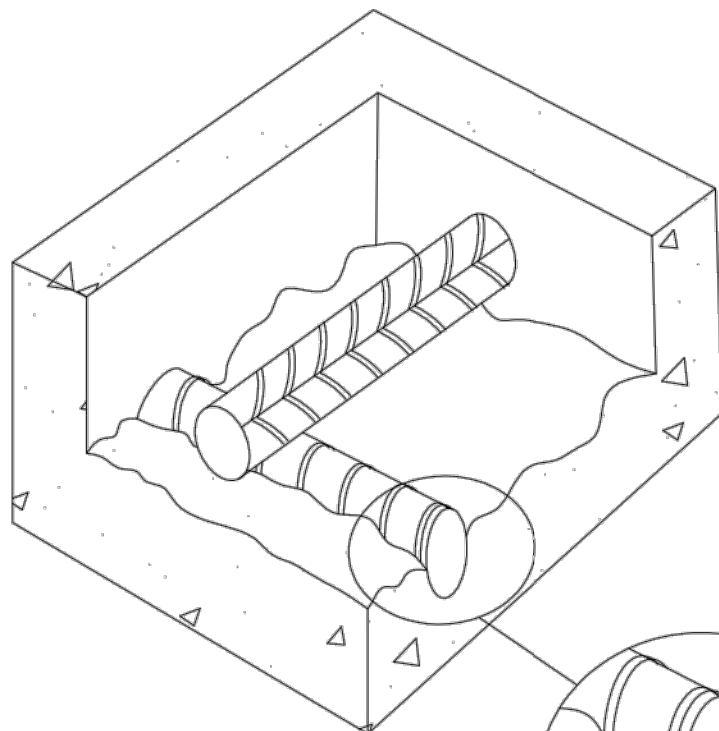
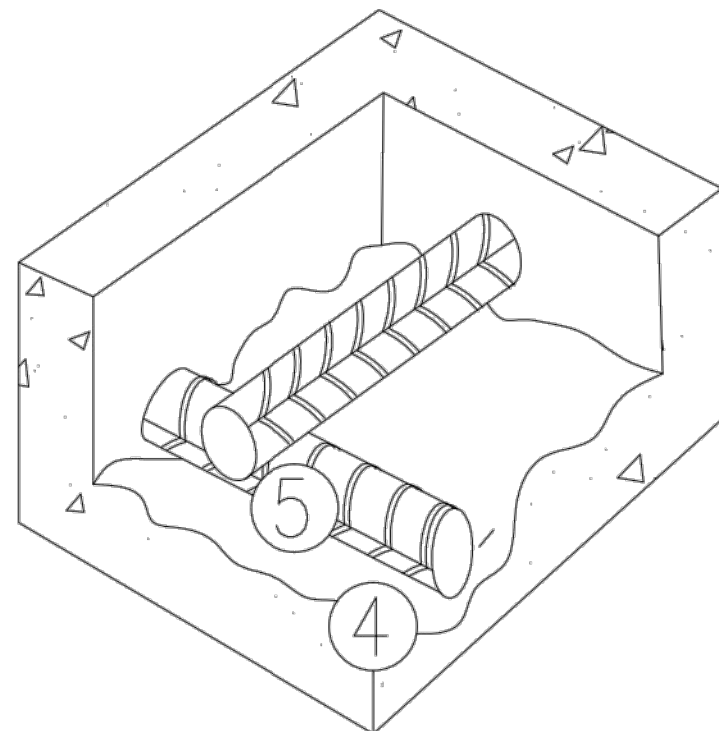
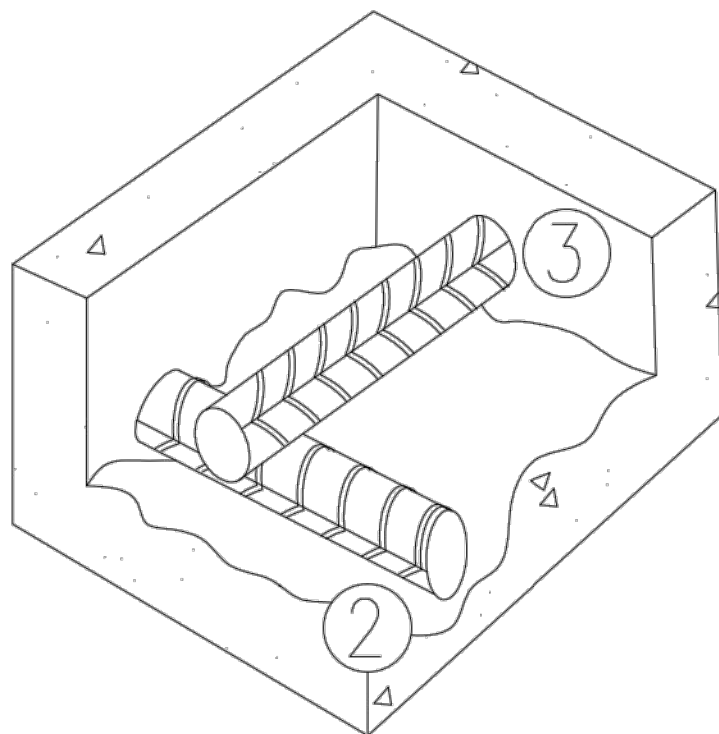
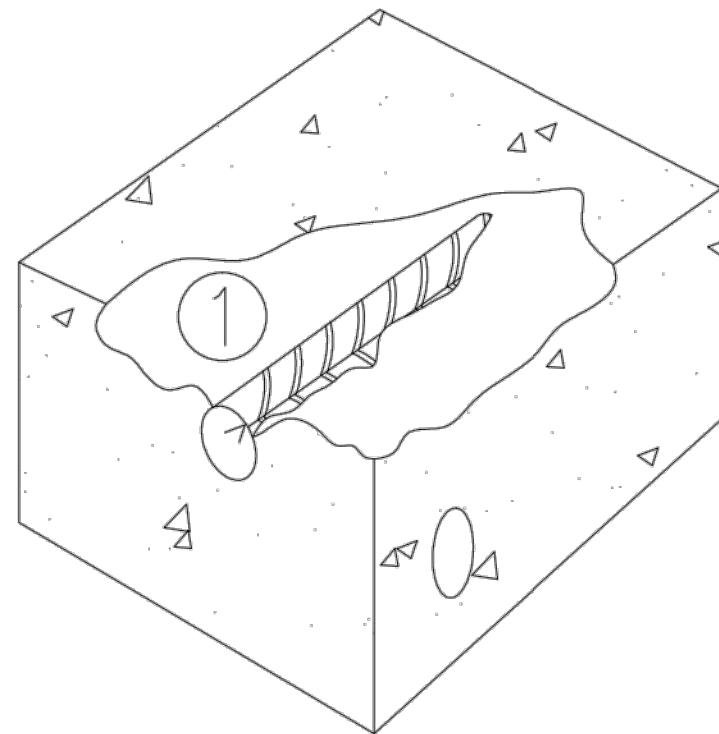
- 7 REMOVE DELAMINATED CONCRETE, UNDERCUT REINFORCING STEEL (REFER TO "EXPOSING AND UNDERCUTTING OF REINFORCING STEEL" ON THIS SHEET), REMOVE ADDITIONAL CONCRETE AS REQUIRED TO TO PROVIDE MINIMUM REQUIRED THICKNESS OF REPAIR MANUAL.
- 8 AT EDGE LOCATIONS, PROVIDE RIGHT ANGLE CUTS TO THE CONCRETE SURFACE WITH EITHER OF THE FOLLOWING METHOD:
- SAWCUT 1/2" (16mm) OR LESS AS REQUIRED TO AVOID CUTTING REINFORCING STEEL.
 - USE POWER EQUIPMENT SUCH AS HYDRODEMOLITION OR IMPACT BREAKERS. AVOID FEATHER EDGES.
- 9 REPAIR CONFIGURATIONS SHOULD BE KEPT AS SIMPLE AS POSSIBLE, PREFERABLY WITH SQUARED CORNERS.
- 10 AFTER REMOVALS AND EDGE CONDITIONING ARE COMPLETE, REMOVE BOND INHIBITING MATERIALS (DIRT, CONCRETE SLURRY, LOOSELY BONDED AGGREGATES) BY ABRASIVE BLASTING OR HIGH PRESSURE WATER BLASTING WITH OR WITHOUT ABRASIVE. CHECK THE CONCRETE SURFACES AFTER CLEANING TO INSURE THAT SURFACE IS FREE FROM ADDITIONAL LOOSE AGGREGATE, OR THAT ADDITIONAL DELAMINATIONS ARE NOT PRESENT.
- 11 IF HYDRODEMOLITION IS USED, CEMENT AND PARTICULATE SLURRY MUST BE REMOVED FROM THE PREPARED SURFACES BEFORE SLURRY HARDENS



EXPOSING AND UNDERCUTTING OF REINFORCING STEEL

THESE DETAILS ARE APPLICABLE TO HORIZONTAL, VERTICAL, AND OVERHEAD LOCATIONS. THEY ARE ALSO APPLICABLE TO REMOVE BY HYDRO-DEMOLITION, HYDROMILLING, AND ELECTRIC, PNEUMATIC OR HYDRAULIC IMPACT BREAKERS.

- 1 REMOVE LOOSE OR DELAMINATED CONCRETE ABOVE CORRODED REINFORCING STEEL.
- 2 ONCE INITIAL REMOVALS ARE MADE, PROCEED WITH THE UNDERCUTTING OF ALL EXPOSED CORRODED BARS. UNDERCUTTING WILL PROVIDE CLEARANCE FOR UNDER BAR CLEANING AND FULL BAR CIRCUMFERENCE BONDING TO SURROUNDING CONCRETE, AND WILL SECURE THE REPAIR STRUCTURALLY, PROVIDE MINIMUM 3/4" inch. (19mm) CLEARANCE BETWEEN EXPOSED REBARS AND SURROUNDING CONCRETE OR 1/4" (6mm) LARGER THAN LARGEST AGGREGATE IN REPAIR MATERIAL, WHICHEVER IS GREATER.
- 3 CONCRETE REMOVALS SHALL EXTEND ALONG THE BARS TO LOCATIONS ALONG THE BAR FREE OF BOND INHIBITING CORROSION, AND WHERE THE BAR IS WELL BONDED TO SURROUNDING CONCRETE.
- 4 IF NON-CORRODED REINFORCING STEEL IS EXPOSED DURING THE UNDERCUTTING PROCESS CARE SHALL BE TAKEN NOT TO DAMAGE THE BAR'S BOND TO SURROUNDING CONCRETE IS BROKEN, UNDERCUTTING OF THE BAR SHALL BE REQUIRED.
- 5 ANY REINFORCEMENT WHICH IS LOOSE SHALL BE SECURED IN PLACE BY TYING TO OTHER SECURED BARS OR BY WHEN APPROVAL METHODS.



CLIENT :

2001 BAY
DRIVE

BAY DR ELEVATION -
BALCONY RENOVATIONS

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MIAMI BEACH, FL 33141
02-3210-002-1051

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No.	DATE	ISSUED / REVISED
1	01 AUG/18	SURVEY
2	15 AUG/18	CONSTRUCTION DOCUMENTS
3	30 AUG /18	ISSUED FOR PERMITTING
4	13 MAY /19	DESIGN REVIEW BOARD
5	1 JULY /19	DRB FINAL SUBMITTAL

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

BALCONY
DETAILS &
NOTES

CHECKED BY : WC

DRAWN BY : RS

SCALE:

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SHEET NO :

A-3

DOOR SCHEDULE															
DOOR NO.	ELEVATION	DOOR TYPE	DOOR MAT.	FRAME MAT.	WIDTH	SIZE HT.	THKN'S	RATING	GLASS TYPE	GLASS TINT	DOOR FINISH	UNDERCUT	WIND LOAD	PRESSURES	COMMENTS
D1	NORTH ELEVATION	A	ALUM/GL.	ALUM.	(2)3'-1"	7'-2"	1-3/4"	S.M.I.	-	-	WD	-	80.0	-120.0	
D2	NORTH ELEVATION	A	ALUM/GL.	ALUM.	(2)3'-1"	7'-2"	1-3/4"	S.M.I.	-	-	WD	-	80.0	-120.0	
D3	NORTH ELEVATION	A	ALUM/GL.	ALUM.	(2)3'-1"	7'-2"	1-3/4"	S.M.I.	-	-	WD	-	80.0	-120.0	
D4	NORTH ELEVATION	A	ALUM/GL.	ALUM.	(2)3'-1"	7'-2"	1-3/4"	L.M.I.	-	-	WD	-	80.0	-120.0	

- NOTE:BEFORE ORDERING G.C. TO
VERIFY ROUGH OPENING AND
EXISTING CONDITIONS.

DOOR / HARDWARE KEYNOTES

1. CONTRACTOR TO SUBMIT INDICATION OF MIAMI-DADE PRODUCT APPROVAL, PRODUCT DATA AND SHOP DRAWINGS FOR ALL DOORS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. CONTRACTOR TO SUBMIT CUT-SHEETS FOR ALL HARDWARE FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION.
3. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL BE LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS OR U-SHAPED HANDLES. HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FINISHED FLOOR.
4. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 - A) EXTERIOR HINGED DOORS - 8.5 LBF
 - B) INTERIOR HINGED DOORS - 5 LBF
 - C) SLIDING OR FOLDING DOORS - 5 LBF
5. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
6. FIRE RATED DOORS TO EACH UNIT SHALL COMPLY WITH FBC.

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CLIENT :

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DRIVE

BAY DR ELEVATION - BALCONY RENOVATIONS

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BACK COVER SHEET - LEFT INTENTIONALLY BLANK

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GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY OBSERVE TO ARCHITECT IMMEDIATELY UPON RECEIPT THEREOF.

INCERTAINTY

SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2018-32

BACK COVERSHEET

CHECKED BY : WC

DRAWN BY : RS

SCALE:

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SHEET NO :

X-X