

RESIDENCE 2300 ALTON RD MIAMI BEACH, FL.



AREA OF WORK



LOCATION PLAN

N.T.S.

FINAL SUBMITTAL

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SCOPE OF WORK

ALTERATION LEVEL III
ADDITION AND RENOVATION
(ACCESSORY BUILDING)

- PROPOSED NEW ADDITION (2 STORY STRUCTURE)
- PROPOSED FIRST FLOOR ADDITION FOR GARAGE EXTENSION.
- EXISTING PARTIAL 1ST FLOOR STRUCTURE TO BE DEMOLISHED TO PROVIDE A NEW COVER TERRACE.
- ELECTRICAL AS REQUIRED.
- MECHANICAL AS REQUIRED.
- PLUMBING REQUIRED.

VARIANCE REQUIRED:

1. INTERIOR SIDE SETBACK REQUIRED: 10'-0", PROPOSED: 5'-0"
2. SIDE FACING STREET SET BACK REQUIRED: 15'-0" , PROPOSED: 12.86'
3. REAR SETBACK REQUIRED: 15'-0", PROPOSED: 4'-6".
4. SUM SETBACK OF THE SIDE SETBACK REQUIRED 25"-0", PROPOSED : 17'-9"
5. VARIANCE TO ELIMINATE THE REQUIRED 5'-0" DISTANCE SEPARATION BETWEEN THE MAIN BUILDING AND THE ACCESSORY STRUCTURE.
6. ACCESSORY BUILDING CANNOT OCCUPY MORE THAN 25% OF THE AREA OF THE REAR YARD APPLICABLE TO THE FOOT PRINT OF THE ACCESSORY BUILDING WITHIN THE REAR 20'-0" MAX. REQ. 25% = 321.5 S.F. , PROPOSED: 717 S.F.
7. ACCESSORY BUILDING TOTAL SIZE OF ALL ACCESSORY BUILDING CANNOT EXCEED 10% OF THE SIZE OF THE MAIN HOME ON THE SUBJECT SITE MAXIMUM 10% OF THE MAIN HOME = 392.2 S.F. , PROPOSED: 1,148 S.F.

LEGAL DESCRIPTION:

LOT 1, BLOCK 13, OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE:

THESE RECORD DOCUMENTS REFLECT FIELD CONDITIONS, CONSTRUCTIONS, AND INSTALLATIONS DONE BY CERTIFIED/LICENSED CONTRACTORS, THESE PLANS ARE PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER OF RECORD HAS VERIFIED THE ACCURACY AND COMPLETENESS OF THIS INFORMATION ONLY AS MEETING THE DESIGN INTENT AND IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS, ERRORS, OR OMISSIONS AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS OR INSTALLATIONS NOT CODE COMPLIANT.

NOTE:

ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK AND/OR ORDERING ANY EQUIPMENT. CONTRACTOR SHALL PROVIDE A FULLY OPERATIONAL AND CODE COMPLIANT INSTALLATION: THESE DRAWINGS MAY OR AMY NOT INCLUDE ALL THE DETAILS, EQUIPMENT, AND ACCESSORIES TO ACCOMPLISH THIS. THE CONTRACTOR SHALL REVIEW THEM IN CONJUNCTION WITH ALL THE OTHERS TRADES/DISCIPLINES AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER IN FORM OF RFI PRIOR TO BIDDING AND CONSTRUCTION.

APPLICABLE CODES:

- FLORIDA BUILDING CODE 2017 (6TH EDITION)
- FLORIDA BUILDING CODE 2017 EXISTING (6TH EDITION)

WE THE NEIGHBORS, HAVE NO OBJECTION TO THESE PLANS WHICH ARE BEING SUBMITTED FOR AN ADMINISTRATIVE ADJUSTMENT APPLICATION

SIGNATURE AND DATE
2312 ALTON RD., MIAMI BEACH, FL 33140

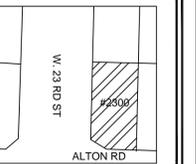
SIGNATURE AND DATE
1298 W 23RD ST. MIAMI BEACH, FL 33140

SIGNATURE AND DATE
2321 N BAY RD. MIAMI BEACH FL, 33140

Edward A. LANDERS, P.E.
CONSULTING ENGINEERS
7850 NW 140TH STREET, SUITE 508 MIAMI LAKES FL 33016
P.E. #0335396
Tel. (305) 823-3938
Fax (305) 823-9355

SEAL / SIGNATURE

Location Sketch:



2019
HEREBY RESERVE THEIR COPYRIGHTS TO THE IDEAS AND DRAWINGS SHOWN. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT STATED ONLY AND SHALL NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE WHATSOEVER WITHOUT THE EXPRESSED WRITTEN CONSENT. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SHALL NOT RELY ON SCALED DIMENSIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

Residence:
RENOVATION/ADDITION

Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
COVER SHEET

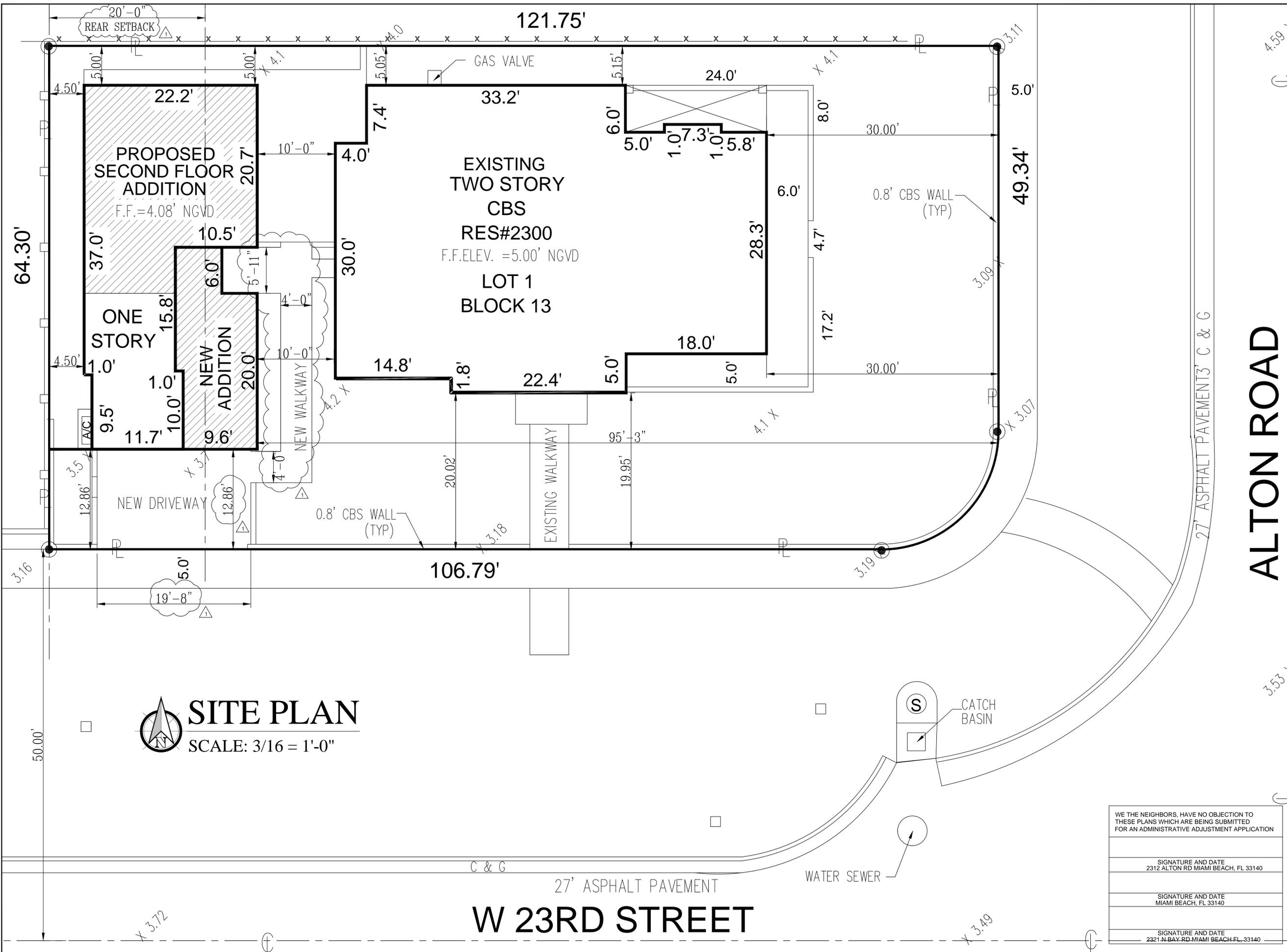
Revisions	Date
1 Rev.	4-1-19

Sheet Number :
C-1

Scale: As Shown

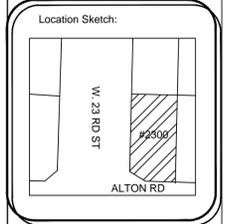
Drawing : RDS

Date: 10/12/2018



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Residence:
RENOVATION/ADDITION

Project # 1131
**2300 ALTON RD
MIAMI BEACH, FL. 33140**

Sheet Title:
SITE PLAN

Revisions	Date
1 Rev.	4-1-19

WE THE NEIGHBORS, HAVE NO OBJECTION TO THESE PLANS WHICH ARE BEING SUBMITTED FOR AN ADMINISTRATIVE ADJUSTMENT APPLICATION

SIGNATURE AND DATE
2312 ALTON RD MIAMI BEACH, FL 33140

SIGNATURE AND DATE
MIAMI BEACH, FL 33140

SIGNATURE AND DATE
2321 N. BAY RD. MIAMI BEACH, FL, 33140

Sheet Number:
C-2

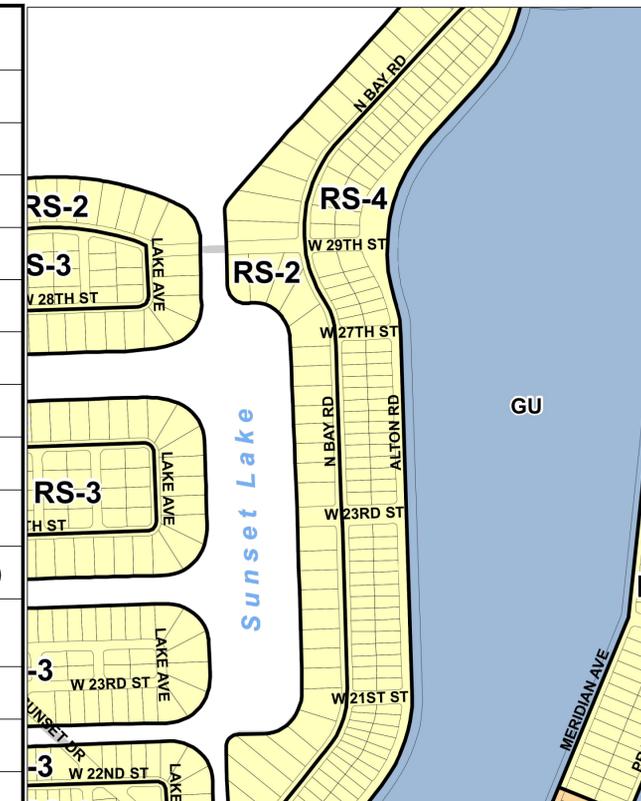
Scale: As Shown

Drawing: RDS

Date: 10/12/2018

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

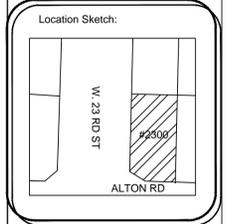
ITEM #	Zoning Information				
1	Address:	2300 PINE TREE DR. MIAMI BEACH. FLORIDA			
2	Folio number(s):	02-3227-008-0790			
3	Year built:	1925	Zoning District:	RS-4	
4	Lot Area:	7,780 SF (6,000 SF MIN.)			
5	Lot width:	64.30' (50' min)	Lot Depth:	121.75'	
6	Max Lot Coverage SF for 2-story home % of lot:	3,112 SF (40%)	Proposed Lot Coverage SF and %:	2,428 S.F.(31.2%)	
7	Existing Lot Coverage SF and %:	2,428 S.F.(31.2%)			
8	Min. Rear Yard Open Space SF and %:	764 SF (70%)	Rear Yard Open Space SF and %:	348 S.F. (27%)	
9	Max Unit Size SF and %:	3,890 (50 %)	Proposed Unit Size SF and %:	4,444.9 S.F. (57.1%)	
10	Proposed second floor (accessory building):	604 SF			
		Required	Existing	Existing	Proposed
13	Height:	24'-0" FLAT ROOF 27'-0" SLOPE ROOF ACCESSORY BUILD. 20'-0"	25'-0" MAIN HOUSE	13'-0" ACCESSORY BUILD.	20'-0" ACCESSORY BUILD.
					Deficiencies
					N/A
	Setbacks:	Required	Existing	Proposed	
15	Front First level:	20'-0"	30.0'		N/A
16	Front Second level:	15'-0"	19.95'		N/A
17	Side:	5'-0"	4'-6"		N/A
18	Rear:	5'-0"	5'-0"		N/A
19	Accessory Structure front:	20'-0"	95.25'		N/A
20	Accessory Structure Side (facing street) :	15'-0"	12.86'	12.86'	2.17'
21	Accessory Structure Rear:	15'-0"	4.50'	4.50'	10.50'
22	Sum of Side yard :	10.0'	5'-0"	5'-0"	5'-0"
23	Located within a Local Historic District?			No	
24	Designated as an individual Historic Single Family Residence Site?			No	



RS-4 SINGLE FAMILY RESIDENTIAL

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Residence:
 RENOVATION/ADDITION

Project # 1131
 2300 ALTON RD
 MIAMI BEACH, FL.33140

Sheet Title:
 ZONING DATA

Revisions	Rev.	Date
1	Rev.	4-1-19

Sheet Number :
C-3

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Date: 10/12/2018

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Residence:
 RENOVATION/ADDITION

Project # 1131
 2300 ALTON RD
 MIAMI BEACH, FL.33140

Sheet Title:
 VARIANCE DIAGRAM

Revisions	Date
1 Rev.	4-1-19

Sheet Number:
C-3.1

Scale: As Shown
 Drawing: RDS
 Date: 10/12/2018

- ### VARIANCE REQUIRED:
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2ND FLOOR ADDITION: 604 S.F.
 (ACCESSORY BUILDING)

121.75'

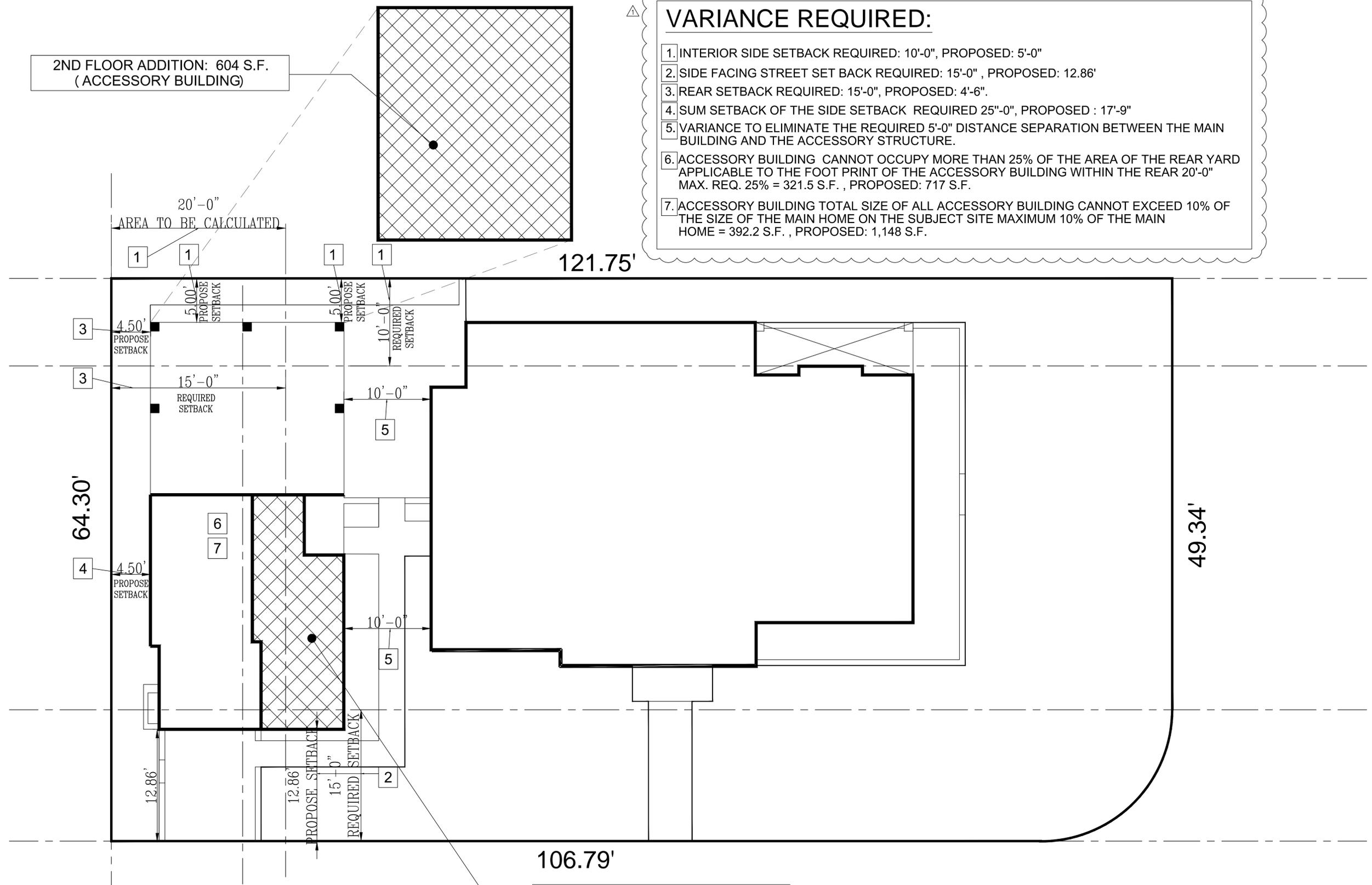
49.34'

106.79'

1ST FLOOR ADDITION: 234 S.F.
 (ACCESSORY BUILDING)

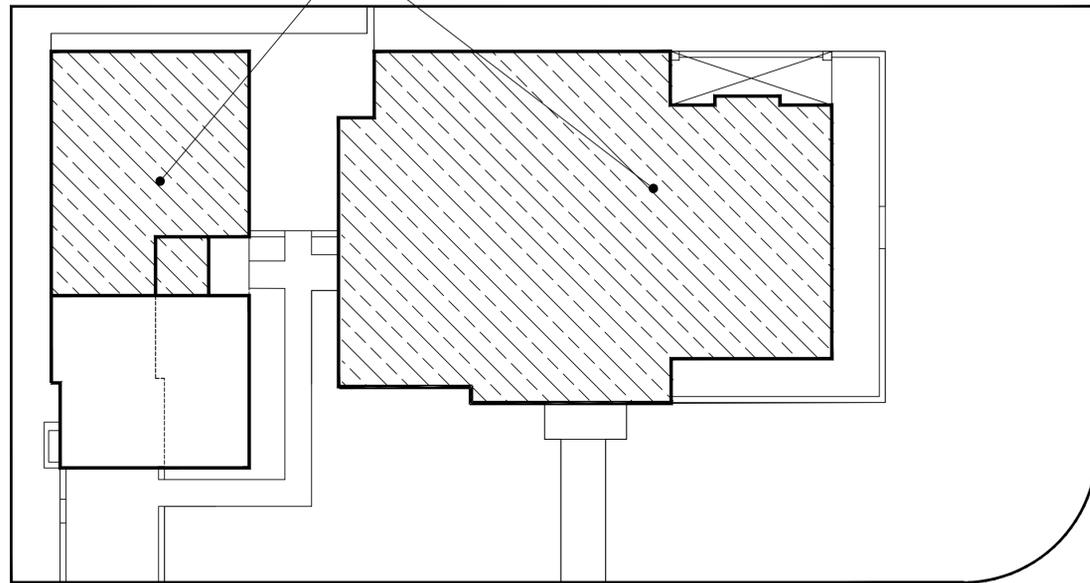
VARIANCE DIAGRAM

SCALE: $\frac{3}{16}''=1'-0''$



BUILDING SIZE: 2,428 S.F.

LOT SIZE: 7,780 SQ.FT.



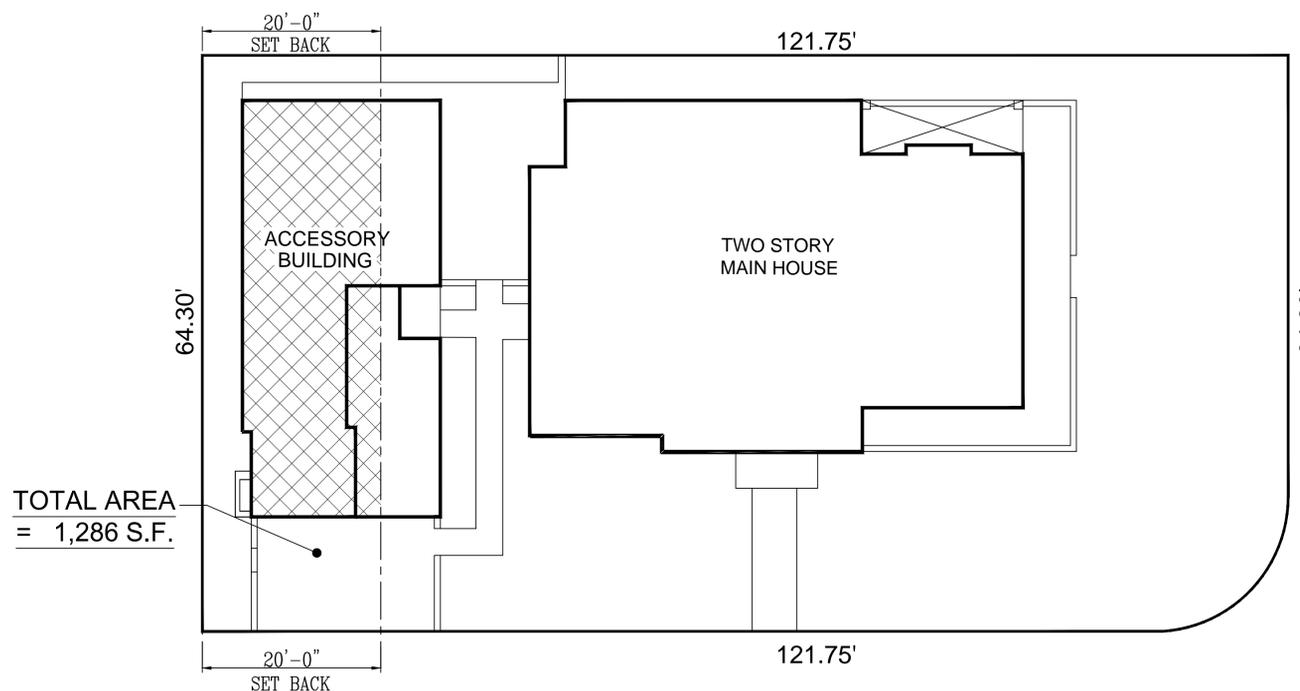
TOTAL LOT COVERAGE: 2,428 S.F. = 31.2%
40% MAX.

LOT COVERAGE LEGEND:

LOT AREA	
BUILDING SIZE	

LOT COVERAGE DIAGRAM

NTS



TOTAL AREA = 1,286 S.F.

20 X 64.30' = 1,286 S.F.

REAR YARD FOR ACCESSORY BUILDING DIAGRAM PLAN

SCALE: NTS

LEGEND:

ACCESSORY BUILDING	
--------------------	--

REAR YARD AREA OF ACCESSIBLE BUILDING:
717 S.F. = 55.7% / 25% MAX.

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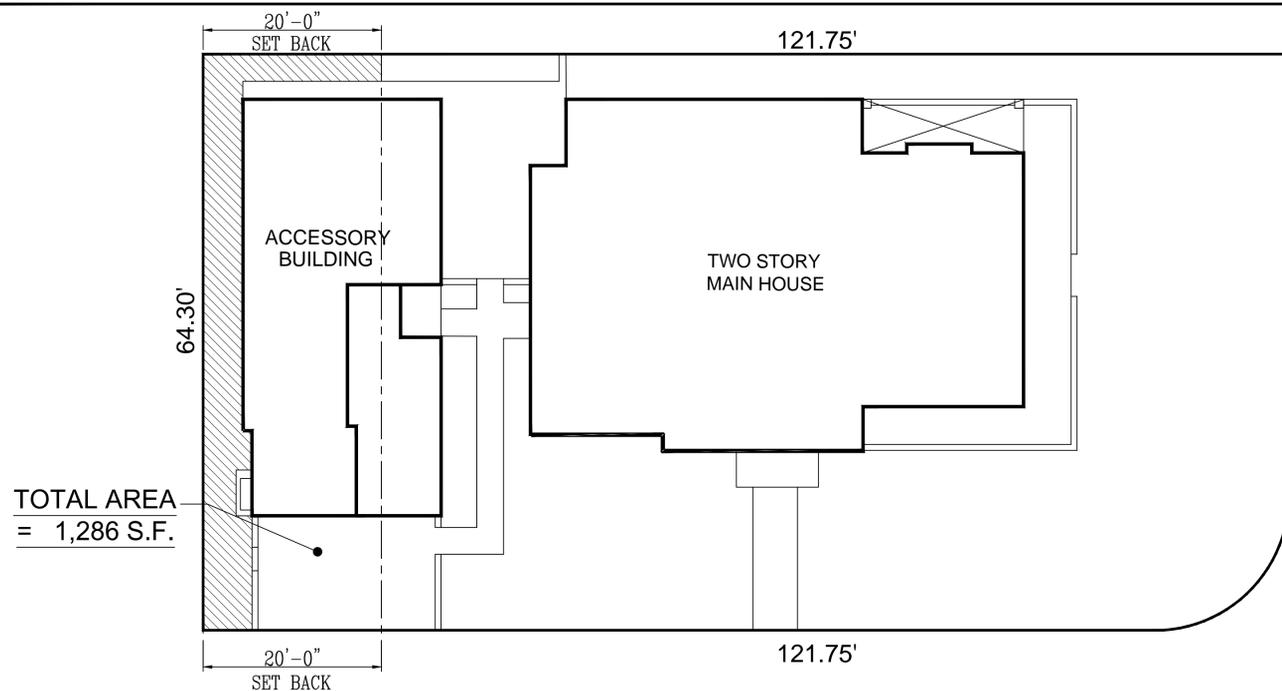
Residence: RENOVIATION/ADDITION

Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title: DIAGRAMS

Revisions	Date
1 Rev.	4-1-19

Sheet Number: **C-4**
 Scale: As Shown
 Drawing: RDS
 Date: 10/12/2018



TOTAL AREA = 1,286 S.F.

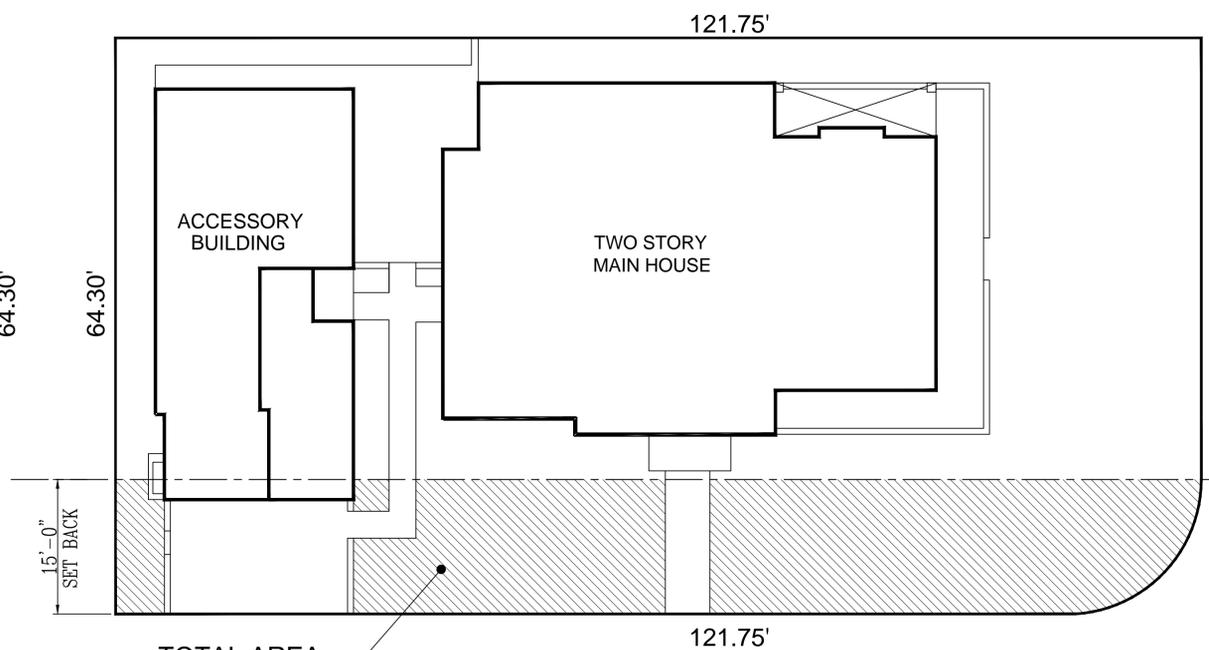
20 X 64.30' = 1,286 S.F.

REAR YARD OPEN SPACE DIAGRAM PLAN

SCALE: NTS

IMPERVIOUS: 938 S.F.

PERVIOUS: 348 S.F. 27% = 70% MIN.



TOTAL AREA = 1,776 S.F.

STREET SIDE YARD OPEN SPACE DIAGRAM PLAN

SCALE: NTS

OPEN SPACE LEGEND:

IMPERVIOUS	
PERVIOUS AREA	

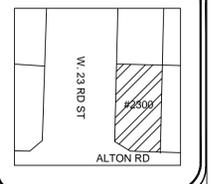
IMPERVIOUS: 427 S.F.

PERVIOUS: 1,349 S.F. 75.9% = 50% MIN.

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Location Sketch:



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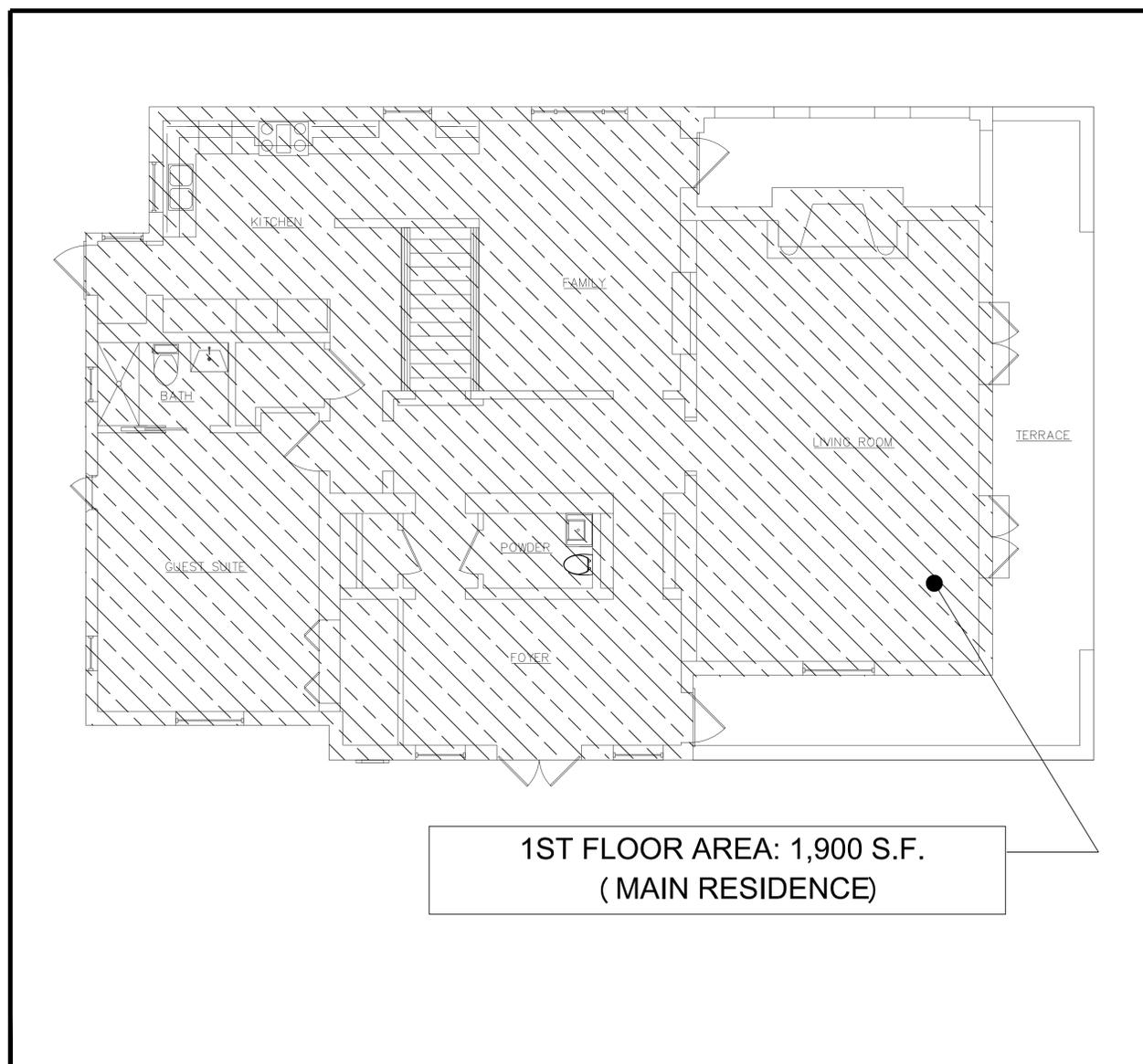
Project # 1131
 2300 ALTON RD
 MIAMI BEACH, FL.33140

Sheet Title:
DIAGRAMS

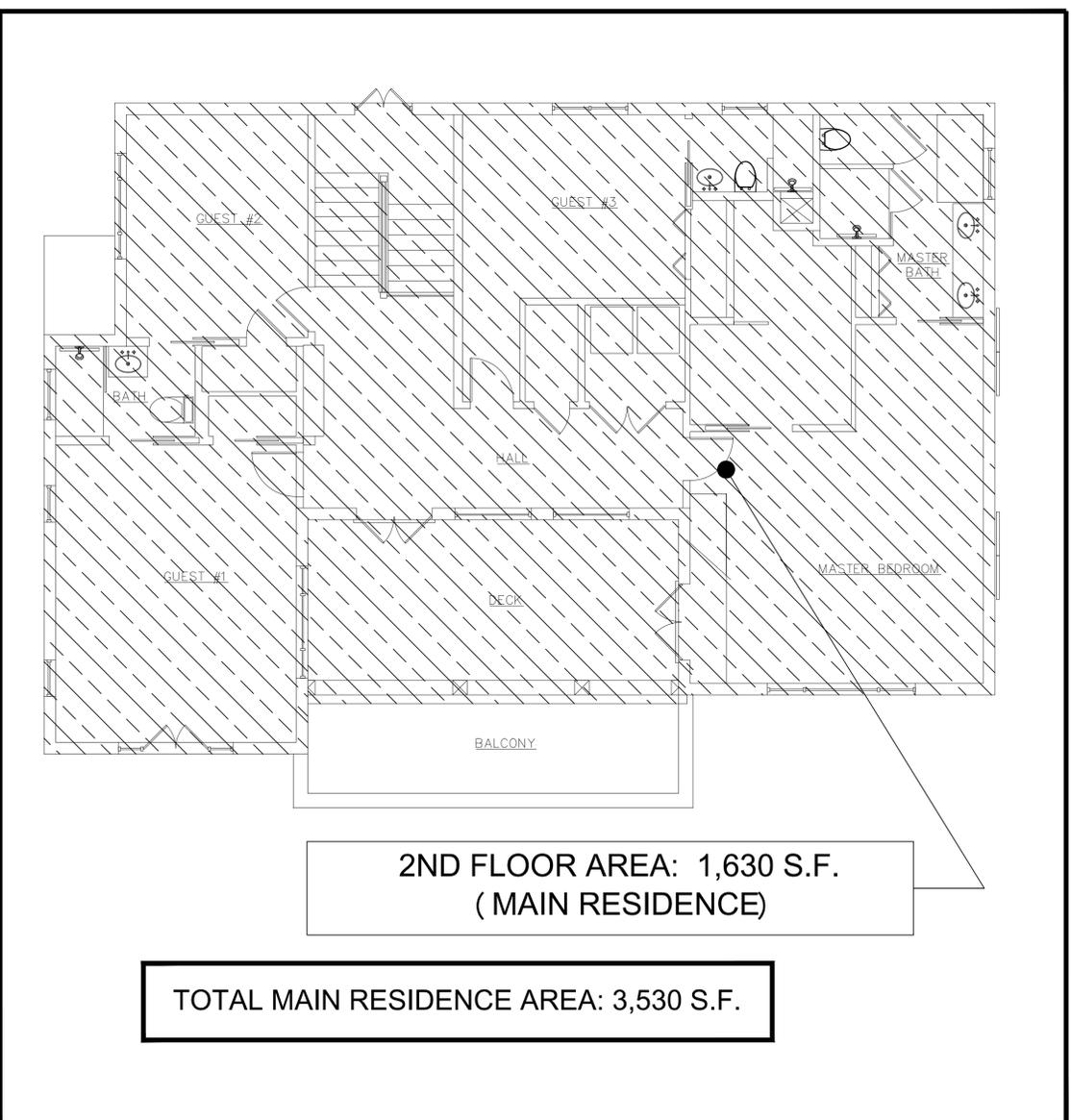
Revisions	Date
1 Rev.	4-1-19

Sheet Number :
C-5

Scale: As Shown
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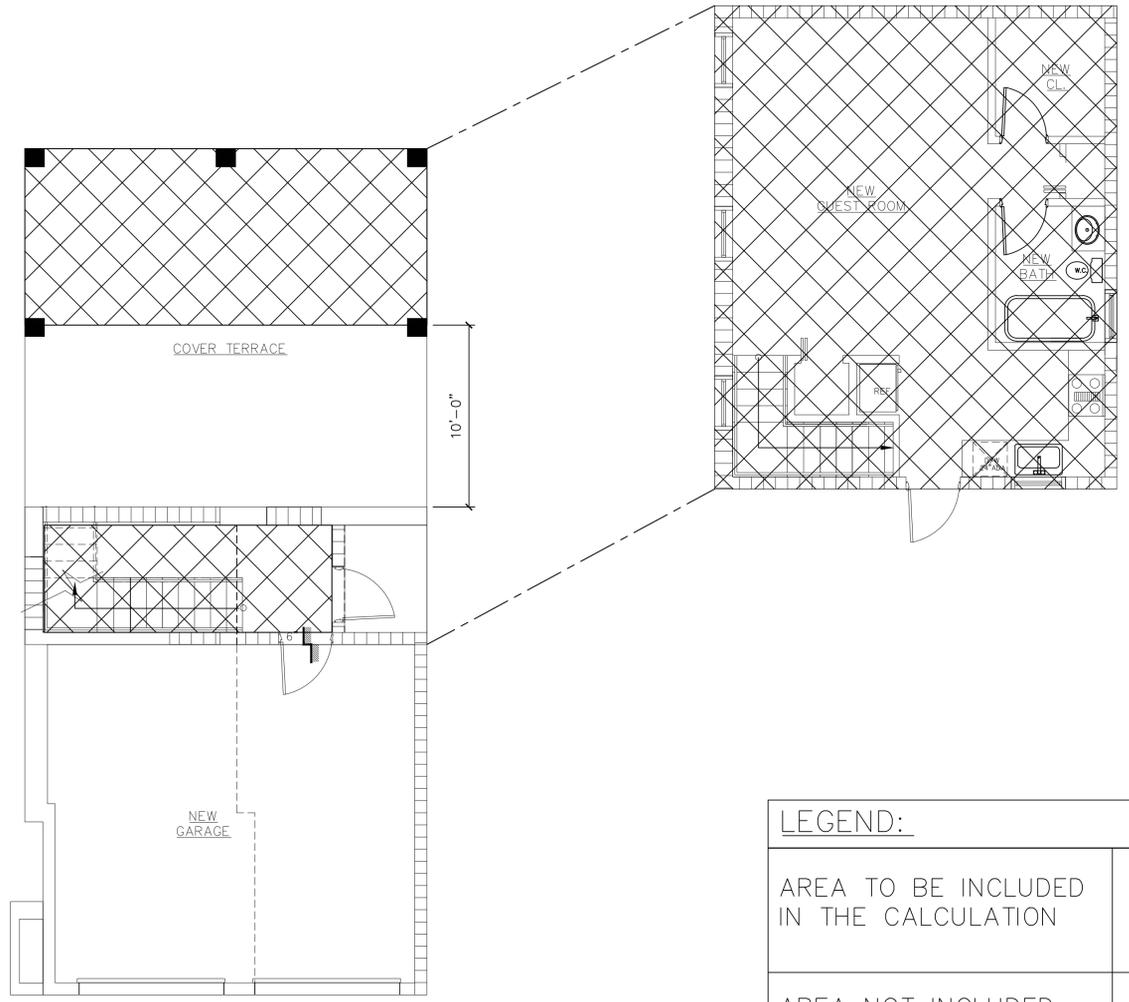


**1ST FLOOR AREA: 1,900 S.F.
 (MAIN RESIDENCE)**



**2ND FLOOR AREA: 1,630 S.F.
 (MAIN RESIDENCE)**

TOTAL MAIN RESIDENCE AREA: 3,530 S.F.



LEGEND:

AREA TO BE INCLUDED IN THE CALCULATION	
AREA NOT INCLUDED IN THE CALCULATIONS	

UNIT SIZE DIAGRAM

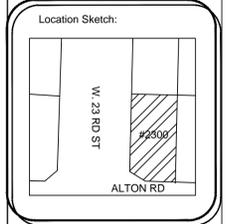
NTS

<p>FIRST FLOOR AREA CALCULATIONS:</p> <p>MAIN HOUSE: 1,900 S.F. NEW STAIRS ON ACCESSORY BUILDING : 89.3 S.F. AREA EXCEEDING 10'-0" FROM BUILDING WALL: 221.6 S.F. TOTAL UNIT SIZE AT 1ST FLOOR: 2,210.9 S.F.</p>	<p>SECOND FLOOR AREA CALCULATIONS:</p> <p>MAIN HOUSE: 1,630 S.F. ACCESSORY BUILDING : 604 S.F. TOTAL 2ND FLOOR: 2,234 S.F.</p>
--	---

TOTAL UNIT SIZE: 4,444.9 S.F. = 57.1%

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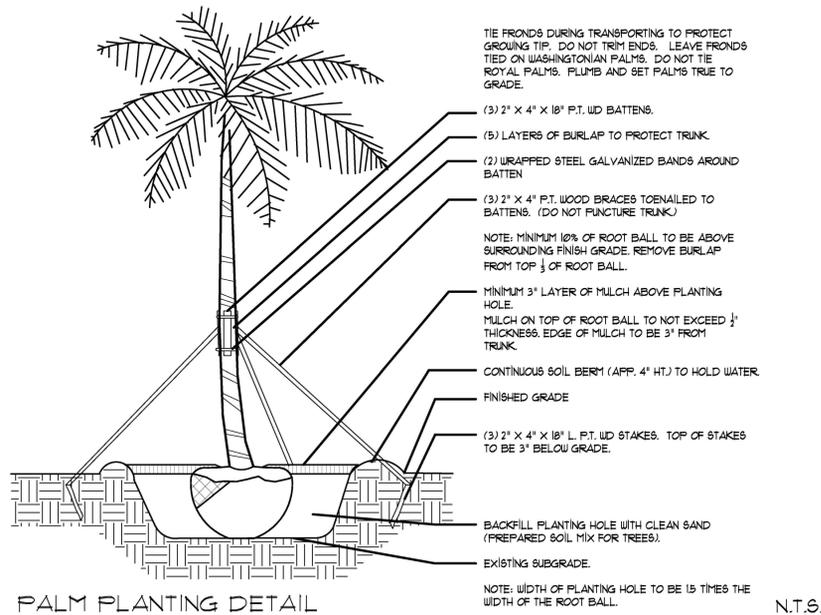
Residence:
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 MIAMI BEACH, FL.33140

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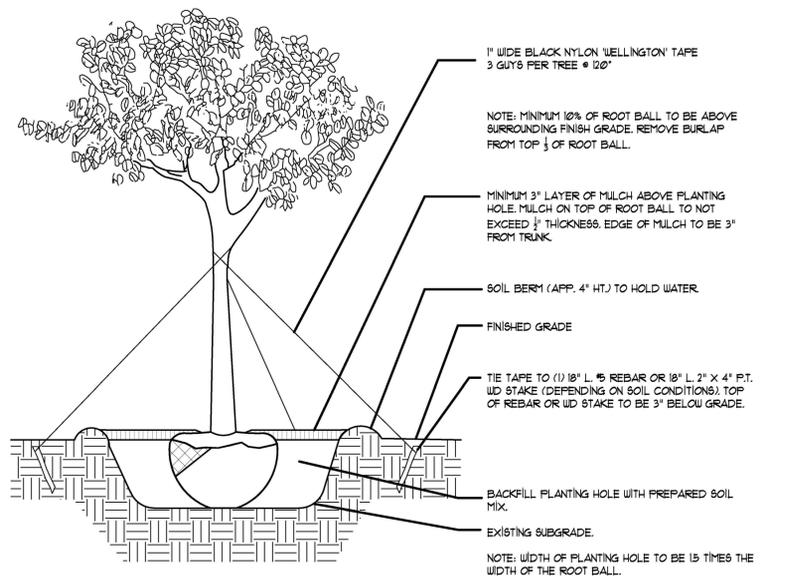
Sheet Number : **C-6**
 Scale: As Shown
 Drawing : RDS
 Date: 10/12/2018



PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR

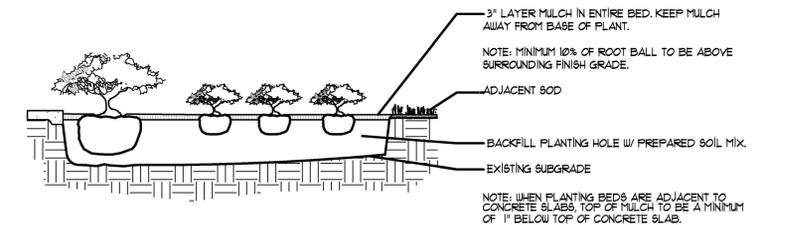
N.T.S.



TREE PLANTING DETAIL

TREES WITH 3\"/>

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.

PLANT NOTES

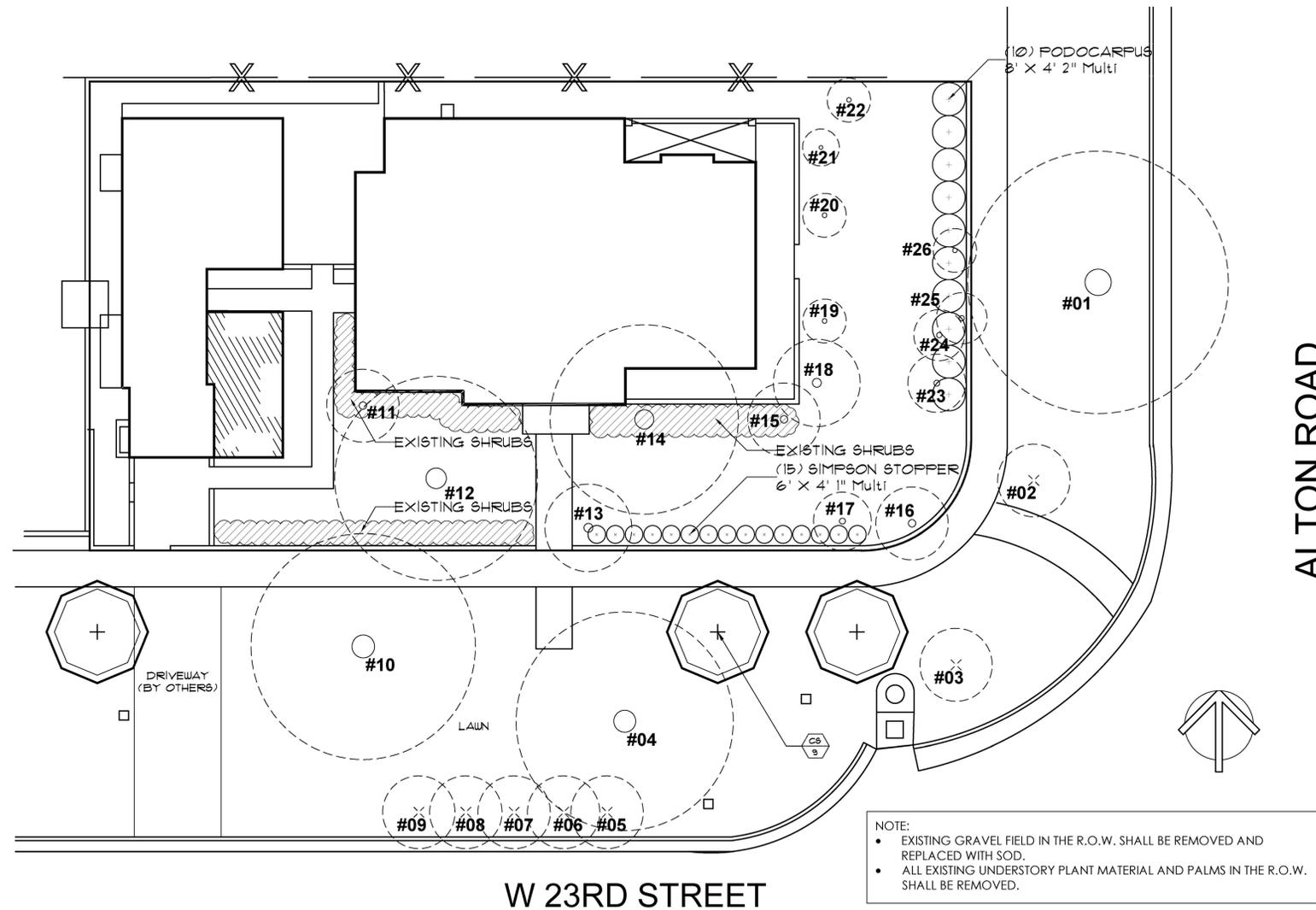
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION; FEBRUARY 1998, RESPECTIVELY.
- ALL PLANTING BEDS TO BE TOPPED WITH 3\"/>

Tree Disposition

No	Botanical Name	Common Name	HT (ft)	SPR (ft)	DBH (in)	Disposition	Condition
1	Swetenia mahogany	Mahogany	40	36	30.5	Remain	Good
2	Coccoloba uvifera	Seagrape	9	10	1, 1, 1, 1	Remove	Poor
3	Adonia merillii	Christmas Palm	7	10	2.5, 2.5, 2.5	Remove	Poor
4	Bucida buceras	Black Olive	35	30	20.5	Remain	Good
5	Adonia merillii	Christmas Palm	23	10	5.5, 5.5	Remove	Good
6	Adonia merillii	Christmas Palm	21	10	6.25	Remove	Good
7	Adonia merillii	Christmas Palm	18	10	5, 5	Remove	Good
8	Adonia merillii	Christmas Palm	17	10	5	Remove	Poor
9	Adonia merillii	Christmas Palm	16	10	4.5	Remove	Poor
10	Delonix regia	Royal Poinciana	24	31	14.5	Remain	Good
11	Mangifera indica	Mango Tree	15	10	3	Remain	Good
12	Bucida buceras	Black Olive	35	28	14.5	Remain	Good
13	Tabebuia caraiba	Yellow Tabebuia	15	12	6	Remain	Fair
14	Bucida buceras	Black Olive	35	26	19	Remain	Good
15	Tabebuia caraiba	Yellow Tabebuia	10	10	6	Remain	Fair
16	Ceiba pentandra	Ceiba Tree	16	10	4, 4	Remain	Fair
17	Mangifera indica	Mango Tree	10	8	3	Remain	Fair
18	Strelitzia reginae	Orange Bird of Paradise	14	12	12 multi	Remain	Good
19	Jatropha integrerrima	Jatropha	8	6	1 multi	Remain	Good
20	Jatropha integrerrima	Jatropha	9	6	1 multi	Remain	Good
21	Codiaeum variegatum	Croton	8	5	1 multi	Remain	Good
22	Hibiscus syriacus	Hibiscus	11	6	2 multi	Remain	Poor
23	Litchi chinensis	Lychee	9	8	2	Remain	Fair
24	Dimocarpus longan	Longan	10	7	1.5	Remain	Good
25	Hibiscus syriacus	Hibiscus	8	7	1.5 multi	Remain	Poor
26	Jatropha integrerrima	Jatropha	8	6	1 multi	Remain	Good

PLANTLIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
3	CE	Conocarpus erectus 'sericeus'	Silver Buttonwood	10' ea ht



NOTE:
 • EXISTING GRAVEL FIELD IN THE R.O.W. SHALL BE REMOVED AND REPLACED WITH SOD.
 • ALL EXISTING UNDERSTORY PLANT MATERIAL AND PALMS IN THE R.O.W. SHALL BE REMOVED.

REVISIONS
 4/2/19 CITY COMMENTS

LICENSED PROFESSIONAL
 DIEGO J. VANDERBEEK, RIA
 FLORIDA NO. 6667335
 DATE:

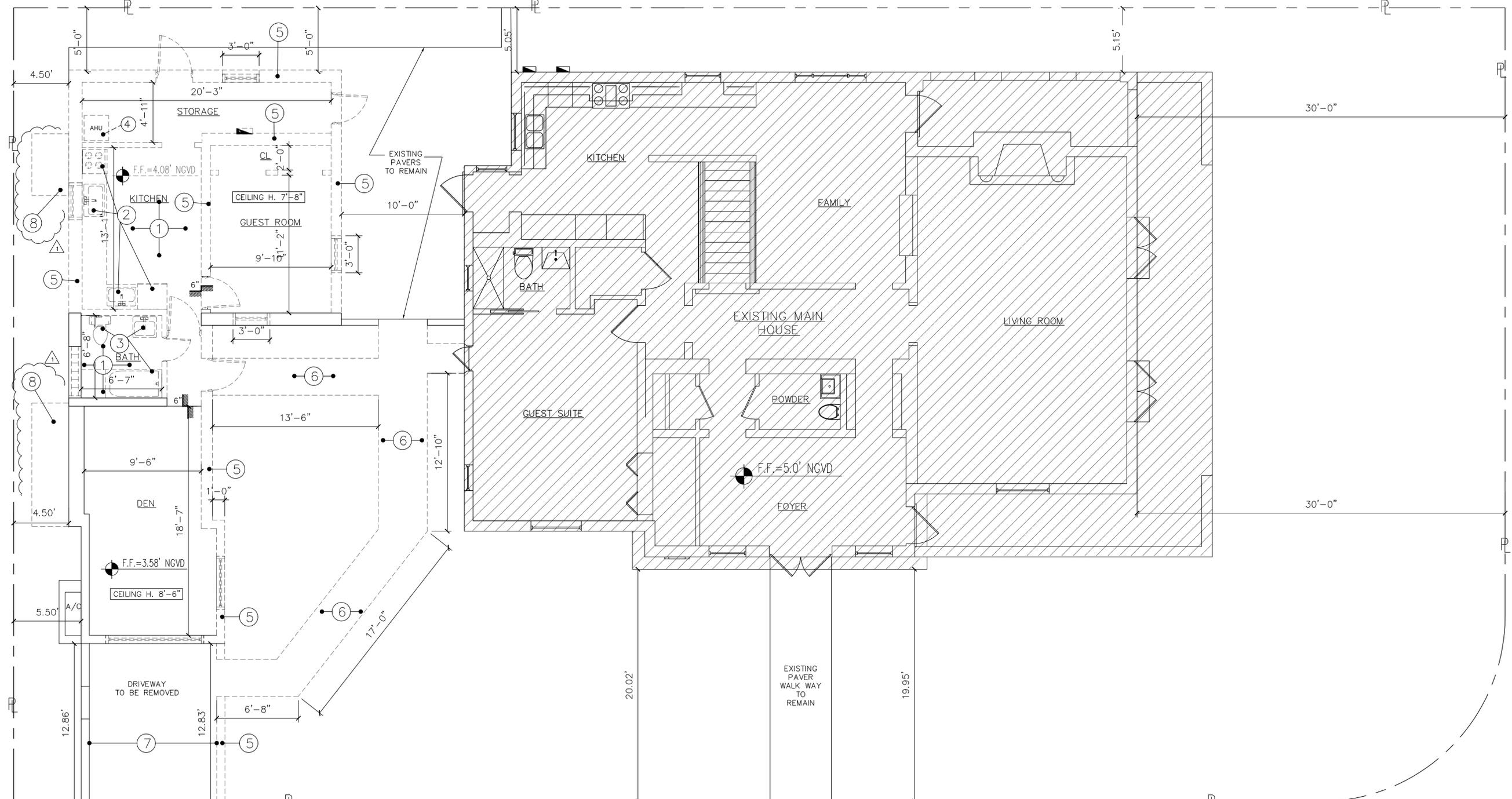
EXISTING CONDITION LANDSCAPE PLAN

2300 ALTON ROAD
 CENTURY BUILDERS
 MIAMI BEACH, FL



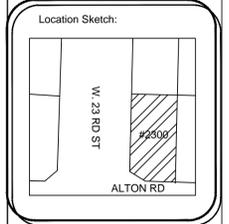
12950 Northwest 113 Ct.
 Miami, FL 33178
 P. 305-884-5700 F. 305-884-8843

Date 10.24.18
 Scale 1"=10'-0"
 Drawn EH
 Check EH
 Sheet
 LA-1
 Of 1 Sheets



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Residence:
RENOVATION/ADDITION

Project # 1131
**2300 ALTON RD
 MIAMI BEACH, FL.33140**

Sheet Title:
**EXISTING / DEMO
 FLOOR PLAN**

Revisions	Date
1 Rev.	4-1-19

Sheet Number :
D-1

Scale: As Shown

Drawing : RDS

Date: 10/12/2018

EXISTING / DEMO FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

- DEMOLITION LEGEND:**
- ① EXISTING FLOOR TO BE REMOVED AND REPLACED BY NEW. (AS PER OWNER SELECTION).
 - ② EXISTING KITCHEN CABINETS AND FIXTURES TO BE REMOVED. (CAP PLUMBING LINES AS REQUIRED).
 - ③ EXISTING BATHROOM CABINETS AND FIXTURES TO BE REMOVED. (CAP PLUMBING LINES AS REQUIRED).
 - ④ EXISTING AHU TO BE REMOVED
 - ⑤ EXISTING CMU WALL TO BE REMOVED.
 - ⑥ EXISTING CONCRETE WALKWAY TO BE REMOVED.
 - ⑦ EXISTING DRIVEWAY TO BE REMOVED.
 - ⑧ EXISTING CONCRETE SLABS TO BE REMOVED.
- DENOTES EXISTING TO REMAIN.
 - - - DENOTES EXISTING TO BE REMOVED.
 - ⌋ DENOTES EXISTING DOOR TO BE REMOVED.
 - ⌈ DENOTES EXISTING WINDOW TO BE REPLACED (SAME LOCATIONS).

DEMOLITION NOTES:

THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.

THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION. THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.

ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.

RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIOS PER N.E.C.

ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.

REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.

ALL FIRE PROTECTION DEVICES SUCH AS HORN STROBES, PULL STATIONS, SMOKE DETECTORS FIRE EXTINGUISHERS, HOSE CABINETS ETC. SHALL BE SALVAGED, LABELED AND STORED FOR RE-USE. FIRE ALARM SYSTEM SHALL BE MAINTAINED IN OPERABLE CONDITION.

CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANT,S DRAWINGS. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION. CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB TO AN AS NEW ACCEPTABLE FINISH TO ALLOW FOR A PROPER INSTALLATION OF FLOORING. CONTRACTOR SHALL PATCH AND REPAIR ALL CURTAIN WALL MULLIONS AFTER REMOVAL OF EXISTING FRAMING. SEE ELECTRICAL, MECHANICAL & HVAC PLANS FOR FURTHER DEMOLITION NOTES.

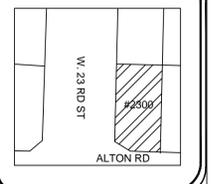
PREPARE THE EXISTING CONCRETE SLABS AS REQUIRED TO BE EVEN ELEVATION THROUGHOUT, SMOOTH, CONTINUOUS LEVEL & READY TO ACCEPT NEW FINISHED. THIS INCLUDES "FLOATING" AN UNACCEPTABLE EXISTING SLAB AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF THE DEMOLITION OF WALLS. THE EXISTING AND NEW SLABS BE AT THE SAME CONTINUOUS ELEVATION. THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR, HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.

THE CONTRACTOR TO CAREFULLY REMOVE AND STORE ALL DOORS AND FRAMES THAT ARE INDICATED TO BE REMOVED FOR REUSE. VERIFY ALL SWINGS WITH FLOOR PLANS FOR POSSIBLE REUSE OF EXISTING DOORS AND FRAMES TO REMAIN. POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH LANDLORD 72 HOURS PRIOR TO PROPOSED INTERRUPTION. COORDINATE WITH LANDLORD PRIOR TO ANY WORK ON BUILDING SHELL AND ROOF SYSTEM.

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Location Sketch:



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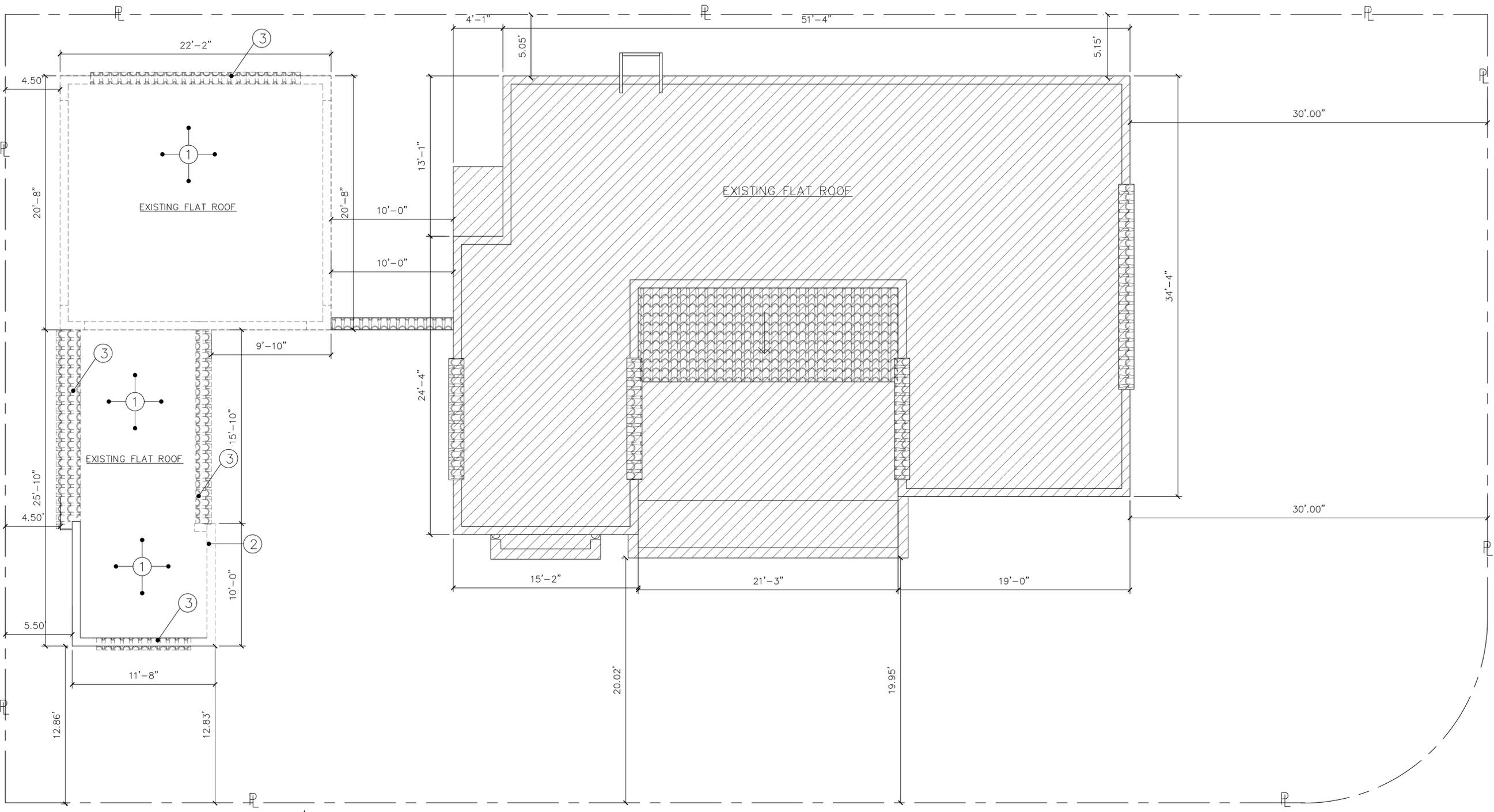
Project # 1131
 2300 ALTON RD
 MIAMI BEACH, FL.33140

Sheet Title:
**EXISTING / DEMO
 ROOF PLAN**

Revisions	Date
1 Rev.	4-1-19

Sheet Number :
D-2

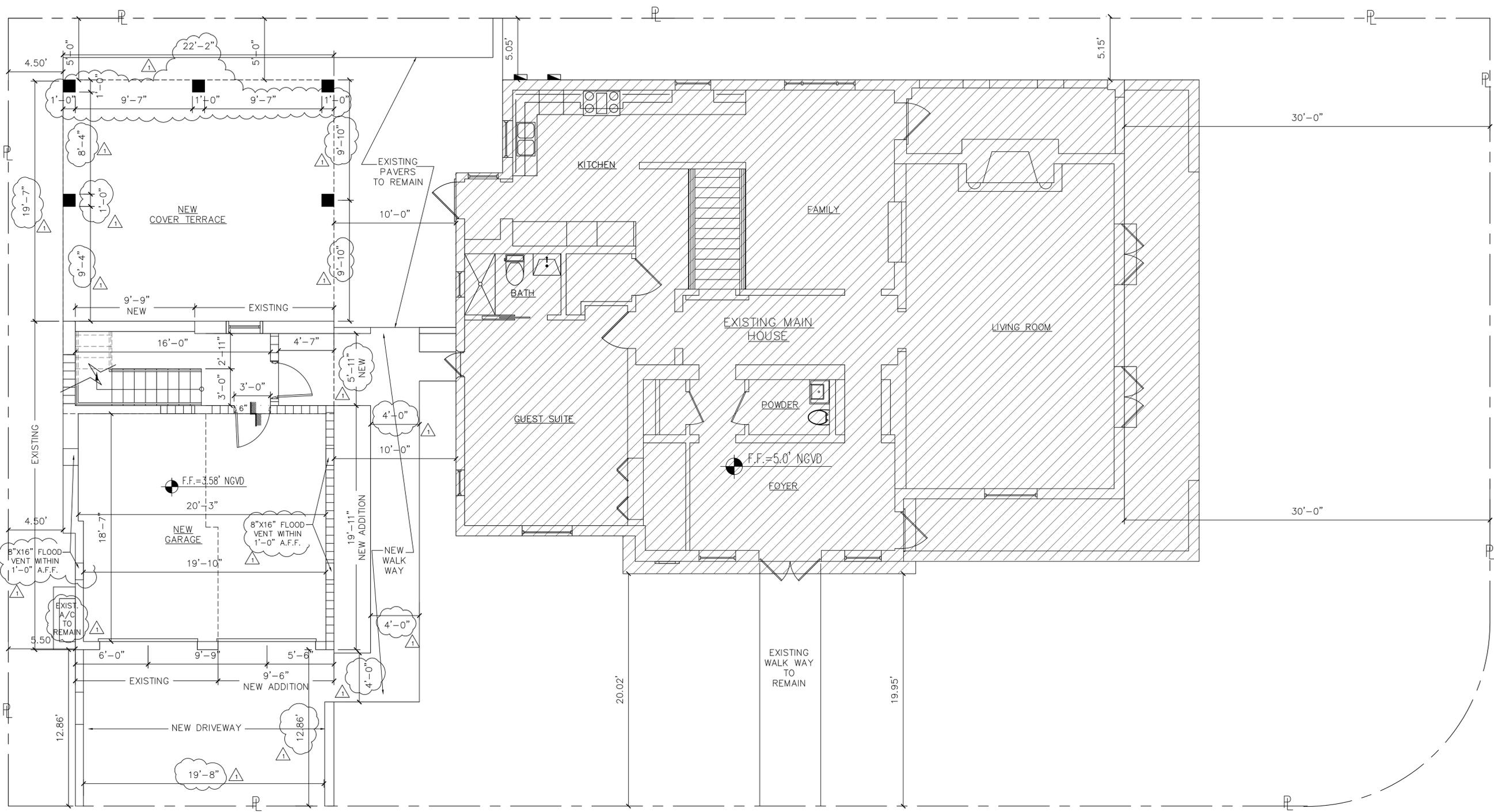
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 Drawing : RDS
 Date: 10/12/2018



EXISTING / DEMO ROOF PLAN
 SCALE: 1/4" = 1' - 0"

DEMOLITION LEGEND:

① EXISTING ROOF TO BE REMOVED	————— DENOTES EXISTING TO REMAIN:
② EXISTING WALL AND PARAPET TO BE REMOVED.	- - - - - DENOTES EXISTING TO BE REMOVED.
③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED	



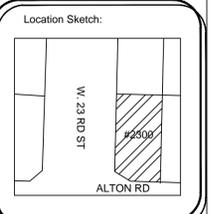
PROPOSE FIRST FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

FLOOD VENT CALCULATIONS:
 MIN. REQUIRED 1 SQ.IN. PER 1 SQ.FT. OF AREA
 E/A FLOOD VENT (8" X 16") = 128 SQ.IN.
 GARAGE: 372 SQ.FT. / 128 SQ.IN. = 3 VENTS MIN. REQUIRED
 NOTE: ALL FLOOD VENTS WITHIN 1'-0" A.F.F.

PLAN LEGEND:

EXISTING WALL TO REMAIN	
NEW CMU WALL(BLOCK UP)	
EXISTING MAIN HOUSE TO REMAIN	
NEW CONCRETE COLUMNS	

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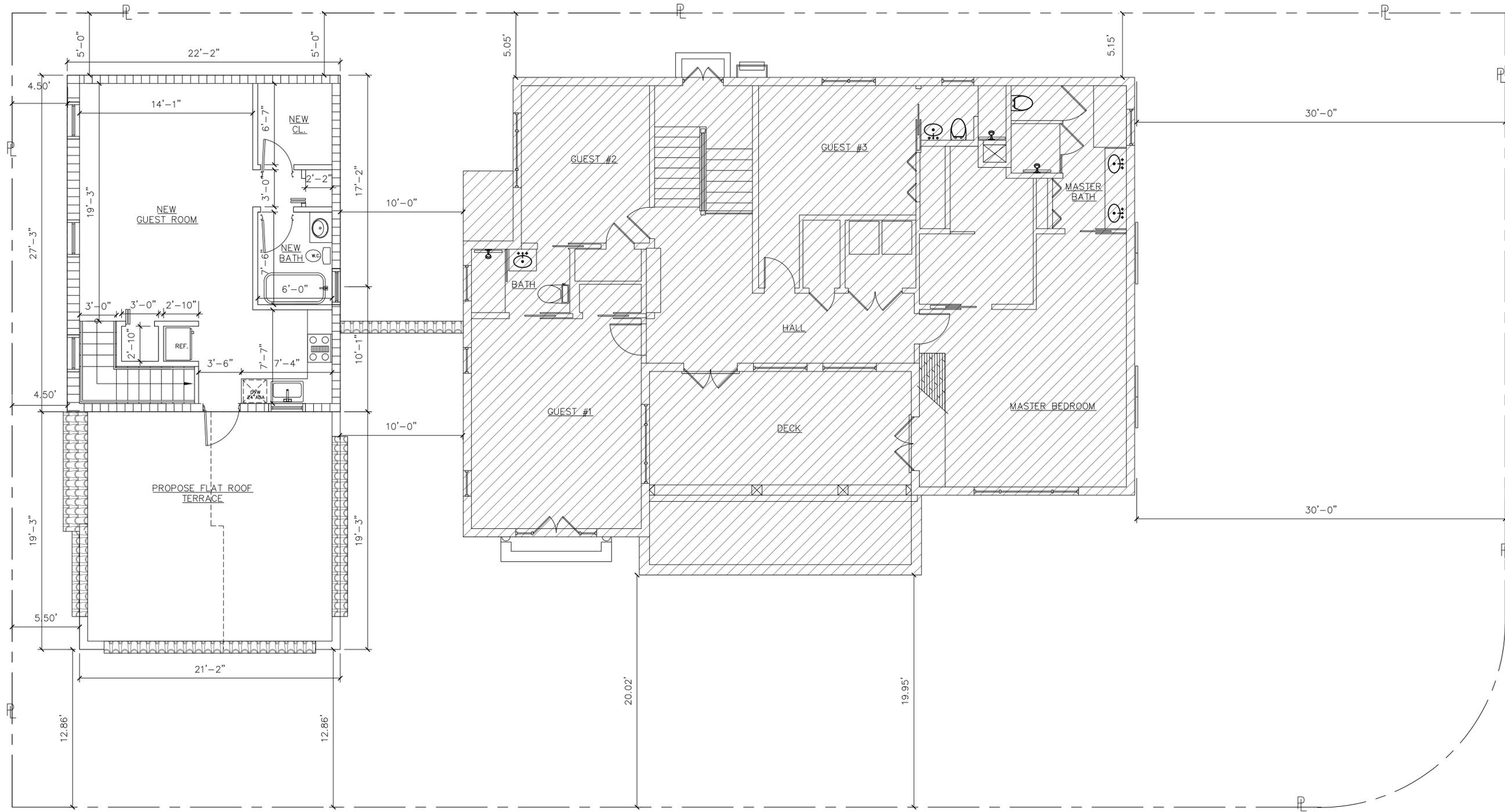
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 2300 ALTON RD
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Sheet Title:
PROPOSED FIRST FLOOR PLAN

Revisions	Date
1 Rev.	4-1-19

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Scale: As Shown
 Drawing: RDS
 Date: 10/12/2018

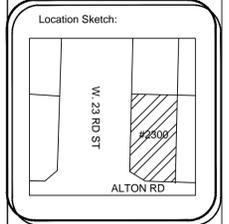


PROPOSE SECOND FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

PLAN LEGEND:	
EXISTING WALL TO REMAIN	
NEW CMU WALL(BLOCK UP)	
EXISTING MAIN HOUSE TO REMAIN	

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Project # 1131
 2300 ALTON RD
 MIAMI BEACH, FL.33140

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PROPOSED SECOND FLOOR PLAN

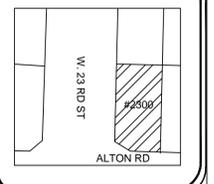
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Project # 1131
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 MIAMI BEACH, FL.33140

Sheet Title:
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Revisions	Date
1 Rev.	4-1-19

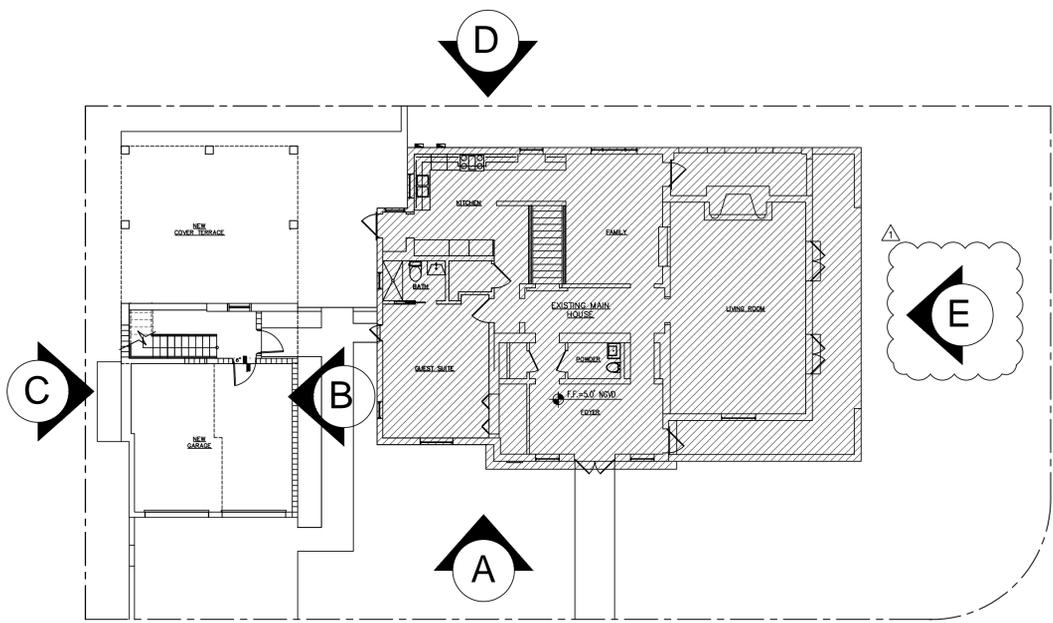
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 Date: 10/12/2018

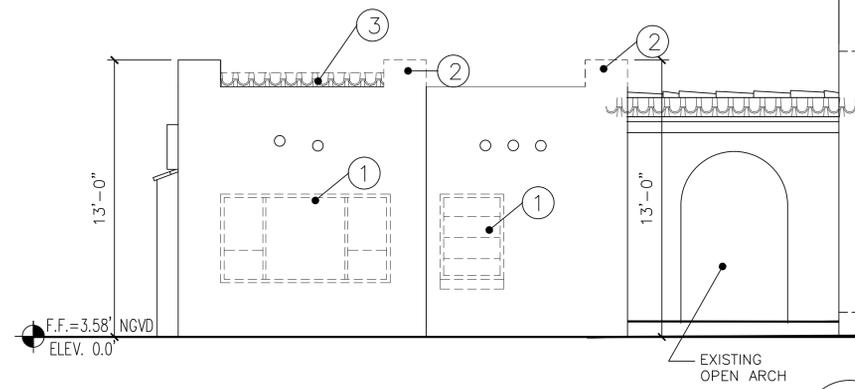
DEMOLITION LEGEND:

① EXISTING DOORS AND WINDOWS TO BE REMOVED
 ② EXISTING WALL PARAPET TO BE REMOVED.
 ③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED
 ④ EXISTING PARTIAL CMU WALL TO BE REMOVED

————— DENOTES EXISTING TO REMAIN:
 - - - - - DENOTES EXISTING TO BE REMOVED.



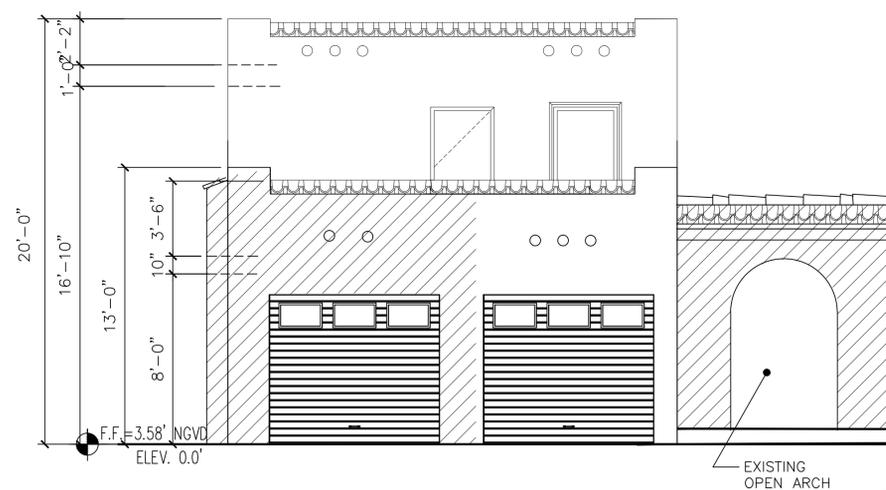
KEY PLAN
 SCALE: 3/32" = 1' - 0"



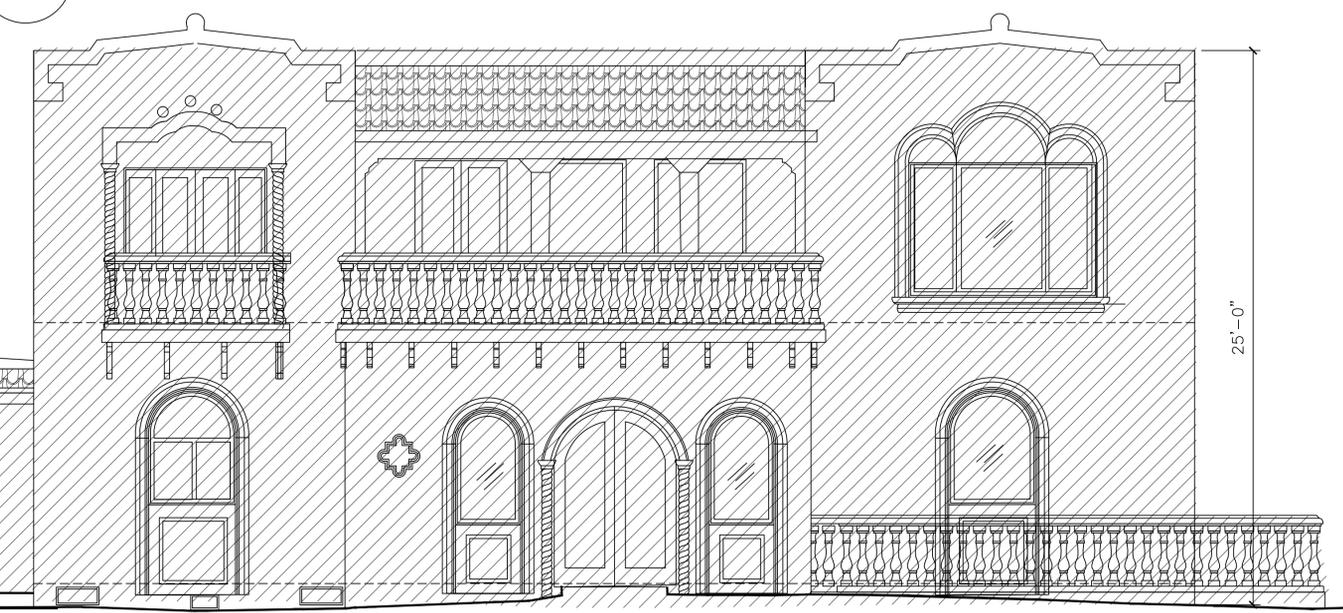
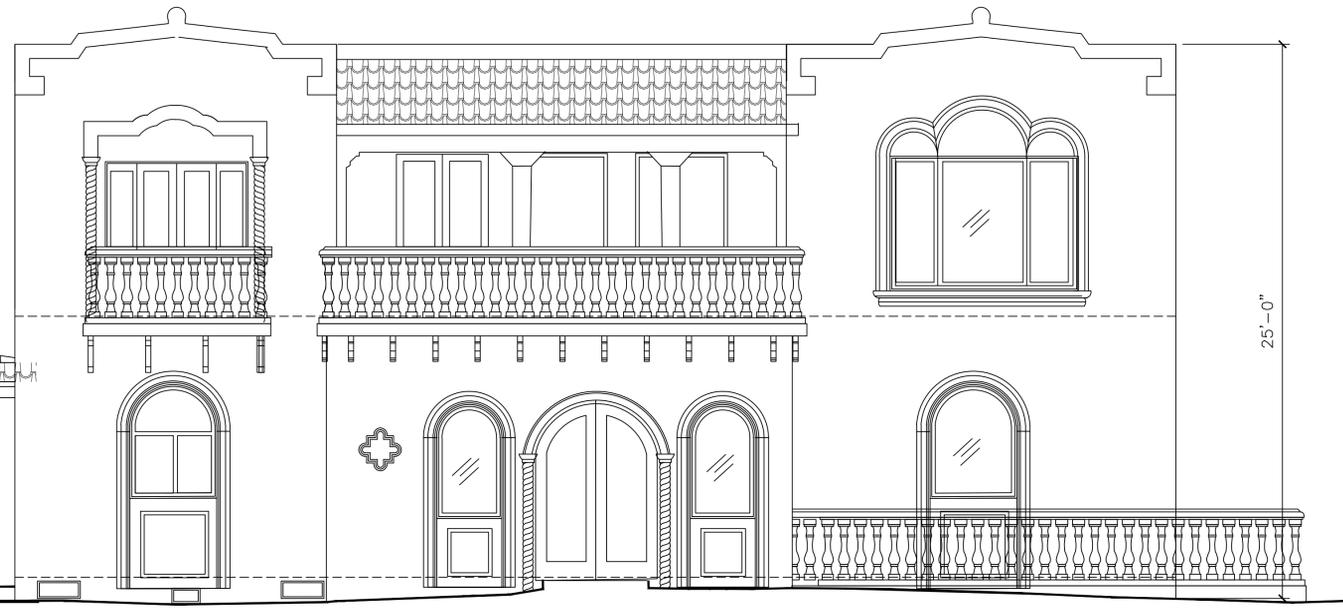
A EXISTING SOUTH ELEVATION (FRONT)
 SCALE: 1/4" = 1' - 0"

PLAN LEGEND:

NEW ADDITION
 EXISTING TO REMAIN

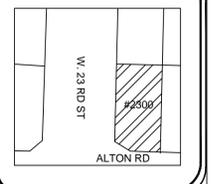


A PROPOSED SOUTH ELEVATION (FRONT)
 SCALE: 1/4" = 1' - 0"



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Sheet Title:
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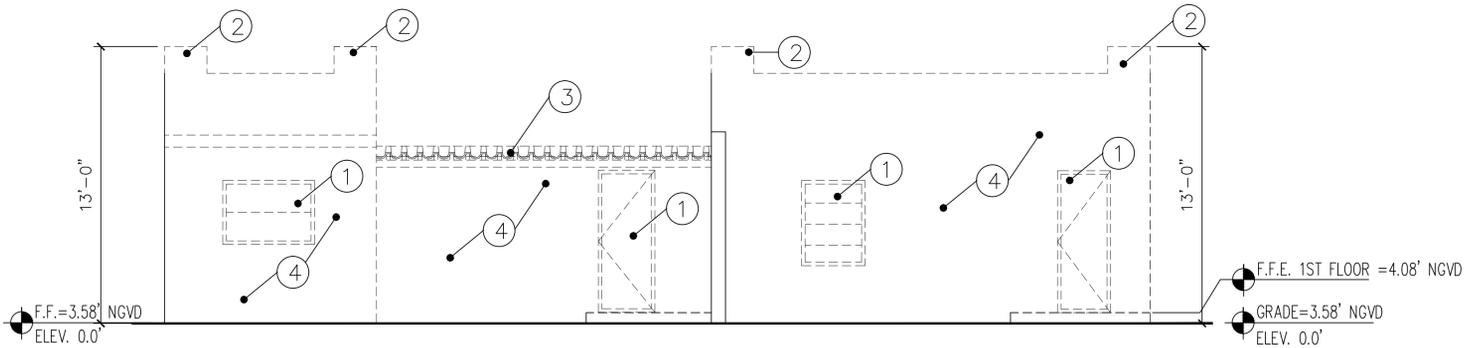
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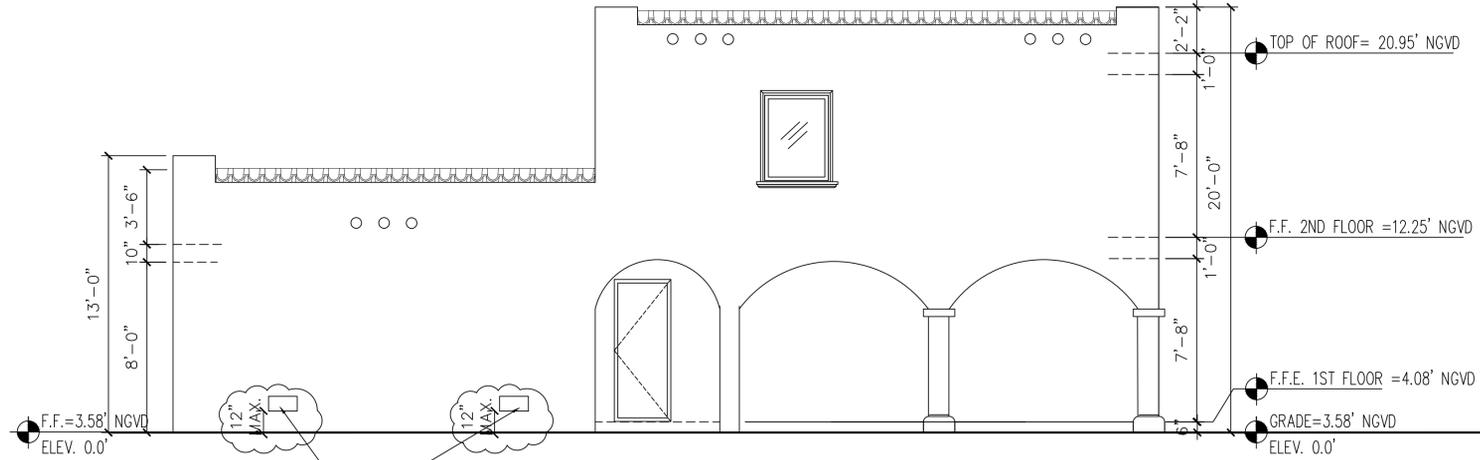
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DEMOLITION LEGEND:

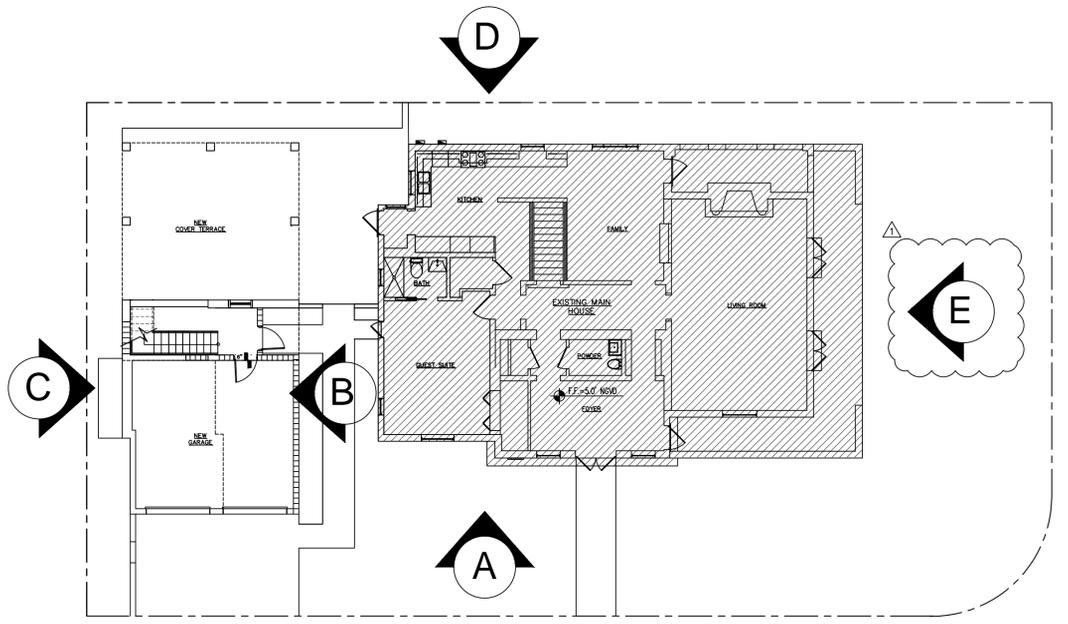
① EXISTING DOORS AND WINDOWS TO BE REMOVED	===== DENOTES EXISTING TO REMAIN.
② EXISTING WALL PARAPET TO BE REMOVED.	----- DENOTES EXISTING TO BE REMOVED.
③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED	
④ EXISTING PARTIAL CMU WALL TO BE REMOVED	



B EXISTING EAST ELEVATION (SIDE)
 SCALE: 1/4" = 1' - 0"



B PROPOSED EAST ELEVATION (SIDE)
 SCALE: 1/4" = 1' - 0"



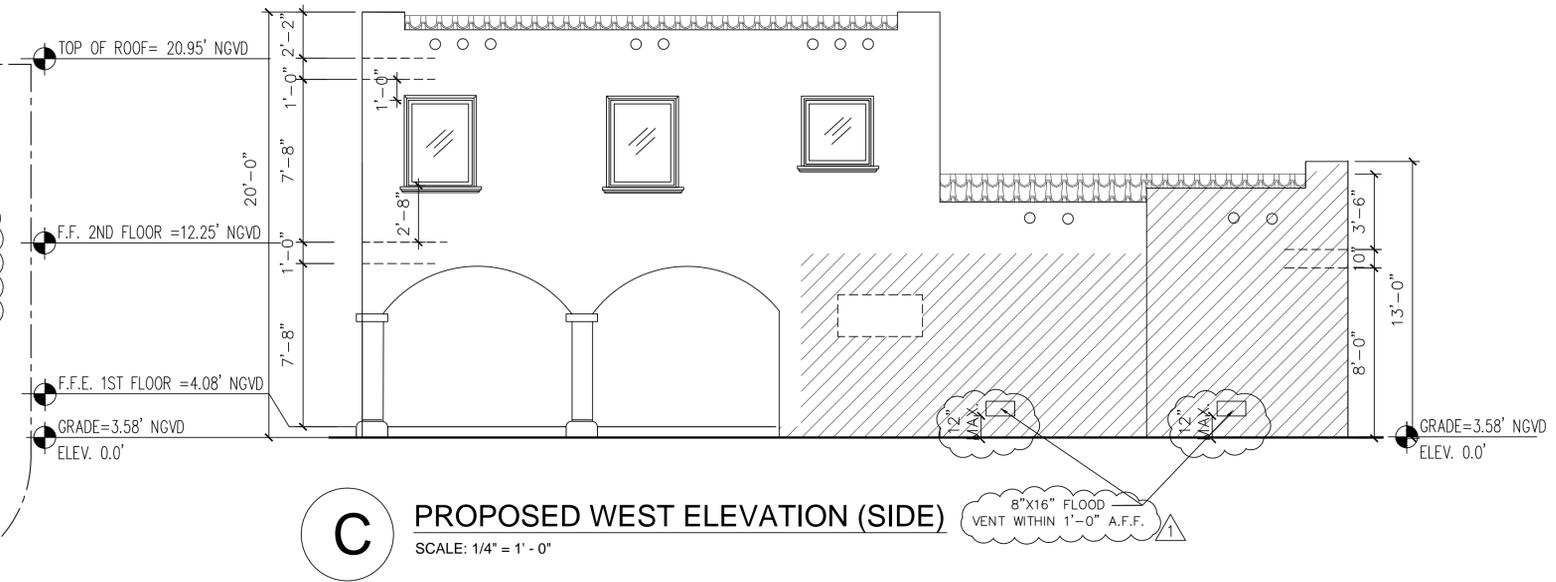
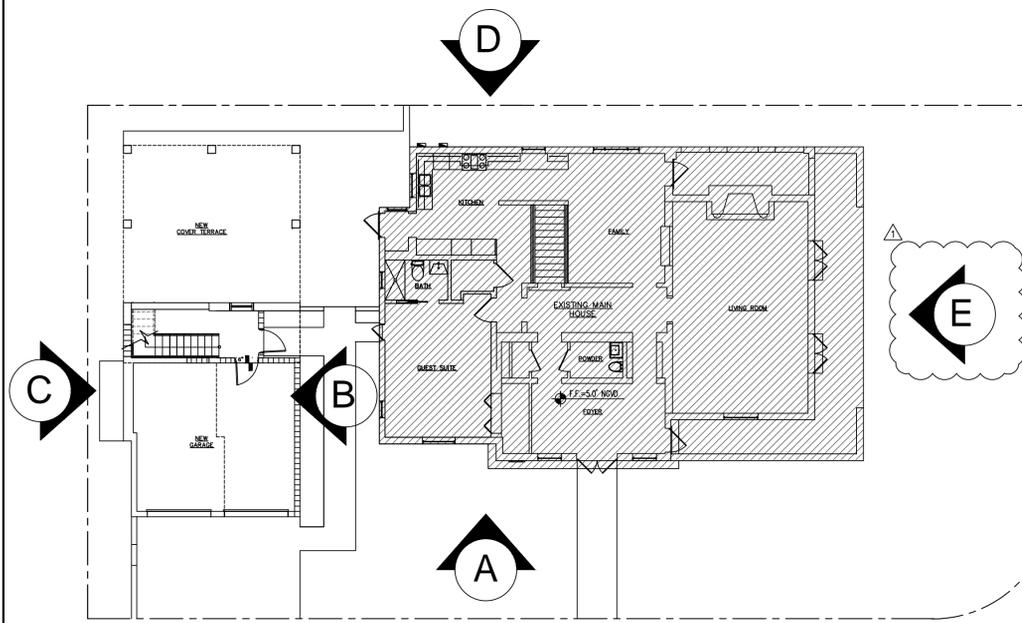
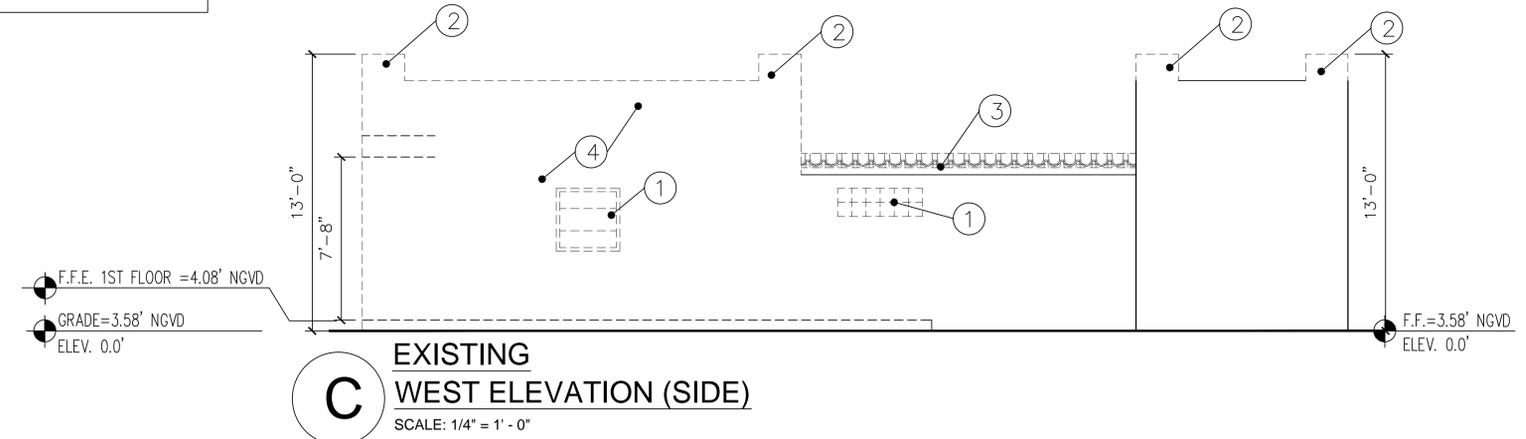
KEY PLAN
 SCALE: 3/32" = 1' - 0"

PLAN LEGEND:

NEW ADDITION	=====
EXISTING TO REMAIN	//////

DEMOLITION LEGEND:

- | | |
|---|---------------------------------------|
| ① EXISTING DOORS AND WINDOWS TO BE REMOVED | ===== DENOTES EXISTING TO REMAIN: |
| ② EXISTING WALL PARAPET TO BE REMOVED. | ----- DENOTES EXISTING TO BE REMOVED. |
| ③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED | |
| ④ EXISTING PARTIAL CMU WALL TO BE REMOVED | |



PLAN LEGEND:

NEW ADDITION	=====
EXISTING TO REMAIN	//////

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 MIAMI BEACH, FL. 33140

Sheet Title:
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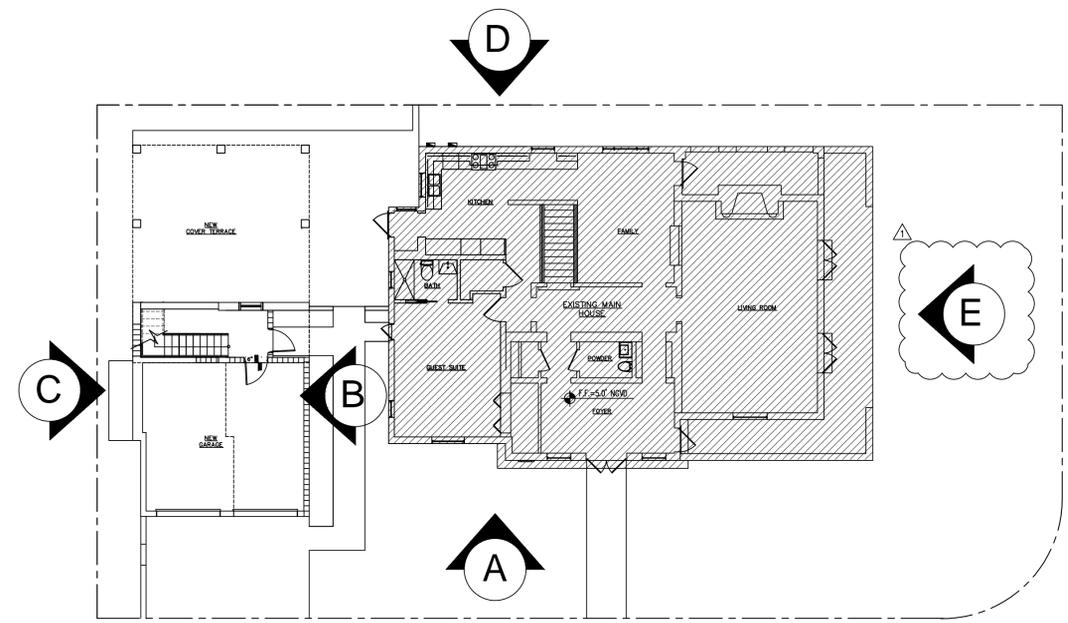
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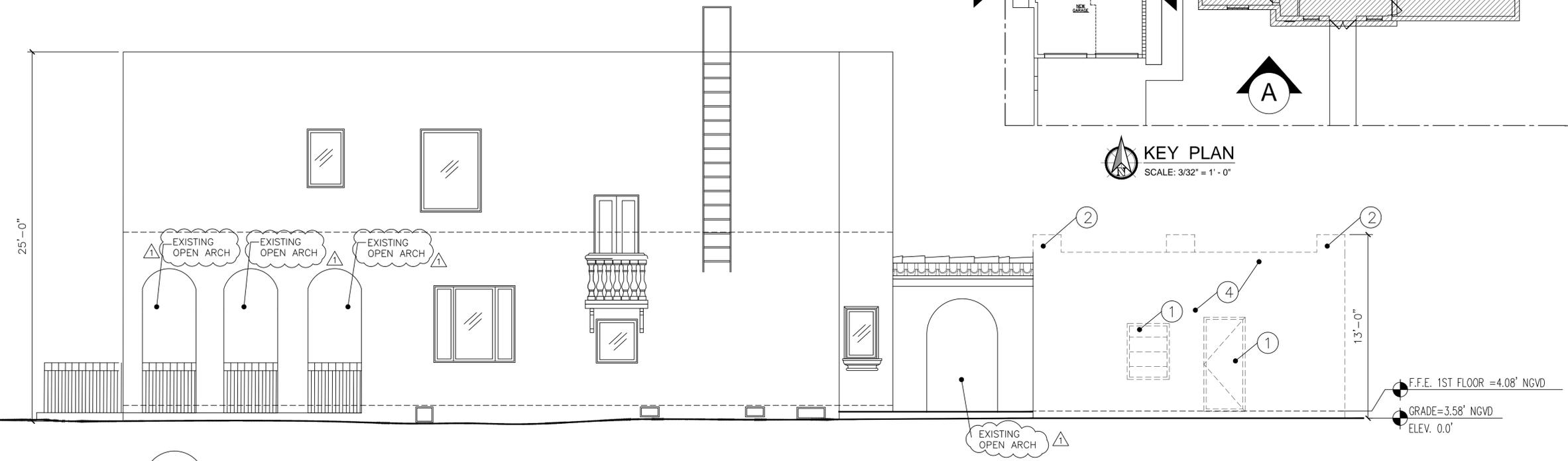
Scale: As Shown
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DEMOLITION LEGEND:

- ① EXISTING DOORS AND WINDOWS TO BE REMOVED
 - ② EXISTING WALL PARAPET TO BE REMOVED.
 - ③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED
- _____ DENOTES EXISTING TO REMAIN:
 - - - - - DENOTES EXISTING TO BE REMOVED.



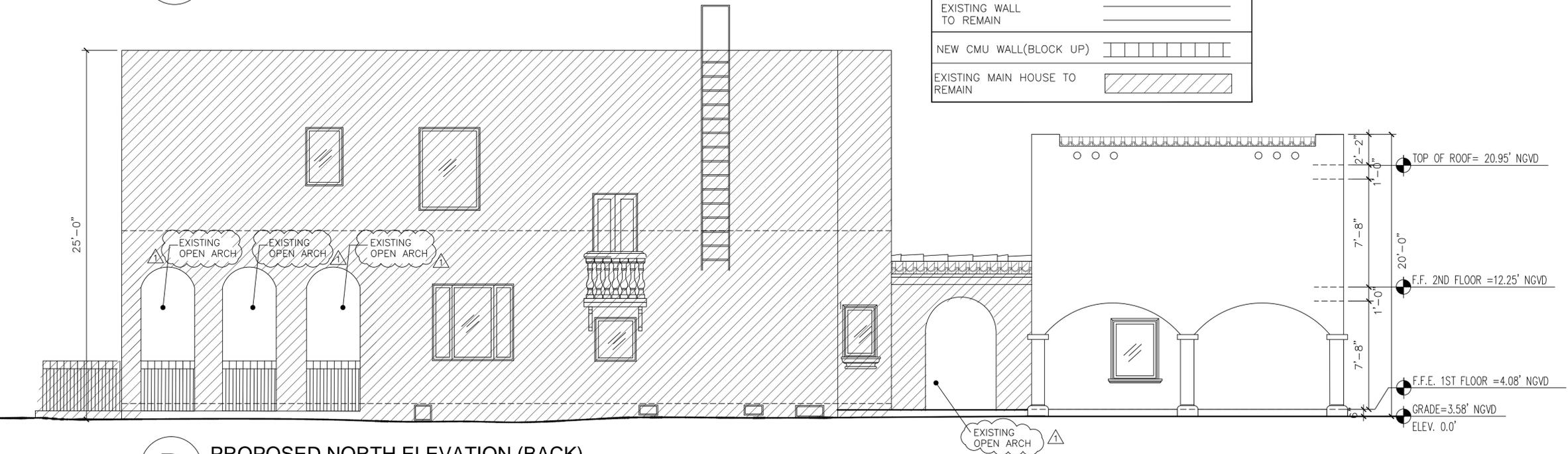
KEY PLAN
 SCALE: 3/32" = 1' - 0"



D EXISTING NORTH ELEVATION (BACK)
 SCALE: 1/4" = 1' - 0"

PLAN LEGEND:

EXISTING WALL TO REMAIN	_____
NEW CMU WALL(BLOCK UP)	
EXISTING MAIN HOUSE TO REMAIN	//////



D PROPOSED NORTH ELEVATION (BACK)
 SCALE: 1/4" = 1' - 0"

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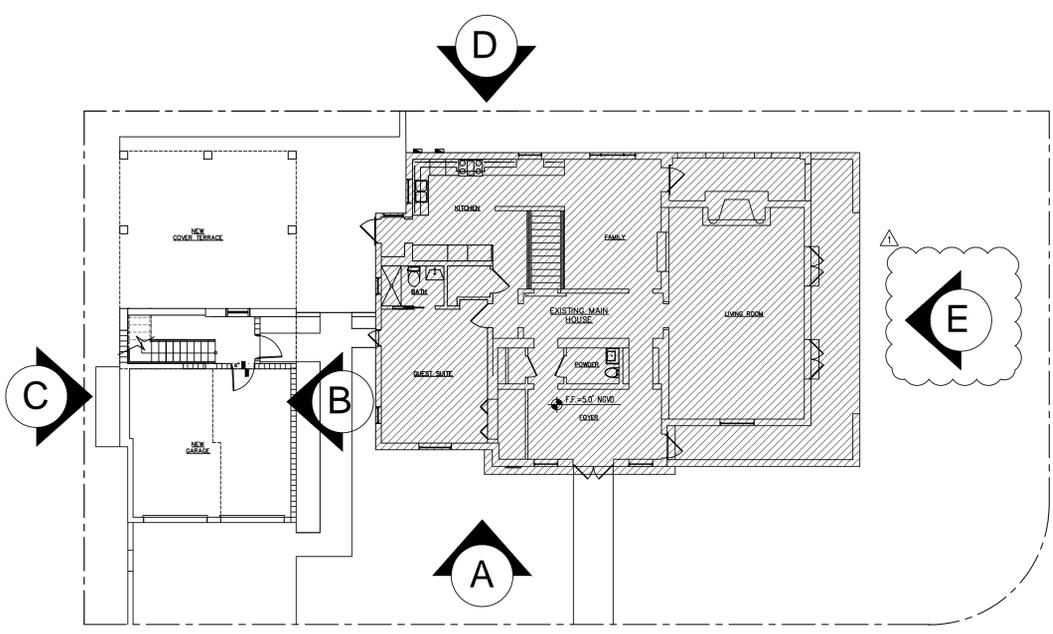
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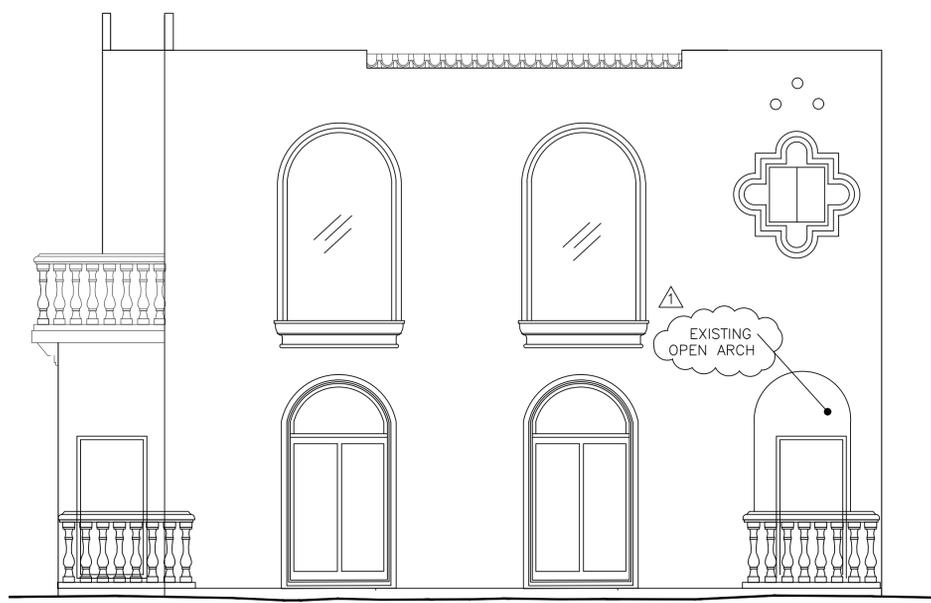
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KEY PLAN
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E EXISTING EAST ELEVATION
 SCALE: 1/4" = 1' - 0"