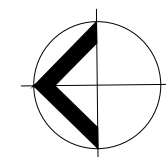


ZONING INFORMATION (PROPOSED CHICKEE HUT)	
1. SITE AREA:	13,178 S.F. (POOL DECK TO EROSION CONTROL LINE)
2. PROPOSED MINIMUM YARDS:	
TO NORTH PROPERTY LINE:	15'-0"
REQUIRED:	15'-0"
TO SOUTH PROPERTY LINE:	107'-0"
REQUIRED:	15'-0"
TO EROSION CONTROL LINE:	10'-0"
REQUIRED:	10'-0"
3. PROPOSED CONSTRUCTION AREA:	
CHICKEE STRUCTURE:	400 S.F. EACH
ALLOWED:	400 S.F.
WOOD DECK:	1,750 S.F.
TOTAL COVERED AREA:	[2,550 S.F.]
3. LOT COVERAGE:	18.9%
ALLOWED:	20%

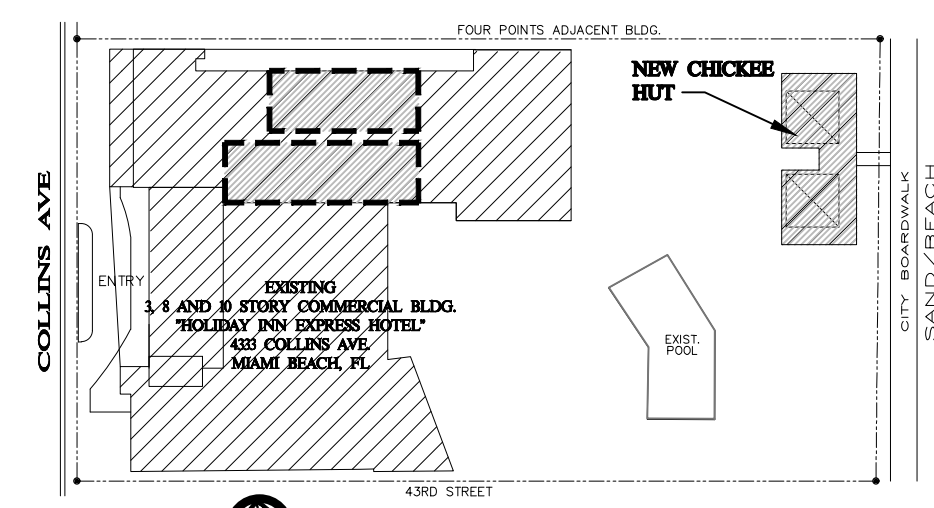
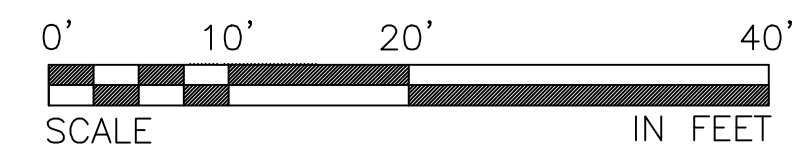


CHICKEE HUT/DUNE OVERLAY AREA
SCALE: 1/8"=1'-0"



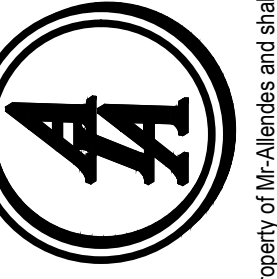
DUNE AREA

APPLICABLE CODE:
MIAMI BEACH CODE OF ORDINANCES.
DUNE PRESERVATION OVERLAY
(SECTIONS 142-774, 142-775)
SEE ALL CODE SOURCES ON SHEET A-0

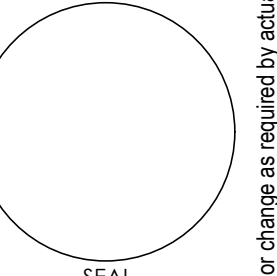


DATE	SYM	REVISION-RECORD	DR	CK

PROJECT NAME: HOLIDAY INN OCEAN FRONT
PROPOSED CHICKEE HUT BAR
OWNER: FRU MANAGEMENT INC TR
ADDRESS: 4333 COLLINS AVE
MIAMI BEACH FLORIDA 33140
PHONE: 305.532.2266



IAA DESIGN ASSOCIATES PA
Ismael Aliendes AR 94998
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phone: (305)322-9097 e-mail:isma2000@aol.com



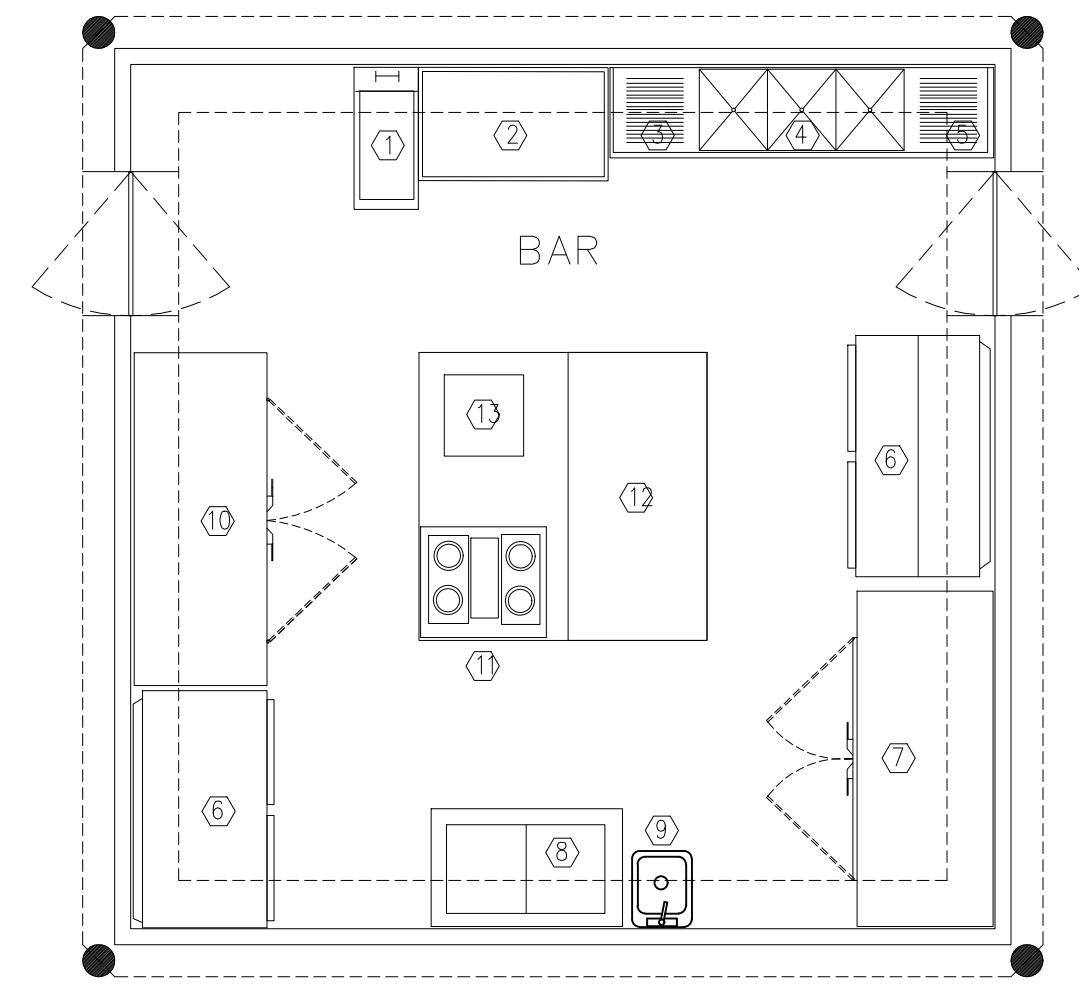
AA-26001915

CHH-1.2

SHEET 16 OF 17
SCALE SHOWN
DATE:04.08.19 DRAWN:AR

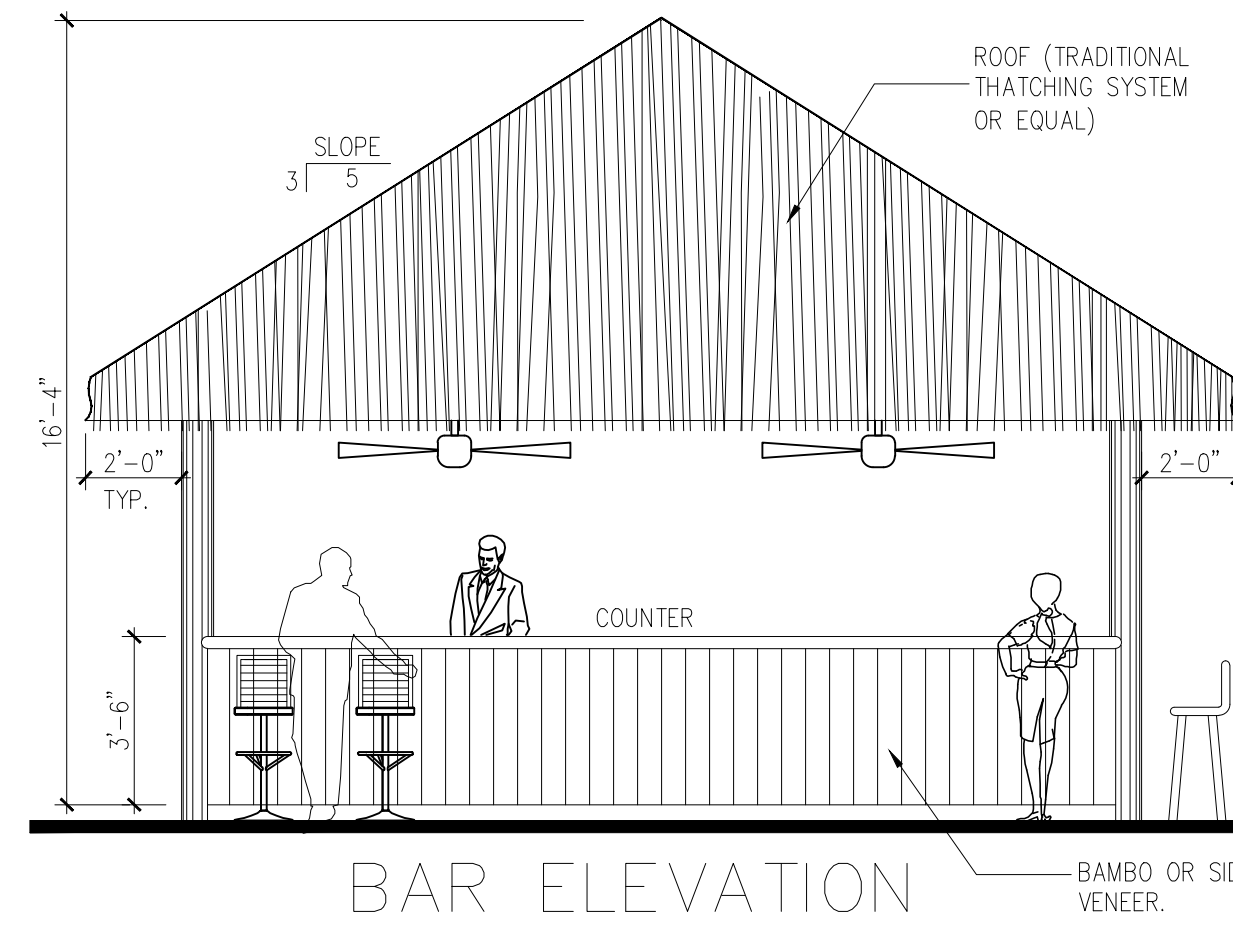
Designs are subject to modification or change as required by actual measurements, standard industry practices in light of existing structural and other conditions, applicable bldg. codes, and the like. These plans are and shall remain the property of Mr. Aliendes and shall not be sold or reproduced without its prior written consent. Mr. Aliendes shall be notified of any changes noted by actual measurements, etc. as allowed prior to submission of any phase for bid or construction.

PROPOSED CHICKEE HUT BAR

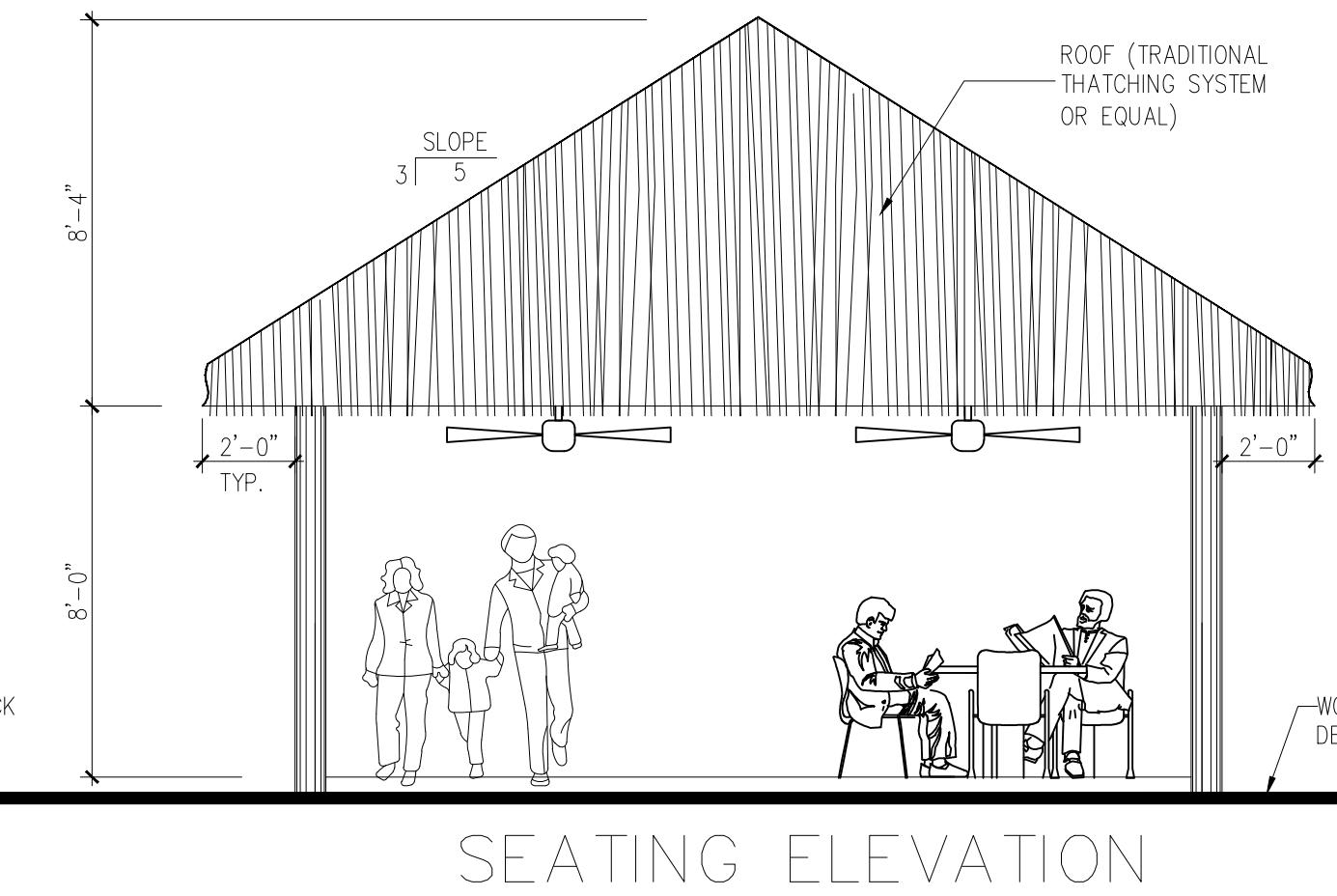


CHICKEE BAR EQUIPMENT
SCALE: 1/4"=1'-0"

- CHICKEE BAR EQUIPMENT:
 1. BLENDER STAND WITH SINK.
 2. COCKTAIL STATION.
 3. DRAINBOARD.
 4. BAR SINK.
 5. STORAGE DRAINBOARD.
 6. COTTLE COOLER.
 7. BACK BAR REFRIGERATOR.
 8. ICE CREAM CABINET.
 9. HAND SINK.
 10. DRAUGHT BEER COOLER.
 11. COFFEE BREWER.
 12. BACK BAR CABINET.
 13. CASH REGISTER.

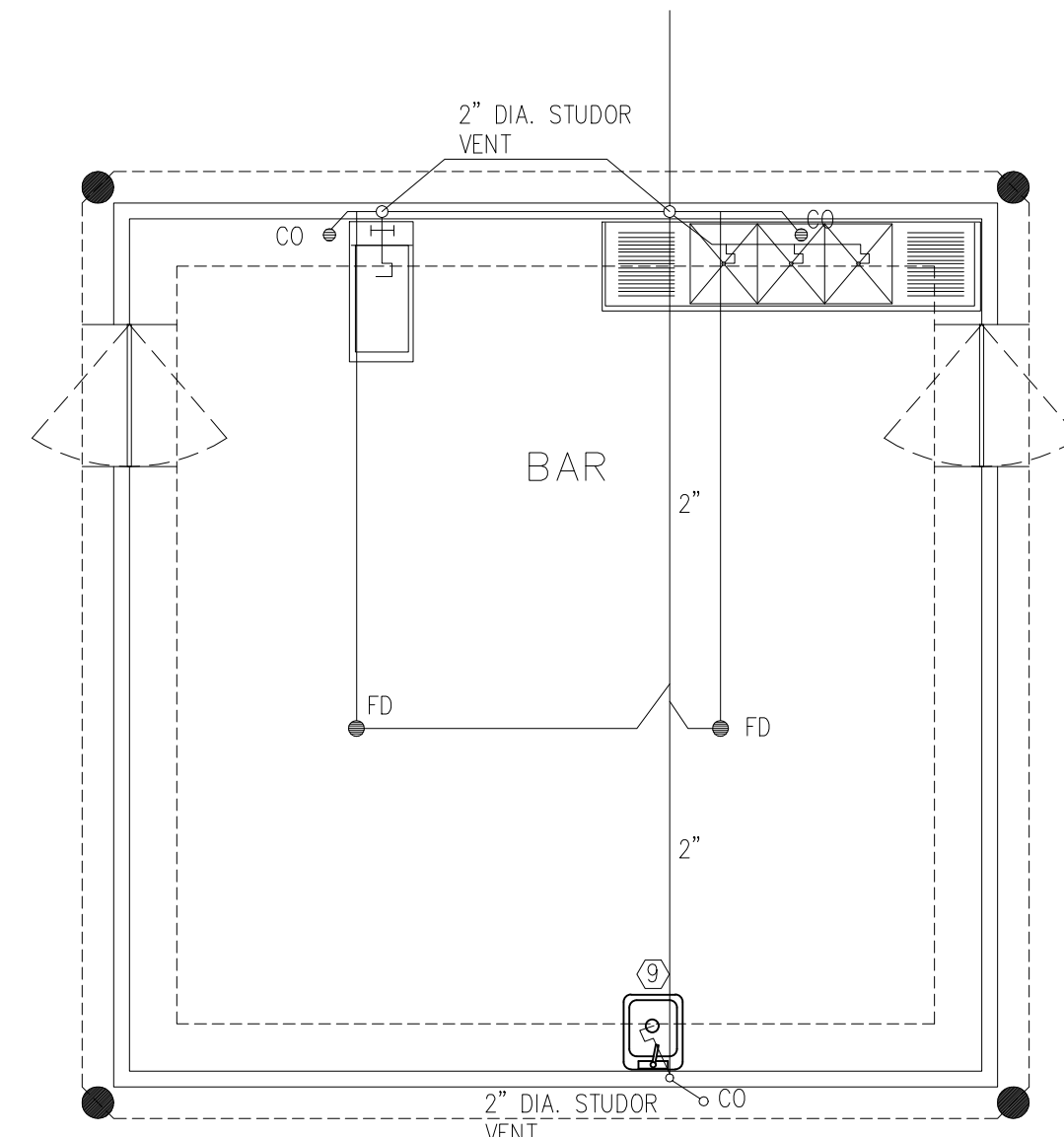


BAR ELEVATION

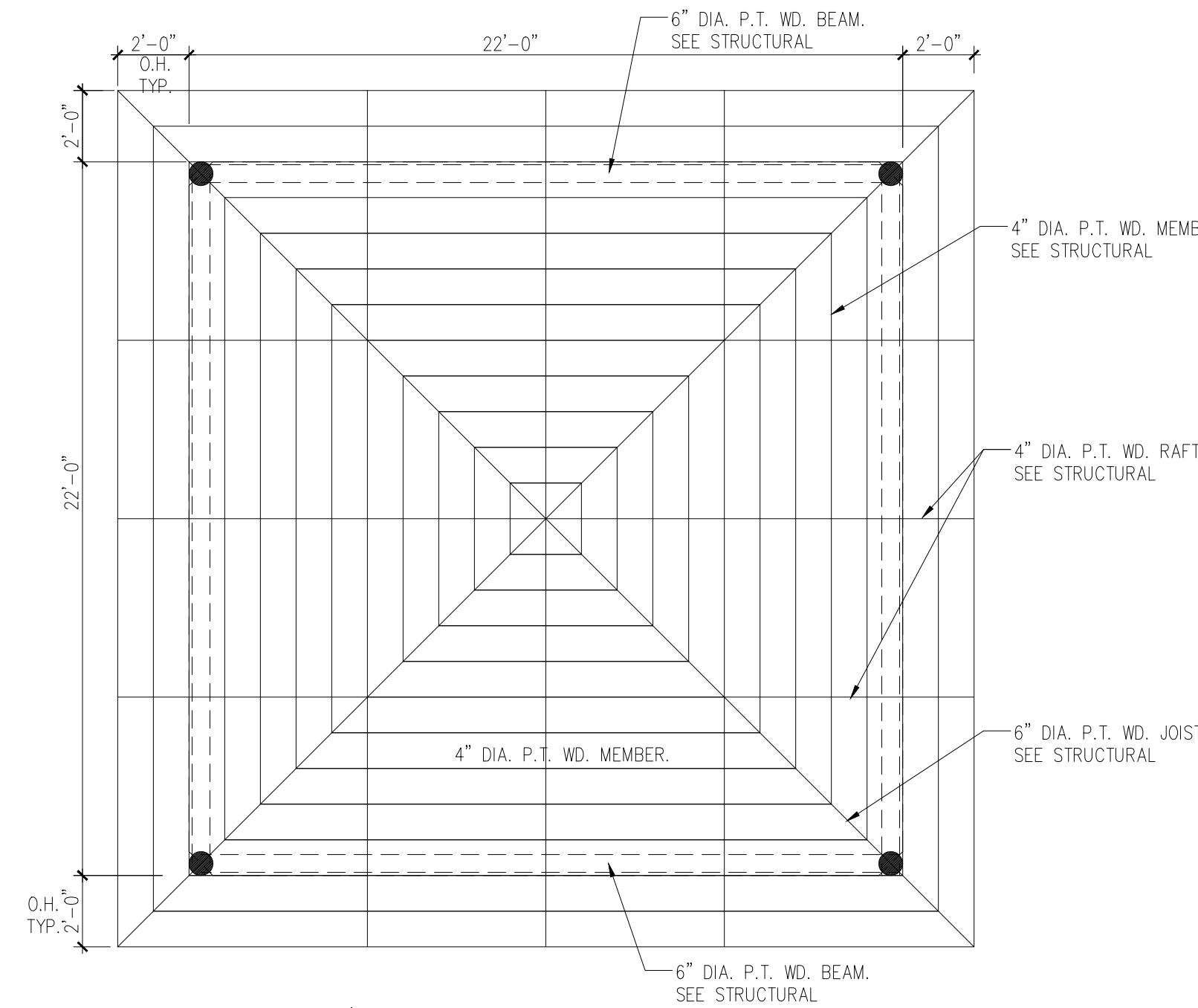


SEATING ELEVATION

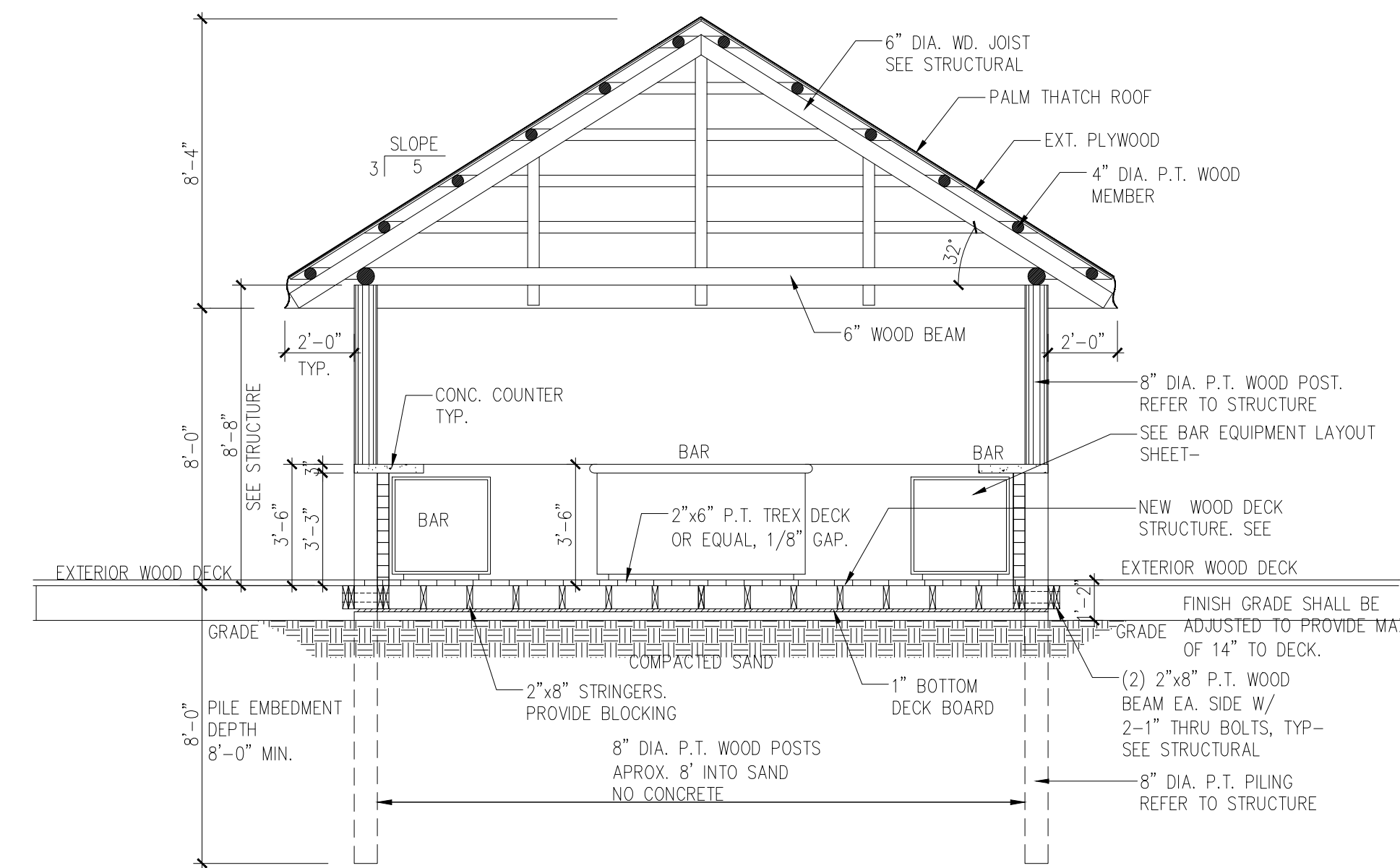
CHICKEE HUT ELEVATIONS, TYPICAL
SCALE: 1/4"=1'-0"



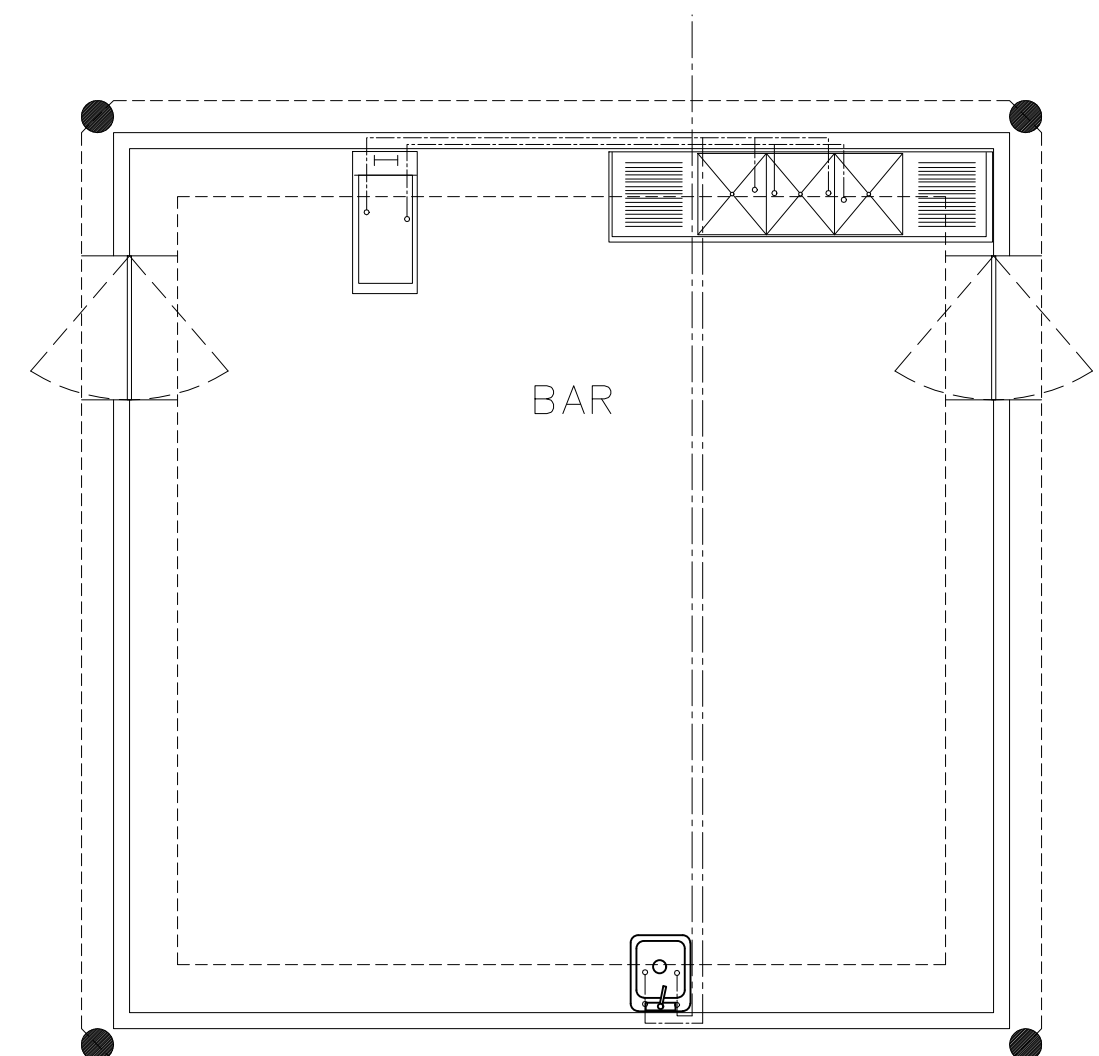
PLUMBING FLOOR PLAN SANITARY
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"



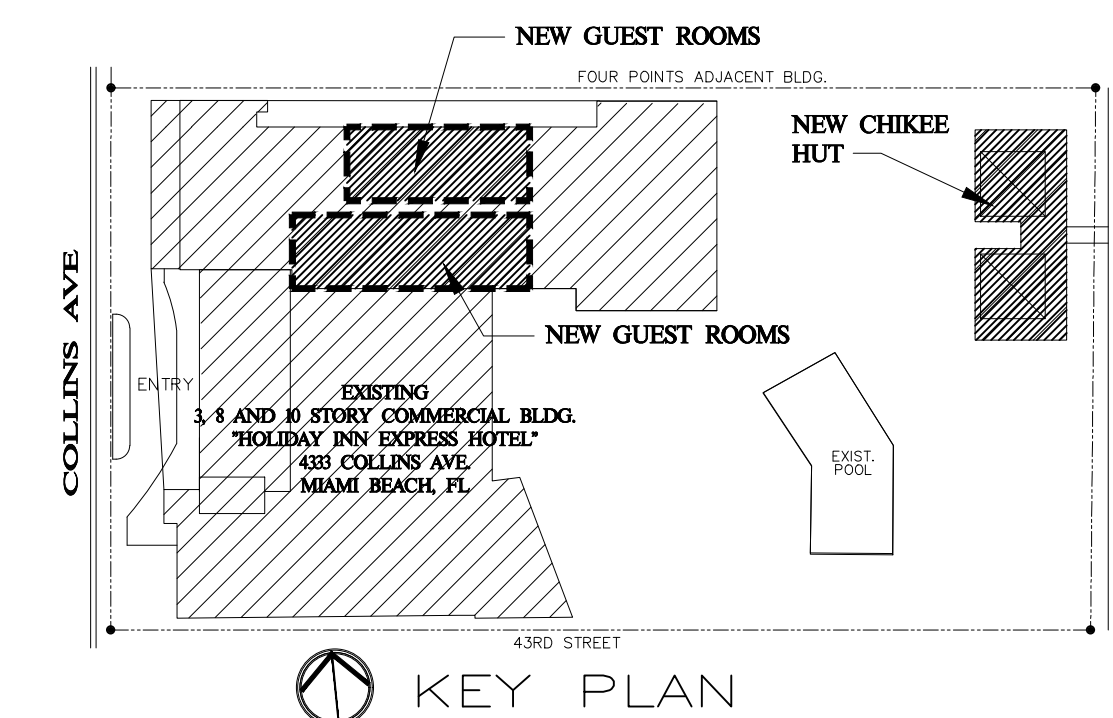
CHICKEE HUT SECTION (TYPICAL)
SCALE: 1/4"=1'-0"




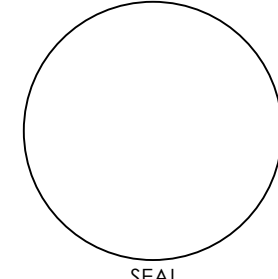
PLUMBING FLOOR PLAN WATER
SCALE: 1/4"=1'-0"

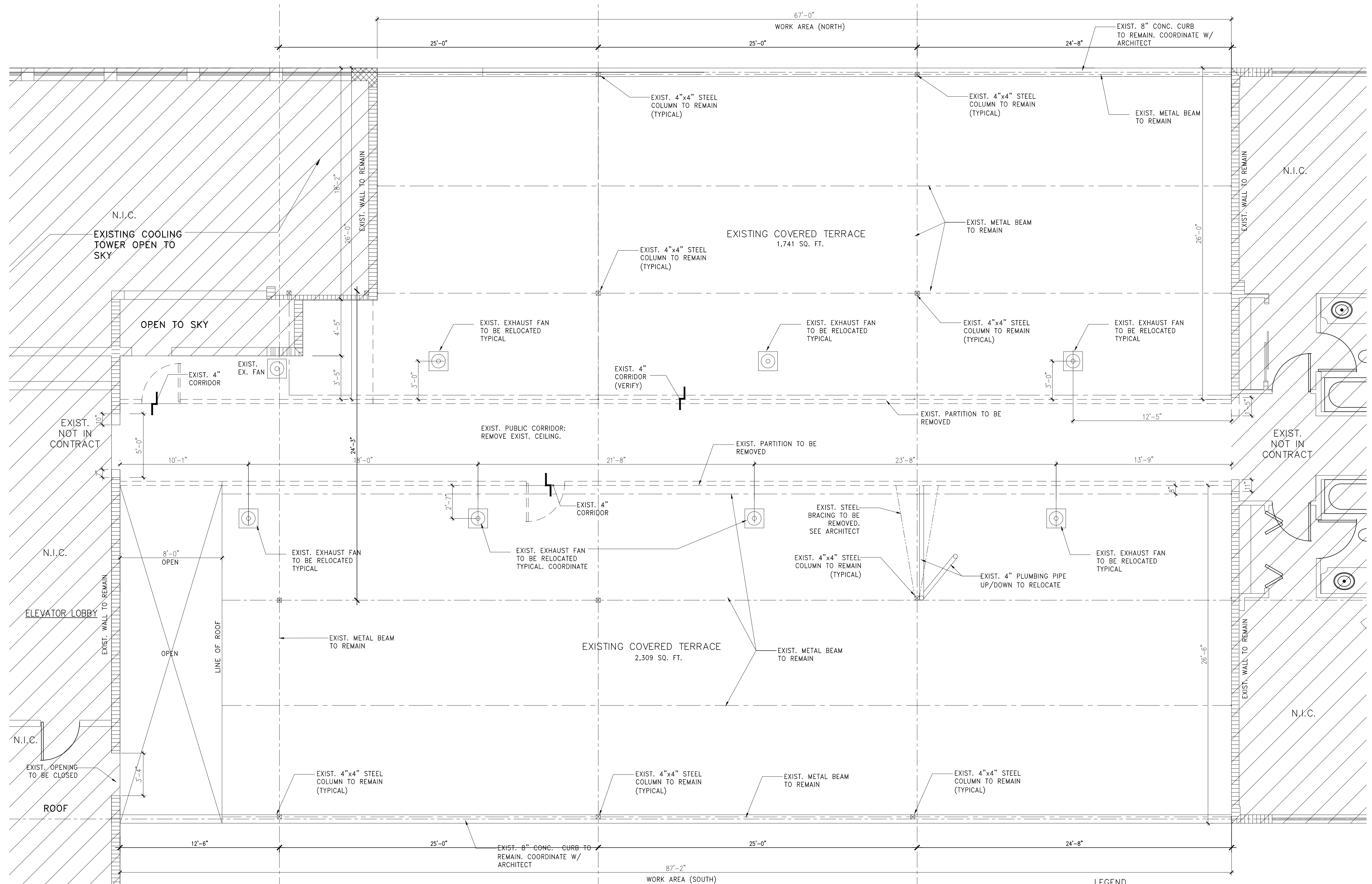
DECK GENERAL NOTES:

- ALL WOOD FLOOR AND FRAMING TO BE P.T. MEMBERS (SPRUCE PINE, #2 SOUTHERN PINE, ETC.) USE REQUIRED SPEC.
- ALL DECKING WOOD COMPONENTS TO BE TREX PRODUCTS OR EQUAL.
- PROVIDE DECKING HIDDEN FASTENING SYSTEM.
- DECKING SHALL BE FADE, STAIN, SCRATCH AND MOLD RESISTANT.
- ALL DECK POST SIZE SHALL BE 8" ROUND.
- USE TREX BOARDS FOR DECKING (2"x46") WITH (2)8d RING SHANK NAILS AT EACH JOIST.
- DO NOT USE ANGLES OR BRACKETS TO SUPPORT JOISTS. USE TYPICAL JOIST HANGER W/ MIN. DOWNLOAD CAPACITY AS REQUIRED.
- RIM JOIST CONNECTION: ATTACH RIM JOIST TO END OF EACH JOIST W/ (3) #10x3" MIN. WOOD SCREWS (NAILS NOT PERMITTED)
- PROVIDE BLOCKING BETWEEN STRINGERS.
- LATERAL SUPPORT: BRACING SHALL BE PROVIDED WHEN DECK HEIGHT IS GREATER THAN 8'-0" ABOVE GRADE OR FOR REQUIRED REINFORCEMENT. USE 2"x4" MIN. TYPICAL BRACING.
- ALL LUMBER SHALL BE PRESSURE TREATED SOUTHERN PINE, GRADE #2 OR BETTER.
- ALL METAL CONNECTION BOLTS, JOIST HANGERS, ETC. SHALL BE GALVANIZED OR CORROSION RESISTANT.
- NAILS, SCREWS, LAG SCREWS AND BOLTS SHALL BE HOT-DIPPED ZINC GALVANIZED, STAINLESS STEEL, OR APPROVED FOR USE BY CODE.
- HARDWARE (JOIST HANGERS, ANCHORS, CLIPS AND ANGLES) SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL (EX. SIMPSON STRONG TIE OR USP PRODUCTS).
- METAL COMPONENTS (NAILS, ETC): IN ALL CASES, ELECTROPLATED GALVANIZING IS NOT ACCEPTABLE.
- DECK LIGHTING: USE TREX PRODUCT OR EQUAL.



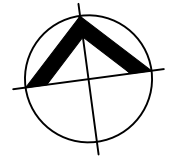
KEY PLAN

DATE	SYM	REVISION-RECORD	DR	CK
PROJECT NAME: HOLIDAY INN OCEAN FRONT PROPOSED CHICKEE HUT BAR OWNER: FRU MANAGEMENT INC TR ADDRESS: 4333 COLLINS AVE MIAMI BEACH FLORIDA 33140 PHONE: 305-532-2266				
				
IAA DESIGN ASSOCIATES PA Ismael Alendes AR 94998 interior Design Architecture 8280 SW 139th Terrace - Miami, FL 33158 phone: (305)322-9097 - email: isma2000@aol.com				
SEAL 				
AA-26001915 CHH-2 SHEET 17 OF 17 SCALE: SHOWN DATE: 04.08.19 DRAWN: AR				



DEMOLITION NOTES:

- ALL DEMOLITION WORK TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2017 AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- PRIOR TO COMMENCING THE DEMOLITION WORK, THE CONTRACTOR IS TO CAREFULLY EXAMINE AND BE COMPLETELY FAMILIARIZED WITH THE EXISTING STRUCTURE, FINISH & EQUIPMENTS.
- UTILITY LINES WILL BE DISCONNECTED AND SEALED AS REQUIRED PRIOR TO COMMENCING THE WORK.
- CONTRACTOR IS TO REMOVE ALL DOORS, WINDOWS, PLUMBING FIXTURES AND ELECTRICAL FIXTURES AS REQUIRED FOR THE COMPLETION OF THE WORK AND AS SHOWN IN THE PLANS.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT SHALL BE CAREFULLY REMOVED AND STORED AND WILL REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFIED.
- STRUCTURAL MEMBERS OF WALLS SHALL NOT BE REMOVED UNTIL REINFORCING WORK INDICATED IS COMPLETE.
- CONTRACTOR IS TO REMOVE FROM SITE AND PROPERLY DISPOSE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION.
- VERIFY W/OWNER ABOUT REMOVAL OF ANY WALL FINISHES, DEMISING WALL SHEATHING, ELECTRICAL OUTLETS OR DECORATION. DO NOT REMOVE EXIT SIGNS AND FIRE ALARM DEVICES. VERIFY W/OWNER/ARCHITECT/CONTRACTOR ABOUT REMOVAL OF ANY ELECTRICAL, PLUMBING AND MECHANICAL ITEMS.
- CAP & SEAL ALL ABANDONED UTILITY LINES. COORDINATE REMOVAL OF ALL PLUMBING & FIXTURE AS NEEDED, CONSUL W/ OWNER/ARCHITECT PRIOR DISPOSAL.



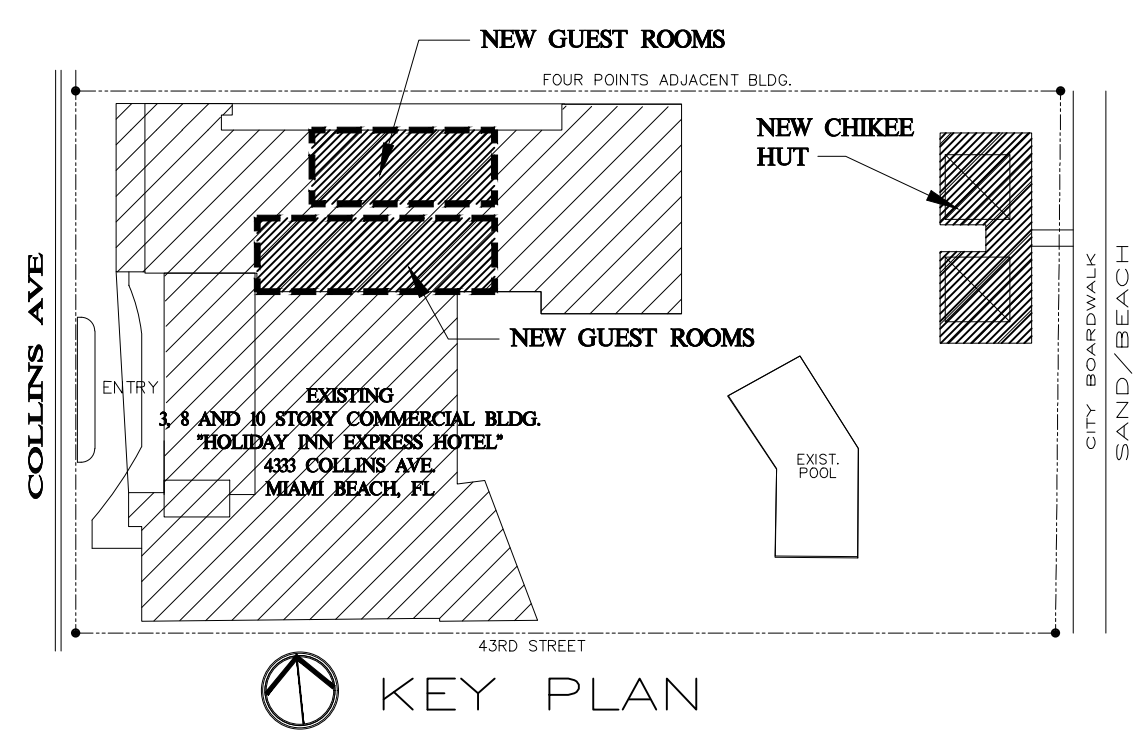
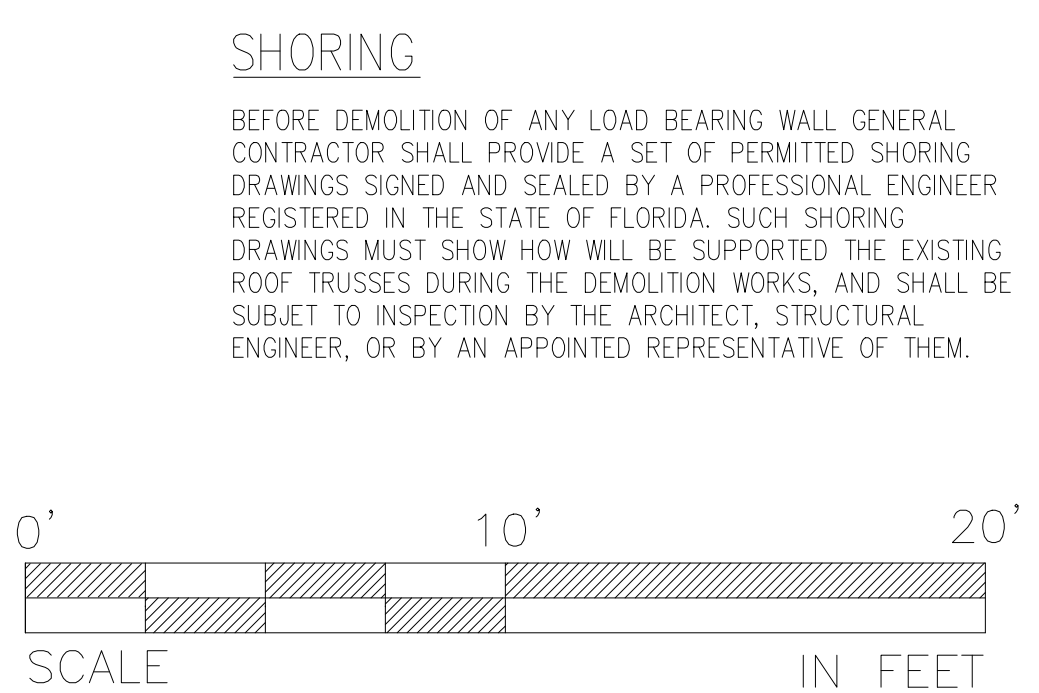
EXISTING CONDITION AND DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION SCOPE OF WORK:

SCOPE OF WORK CONSIST OF SELECTIVE DEMOLITION OF PARTITION WALLS AND INTERIOR CEILING, CONSULT WITH OWNER/ARCHITECT PRIOR COMMENCING THE WORK.

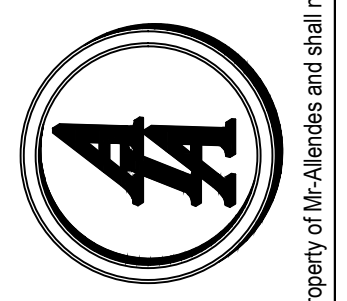
WARNING
THE CONTRACTOR IS HEREBY CAUTIONED THAT HAZARDOUS MATERIALS MAY BE PRESENT IN THIS FACILITY OR AREA.
PRIOR TO COMMENCEMENT OF ANY WORK OBTAIN WRITTEN ASSURANCES THAT THE AREAS THE CONTRACTOR IS SCHEDULED TO WORK IN ARE ASBESTOS FREE.

- LEGEND**
- EXIST. TO BE REMOVED
 - EXIST. STEEL BEAM TO REMAIN
 - ⊕ EXIST. STEEL COLUMN TO REMAIN

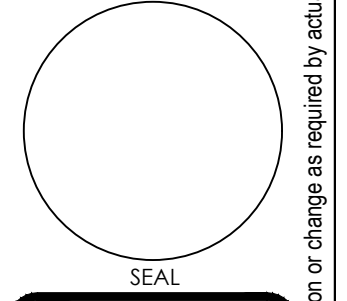


DATE	DESCRIPTION	BY	CHK

PROJECT NAME: HOLIDAY INN OCEAN FRONT EXISTING STRUCTURE ENCLOSURE WITH NEW LEVEL GUEST ROOMS & CHICKEE HUT
OWNER: FRU MANAGEMENT INC TR
ADDRESS: 4333 COLLINS AVE MIAMI BEACH FLORIDA 33140
PHONE: 305-532-2266



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AA-26001915
D-1
SHEET 1 OF 2
SCALE: AS SHOWN
DATE: 04.08.19
DRAWN: AR

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