

**PARTITION LEGEND, WAL TYPES**

- A** TYPE 1. NEW 1 HOUR FIRE RATED PARTITION (COMMON HOTEL UNITS). 3-5/8" 25 GA. METAL STUD AT 16" O.C. 5/8" GYPSUM BOARD TYPE "X" BOTH SIDES, PAINTED. R-19 INS. SEE SHEET A-5
- A** TYPE 5. NEW 2 HOUR FIRE RATED PARTITION (CORRIDORS). 3-5/8" 25 GA. METAL STUD AT 16" O.C. 5/8" GYPSUM BOARD TYPE "X" BOTH SIDES, PAINTED. R-19 INS. SEE WALL SECTION SHEET A-5 (ALTERNATE: 1 HR. FIRE RATED)
- B** TYPE 3. 3-5/8" 25 GA. METAL STUD AT 16" O.C. 5/8" GYPSUM BOARD BOTH SIDES, PAINTED. NON-FIRE RATED PART.
- C** NO ALTERATION. EXISTING TO REMAIN. REPAIR IF NECESSARY. SEE SHEET D-1. PROVIDE 2" GYP. BD. SEE ITEM E.
- D** TYPE 2. NEW PARTITION (BATHROOMS). 3-5/8" 25 GA. METAL STUD AT 16" O.C. 5/8" GYPSUM BOARD TYPE "X" ONE SIDE AND 5/8" CEMENT BOARD AT INTERIOR OF ALL BATHROOMS AND WET AREAS (TYP). PROVIDE BACKING AS NEEDED. SEE SHEET A-5
- E** TYPE 4. NEW 5/8" GYP. BD. ON 1-3/8" METAL STUD FRAME. COORDINATE WITH ARCHITECT. PROVIDE SOUND ATTENUATION FIRE BLANKET OR EQUAL. VERIFY DIMENSIONS.

WINDOW & DOORS PRESSURES (ASCE 7-10) AS SHOWN. SEE STRUCTURE & CALCULATIONS.

**DOORS AND WINDOWS NOTES:**

1. ALL DOORS AND WINDOWS SHALL COMPLY W/ FBC 2017 EDITION.
2. WINDOWS & DOORS WITH PRODUCT APPROVAL AND SEPARATE PERMIT.
3. CONTRACTOR SHALL VERIFY ALL FINISHES W/OWNER PRIOR TO PURCHASING MATERIALS. CONTRACTOR SHALL VERIFY ALL COLORS W/ OWNER PRIOR TO COMMENCEMENT OF WORK
4. GLASS AND GLAZING: COMPLY WITH THE REQUIREMENTS (FBC 2017). REFER TO MANUFACTURER SPECS AND SHOP DRAWINGS.
5. UNDERCUTS AT NON-FIRE RATED DOORS ARE CLEAR DISTANCES BETWEEN THE BOTTOM OF DOOR AND A RAISED SILL OR FLOOR. REFER TO THRESHOLD DETAILS AND MECHANICAL DRAWINGS.
6. AT FIRE RATED DOORS, PROVIDE MAX 3/8" UNDERCUT BETWEEN BOTTOM OF FLUSH MOUNTED DOORS AND A RAISED NON-COMBUSTIBLE SILL, AND 3/4" MAX. UNDERCUT BETWEEN BOTTOM OF FLUSH MOUNTED DOORS AND FLOOR WHERE THERE IS NO SILL.
7. ALL DOOR HARDWARE TO BE LEVER TYPE. FINISH TO BE SELECTED BY OWNER. TYPICAL.

**SEPARATE PERMIT:**  
ALL WINDOWS & DOORS BY SEPARATE PERMIT. SUBMIT SHOP DRAWING FOR ARCHITECT'S APPROVAL. ALL WINDOWS SHALL BE APPROVED, TEMP. GLASS/IMPACT RESISTANT.

**WINDOW SCHEDULE**

MK	WIDTH x HEIGHT	TYPE	SILL	FIN.	GLASS	REMARKS & MIAMI-DADE NOA
(*)	9'-8" x 4'-0"	(*)X	FIXED GLASS ALUM FRAME	WD. OR BY OWNER	ESP. WHITE	LT. GREY OR CLEAR

ALL WINDOWS IN THIS SCHEDULE ARE TEMP. GLASS/IMPACT RESISTANT SEPARATE PERMIT

NOA NO. 18-043005  
NEW WINDOW TO MATCH EXISTING NO. 13-1125.04 (OPTIONAL SEPARATE PERMIT)

**DOOR SCHEDULE**

MK.	LOCATION & SIZE	TYPE	FRAME	FINISH	THRHLD	REMARKS
(*)	ENTRY DOOR 3'-0" x 7'-0"	WOOD SOLID CORE	WOOD OR ALUM.	PAINT		UL LABEL B, 1-1/2" 2 HR. (90 MIN.) FIRE RATING
(*)	BATHROOM 3'-0" x 6'-8"	WOOD SOLID CORE	WOOD OR ALUM.	PAINT	MARBLE	
(*)	CLOSETS (2) 3'-0" x 6'-8"	WOOD SOLID CORE	WOOD OR ALUM.	PAINT		
(*)	CONNECTED ROOM 5'-0" x 6'-8"	WOOD SOLID CORE	WOOD OR ALUM.	PAINT		CONNECTED ROOM 90 MINUTES FIRE RATED
(***)	ADA SHOWER 3'-0" x 7'-0"	TEMPERED GLASS	GLASS OR ALUM.			GLASS WALL
(***)	ADA SHOWER 3'-0" x 7'-0"	TEMPERED GLASS	GLASS OR ALUM.			STANDAD SHOWER GLASS WALL
(*)	CLOSET ROOM#1106 (2) 2'-6" x 6'-8"	SLIDING WOOD HOLLOW CORE	WOOD OR ALUM.	PAINT		
(*)	CLOSET ADA ROOM 2'-0" x 6'-8"	SWING WOOD HOLLOW CORE	WOOD OR ALUM.	PAINT		

(\*) DIMENSIONS TO MATCH EXIST. WINDOWS

NOTE: VERIFY MASONRY OPENING & WINDOW DIMENSIONS

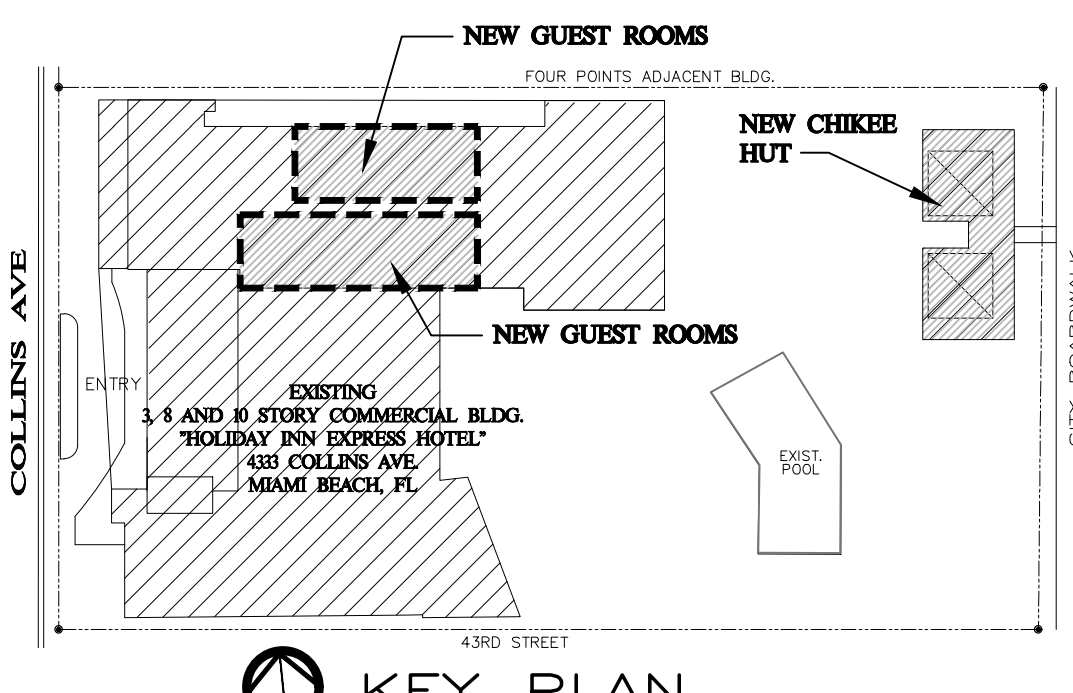
(\*) MASONRY OPENING DIMENSIONS ON PLAN, TYP. ALL DOORS.

(\*) 3'-4" OPENING FOR ALL 3'x6'-8" DOORS, TYP.

NOTE: (\*\*\*) GLAZING IN/AROUND SHOWERS/TUBS SHALL BE CAT. II SAFETY GLASS

**ELEVENTH FLOOR (PENTHOUSE) PROPOSED FLOOR PLAN**

- SCALE: 1/4"=1'-0"
- FLOOR PLAN LEGEND**
- EXISTING
  - EXISTING 8" CONC. BLOCK WALL
  - EXISTING 4" x 4" STL. COLUMN (TYP) TO REMAIN.
  - NEW PARTITION, 3-5/8" STL. STUDS/GWB.
  - NEW 4" PARTITION, 1 HR. FIRE RATED
  - NEW 4" PARTITION, 2 HR. FIRE RATED AT CORRIDOR
  - NEW 6" OR 8" EXTERIOR WALL METAL PARTITION, 2 HR. FIRE RATED. SEE WALL ASSEMBLY SHEET A-5. EXTERIOR FINISH TO MATCH EXIST.
  - WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) = 7 ROOMS (3 ROLL-IN SHOWER REQUIRED)
  - HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) = 201 TO 300 TOTAL GUEST ROOMS
  - 17 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER.)
  - WALL TYPE, SEE SHEET A-5.



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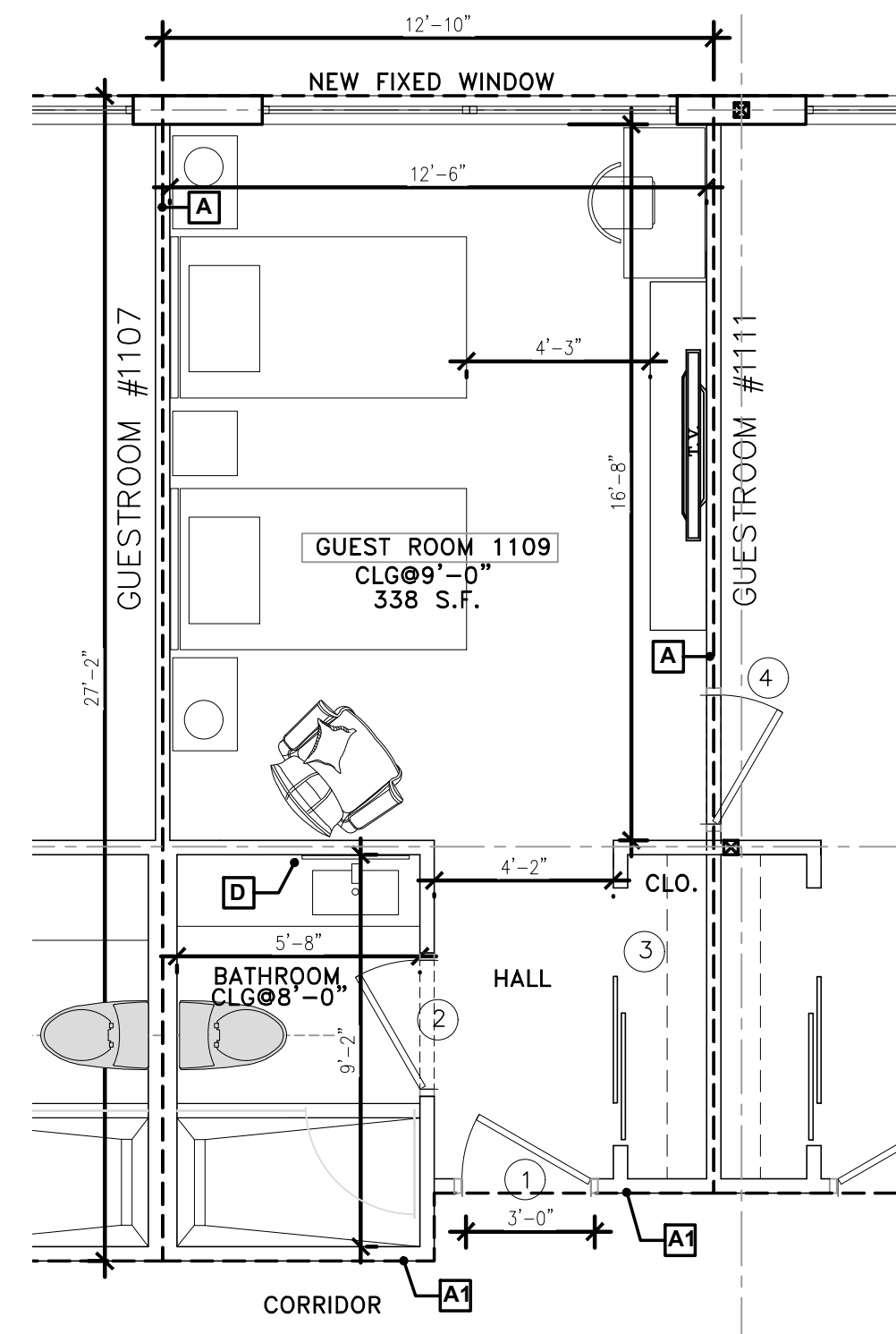
**HOLIDAY INN OCEAN FRONT**  
EXISTING STRUCTURE ENCLOSURE WITH TWELVE GUEST ROOMS & CHICKEE HUT BAR  
FRU MANAGEMENT INC TR  
4333 COLLINS AVE  
MIAMI BEACH FLORIDA 33140  
305.532.2266

DATE: 10/18/19  
SYMBOL: REVISION-RECORD

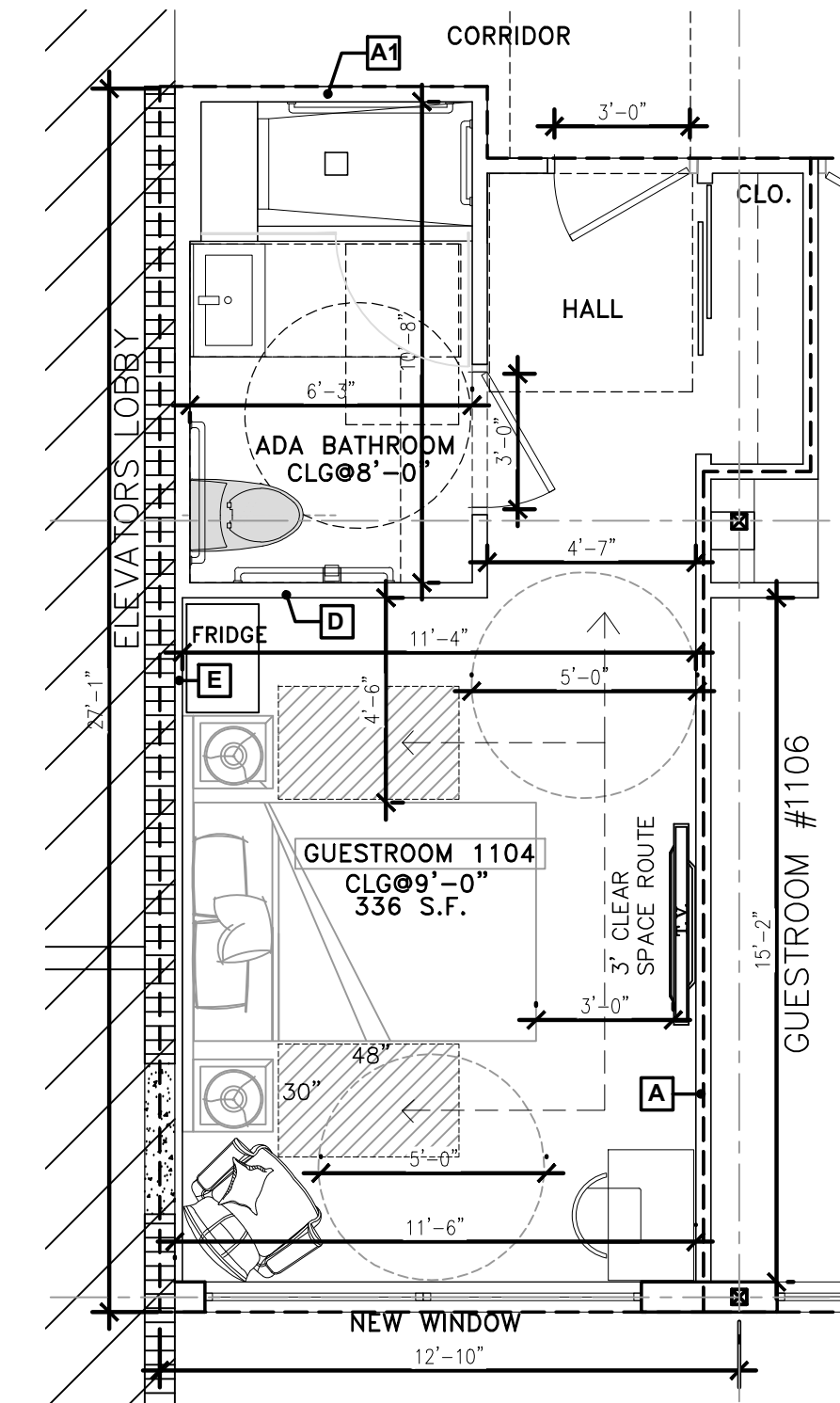
PROJECT NAME: HOLIDAY INN OCEAN FRONT  
OWNER: FRU MANAGEMENT INC TR  
ADDRESS: 4333 COLLINS AVE  
PHONE: 305.532.2266

SEAL  
AA-26001915  
A-1  
SHEET 5 OF 17  
SCALE: SHOWN  
DATE: 04.08.19 DRAWN: DRS

GENERAL REQUIREMENTS AS PER CODE:  
 -EXTERIOR AND INTERIOR SPACES THAT SERVE THE GUEST ROOM SHALL BE ACCESSIBLE.  
 -GUEST ROOM WITH MOBILITY FEATURES.  
 -AT LEAST ONE SLEEPING ROOM SHALL PROVIDE A CLEAR SPACE COMPLYING W/ 305 ON BOTH SIDE OF BED. THE CLEAR SPACE SHALL BE POSITIONED FOR PARALLEL APPROACH TO THE SIDE OF THE BED.  
 -TURNING SPACE COMPLYING W/304.  
 -COMMUNICATION FEATURES SYSTEM (806.3): PROVIDE TELEPHONE INTERFACE JACKS THAT ARE COMPATIBLE WITH BOTH DIGITAL AND ANALOG SIGNAL USE.  
 IF AUDIO HEADPHONE JACK IS PROVIDED ON A SPEAKER PHONE, A CUTOFF SWITCH CAN BE INCLUDED IN THE JACK.  
 FOR HEADSET OR EXTERNAL AMPLIFICATION SYSTEM COMPATIBILITY A STANDARD SUBMINIATURE JACK TO PROVIDE IN THE TELEPHONE.  
 PROVIDE ALARMS COMPLYING WITH 702.  
 VISIBLE NOTIFICATIONS DEVICES SHALL BE PROVIDED TO ALERT ROOM OCCUPANTS AND SHALL BE CONNECTED TO THE VISIBLE ALARM SIGNAL APPLIANCES.  
 TELEPHONE SHALL HAVE VOLUME CONTROL COMPATIBLE WITH THE TELEPHONE SYSTEM.  
 CODE SOURCES:  
 APPLY 2017 FLORIDA ACCESSIBILITY CODE 6TH ED. (CHAPTER 7 & 8)  
 TRANSIENT LODGING FACILITIES 224 IN ACCORDANCE WITH 806.  
 SPECIAL ROOM AND COMPLETE ADA REQUIREMENTS.



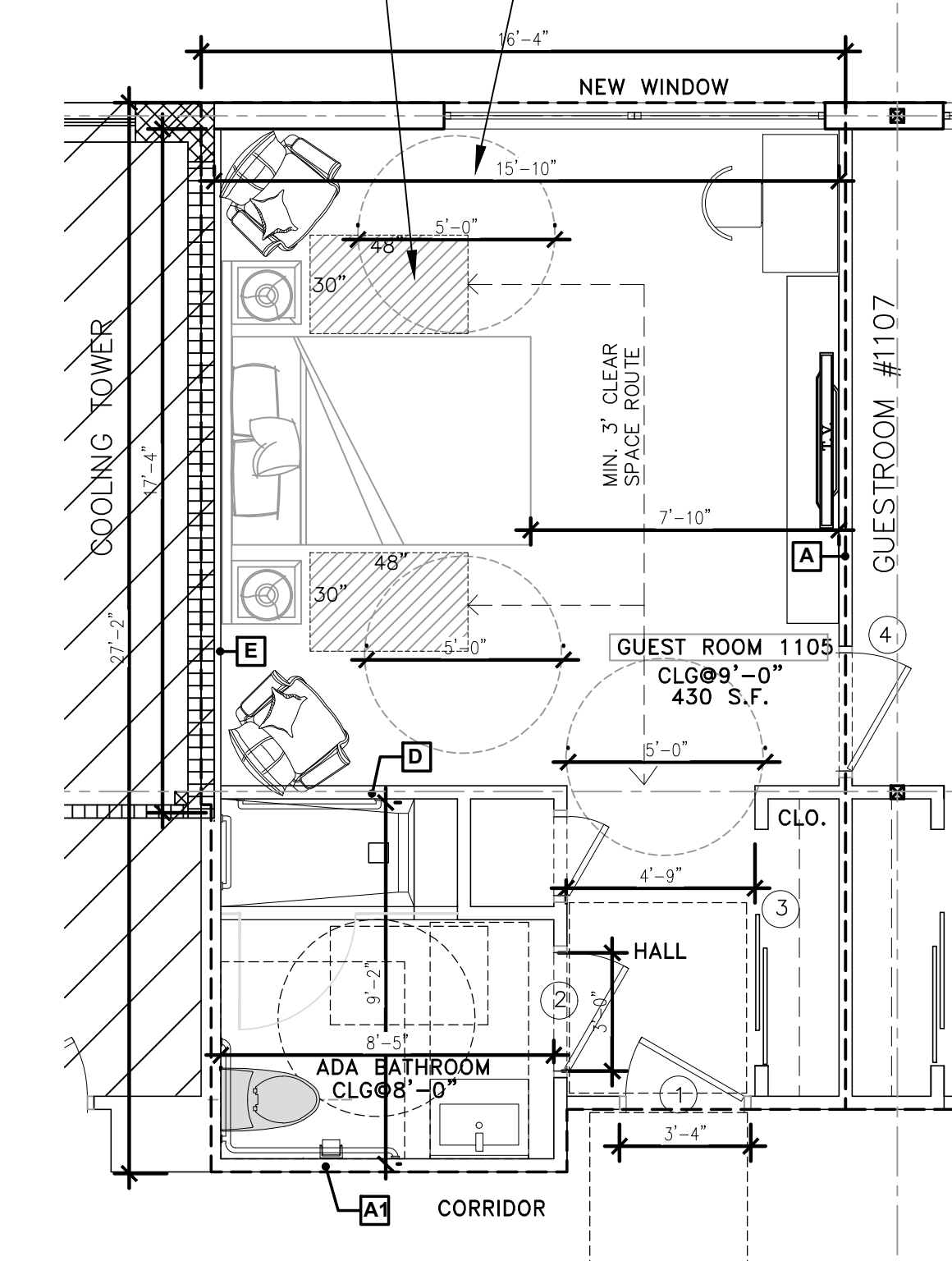
NEW STANDARD GUEST ROOM FLOOR PLAN  
 GUEST ROOM 1109  
 11TH FLOOR (PENTHOUSE)  
 SCALE: 1/4"=1'-0"



NEW ACCESSIBLE GUEST ROOM FLOOR PLAN  
 WITH ROLL-IN SHOWER  
 GUEST ROOM 1104  
 11TH FLOOR (PENTHOUSE)  
 SCALE: 1/4"=1'-0"

NOTE:  
 1. PROVIDE AN AREA OF 48"x30" FOR FRONT OR SIDE APPROACH BEDSIDE TABLE, TV DRESSER, LOUNGE CHAIR, DESK, DRAPERY, AS REQUIRED.  
 2. PROVIDE 5' DIA. TURNING SPACE.

PROVIDE AN AREA OF 48"x30" FOR FRONT APPROACH SEE NOTE  
 36" WIDE ACCESSIBLE ROUTE IN ADDITION TO CLEAR FLOOR SPACE

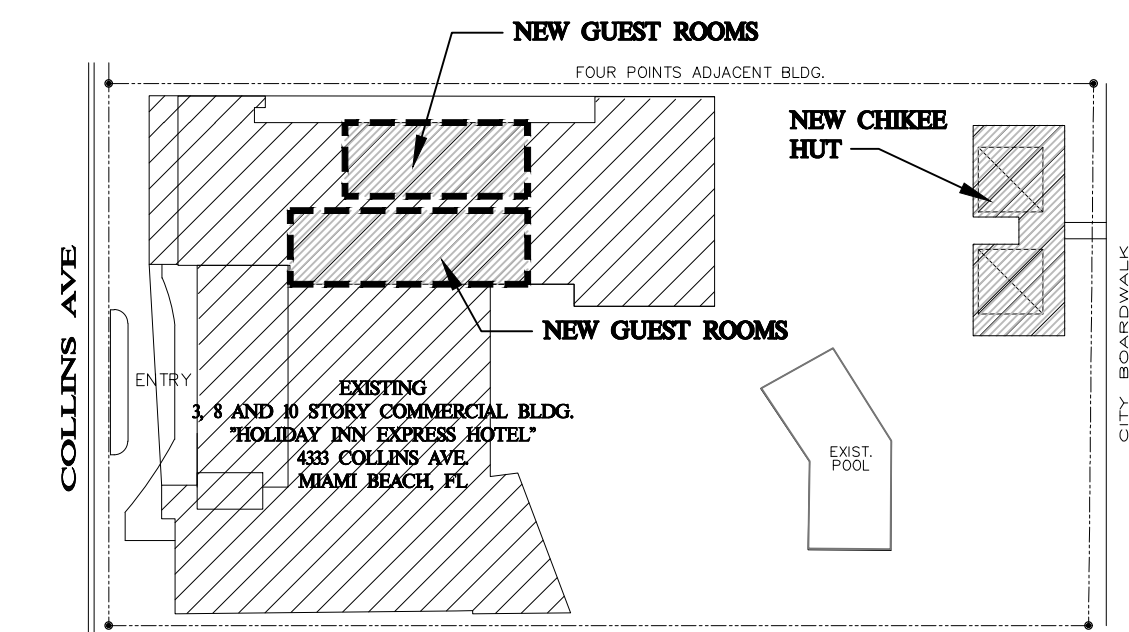


NEW ACCESSIBLE GUEST ROOM FLOOR PLAN  
 WITH ROLL-IN SHOWER  
 GUEST ROOM 1105  
 11TH FLOOR (PENTHOUSE)  
 SCALE: 1/4"=1'-0"

SEE ALL GUEST ROOMS ON SHEET A-1 & SP-1 & SP-2

FLOOR PLAN LEGEND

- EXISTING
- EXISTING 8" CONC. BLOCK WALL
- EXISTING 4" x 4" STL. COLUMN (TYP) TO REMAIN.
- NEW PARTITION, 3-5/8" METAL STUDS/CWB.
- NEW 4" PARTITION, 1 HR. FIRE RATED
- NEW 4" PARTITION, 2 HR. FIRE RATED AT CORRIDOR
- NEW 6" OR 8" EXTERIOR WALL METAL PARTITION, 2 HR. FIRE RATED. SEE WALL ASSEMBLY SHEET A-5. EXTERIOR FINISH TO MATCH EXIST.
- WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES)  
201 TO 300 TOTAL GUEST ROOMS  
= 7 ROOMS (3 ROLL-IN SHOWER REQUIRED)
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- WALL TYPE, SEE SHEET A-5 & SHEET A-1



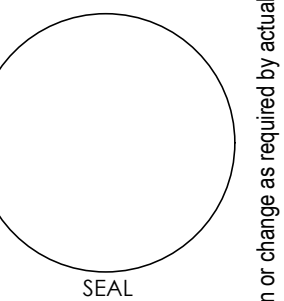
KEY PLAN

DATE	SYM	REVISION-RECORD	DR	CK

PROJECT NAME: HOLIDAY INN OCEAN FRONT EXISTING STRUCTURE ENCLOSURE WITH TWELVE GUEST ROOMS & CHIKKEE HUT BAR  
 OWNER: FRU MANAGEMENT INC TR  
 ADDRESS: 4333 COLLINS AVE  
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AA-26001915

A-1.2

SHEET 6 OF 17  
 SCALE SHOWN  
 DATE:04.08.19 DRAWN:AR

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