

# HOLIDAY INN OCEAN FRONT - MIAMI BEACH PROPOSED PENTHOUSE GUEST ROOMS & CHICKEE HUT BAR

## SCOPE OF WORK 1

FOR NEW TWELVE GUEST ROOMS AT EXISTING STRUCTURE ENCLOSURE, AND PORTION OF PUBLIC CORRIDOR AS SHOWN.  
LOCATION: PENTHOUSE, ELEVENTH FLOOR AS SHOWN.

- PROVIDE ELECTRICAL CONDUITS AND PLUMBING SYSTEM ON EXISTING SLAB AND PATCH ANY TRENCHES MADE.
- STRUCTURAL REPAIRS AS PER STRUCTURAL PLANS.
- PROVIDE STEEL STUDS ALL DRYWALL PARTITIONS AS INDICATED ON PLANS.
- INSTALL DOORS & WINDOWS AS PER PLAN.
- PROVIDE FLOORING SYSTEM AS INDICATED ON PLANS.
- PROVIDE PLUMBING SYSTEM AND FIXTURES AS INDICATED ON PLANS.
- PROVIDE ELECTRICAL DESIGN AS INDICATED ON PLANS.
- PROVIDE A REELECTED CEILING PLAN.
- PROVIDE A COMPLETE MECHANICAL SYSTEM AS PER PLANS.
- ALL WALLS, PARTITIONS & CEILING TO BE PAINTED AS CALL ON PLANS.
- REMOVE & DISCARD ALL CONSTRUCTION DEBRIS AND LEAVE THE SPACE VACUUM CLEANED.
- EXTERIOR FINISH TO MATCH EXISTING.
- COORDINATED WITH ARCHITECT & OWNER.

## SCOPE OF WORK 2

- NEW CHICKEE HUT (SEATING AND BAR STRUCTURES), WITH WOOD DECK AND NEW BOARDWALK AS SHOWN.

## GENERAL INFORMATION

1. PROJECT SHALL COMPLY WITH ALL APPLICABLE F.B.C. IN EFFECT: 2017 FLORIDA BUILDING CODE EXISTING (6TH ED.) AND FLORIDA FIRE PREVENTION 2017 (6TH ED.) AND NFPA 101 (2017 EDITION).
2. EXISTING BUILDING WITH AN EXISTING SPRINKLER SYSTEM AND A FIRE ALARM SYSTEM, IN COMPLIANCE WITH A 2017 FLORIDA FIRE PREVENTION CODE AND NFPA 101-LIFE SAFETY CODE 2017.
3. ALL EXISTING LIFE SAFETY SYSTEMS WILL BE MAINTAINED FULLY OPERATIONAL DURING ALL PHASES OF ALTERATION.

## SCOPE CLASSIFICATION

FBC (E) 2017 6TH EDITION, CHAPTER 5  
CLASSIFICATION OF WORK.

SCOPE CLASSIFICATION: ALTERATION- LEVEL 2

## PROJECT CLASSIFICATION

FFPC 101 6TH ED. CHAPTER 43 BUILDING REHAB.  
CLASSIFICATION: REHABILITATION, MODIFICATION

## FINISHES NOTE:

ALL NEW FINISHES ( WALL/CEILING/FLOOR) OTHER THAN PAINT, TO COMPLY WITH FBC 803 AND FBC 804.  
INTERIOR FINISH WILL COMPLY WITH FFPC 101 6TH EDITION.

## FIRE NOTE:

FIRE ALARM SYSTEM AND FIRE SPRINKLER: EXISTING AND FULLY OPERATIONAL DURING THE ALTERATION

## NOTE:

ALL NEW FURNITURE, UPHOLSTERY, AND MATTRESSES WILL COMPLY WITH FFPC 101 5TH EDITION CHAPTER 29E-41

## LIFE SAFETY NOTE

LIFE SAFETY SHALL REMAIN OPERATIONAL FOR THE ENTIRE BUILDING WHILE THE WORK IS BEING PERFORMED.

## PUBLIC WORKS NOTE:

ALL WORK, MATERIALS, AND EQUIPMENT ARE TO BE INSIDE PRIVATE PROPERTY.

## FLOOD INFORMATION

FLOOD ZONE IS AE 7, X,VE 11

## APPLICABLE CODES:

FLORIDA BUILDING CODE, EXISTING 2017 (6TH ED.)  
FLORIDA ACCESSIBILITY CODE CHAPTER 11 (FBC 2017 ED.)  
PLANS COMPLY WITH THE FFPC 6TH ED.  
NFPA 101/FFPC, 6TH ED.  
MIAMI-BEACH ORDINANCES.



HOLIDAY INN HOTEL-FRONT FACADE-SOUTH VIEW

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### Exhibits

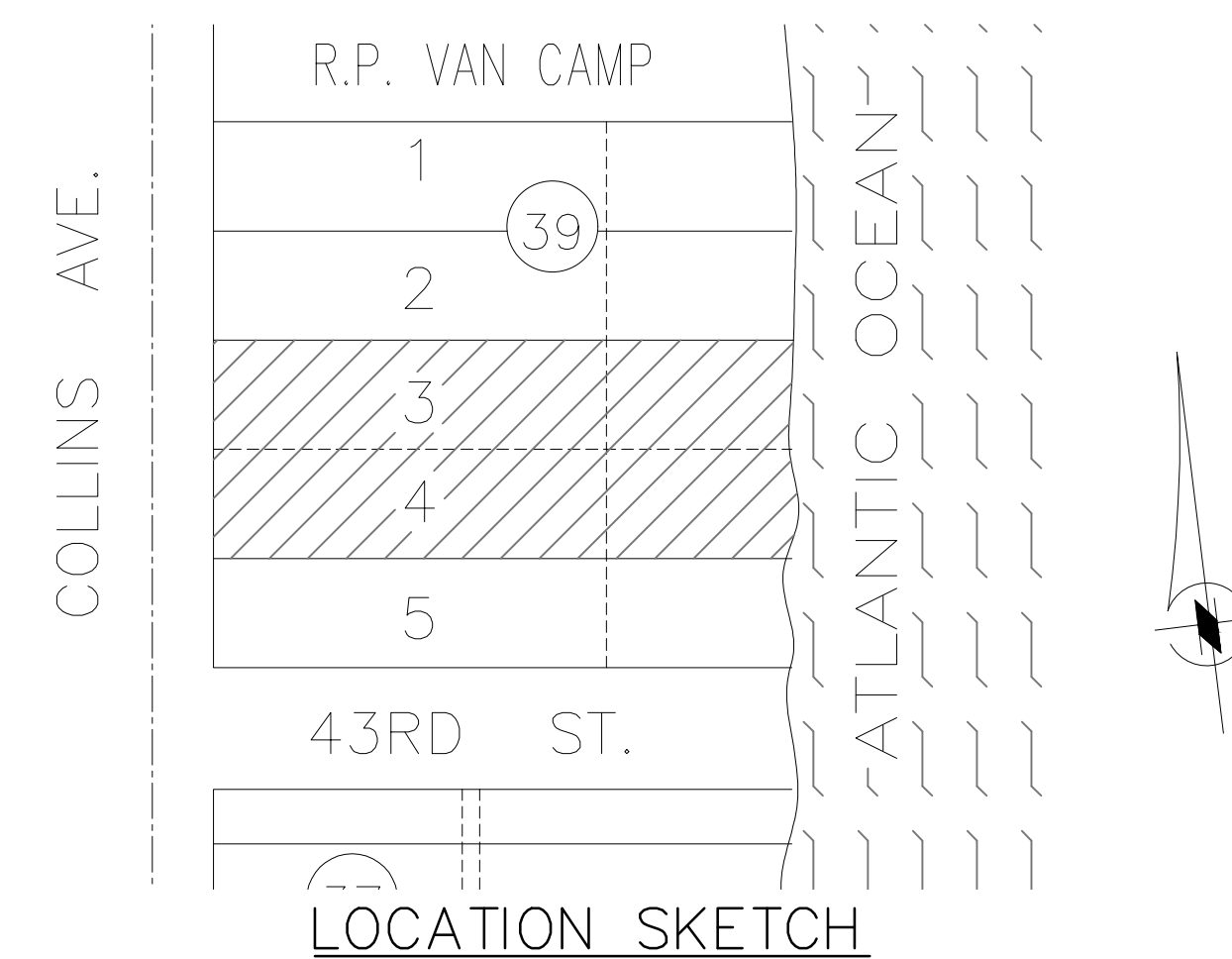
EXH-1 Site Location, Aerial View.

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## LEGAL DESCRIPTION

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERECTED, SITUATE, LYING AND BEING IN THE CITY OF MIAMI BEACH, COUNTY OF MIAMI-DADE, STATE OF FLORIDA. LOTS 3 AND 4, BLOCK 39, AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 7 AND 8, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. (RECORDING DATE OF JULY 10, 1916)

FOLIO# 02-3226-001-2155

## PROJECT INFORMATION

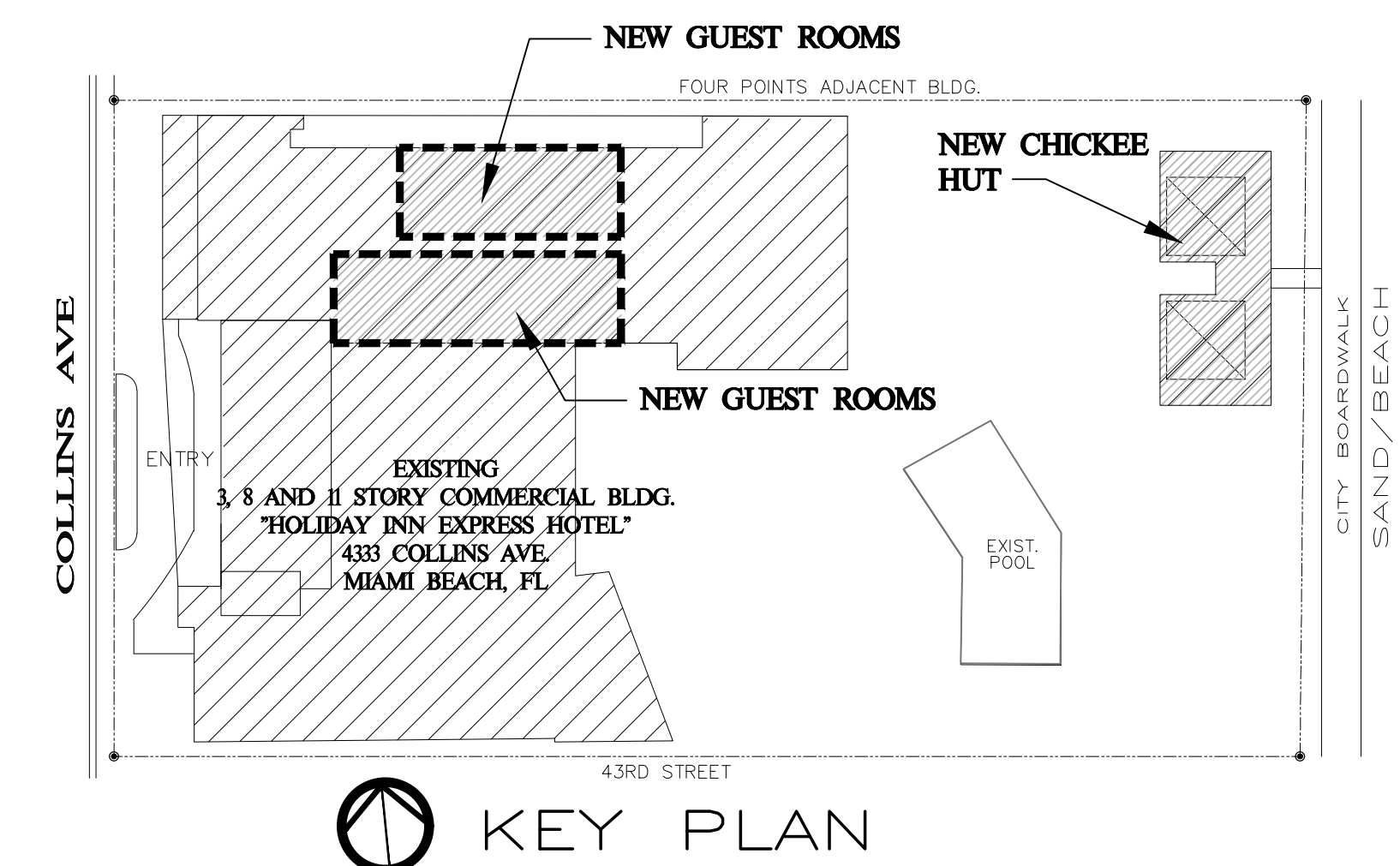
### ZONING INFORMATION:

**OWNER:** FRU MANAGEMENT INC TR  
**LOCATION:** 4333 COLLINS AVENUE, MIAMI BEACH 33140  
**LOT:** 72.483 S.F. NET

**AREA AND ZONING INFORMATION (SEE SP-1):**

**ZONING CLASSIFICATION:** RM-3 MULTIFAMILY-HOTEL

**EXISTING CONSTRUCTION:** 11 FLOORS CBS BUILDING



## General Notes and Specifications

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALL TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS, HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO ARCHITECT TO CLARIFY ANY DISCREPANCIES; CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING SUBCONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENTS FURNISHED BY THE ARCHITECT ARE THESE PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREOF, ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED. AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
14. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
15. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF OTHER MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.

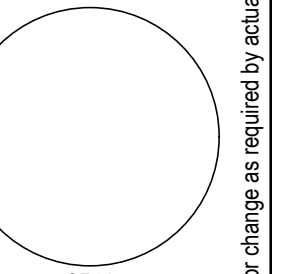
HISTORIC PRESERVATION BOARD  
FINAL SUBMITTAL  
MAY 06, 2019

| DATE | BY | REVISION-RECORD | DR/CK |
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PROJECT NAME: HOLIDAY INN OCEAN FRONT PROPERTY WITH NEW PENTHOUSE GUEST ROOMS & CHICKEE HUT BAR  
OWNER: FRU MANAGEMENT INC TR  
ADDRESS: 4333 COLLINS AVE MIAMI BEACH FLORIDA 33140  
PHONE: 305.532.2266

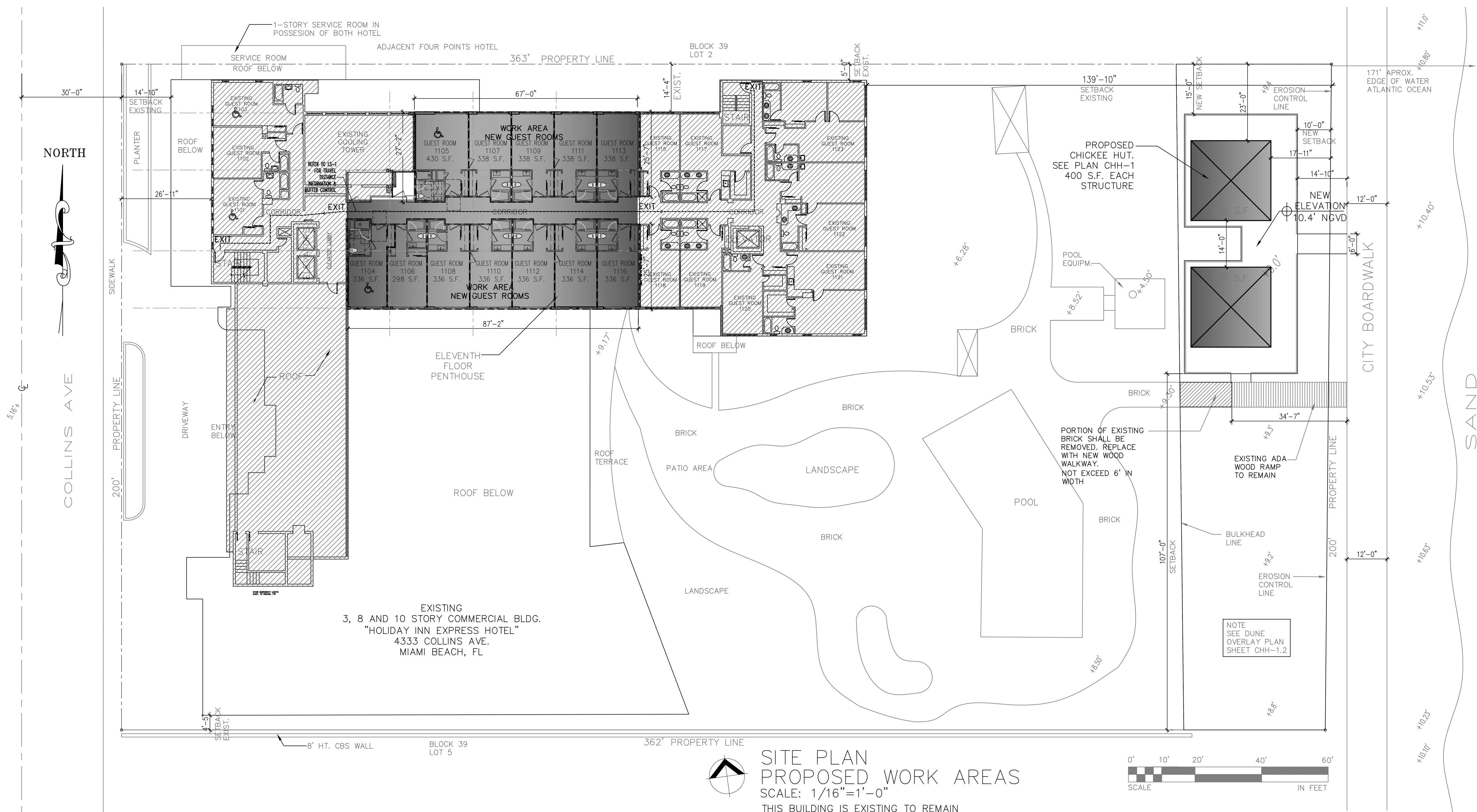


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AA-26001915  
A-0  
SHEET 1 OF 17  
SCALE SHOWN  
DATE: 04.08.19 DRAWN: AR

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**SITE PLAN  
PROPOSED WORK AREAS**  
SCALE: 1/16"=1'-0"  
THIS BUILDING IS EXISTING TO REMAIN



**WARNING**  
CONSTRUCTION AREA  
DO NOT ENTER  
AUTHORIZED PERSONNEL ONLY

**BUFFER FLOOR ACCESS CONTROL:**  
PROVIDE (WARNING) SIGNAGE TO RESTRICT PEOPLE ACCESS TO FLOOR UNDER CONSTRUCTION. REFER FLOOR PLAN & LS-1 FOR LOCATION.

**SIGN & ROOM NUMBERING NOTES**  
1. PROVIDE SIGN AND ROOM NUMBER TO MATCH EXISTING.  
2. SEE SIGN NOTES FOR ADDITIONAL INFORMATION. COORDINATE WITH ARCHITECT.

**CHICKEE HUT FLOOR AREAS**

|                                   |             |
|-----------------------------------|-------------|
| SITE AREA:                        | 13,178 S.F. |
| POOL DECK TO EROSION CONTROL LINE |             |
| PROPOSED CONSTRUCTION AREA        | 400 S.F.    |
| PROPOSED SEATING                  | 400 S.F.    |
| AREA WITH ROOF                    | 800 S.F.    |
| WOOD DECK                         | 1,682 S.F.  |
| TOTAL AREA                        | 2,482 S.F.  |
| STRUCTURE ALLOWED                 | 400 S.F.    |
| LOT COVERAGE                      | 18.9%       |
| ALLOWED                           | 20%         |

**PROPOSED MINIMUM YARDS:**

|                          |         |
|--------------------------|---------|
| TO NORTH PROPERTY LINE:  | 15'-0"  |
| REQUIRED:                | 15'-0"  |
| TO SOUTH PROPERTY LINE:  | 107'-0" |
| REQUIRED:                | 15'-0"  |
| TO EROSION CONTROL LINE: | 10'-0"  |
| REQUIRED:                | 10'-0"  |

**STRUCTURE DESCRIPTION**  
NON RESIDENTIAL OCCUPANCY  
STRUCTURE: OPEN SIDED-WOODEN HUT/  
THATCH ROOF OF PALM.  
USE: BAR  
REFER TO PLANS

**WORK AREAS**

| WORK AREA (SEE PLAN)           | AREA       |
|--------------------------------|------------|
| 5 NEW GUEST ROOMS (NORTH SIDE) | 1,782 S.F. |
| 7 NEW GUEST ROOMS (SOUTH SIDE) | 2,342 S.F. |
| TOTAL GUEST ROOMS AREA         | 4,124 S.F. |
| EXISTING PUBLIC CORRIDOR       | 573 S.F.   |
| TOTAL WORK AREAS               | 4,697 S.F. |

**NOTE**  
FOR ADA GUEST ROOMS FEATURES  
SEE SHEET A-1.2

**NEW GUEST ROOMS AREAS**

| ROOM             | AREA       |
|------------------|------------|
| GUEST ROOM 1104  | 336 S.F.   |
| GUEST ROOM 1105  | 430 S.F.   |
| GUEST ROOM 1106  | 298 S.F.   |
| GUEST ROOM 1107  | 338 S.F.   |
| GUEST ROOM 1108  | 336 S.F.   |
| GUEST ROOM 1109  | 338 S.F.   |
| GUEST ROOM 1110  | 336 S.F.   |
| GUEST ROOM 1111  | 338 S.F.   |
| GUEST ROOM 1112  | 336 S.F.   |
| GUEST ROOM 1113  | 338 S.F.   |
| GUEST ROOM 1114  | 336 S.F.   |
| GUEST ROOM 1116  | 336 S.F.   |
| TOTAL GUESTROOMS | 4,096 S.F. |
| PUBLIC CORRIDOR  | 578 S.F.   |
| MECHANICAL ROOM  | 50 S.F.    |
| TOTAL            | 4,724 S.F. |

SEE FLOOR PLANS SHEET A-1

**ZONING SUMMARY (EXIST. HOTEL)**

| DEFINITION                               | PROPOSED  |
|--|---|
| ZONING DISTRICT                          | RM-3 RESIDENTIAL, MULTI FAMILY (HOTEL)                    |
| NET LAND AREA (LOT AREA)                 | 72,483 SF=1.66 ACRES                                      |
| PROPOSED DEVELOPMENT                     | NEW 12 GUEST ROOMS AT PENTHOUSE (11TH FLOOR), EXIST AREA. |
| F.A.R. CALCULATION                       | MAX. FAR: 3.0   |
| FLOOR AREA RATIO (F.A.R.)=2.3 (EXISTING) | PROPOSED: 2.4   |
| BLDG GROSS AREA= 173,548 S.F.            | SEE FAR CALCULATION INCLUDING CHICKEE BAR (*)             |
| LOT COVERAGE (25%)                       | REQ./ALLOWED PROVIDED                                     |
|  | 18,121 S.F. 12,364 S.F. 11TH FLOOR                        |
| BLDG GROSS AREA= 173,548 S.F.            |   |
| EXISTING GUEST ROOMS                     | 252   |
| PROPOSED GUEST ROOMS                     | 12  |
| TOTAL                                    | 264   |

**PARKING INFORMATION**

|   |     |
|---|-----|
| EXISTING TOTAL PARKING REQUIRED                 | 190 |
| + 12 NEW GUEST ROOMS                            | 198 |
| 264 UNIT x 0.75= 198                            |     |
| PARKING SPACES PROVIDED                         | 0   |
| HOTEL IS USING PARKING SPACES AT CHARLES GARAGE |     |

**FLOOR AREAS**

| FLOOR LEVEL               | AREAS                 |
|---------------------------|-----------------------|
| BASEMENT                  | 4,711 S.F. (6)        |
| FIRST FLOOR               | 27,927 S.F. (2)       |
| MEZZANINE FLOOR           | 10,124 S.F. (3)       |
| SECOND /FOURD FLOOR       | 25,426 S.F. (2)(4)    |
| FIFTH FLOOR               | TYP. 15,412 S.F. (4)  |
| SIXTH FLOOR               | TYP. 15,412 S.F. (4)  |
| SEVENTH FLOOR             | TYP. 15,412 S.F. (4)  |
| EIGHTH FLOOR              | TYP. 15,412 S.F. (4)  |
| NINTH FLOOR               | TYP. 15,412 S.F. (4)  |
| TENTH FLOOR               | TYP. 15,412 S.F. (4)  |
| ELEVENTH FLOOR(PENTHOUSE) | 12,364 S.F. (1)(4)(5) |
| ROOF (STAIRS 7 & 8)       | 524 S.F. (7)          |
| TOTAL FLOOR AREAS         | 173,548 S.F.          |

**FLOOR AREA RATIO**

|                     |                 |
|---------------------|-----------------|
| NET LAND            | 72,483 S.F. (*) |
| EXISTING FLOOR AREA | 173,548 S.F.    |
| EXISTING F.A.R.     | 2.4             |
| MAX. F.A.R.         | 3.0             |
| PROPOSED FLOOR AREA | 173,548 S.F.    |
| PROPOSED F.A.R.     | 2.4             |

(\*) NET LAND BASED ON SURVEY

**TOTAL FAR**

|                                 |                      |
|---------------------------------|----------------------|
| FAR CALC. INCLUDING CHICKEE BAR |                      |
| PROPOSED FLOOR AREA             | 173,548 S.F.         |
| CHICKEE BAR FLOOR AREA          | 800 S.F.             |
| TOTAL                           | 174,348 S.F. (*) (*) |
| PROPOSED F.A.R. MAX. 3.0        | 2.4                  |

**NOTE**  
REFER TO SHEET SP-2 AND SP-2.1  
FOR CALCS & SHADED AREAS

- (1) PROPOSED GUEST ROOMS AT THIS FLOOR (EXISTING ENCLOSED LOCATION, SEE PLAN)
- (2) INCLUDES LOBBY, OFFICES, AND MEZZANINE LEVEL: DINING ROOM, MEETING ROOM.
- (3) TERRACE, STORAGE (NO OCCUPANCY), OFFICES.
- (4) FLOOR WITH EXISTING GUEST ROOMS.
- (5) FLOOR WITH PROPOSED GUEST ROOMS.
- (6) GYM, STORAGE (NO OCCUPANCY), FUTURE BEAUTY SALON.
- REFER TO SHEET SP-2 FOR FLOOR AREAS & ADDITIONAL INFORMATION. SEE SHEET A-1.2
- (7) STAIR #7 (396 S.F.)/STAIR #8 (128 S.F.)

DATE: 15M REVISION-RECORD

PROJECT NAME: **HOLIDAY INN OCEAN FRONT EXISTING STRUCTURE ENCLOSURE WITH TWELVE GUEST ROOMS & CHICKEE HUT, BAR, FRU MANAGEMENT INC TR**

OWNER: **FRU MANAGEMENT INC TR**

ADDRESS: **4333 COLLINS AVE MIAMI BEACH FLORIDA 33140**

PHONE: **305.532.2266**

**IAA DESIGN ASSOCIATES PA**

**Ismael Aliendes AR 94998**

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SEAL

**AA-26001915**

**SP-1**

SHEET 2 OF 17

SCALE: SHOWN

DATE: 04.08.19 DRAWN: AR

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