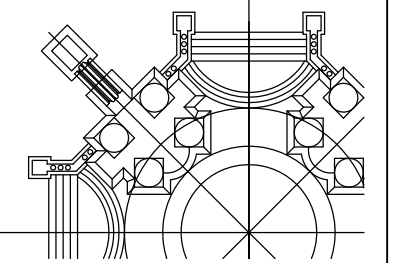


3167 Royal Palm Avenue, Miami Beach, FL 33140

PROJECT /
SHEET TITLE

Z.W. JAROSZ ARCHITECT, P.A.
3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM



FINK RESIDENCE
3167 Royal Palm Avenue,
Miami Beach, FL. 33140

LOCATION MAP / INDEX

REVISIONS

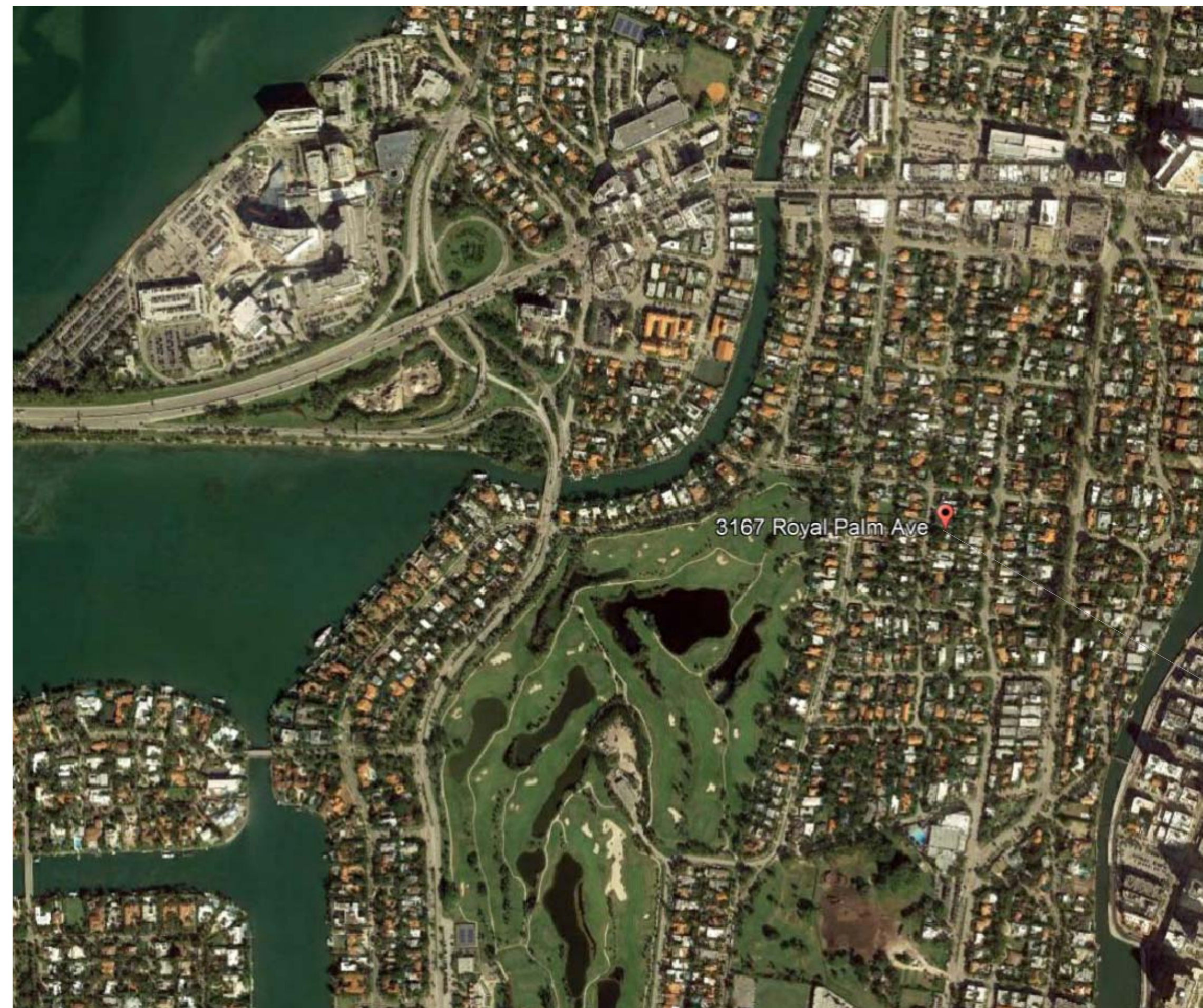
[illegible]

COPYRIGHT 2019 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF Z.W. JAROSZ ARCHITECT P.A., WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS COMPLETED OR NOT. THEY ARE NOT TO BE USED AS A PATTERN ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO Z.W. JAROSZ ARCHITECTS, P.A. REPRODUCTIONS OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF Z.W. JAROSZ ARCHITECTS, P.A. IS PROHIBITED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

0118-FINK

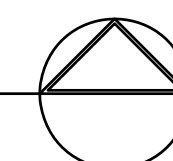
DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

A0.01



3167 ROYAL PALM AVENUE
MIAMI BEACH, FL 33140

LOCATION MAP
SCALE: N.T.S.



A0.00 COVER SHEET
A0.01 INDEX OF DRAWINGS / LOCATION MAP
A0.02 ARCHITECT'S LETTER OF INTENT
A0.03 SURVEY
A0.04 EXISTING UNIT SIZE
A0.05 EXISTING LOT COVERAGE
A0.06 DEMOLITION PLAN

ARCHITECTURAL:

- A1.01 SITE PLAN
- A1.02 ZONING DATA
- A1.03 LOT COVERAGE CALCULATIONS
- A1.04 UNIT SIZE CALCULATIONS
- A1.05 VOLUMETRIC CALCULATIONS
- A1.06 YARD CALCULATIONS
- A1.07 SIDE YARD SECTIONS
- A2.01 FIRST FLOOR PLAN
- A2.02 SECOND FLOOR PLAN
- A2.03 ROOF PLAN
- A3.01 FRONT ELEVATION
- A3.02 REAR ELEVATION
- A3.03 SIDE ELEVATION
- A3.04 SIDE ELEVATION
- A3.05 BUILDING SECTION

LANDSCAPE:

- TD-1 TREE DISPOSITION PLAN
TR-1 TREE REPLACEMENT PLAN
TM-1 TREE MITIGATION PLAN
L-1 LANDSCAPE PLAN
L-2 PLAN LIST AND PLANTING DETAILS
L-3 LANDSCAPE SPECIFICATION
L-1 RENDERED LANDSCAPE PLAN
IB-1 IMAGE BOARD

Law Offices of
LOUIS A. SUPRASKI, P.A.

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Christiam Cardenas, Esq.
Associate Attorney
ccardenas@supraskilaw.com

Real Estate
Corporate/Business Law
Probate Administration

April 29, 2019

City of Miami Beach
1700 Convention Center Drive
Planning Department, second floor
Miami Beach, Florida 33139

Attn: Design Review Board Ave.

Re: Renovation of 3167 Royal Palm Ave.

Dear Members of the Design Review Board,

I represent Braceha LLC (a Florida limited liability company), the owner of property located at 3167 Royal Palm Ave., Miami Beach, Fl. The purpose of this letter is to request your approval of the current design of the home my client is having built at the property. The design shall include and respond to all sea level rise and resiliency review criteria per Section 133-30 of the Miami Beach Code. In addition, we seek a waiver of the requirement [Miami Beach Code, Sec. 142.105(b)(4)(c)] that the second floor be no larger than 70% of the square footage of the first floor. The requested waiver is very modest; the ratio of the second floor to the first is only 78.72%. Below we have provided the dimensions of the property, square footage of the floors, etc., as well as the calculation of the relevant ratios.

Lot size: 15,000 sf

Lot coverage (max 30% of lot size):

4,352.83 sf (29.01%)

Unit Size (Max 50% of lot size):

1st floor = 4,416.69 sf

2nd floor = 3,465.84 sf (Including secondary stair)

16666 N.E. 19th Avenue, Suite 113, North Miami Beach, Florida 33162
Telephone: (305) 792-0060 Facsimile: (305) 692-8550

1st + 2nd = 7,882.53 sf

- 500 sf (Garage)

- 20.75 (Main stair at 2nd level)

= 7,361.78 sf (49.07%)

2nd floor area 70% of 1st floor rule:

4,352.83 x .70 = 3,046.98 sf (Max. allowed 2nd floor)

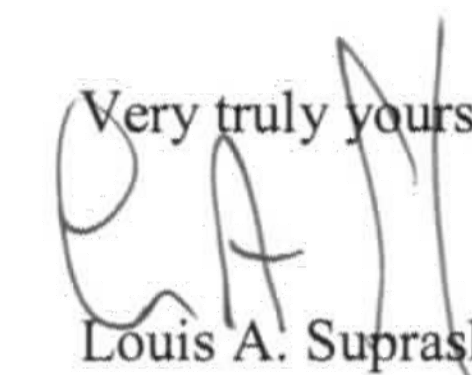
Proposed 2nd floor subject to Waiver = 3,426.76 sf (78.72% of 1st floor)

379.78 sf (8.72%) over the max. allowed second floor.

Although my client is an LLC, this property is not intended for rental, but rather as the family home for its principals, Dr. and Mrs. Gershon Fink and their large family. It is on the second floor that the bedrooms will be located, and in order to accommodate everyone, a small increase in the allowable floor ratio will be required.

We believe that granting this request for a waiver is within the appropriate design review criteria and respectfully solicit your approval of the same.

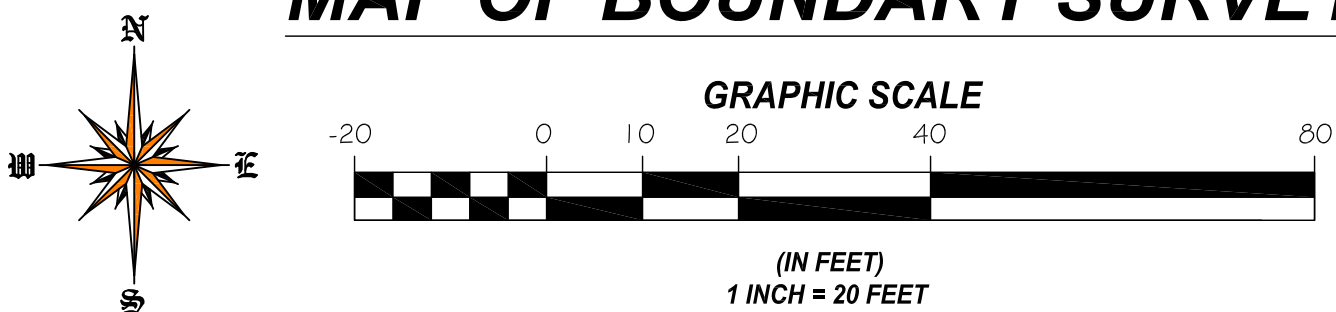
Thank you for your careful consideration of my client's request.

Very truly yours,

Louis A. Supraski, Esq.

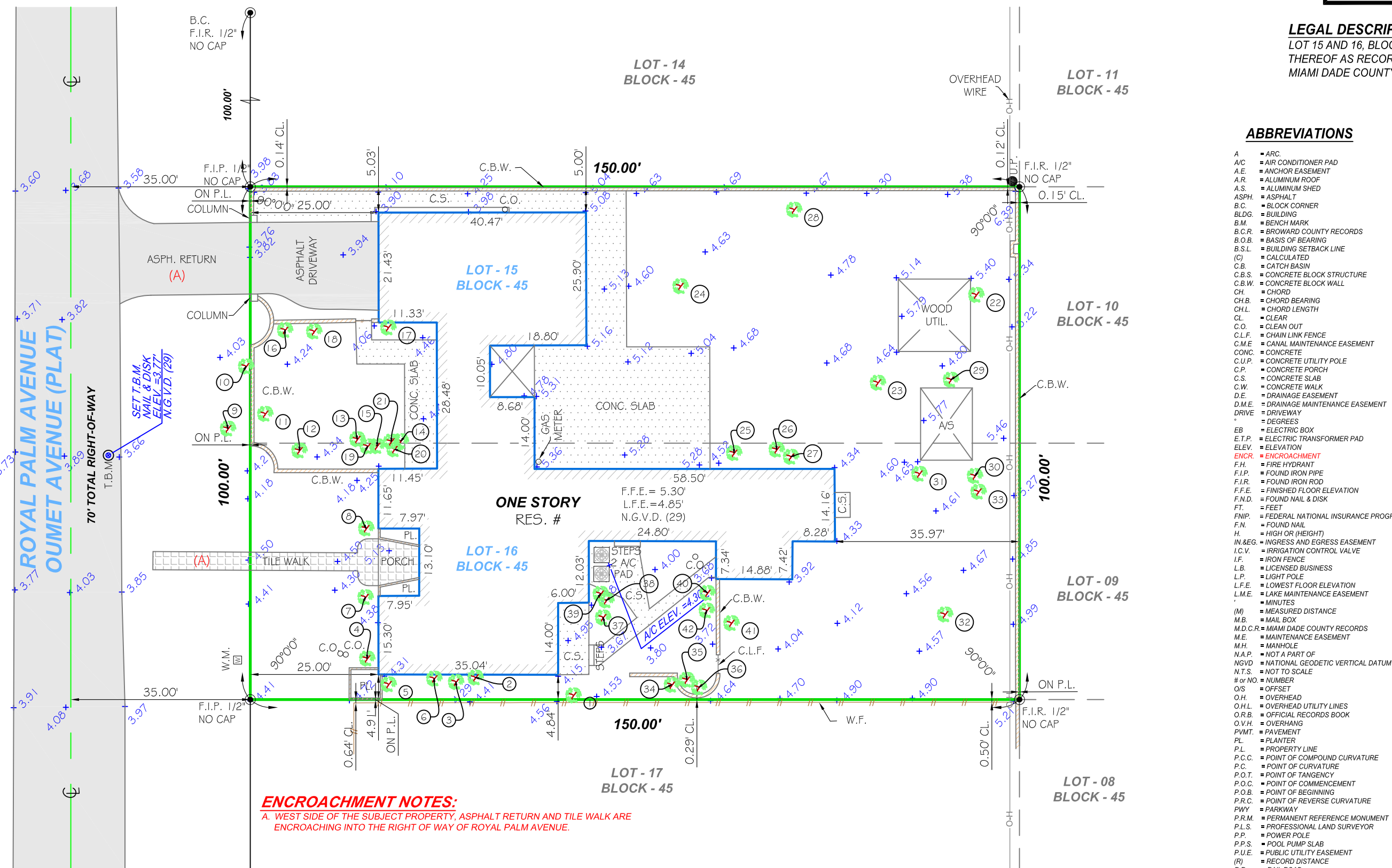
LAS/mt

16666 N.E. 19th Avenue, Suite 113, North Miami Beach, Florida 33162
Telephone: (305) 792-0060 Facsimile: (305) 692-8550

MAP OF BOUNDARY SURVEY



TREE TABLE				
No.	NAME	"DIAMETER (Ft.)"	"HEIGHT (Ft.)"	"SPREAD (Ft.)"
1	ALEXANDER PALM	0.40	40.00	10.00
2	ALEXANDER PALM	0.30	35.00	8.00
3	ALEXANDER PALM	0.30	35.00	8.00
4	ARECA PALM	3.00	20.00	12.00
5	MANGO	0.50	35.00	15.00
6	ALEXANDER PALM	0.30	35.00	8.00
7	ARECA PALM	3.00	25.00	12.00
8	ARECA PALM	3.00	25.00	12.00
9	ARECA PALM	3.00	25.00	12.00
10	ARECA PALM	2.50	20.00	12.00
11	FICUS	0.50	25.00	15.00
12	AVOCADO	1.70	35.00	25.00
13	AVOCADO	2.50	35.00	25.00
14	AVOCADO	1.00	35.00	25.00
15	AVOCADO	0.50	30.00	15.00
16	AVOCADO	0.80	25.00	20.00
17	AVOCADO	0.50	30.00	15.00
18	MANGO	1.30	35.00	25.00
19	ALEXANDER PALM	0.30	30.00	8.00
20	ALEXANDER PALM	0.30	30.00	8.00
21	ALEXANDER PALM	0.30	30.00	8.00
22	FICUS	0.50	25.00	15.00
23	MANGO	2.00	40.00	30.00
24	MANGO	2.00	40.00	35.00
25	ALEXANDER PALM	0.30	30.00	8.00
26	ALEXANDER PALM	0.30	30.00	8.00
27	ALEXANDER PALM	0.30	30.00	8.00
28	UNKNOWN	0.40	12.00	12.00
29	AFRICAN TULIP	0.60	35.00	15.00
30	AFRICAN TULIP	1.40	45.00	20.00
31	DRACAENA	3.00	20.00	15.00
32	TRAVELER PALM	0.80	30.00	15.00
33	SABAL PALM	1.30	25.00	15.00
34	ALEXANDER PALM	0.30	30.00	8.00
35	ALEXANDER PALM	0.30	30.00	8.00
36	ALEXANDER PALM	0.30	30.00	8.00
37	ALEXANDER PALM	0.30	30.00	8.00
38	ALEXANDER PALM	0.30	30.00	8.00
39	ALEXANDER PALM	0.30	30.00	8.00
40	ALEXANDER PALM	0.30	30.00	8.00
41	BOTTLE BRUSH	0.50	20.00	20.00
42	UNKNOWN	0.50	20.00	15.00



LEGAL DESCRIPTION:
LOT 15 AND 16, BLOCK 45, ORCHARD SUBDIVISION No. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 111, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

ABBREVIATIONS

- A = ARC
- A.C. = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- A.F. = ALUMINUM FENCE
- A.S. = ALUMINUM SHED
- ASPH. = ASPHALT
- B.C. = BLOCK CORNER
- BLDG. = BUILDING
- B.M. = BENCH MARK
- B.C.R. = BROWARD COUNTY RECORDS
- B.O.B. = BASIS OF BEARING
- B.S.L. = BUILDING SETBACK LINE
- (C) = CALCULATED
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C.B.W. = CONCRETE BLOCK WALL
- CH. = CHORD
- CH.B. = CHORD BEARING
- CH.L. = CHORD LENGTH
- CL. = CLEAR
- C.O. = CLEAN OUT
- CL.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- CONC. = CONCRETE
- C.U.P. = CONCRETE UTILITY POLE
- C.P. = CONCRETE PORCH
- C.S. = CONCRETE SLAB
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENT
- DRIVE. = DRIVEWAY
- E. = ELEVATION
- EB. = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENC. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FT. = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
- F.N. = FOUND NAIL
- H. = HIGH OR (HEIGHT)
- H.A.E.G. = HIGH AND EGRESS EASEMENT
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- L.B. = LICENSED BUSINESS
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- M. = MINUTES
- (M) = MEASURED DISTANCE
- M.B. = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENT
- M.H. = MANHOLE
- N.A.P. = NOT A PART OF
- N.O.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- # or NO. = NUMBER
- OS. = OFFSET
- O.H. = OVERHEAD
- O.H.L. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- O.V.H. = OVERHANG
- P.V.M.T. = PAVEMENT
- PL. = PLANTER
- P.L. = PROPERTY LINE
- P.C. = POINT OF COMPOUND CURVATURE
- P.C. = POINT OF CURVATURE
- P.O.T. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVATURE
- P.W. = PARKWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- P.P. = POWER POLE
- P.P.S. = POOL PUMP SLAB
- P.U.E. = PUBLIC UTILITY EASEMENT
- (R) = RECORD DISTANCE
- R.R. = RAIL ROAD
- RES. = RESIDENCE
- R.W. = RIGHT-OF-WAY
- R.O.D. = RADIUS OR RADIAL
- R.G.E. = RANGE
- R.O.E. = ROOF OVERHANG EASEMENT
- SEC. = SECTION
- STY. = STORY
- SW. = SIDEWALK
- S.I.P. = SET IRON PIPE
- S. = SOUTH
- S.P. = SCREENED PORCH
- S.V. = SEWER VALVE
- S. = SECONDS
- T. = TANGENT
- T.B. = TELEPHONE BOOTH
- T.B.M. = TEMPORARY BENCHMARK
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP. = TOWNSHIP
- UTL. = UTILITY
- U.E. = UTILITY EASEMENT
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.P. = WOOD PORCH
- W.R. = WOOD ROOF
- W.V. = WATER VALVE
- M. = MONUMENT LINE
- Δ = CENTER LINE
- Δ = DELTA

PROPERTY ADDRESS:
3167 ROYAL PALM AVENUE,
MIAMI BEACH, FLORIDA, 33140

CERTIFICATION:
BRACEHA LLC

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:

FLOOD ZONE: "AE"

BASE FLOOD ELEVATION: 8.71

COMMUNITY: 120651

PANEL: 0317

SUFFIX: L

DATE OF FIRM: 09/11/2009

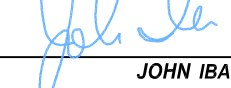
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF MIAMI BENCH MARK # CMB 34-08R. ; ELEVATION IS 3.15 FEET OF N.G.V.D. OF 1929.

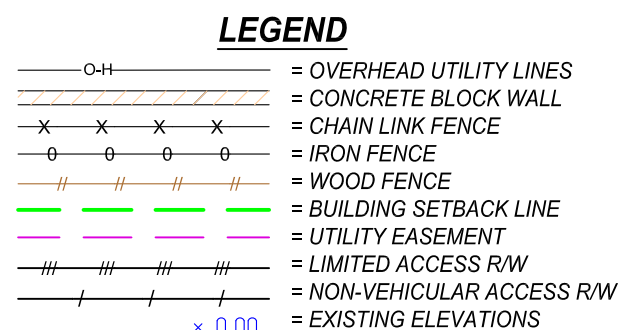
SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAIN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

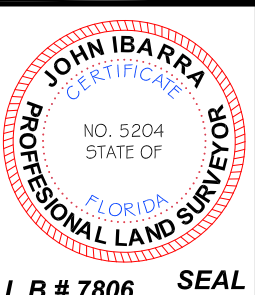
BY:  05/01/2019
JOHN IBARRA (DATE OF FIELD WORK)

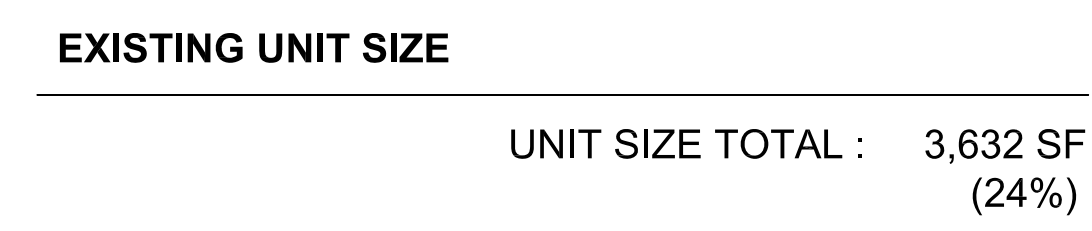
PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPERS.

REVISED ON: _____
REVISED ON: _____



DRAWN BY:	AS
FIELD DATE:	05/01/2019
SURVEY NO:	18-003317-2
SHEET:	1 OF 1

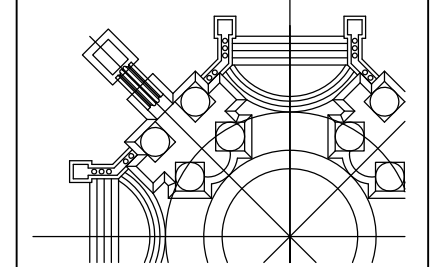


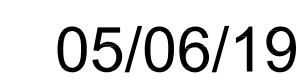


05/06/19

A0.04

Z.W. JAROSZ ARCHITECT, P.A.
3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM





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SHEET

A0.05

Z.W. JAROSZ ARCHITECT, P.A.
3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM

3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM



EXISTING RESIDENCE DEMOLITION PLAN

[illegible][illegible]

DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

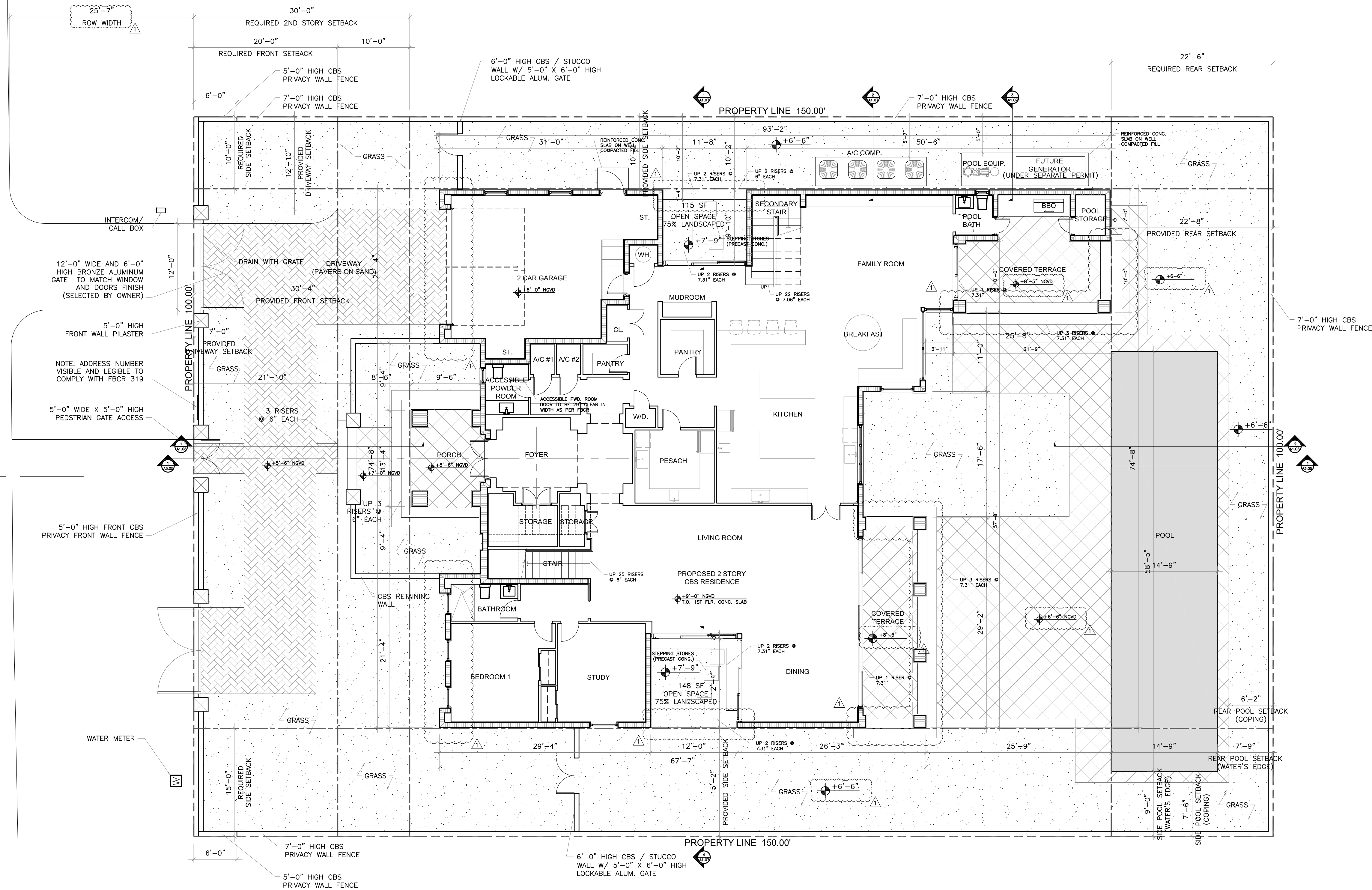
SHEET

EXISTING UNIT TO BE REMOVED	
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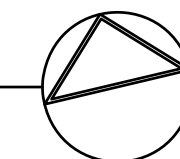


05/06/19

ROYAL PALM AVENUE.



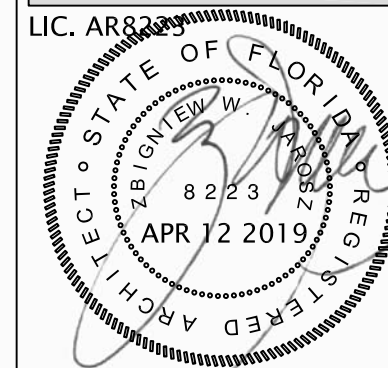
SITE PLAN
SCALE: 1/8" = 1'-0"



05/06/19

FINK RESIDENCE
3167 Royal Palm Avenue,
Miami Beach, FL 33140

SITE PLAN



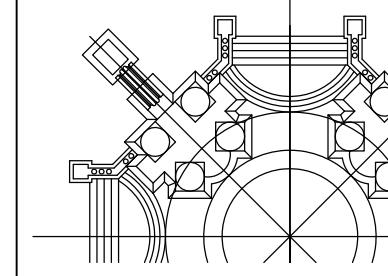
REVISIONS		
NO.	DATE	DESCRIPTION
1	05.06.19	DRB Comments

CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

0118-FINK		
DATE:	May 6, 2019	
DRAWN BY:	A.M.	
CHECKED BY:	Z.J.	
SCALE:	AS SHOWN	
SHEET		

A1.01

PROJECT / SHEET TITLE



Z.W. JAROSZ ARCHITECT, P.A.
3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM

ITEM #	ZONING INFORMATION	
1	FLOOD ZONE:	AE+8
2	FIRM MAP NUMBER:	--
3	BASE FLOOD ELEVATION (BFE):	8.00' NGVD
4	PROPOSED FLOOD DESIGN ELEVATION:	9.00' NGVD
5	CROWN OF ROAD ELEVATION:	3.89' NGVD
6	CLASSIFICATION OF STRUCTURE:	CATEGORY II
7	BUILDING USE:	SINGLE-FAMILY RESIDENCE, GARAGE
8	LOWEST ELEV. OF EQUIPMENT:	9.00' NGVD

SINGLE FAMILY RESIDENCE - ZONING DATA SHEET					
ITEM #	ZONING INFORMATION				
1	ADDRESS AND LEGAL DESCRIPTION	3167 Royal Palm Avenue, Miami Beach, FL 33140. LOT 15 AND 16, BLOCK 45, ORCHARD SUBDIVISION No. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 111, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.			
2	FOLIO NUMBER(S):	02-3227-001-0610			
3	BOARD AND FILE NUMBERS:	N/A			
4	YEAR BUILT:	1931	ZONING DISTRICT:	RS-4	
5	BASE FLOOD ELEVATION:	AE 8.00'	GRADE VALUE IN NGVD:	3.89'	
6	ADJUSTED GRADE (FLOOD + GRADE /2):	5.94' NGVD	FREEBOARD:	9.00' NGVD	
7	LOT AREA:	15,000 SF			
8	LOT WIDTH:	100'-0"	LOT DEPTH:	150'-0"	
9	MAX LOT COVERAGE SF AND %:	4,500 SF (30%)	PROPOSED LOT COVERAGE SF AND%:	4,352.83 SF (29.01%)	
10	EXISTING LOT COVERAGE SF AND %:	3,142.21 SF (21%)	LOT COVERAGE DEDUCTED (GARAGE) SF AND %:	0 SF	
11	FRONT YARD OPEN SPACE SF AND %:	1,005.93 SF (50.29%)	REAR YARD OPEN SPACE SF AND %:	1575.44 SF (70.01%)	
12	MAX UNIT SIZE SF AND %:	7,500 SF (50%)	PROPOSED UNIT SIZE SF AND %:	7,361.78 (49.07%)	
13	EXISTING FIRST FLOOR UNIT SIZE:	3,632 SF (24%)	PROPOSED FIRST FLOOR UNIT SIZE:	4,416.69 SF	
			PROPOSED FIRST FLOOR UNIT SIZE VOLUMETRIC:	4,352.83 SF	
14			PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB APPROVAL)	3,426.76 SF (78.72%)	
15			PROPOSED SECOND FLOOR UNIT SIZE :	3,445.09 SF	
16			PROPOSED ROOF DECK :	N/A	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	27'-0"		27'-0"	
18	MAIN HOUSE SETBACKS:				
19	FRONT FIRST LEVEL:	20'-0"		30'-4"	
20	FRONT SECOND LEVEL:	30'-0"		39'-10"	
21	SIDE (NORTH):	10'-0"		10'-2"	
22	SIDE (SOUTH):	15'-0"		15'-2"	
23	REAR:	22'-6"		22'-8"	
24	SUM OF SIDE YARD:	25'-0" (25%)		25'-4"	
25	POOL SETBACKS (WATERS EDGE / STRUCTURE):				
26	SIDE (SOUTH):	9'-0" / 7'-6"		9'-0" / 7'-6"	
27	REAR:	7'-6" / 6'-0"		7'-9" / 6'-2"	
28					
29					
30					

Z.W. JAROSZ ARCHITECT, P.A.

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FINK RESIDENCE

3167 Royal Palm Avenue,
Miami Beach, FL 33140

ZONING DATA

LIC. ARCH. 8223

REVISIONS

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1	05.06.19	DRB Comments

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0118-FINK

DATE: May 6, 2019

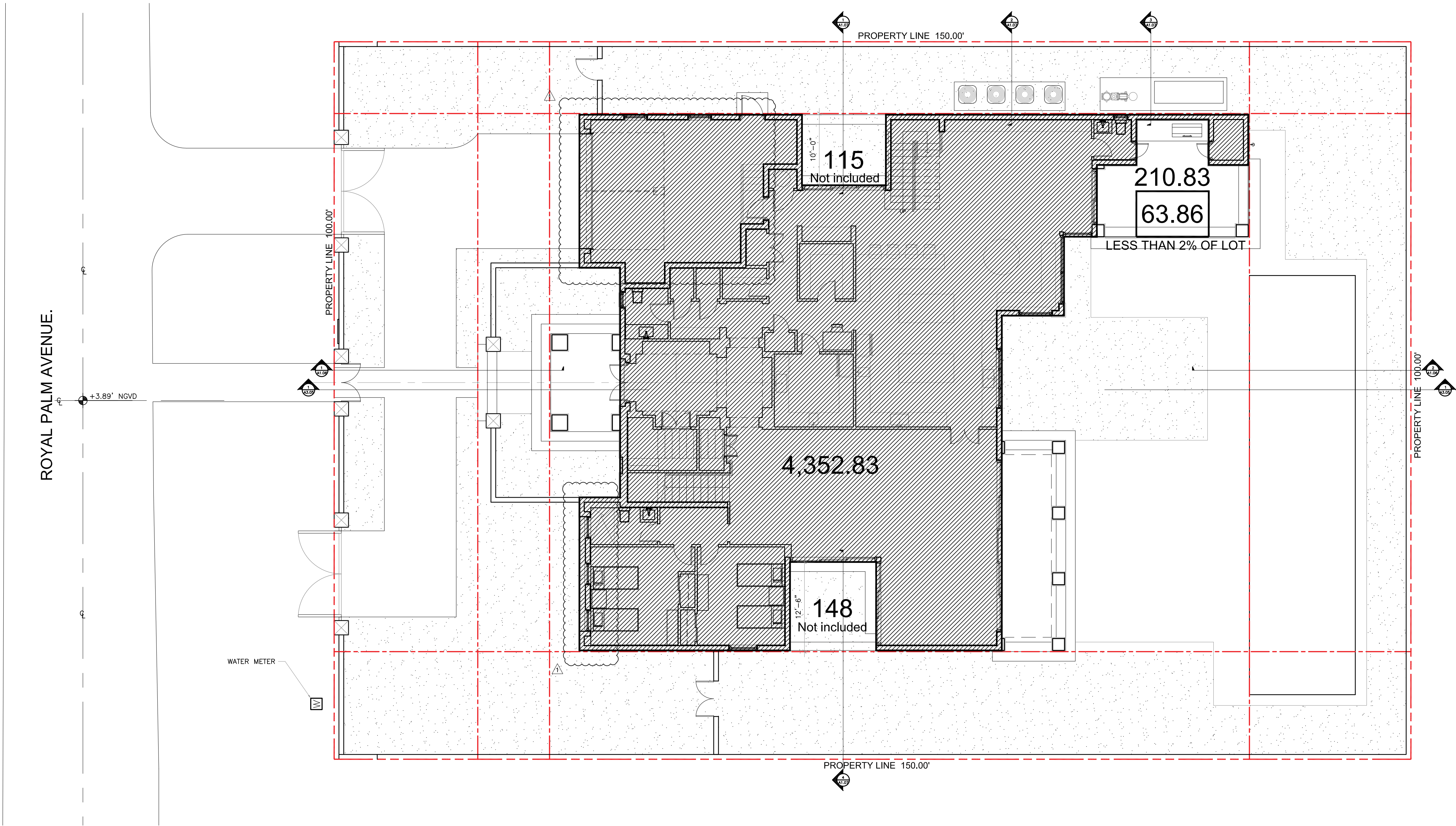
DRAWN BY: A.M.

CHECKED BY: Z.J.

SCALE: AS SHOWN

SHEET

A1.02



SIDE YARDS ADDITIONAL OPEN SPACE AREA
(Min. 1% OF LOT = 150 SF) (Max. 5% OF LOT = 750 SF)

NORTH:	115 SF
SOUTH:	148 SF

TOTAL = 263 SF (1.75%)

SIDE YARDS ADDITIONAL OPEN SPACE DEPTH
(Min 8'-0") (Max. 30% of Developable bldg. width 75'-0" = 22'-6")

NORTH:	10'-0"
SOUTH:	12'-6"

TOTAL = 22'-6" (30%)

LOT COVERAGE

LOT SIZE: 15,000 SF

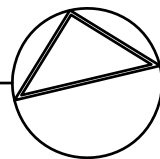
BUILDING LOT COVERAGE: (MAX 30% = 4,500 SF)

MAIN HOUSE:	4,352.83 SF
COVERED TERRACE:	0 SF (LESS THAN 2% OF LOT AREA)

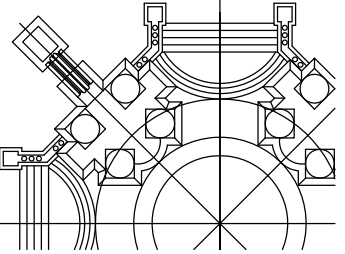
TOTAL BUILDING LOT COVERAGE: 4,352.83 SF (29.01%)

LOT COVERAGE

SCALE: 1/8" = 1'-0"



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LOT COVERAGE



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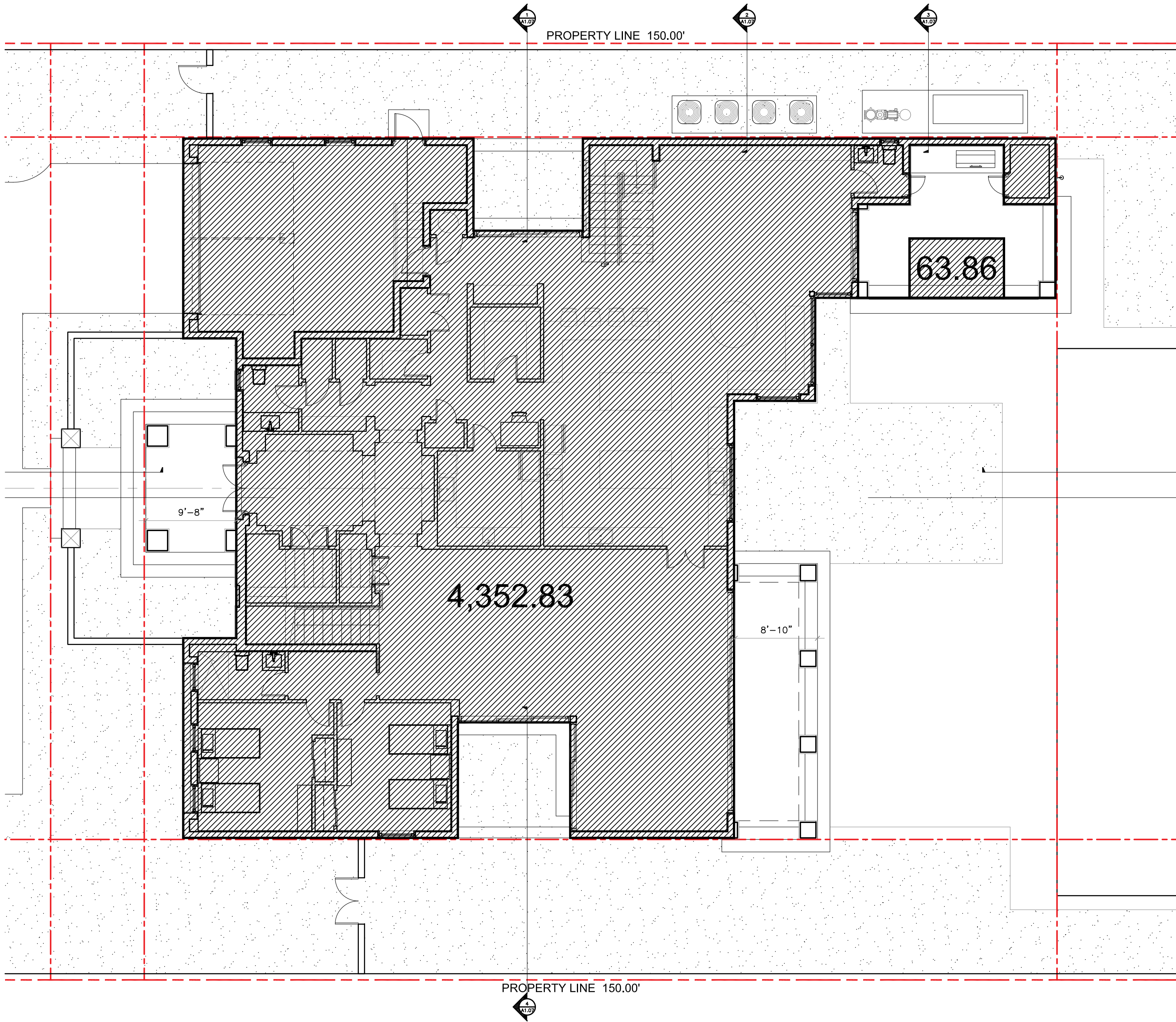
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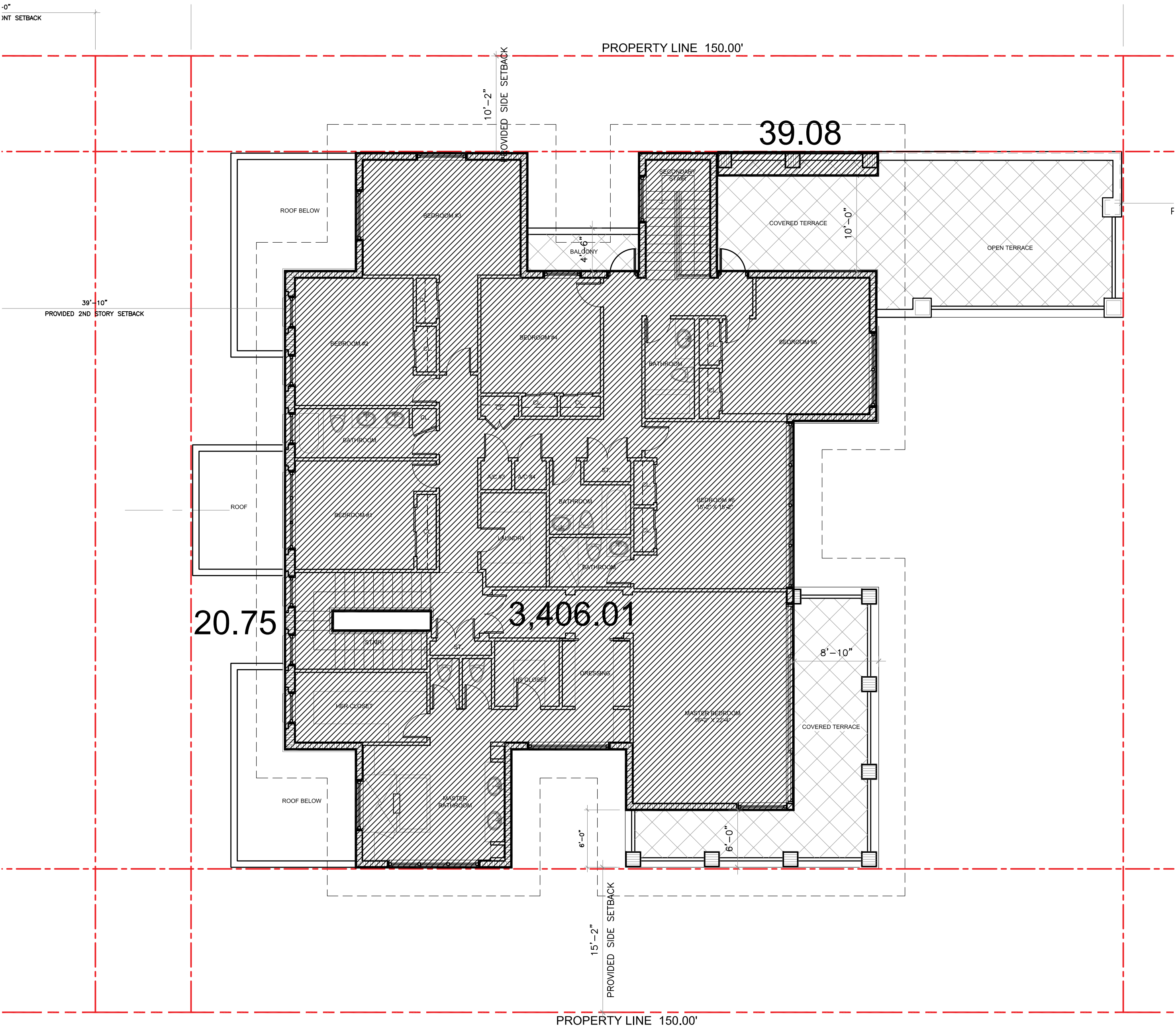
DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

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A1.03

05/06/19



FIRST FLOOR UNIT SIZE
SCALE: 1/8" = 1'-0"



SECOND FLOOR UNIT SIZE
SCALE: 1/8" = 1'-0"

UNIT SIZE

MAIN HOUSE:

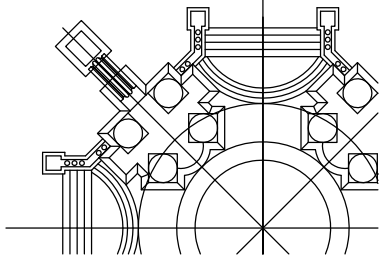
FIRST FLOOR :	4,352.83 SF
COVERED TERRACE :	63.86 SF
SECOND FLOOR:	3,426.76 SF
COVERED TERRACE:	39.08 SF

TOTAL : 7,882.53 SF

GARAGE:	- 500.00 SF
MAIN STAIR SECOND FLOOR:	- 20.75 SF

UNIT SIZE TOTAL : 7,361.78 SF
(49.07%)

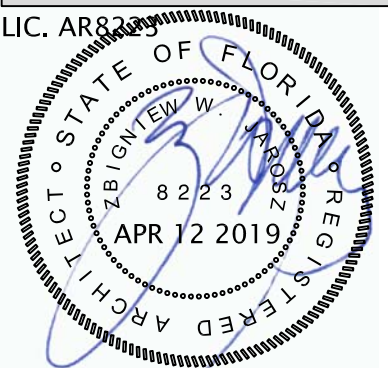
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UNIT SIZE CALCULATIONS



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SCALE:	AS SHOWN

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A1.04

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FLOOR RATIO PERCENTAGE

VOLUMETRIC AREA:

FIRST FLOOR : 4,352.83 SF
SECOND FLOOR: 3,426.76 SF

TOTAL : 78.72% (8.72% SUBJECT TO REQUESTED WAIVER)

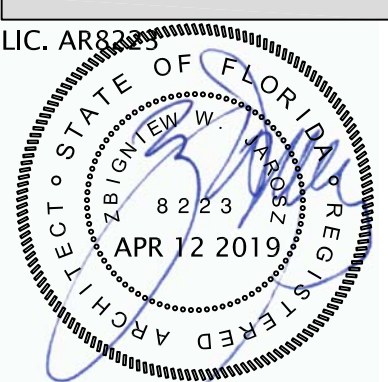


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VOLUMETRIC CALCULATIONS



REVISIONS

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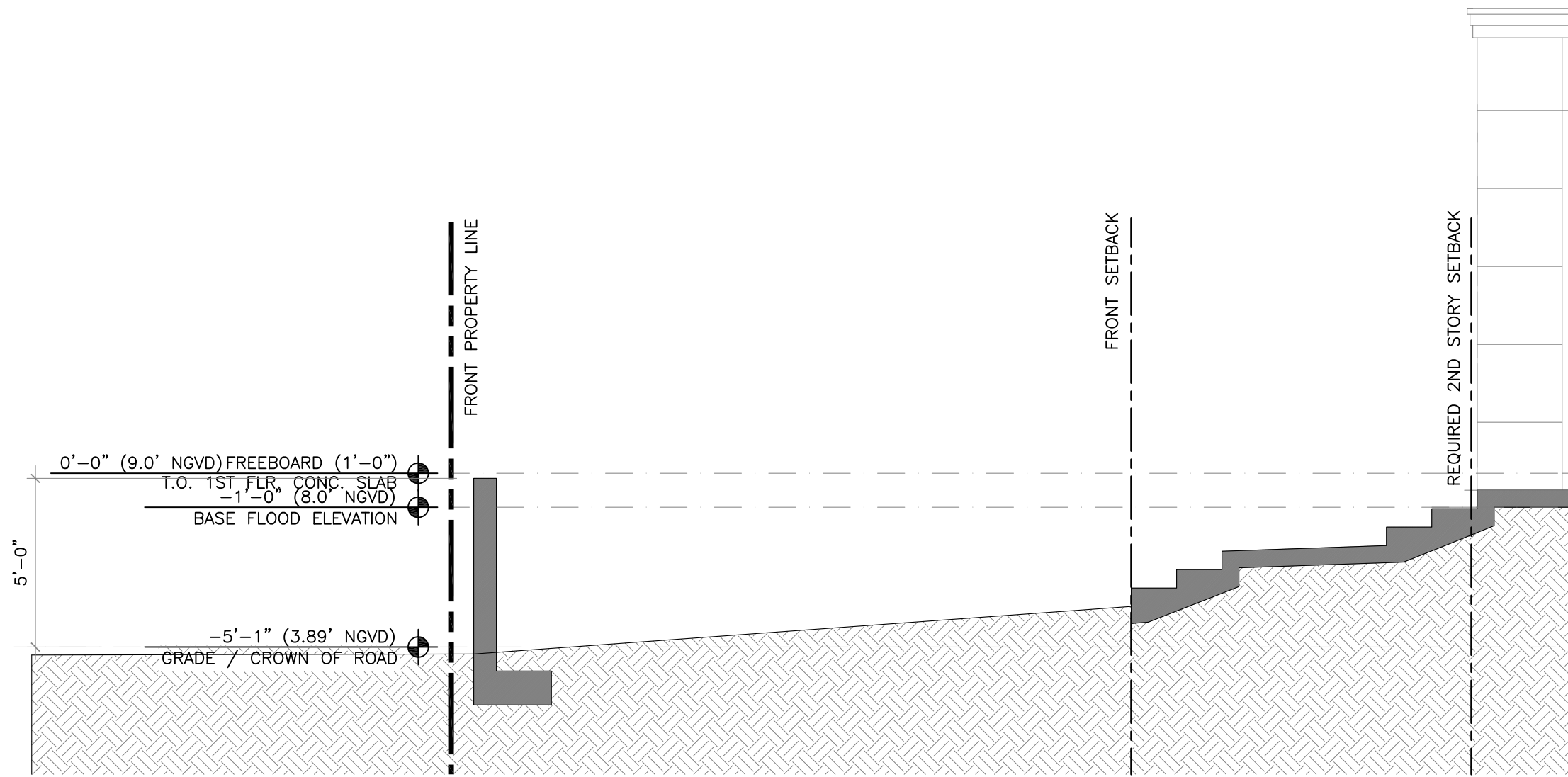
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DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

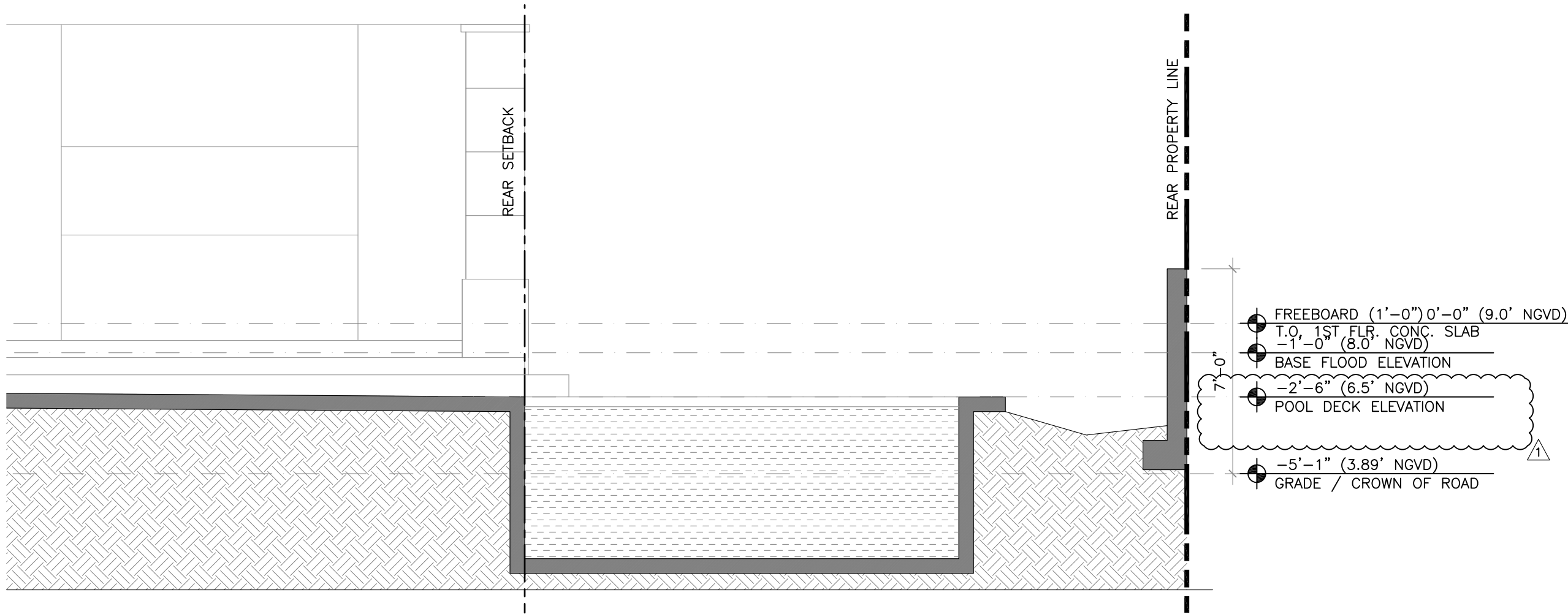
SHEE

A1.05

05/06/19



1 FRONT YARD SECTION
A1.06 SCALE: 1/4" = 1'-0"



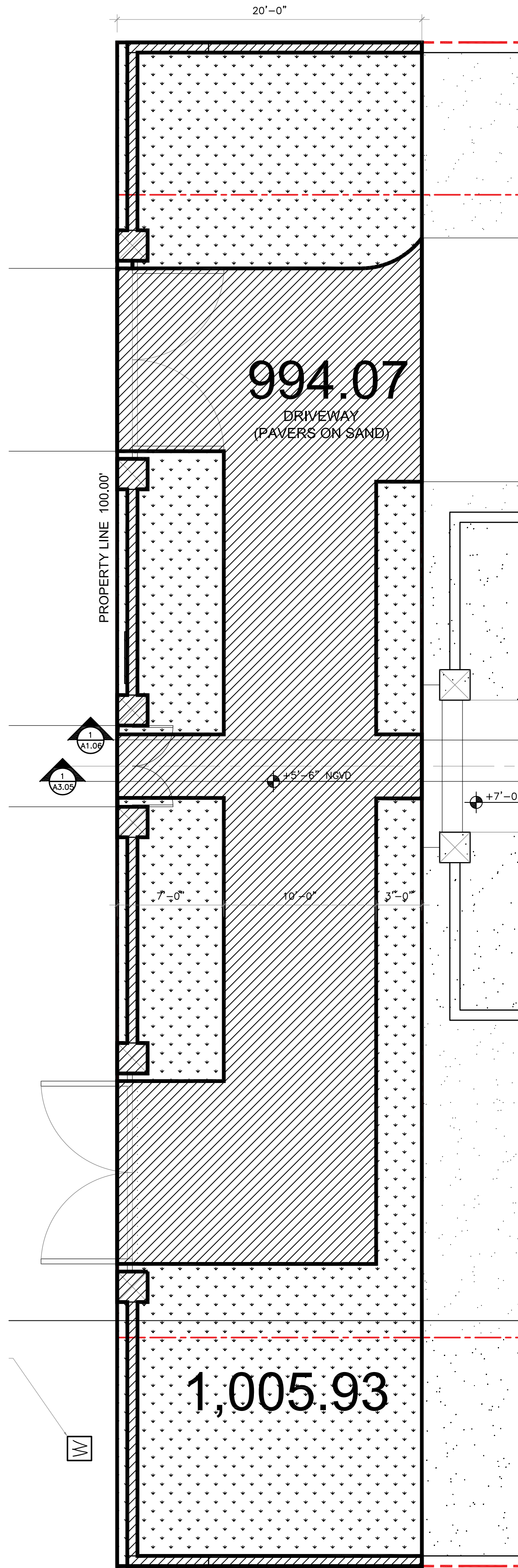
2 REAR YARD SECTION
A1.06 SCALE: 1/4" = 1'-0"

FRONT YARD CALCULATIONS (MIN. 50% OPEN SPACE)

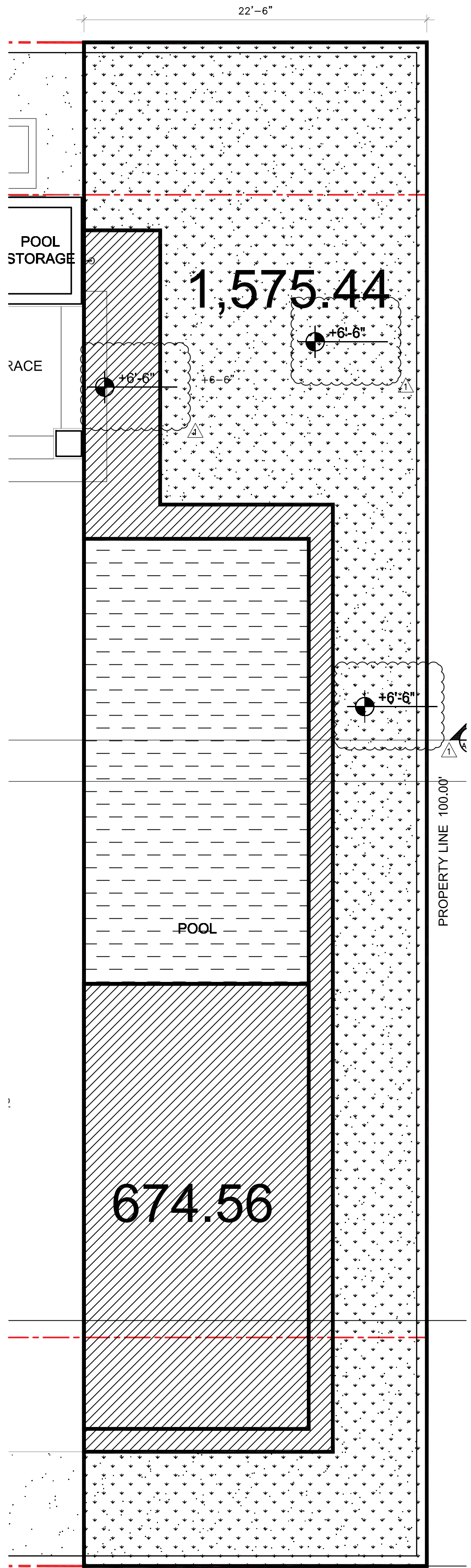
AREA:	2,000.00 SF
IMPERVIOUS AREA:	994.07 SF (49.71%)
LANDSCAPE PERVIOUS AREA:	1,005.93 SF (50.29%)

REAR YARD CALCULATIONS (MIN. 70% OPEN SPACE)

AREA:	2,250.00 SF
IMPERVIOUS AREA:	674.56 SF (29.99%)
LANDSCAPE PERVIOUS AREA:	1,575.44 SF (70.01%)

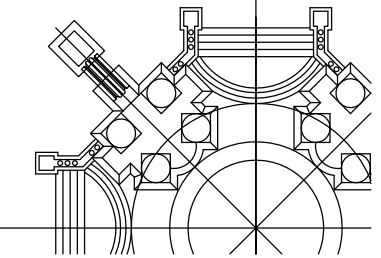


FRONT YARD CALCULATIONS
SCALE: 3/16" = 1'-0"



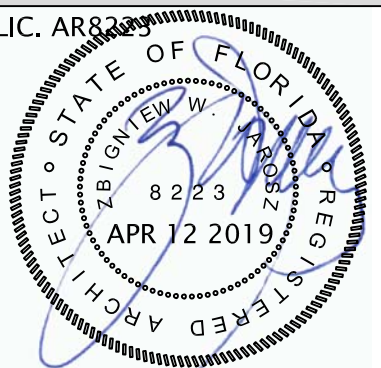
REAR YARD CALCULATIONS
SCALE: 3/16" = 1'-0"

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YARD CALCULATIONS



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1	05.06.19	DRB Comments

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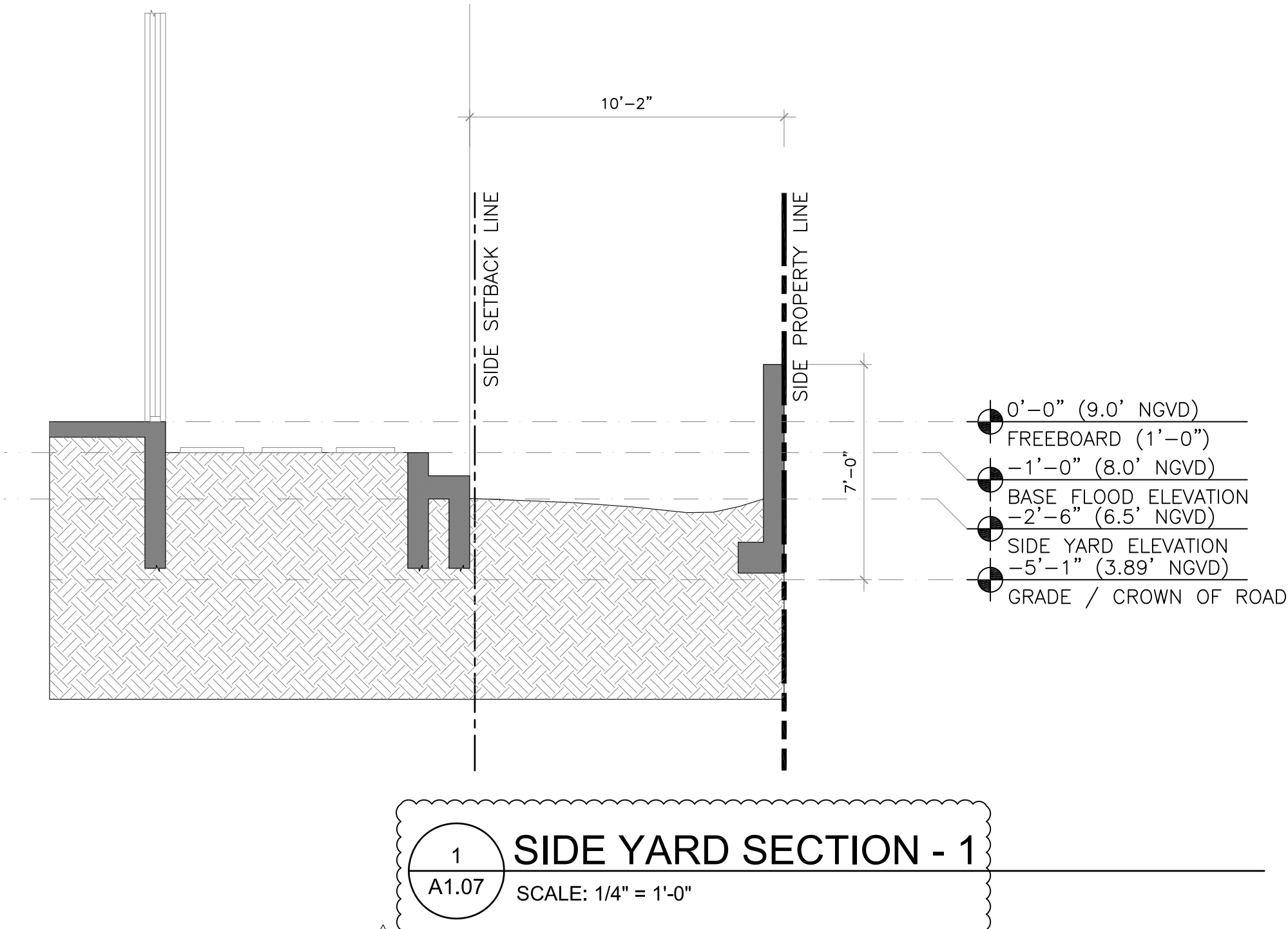
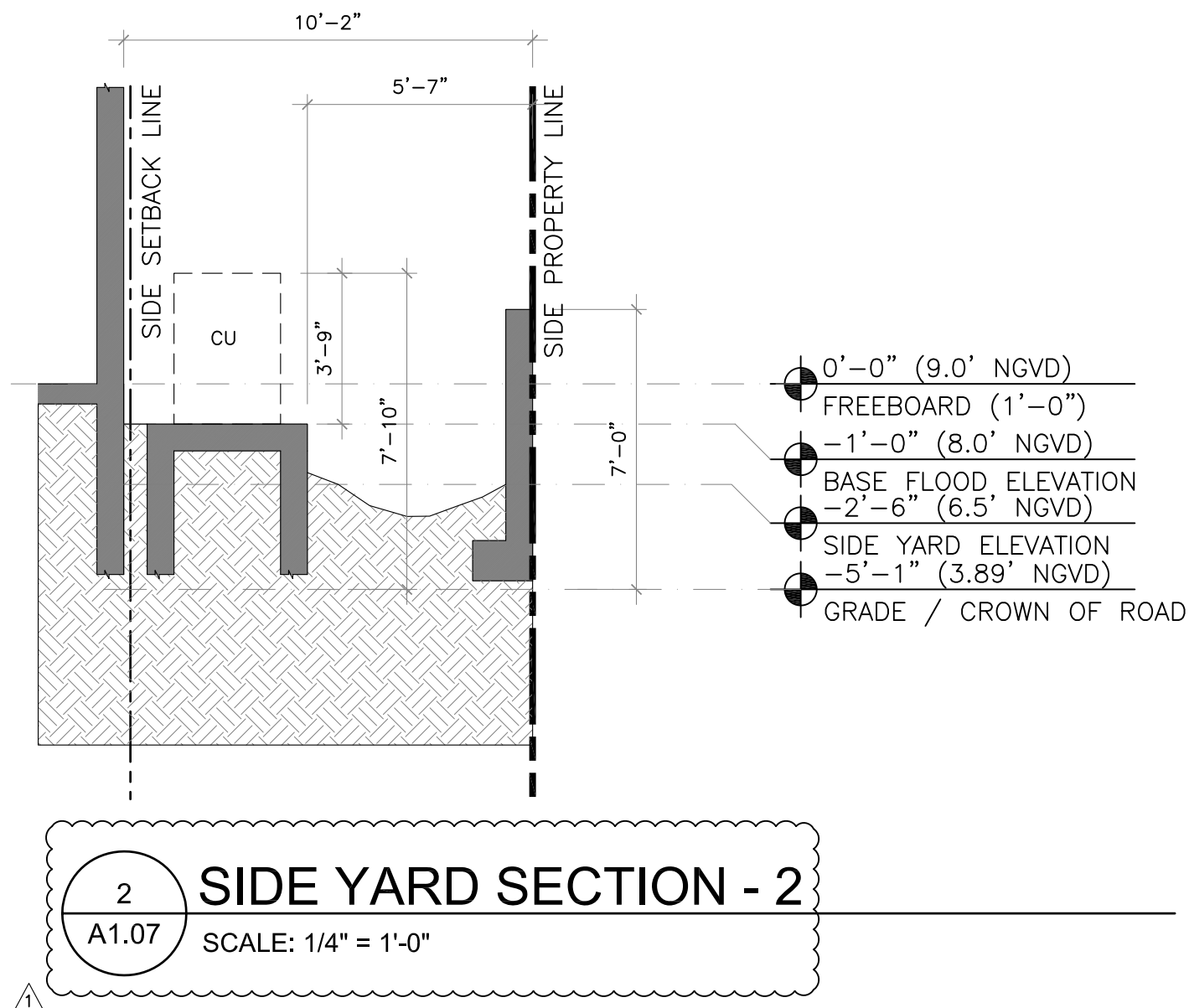
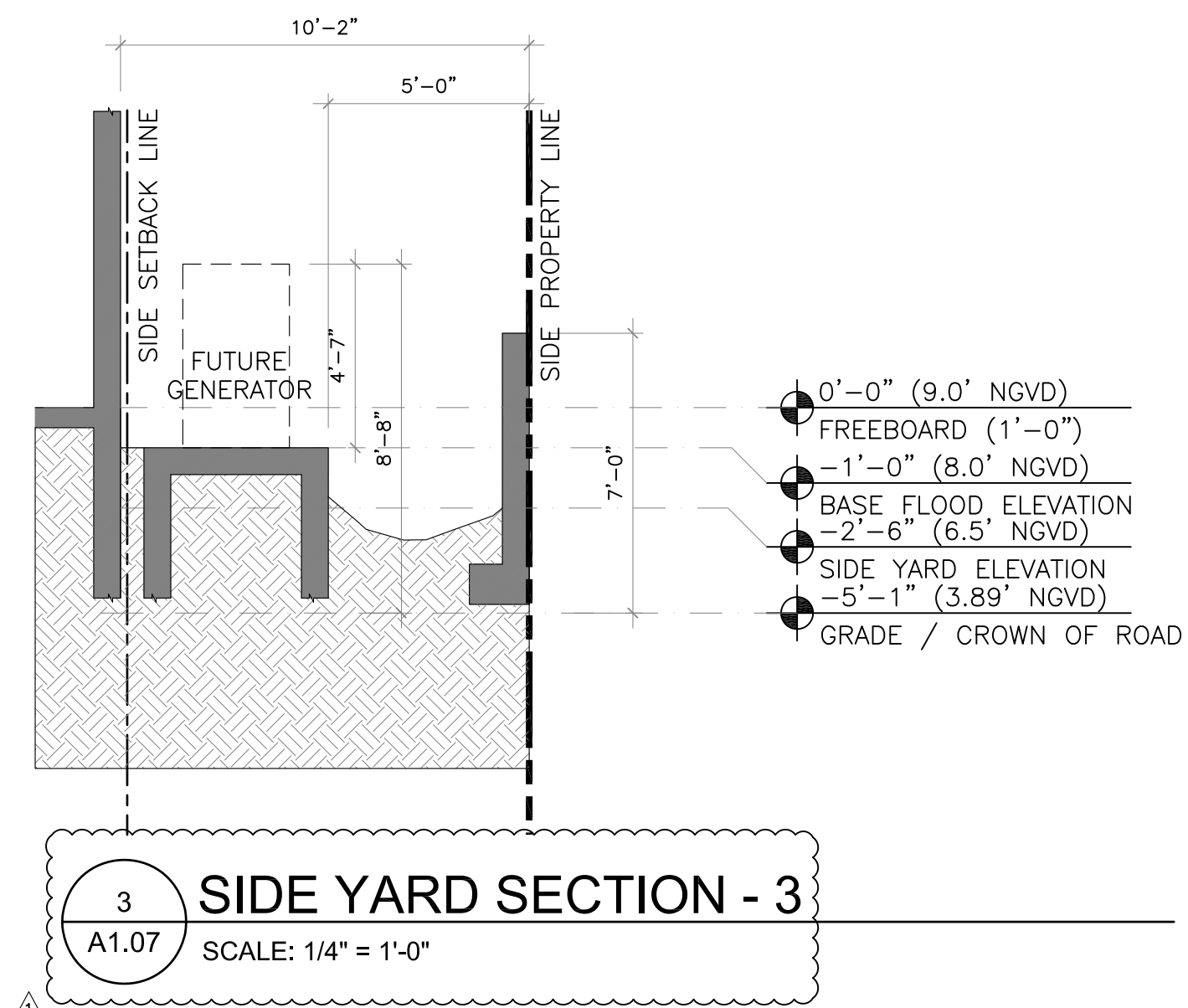
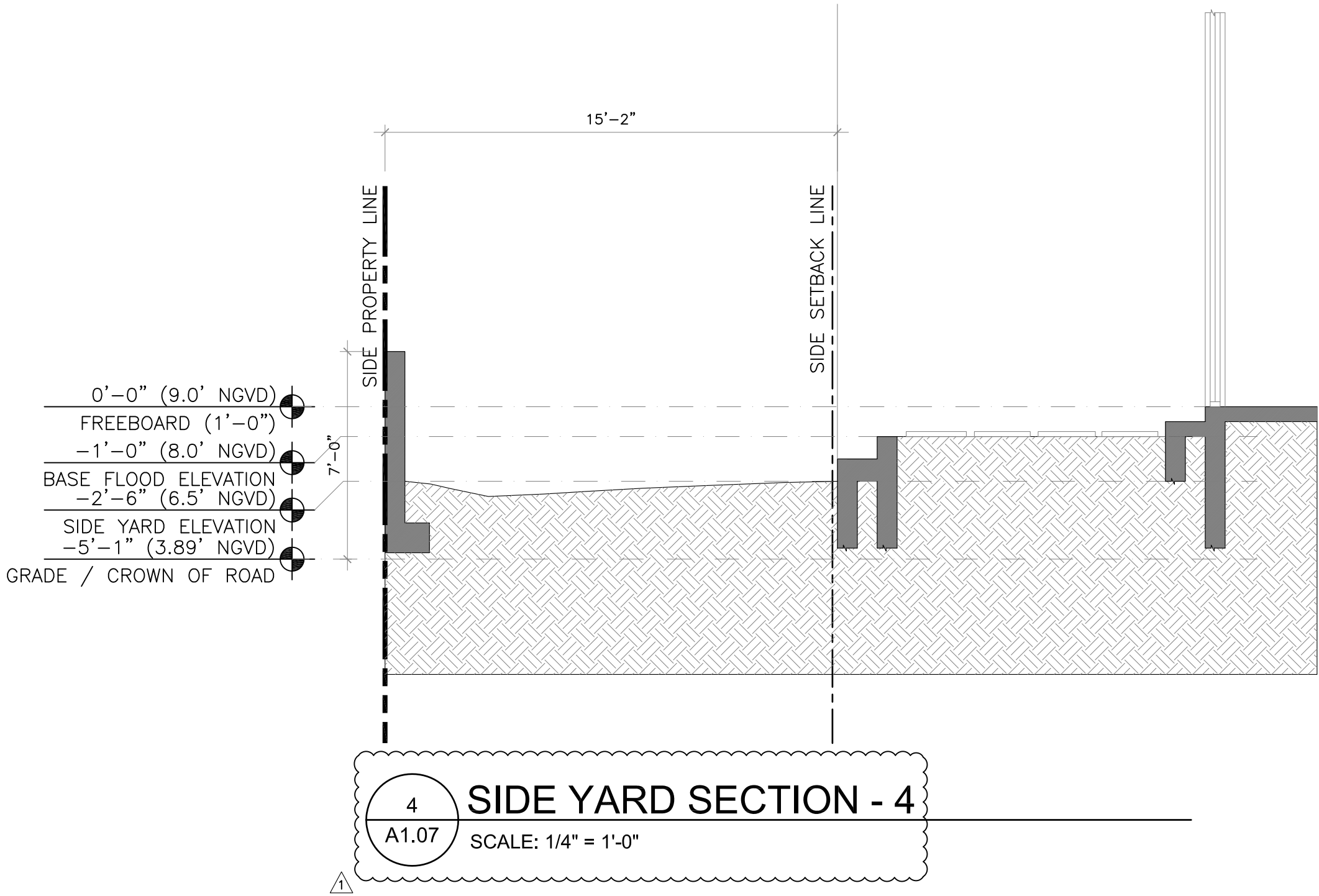
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SCALE:	AS SHOWN

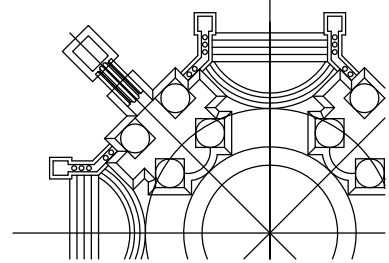
SHEET

A1.06

05/06/19

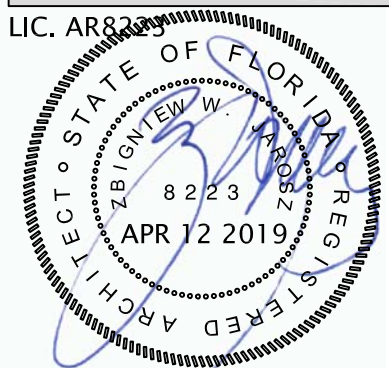


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SIDE YARD SECTIONS



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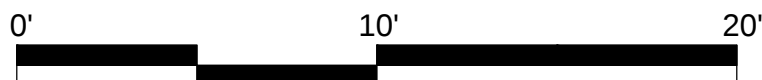
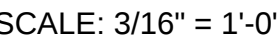
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A1.07

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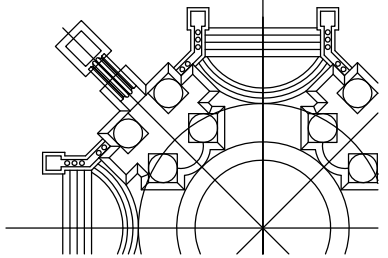
A2.01

A2.01

GROUND FLOOR PLAN

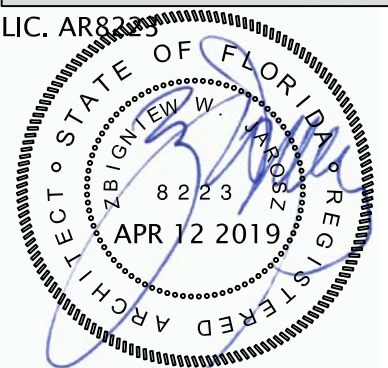


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SECOND FLOOR PLAN



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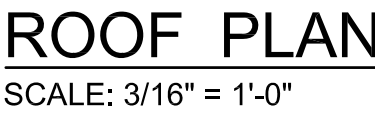
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A2.02

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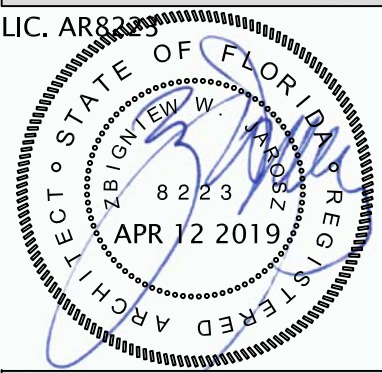
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ROOF PLAN



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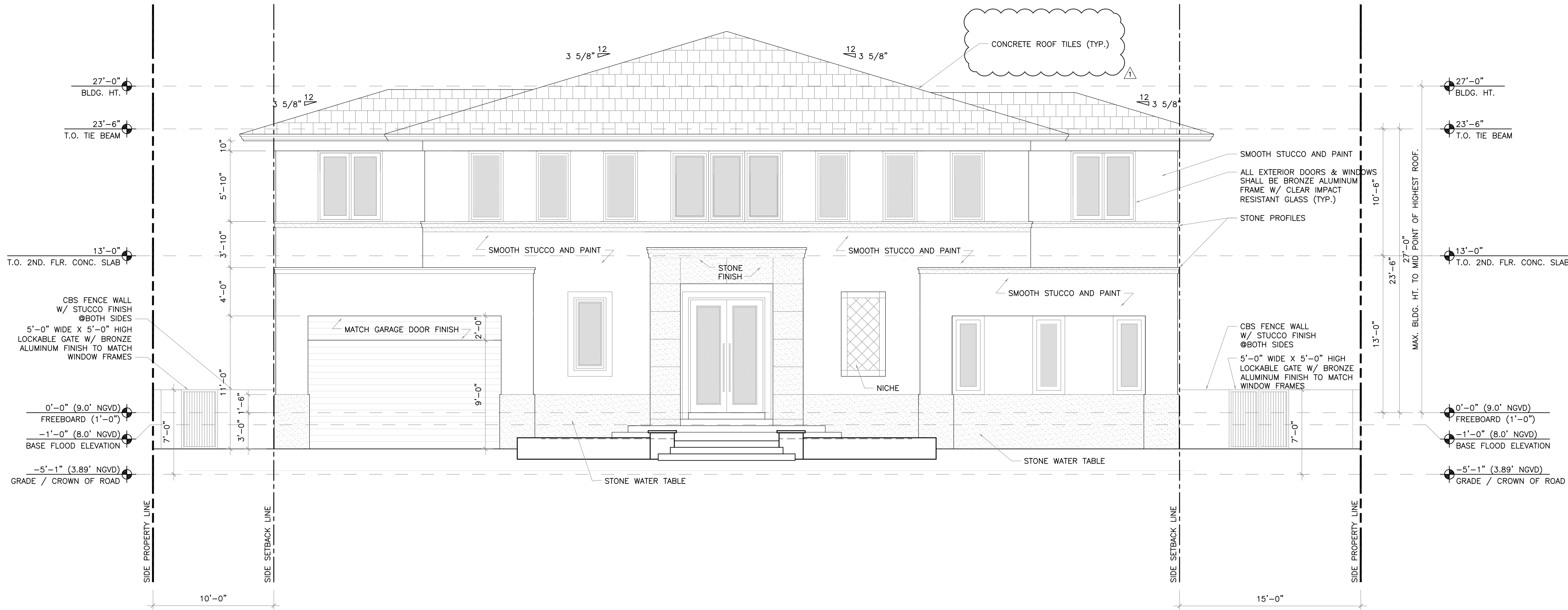
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SCALE:	AS SHOWN

SHEE

A2.03



WEST ELEVATION (FRONT)
SCALE: 3/16" = 1'-0"

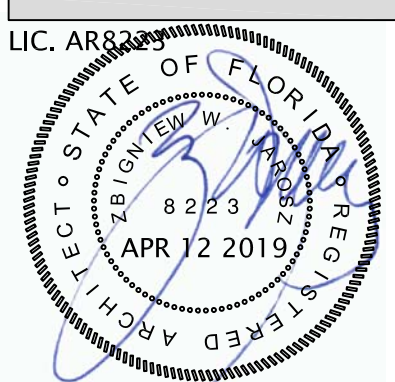


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FINK RESIDENCE
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WEST ELEVATION (FRONT)



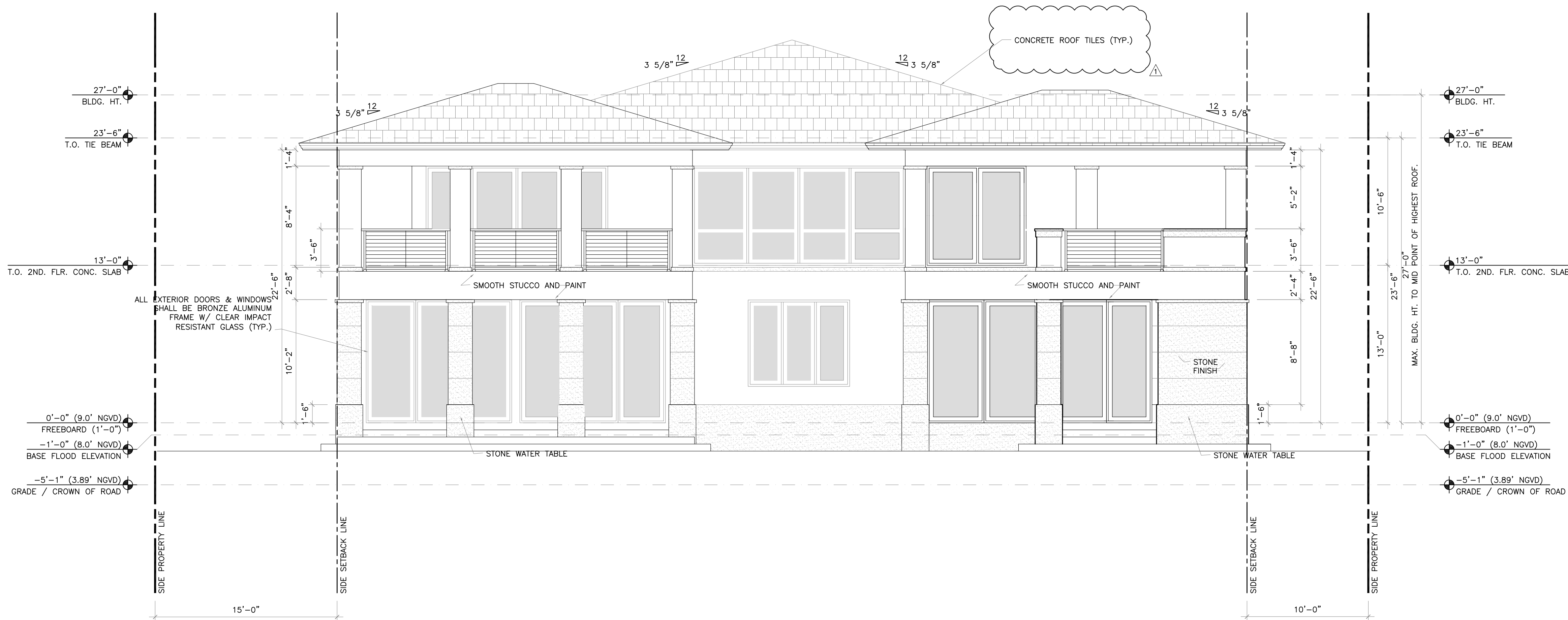
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NO.	DESCRIPTION
1	DRB Comments

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0118-FINK	
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DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN
SHEET	

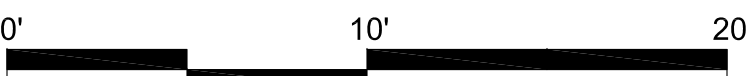
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05/06/19

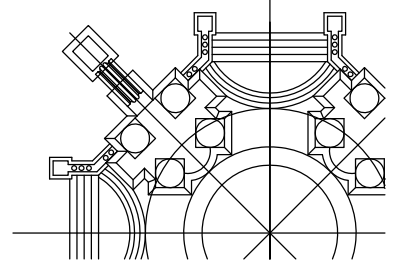


EAST ELEVATION (REAR)

SCALE: 3/16" = 1'-0"

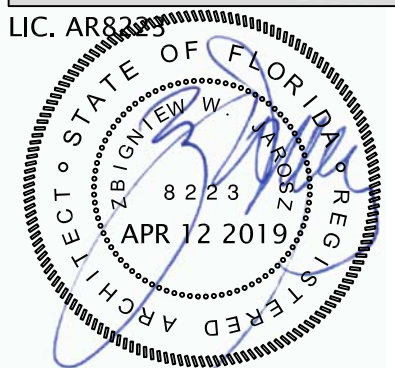


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FINK RESIDENCE
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EAST ELEVATION (REAR)



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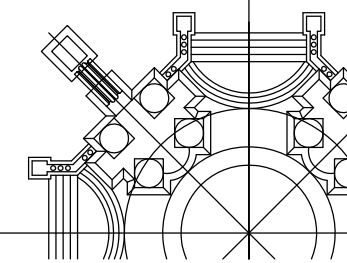
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CHECKED BY:	Z.J.
SCALE:	AS SHOWN

SHEET

A3.02

05/06/19

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NORTH ELEVATION

LIC AR825



REVISIONS

[illegible]

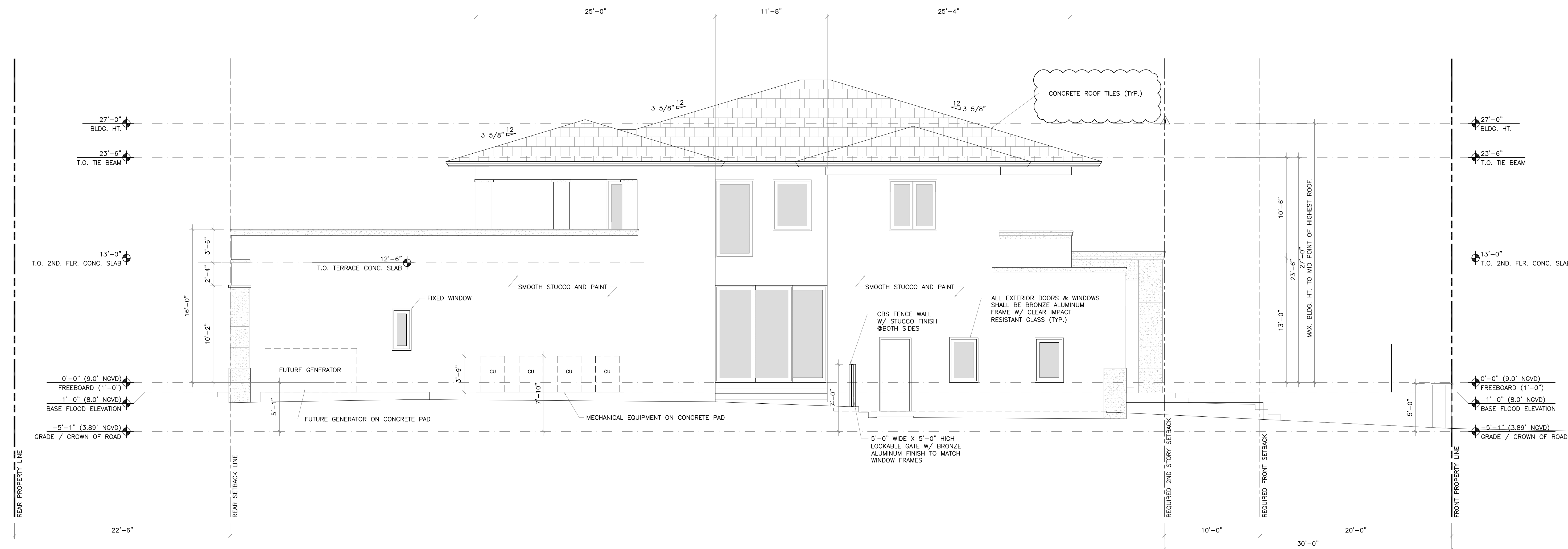
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SCALE:	AS SHOWN

5

A3.03

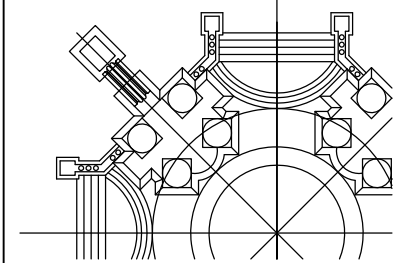


NORTH ELEVATION

SCALE: 3/16" = 1'-0"

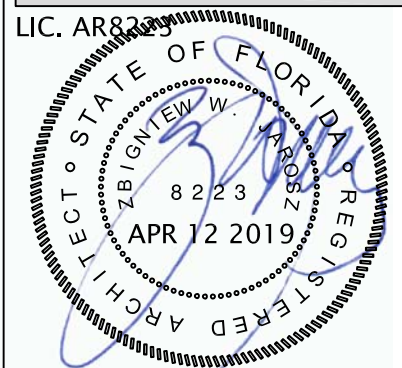


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SHEET TITLE

FINK RESIDENCE
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SOUTH ELEVATION



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NO.	DATE	DESCRIPTION
1	05.06.19	DRB Comments

CONTRACTOR: Z.W. JAROSZ ARCHITECT, P.A. (L.A. 8223) HAS PREPARED THESE DRAWINGS AND SPECIFICATIONS AND INSTRUMENTS OF SERVICE AND SHALL REMAIN RESPONSIBLE FOR THE PROJECT FOR WHICH THIS WAS PREPARED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMMISSIONING DESIGN ARCHITECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA PRIOR TO PROCEEDING WITH WORK.

0118-FINK

DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

SHEET

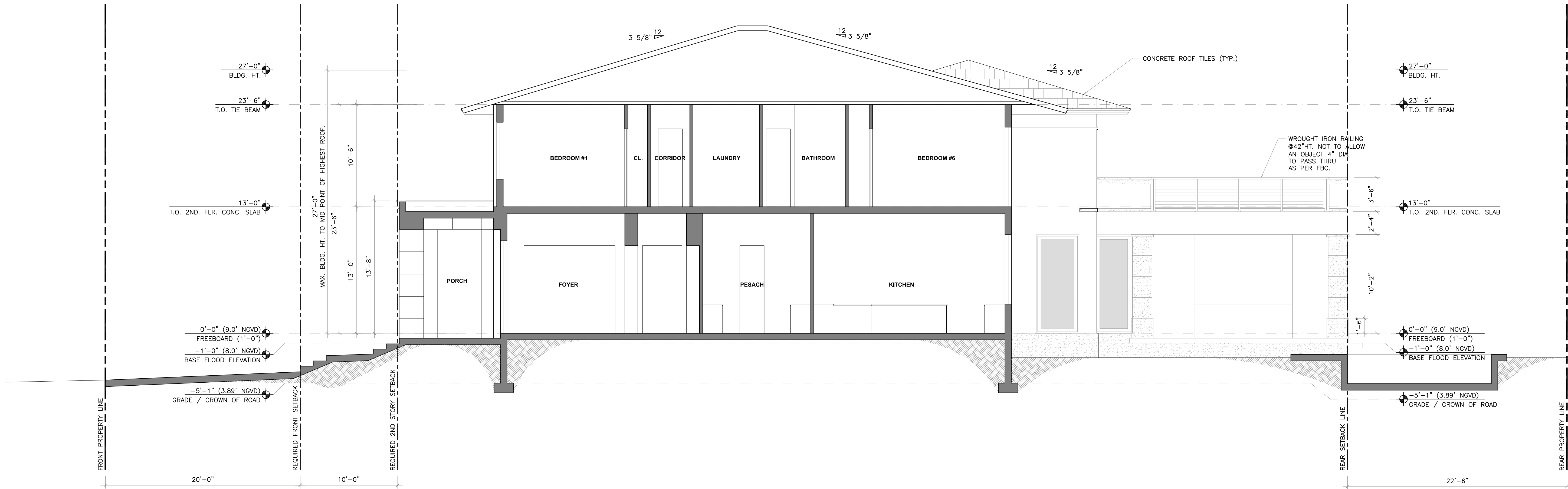
A3.04



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



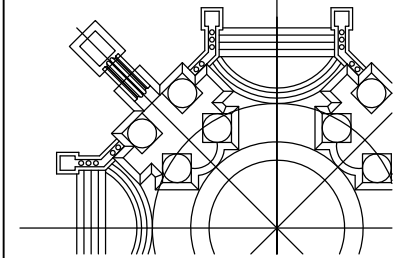
05/06/19



1
A3.05

SECTION - 1

SCALE: 3/16" = 1'-0"



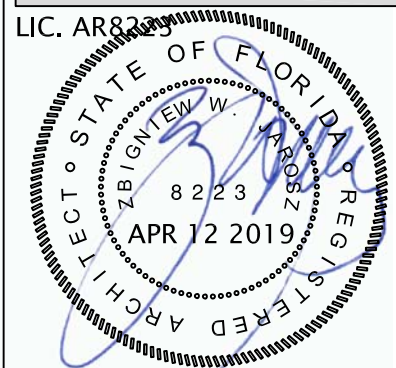
Z.W. JAROSZ ARCHITECT, P.A.

3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM

PROJECT /
SHEET TITLE

FINK RESIDENCE
3167 Royal Palm Avenue,
Miami Beach, FL 33140

SECTION



REVISIONS

NO.	DATE	DESCRIPTION
1	05.06.19	DRB Comments

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

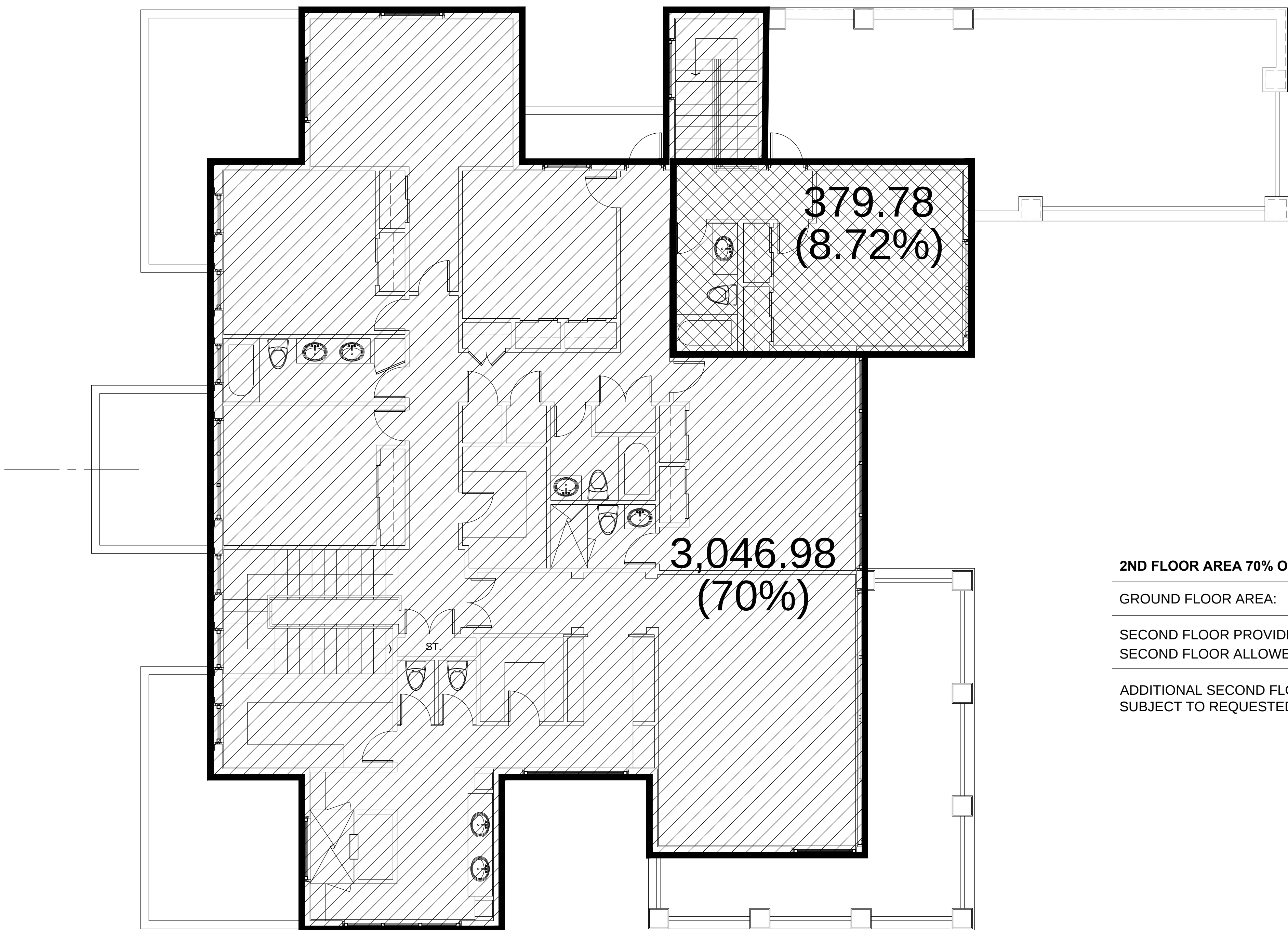
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DATE: May 6, 2019
DRAWN BY: A.M.
CHECKED BY: Z.J.
SCALE: AS SHOWN

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A3.05

05/06/19



SECOND FLOOR PLAN
WAIVER DIAGRAM

SCALE: 3/16" = 1'-0"

2ND FLOOR AREA 70% OF 1ST FLOOR RULE

GROUND FLOOR AREA:	4,352.83 SF (100%)
SECOND FLOOR PROVIDED AREA:	3,426.76 SF (78.72%)
SECOND FLOOR ALLOWED AREA:	- 3,046.98 SF (70%)
ADDITIONAL SECOND FLOOR AREA SUBJECT TO REQUESTED WAIVER:	379.78 SF (8.72%)

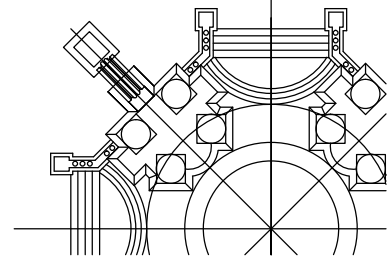
REQUESTED WAIVER

REQUEST FOR A WAIVER OF THE REQUIREMENT
[MIAMI BEACH CODE, SEC. 142.105(b)(4)(c)]

WAIVER:

APLICANT IS REQUESTING TO WAVE THE 70% 2ND
FLOOR REQUIREMENT.
ADDITIONAL AREA REQUESTED FOR THE SECOND
FLOOR = 379.78 SF(8.72%)

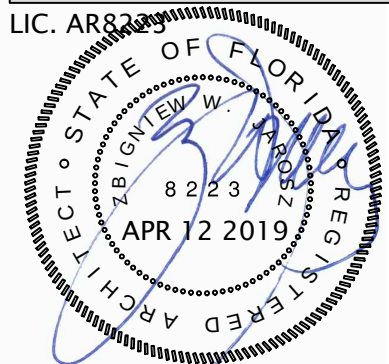
NOTE: AFTER INCLUDING THE 2ND FLOOR ADDITIONAL
AREA, THE WE ARE STILL UNDER THE 50% MAX. UNIT
SIZE REQUIREMENT.



PROJECT /
SHEET TITLE

FINK RESIDENCE
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WAIVER DIAGRAM



REVISIONS

NO.	DATE	DESCRIPTION

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DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

SHEET

A4.01



FRONT VIEW

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PROJECT /
SHEET TITLE

FINK RESIDENCE

3167 Royal Palm Avenue,
Miami Beach, FL 33140

FRONT VIEW

LIC. ARCH. 13029

REVISIONS		
NO.	DATE	DESCRIPTION

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SCALE:	AS SHOWN

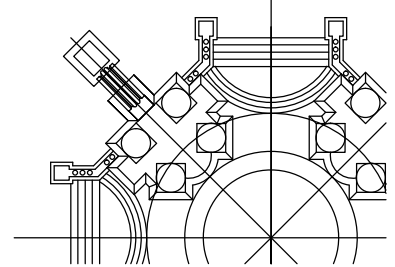
SHEET

A5.01



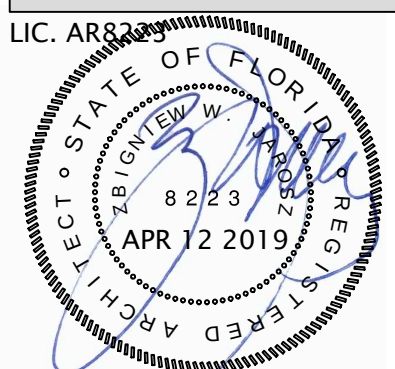
REAR VIEW

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PROJECT /
SHEET TITLE

FINK RESIDENCE
3167 Royal Palm Avenue,
Miami Beach, FL 33140
FRONT VIEW



REVISIONS		
NO.	DATE	DESCRIPTION

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0118-FINK

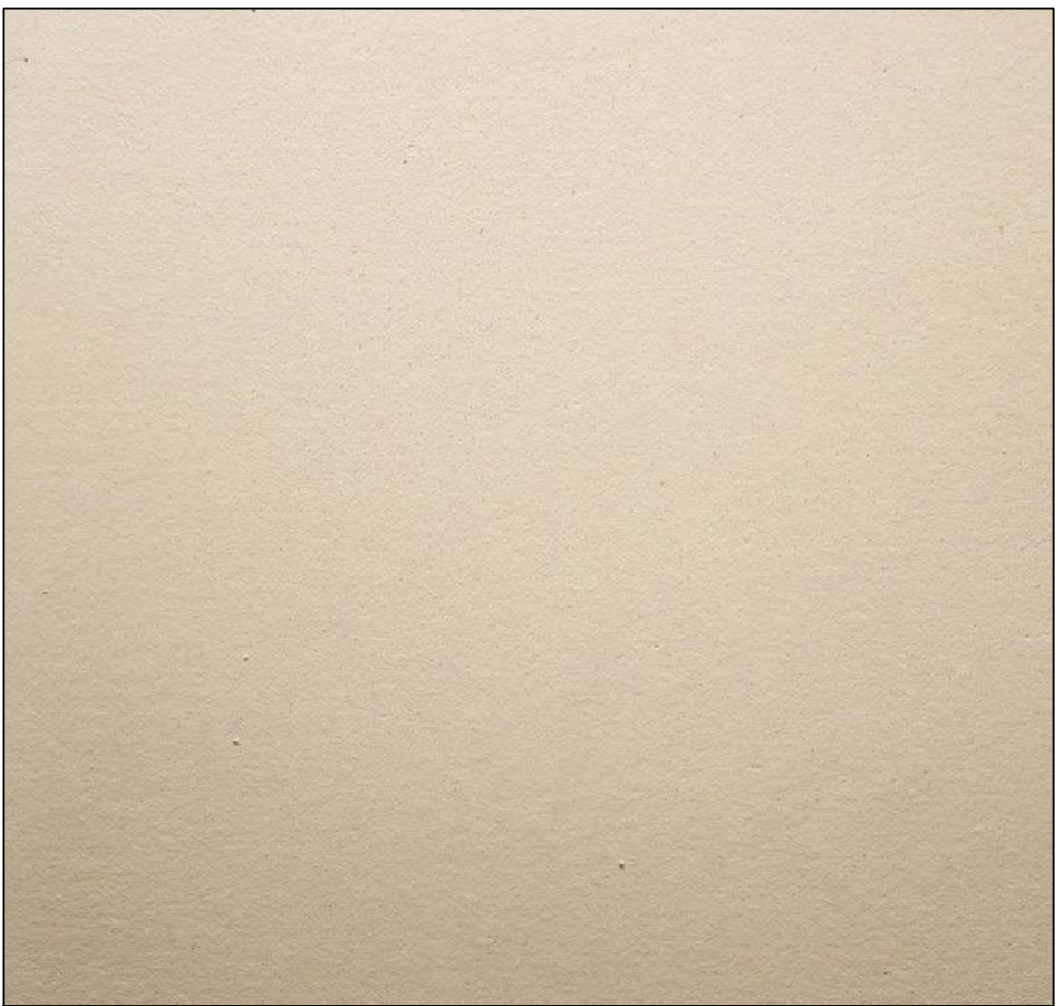
DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

SHEET

A5.02



1



2



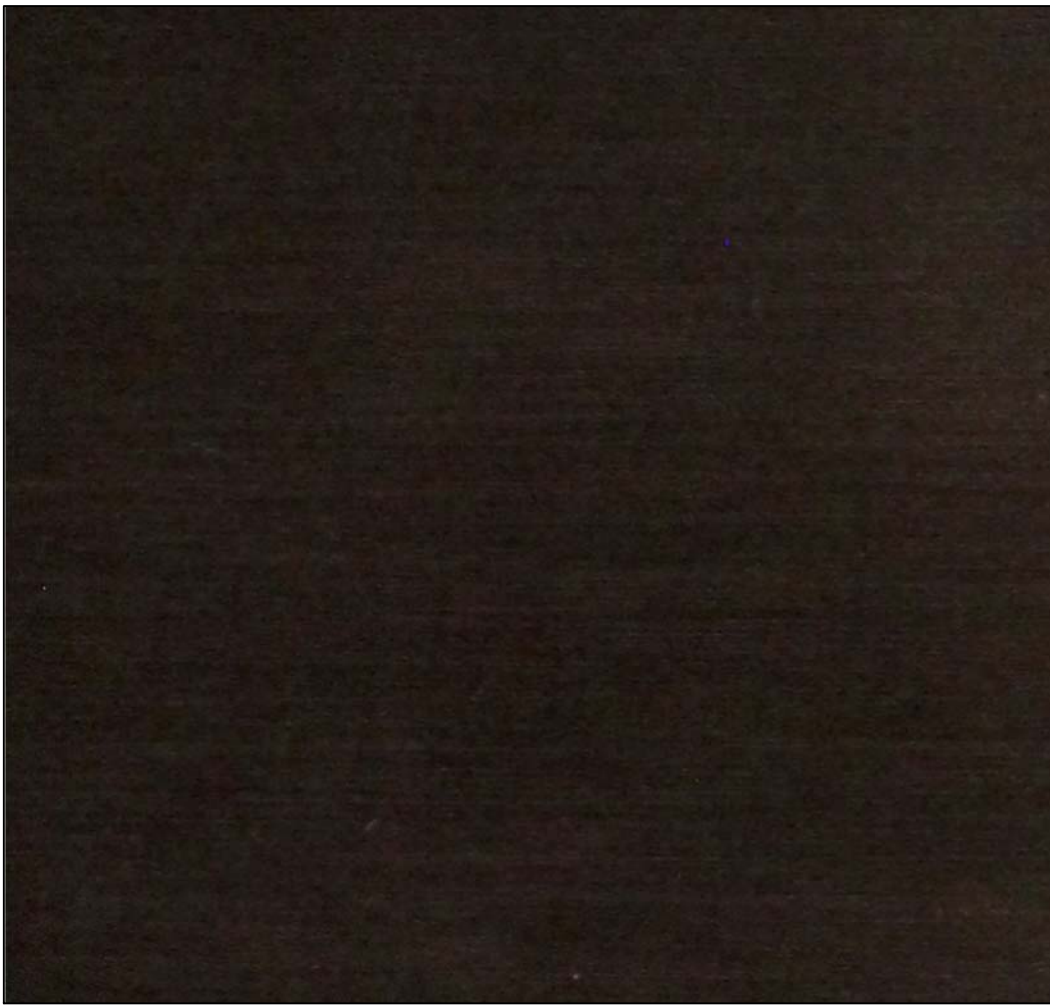
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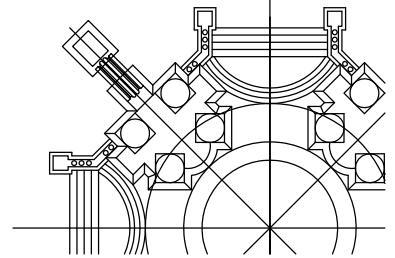


5



6

ITEM #	PROPOSED MATERIAL PALETTE	
	DESCRIPTION	APPLICATION
1	SMOOTH PAINTED STUCCO (LIGHT)	EXTERIOR WALL MATERIAL
2	SMOOTH PAINTED STUCCO (DARK)	EXTERIOR WALL MATERIAL
3	IPE WOOD	EXTERIOR ROOF SOFFITS
4	LIMESTONE	EXTERIOR WALL ACCENTS, POOL DECK AND TERRACES
5	CONCRETE ROOF TILES	ROOF
6	DARK BRONZE ALUMINUM	WINDOW AND DOOR FRAMES, RAILINGS AND GATES

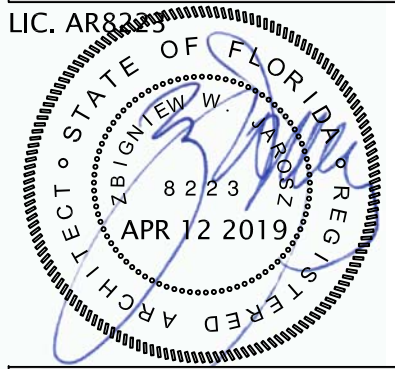


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SHEET TITLE

FINK RESIDENCE
3167 Royal Palm Avenue,
Miami Beach, FL 33140

MATERIALS



REVISIONS

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DATE:	May 6, 2019
DRAWN BY:	A.M.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

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A5.03