



SCOPE OF WORK:
ROOF TOP IMPROVEMENTS TO UNIT PH4 INCLUDING:
NEW STAIR, STAIR ENCLOSURE & BULKHEAD,
PERGOLAS, WET BAR, ISLAND, DUMB WAITER,
DECORATIVE FLOWER ART WATER FEATURE,
WOODEN DECK, FIBERGLASS PLANTERS, NATIVE
PLANTS, LANDSCAPE LIGHTING, SYNTHETIC GRASS
AND HURRICANE STORAGE NETS.

MODIFICATION OF ASSOCIATED CONDITIONS IN
DRB ORDER 22889 (CONDITION NOS. B.4.c. AND
B.13.b.vi FOR ALLOWING ROOF TOP IMPROVEMENTS
AND OUTDOOR COOKING, RESPECTIVELY).

THE NAHMAD RESIDENCE ROOF TERRACE DESIGN REVIEW BOARD PRESENTATION FINAL SUBMITTAL 05/06/2019



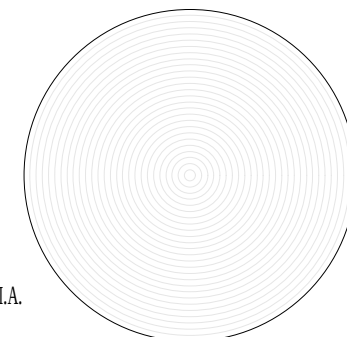
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AA 26001595 - IB 26000969

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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

COVER SHEET

A-0.0

DRAWING INDEX

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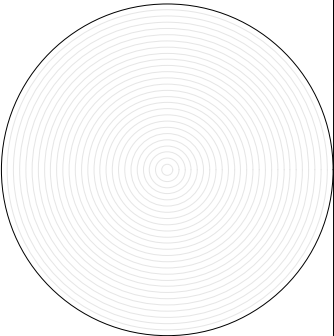
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DRAWING INDEX

A - 0.1

MULTIFAMILY – COMMERCIAL – ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1201 20 Street, PH4, Miami Beach, FL 33139		
2	Board and file numbers:	DRB19-0392		
3	Folio number(s):	02-3234-242-0390 (PH4) & 02-3234-242-0001 (Condominium)		
4	Year constructed:	2016	Zoning District:	CD-2
5	Base Flood Elevation:	8'	Grade value in NGVD:	3.8'
6	Adjusted grade (Flood+Grade/2):	5.9'	Lot Area:	54,765 SF
7	Lot width:		Lot Depth:	
8	Minimum Unit Size:		Average Unit Size:	
9	Existing use:	Retail & Condominium	Proposed use:	Same, no change

		Maximum	Existing	Proposed	Deficiencies
10	Height:	50'	50'	50'	
11	Number of Stories:		5	5	
12	FAR:				
12A	Allowable Floor Area:	109,530 SF	108,994 SF	109,100 SF	
13	Gross square footage:				
14	Square Footage by Hotel use:		N/A	N/A	
14A	Square Footage by Restaurant / Lounge Accessory use:		N/A	N/A	
15	Number of units Residential:		45	45	
16	Number of units Hotel:		N/A	N/A	
17	Number of seats:		N/A	N/A	
18	Occupancy load:		N/A	N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	0'-0"	0'-0"	N/A	
20	Side Setback:	0'-0"	0'-0"	N/A	
21	Side Setback:	10'-0"	26'-1"	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	0'-0"	20'-11"	N/A	
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	
25	Side Setback:	N/A	N/A	N/A	
26	Side Setback:	N/A	N/A	N/A	
27	Side Setback facing street:	N/A	N/A	N/A	
28	Rear Setback:	N/A	N/A	N/A	
	Pedestal:				
29	Front Setback:	20'-0"	20'-0"	N/A	
30	Side Interior Setback:	26'-1"	26'-1"	N/A	
31	Side Interior Setback:	26'-1"	27'-9"	N/A	
32	Side Setback facing street:	20'-0"	20'-0"	N/A	

33	Rear Setback:	20'-0"	29'-7"		
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:		N/A	N/A	
37	Side Setback facing street:		N/A	N/A	
38	Rear Setback:		N/A	N/A	
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking District:				
40	Total # of parking spaces:	84	135	N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions:				
44	Parking Space configuration (450,600,900,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up				
49	Loading zones and Trash collection areas				
50	Racks				
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use:		N/A	N/A	
52	Total # of seats:		N/A	N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)		N/A	N/A	
54	Total occupant load:		N/A	N/A	
55	Occupant load per venue (Provide a separate chart for a breakdown calculation)		N/A	N/A	
56	Is this a contributing building?	No			
57	Located within a Local Historic District?	No			



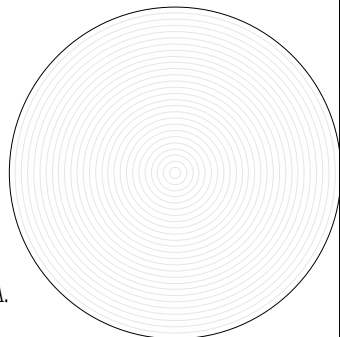
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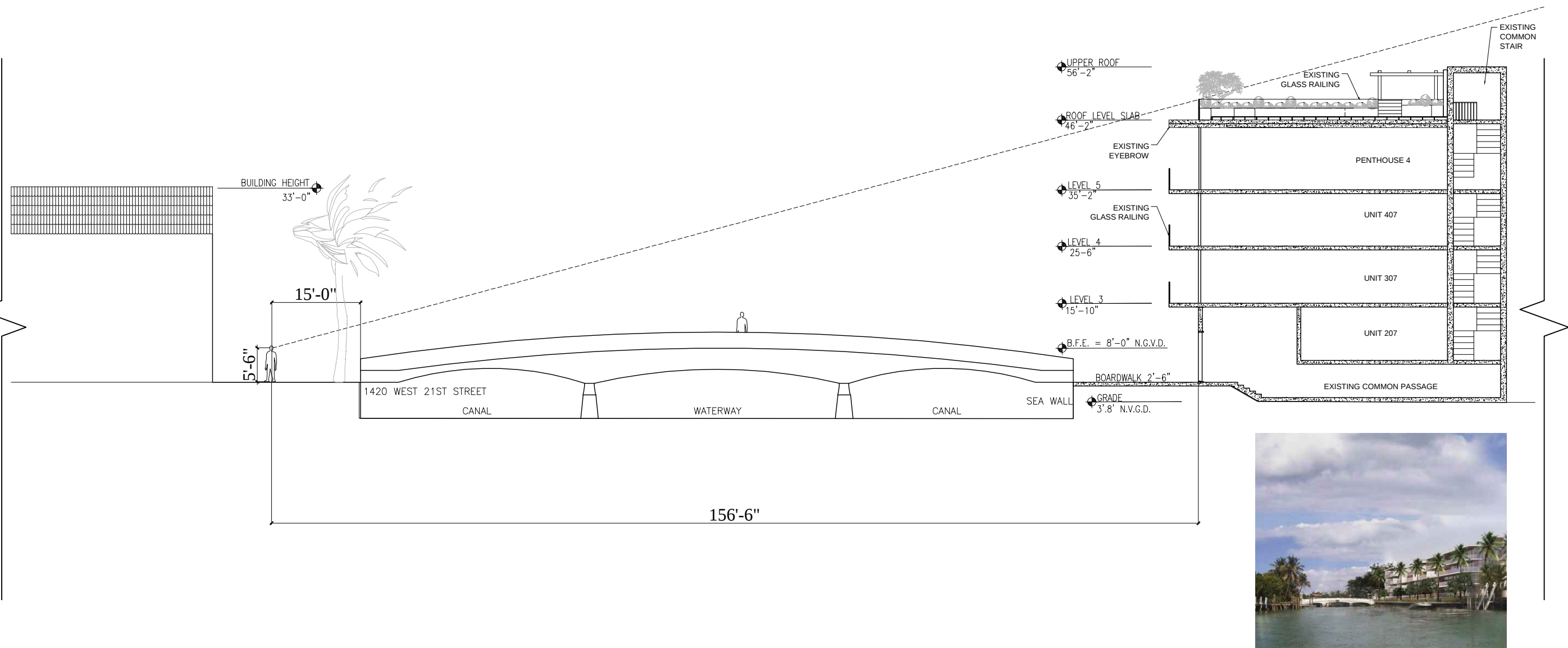
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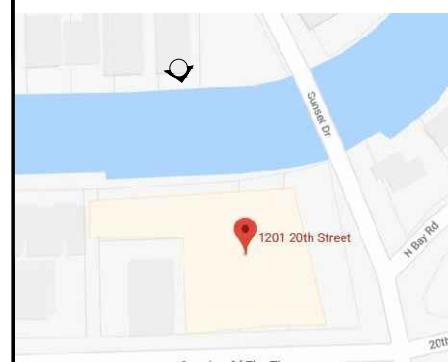
ZONING DATA

A - 0.4



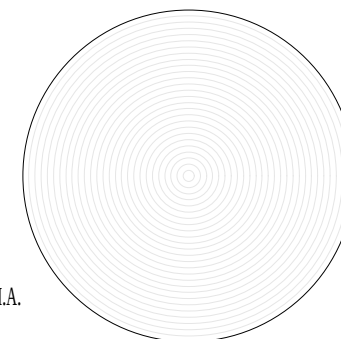
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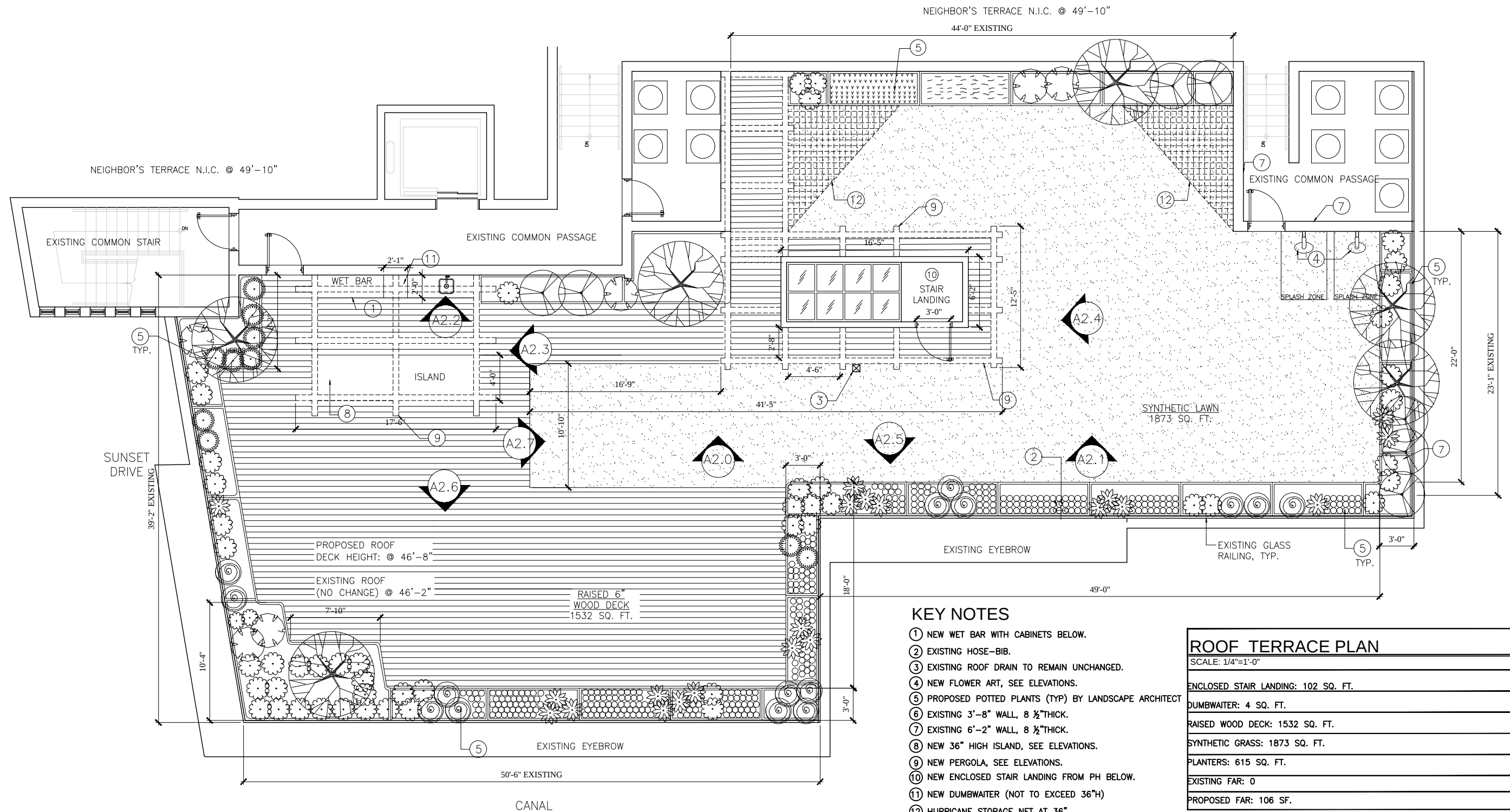
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AR-13718 / ID-4763



BUILDING SECTION
AND LINE OF SIGHT
1/8" = 1'-0"

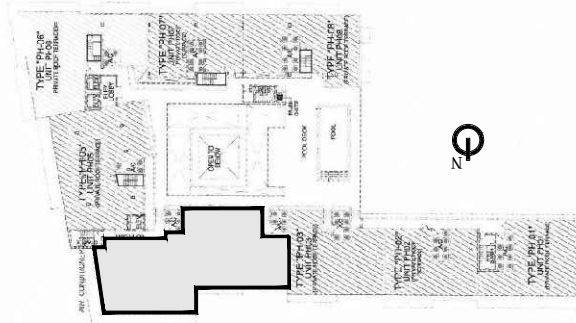
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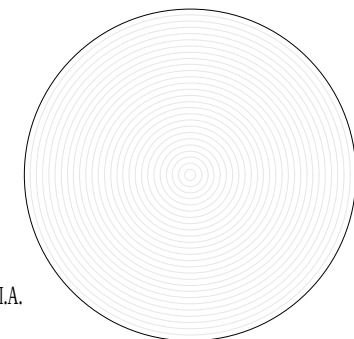
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KEY PLAN



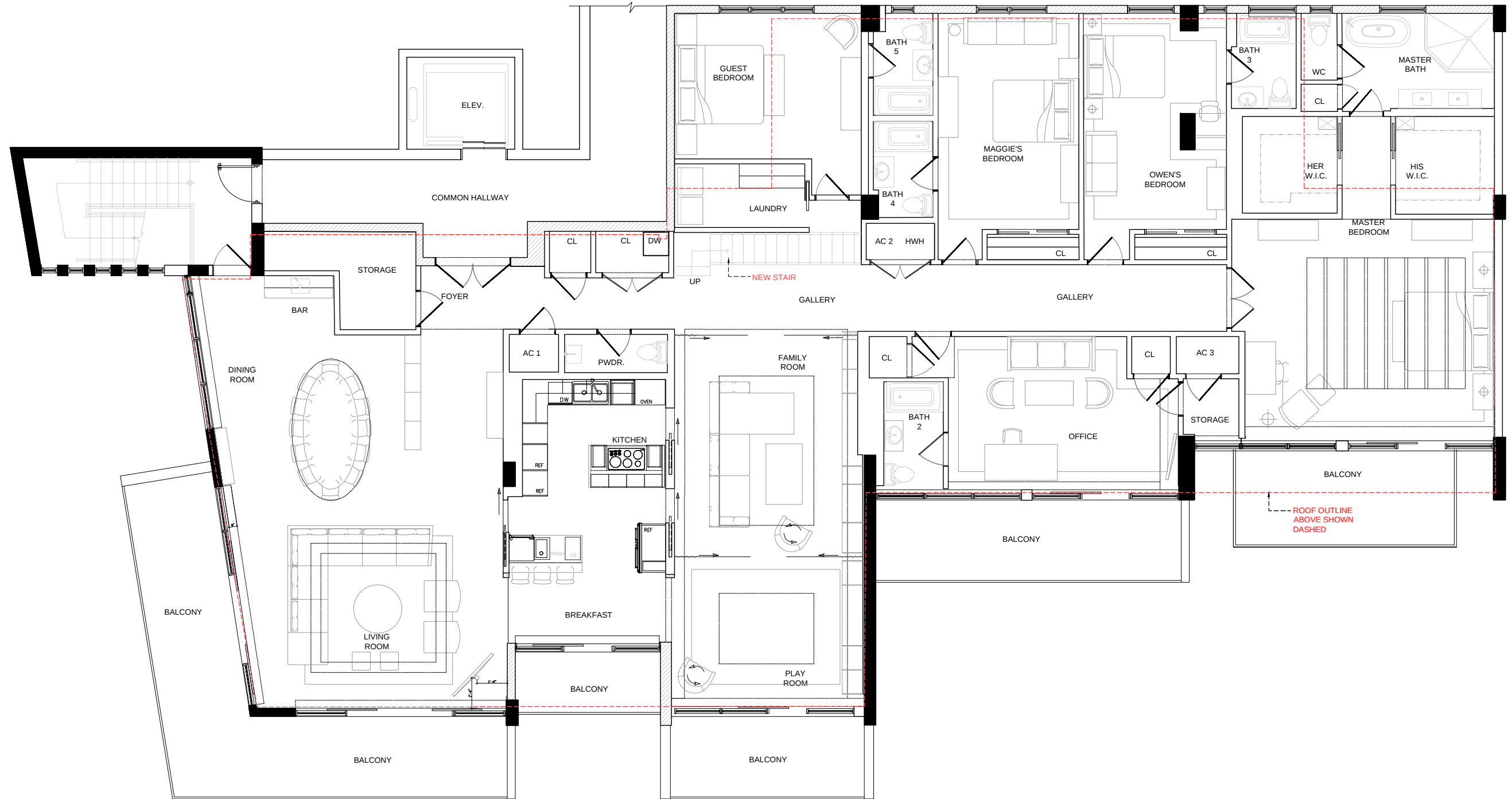
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AR-13718 / ID-4763

PROPOSED PLAN
SCALE: 1/4" = 1'-0"

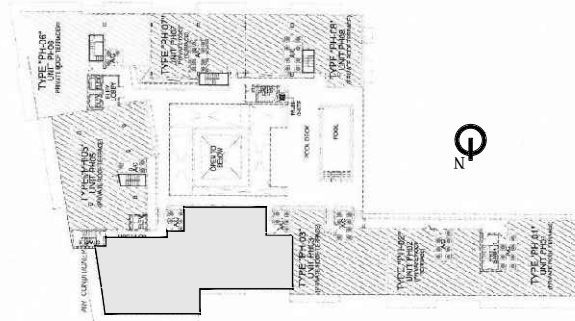
A-1.1



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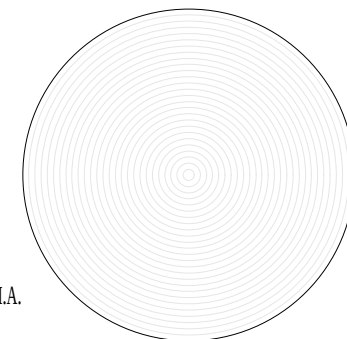
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PALAU SUNSET HARBOR 1201 20TH STREET
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KEY PLAN



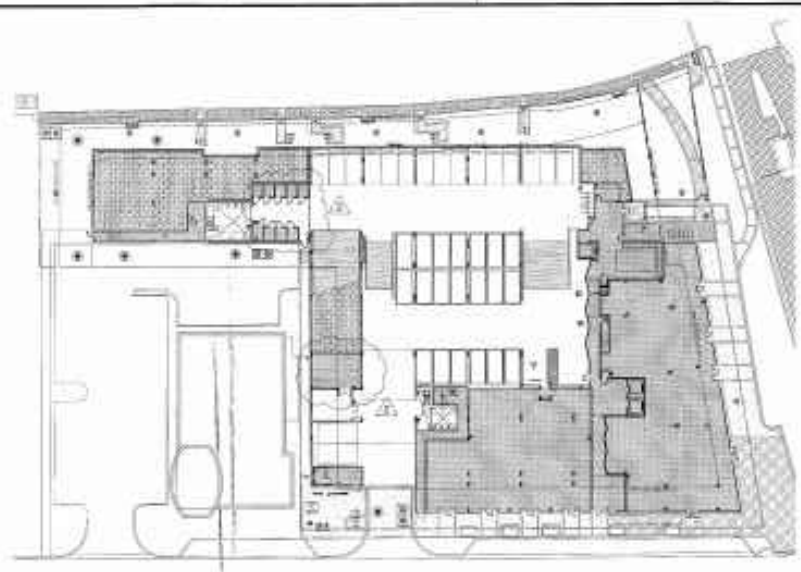
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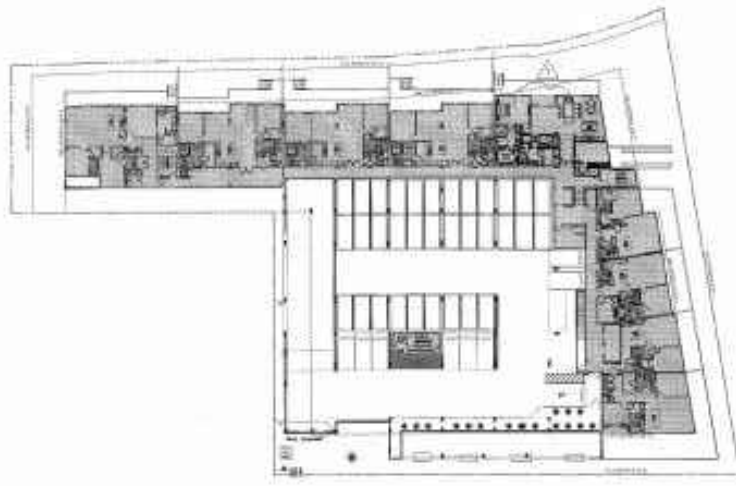


PH4 INTERIOR PLAN
SCALE: 1/4" = 1'-0"

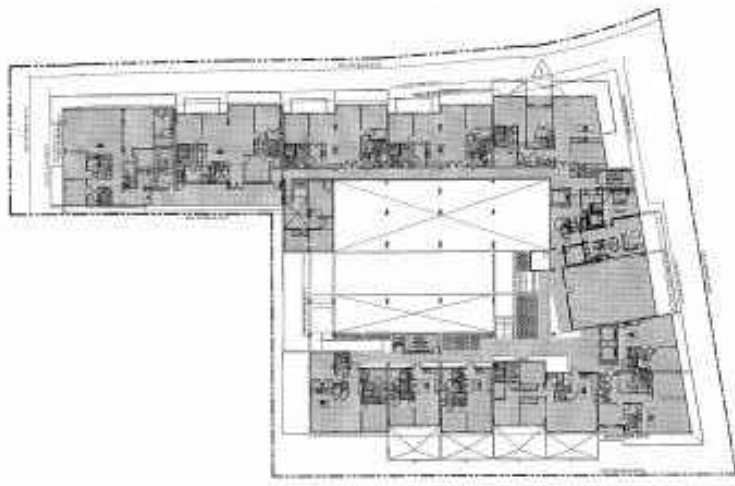
A-1.2



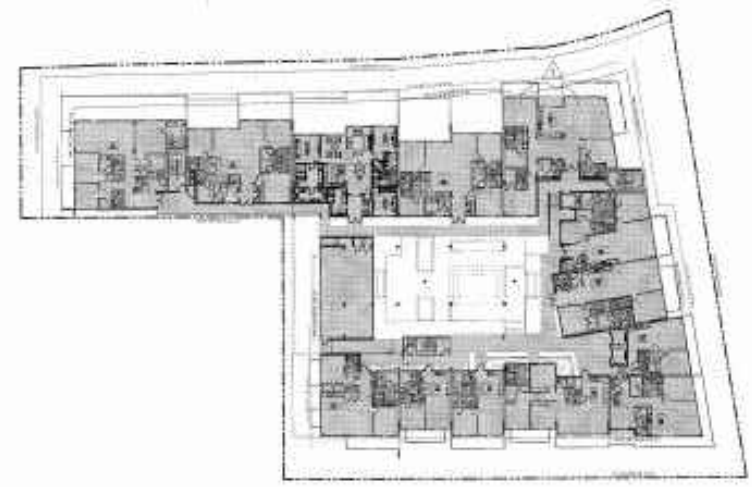
GROUND LEVEL
N.T.S.



LEVEL 2
N.T.S.



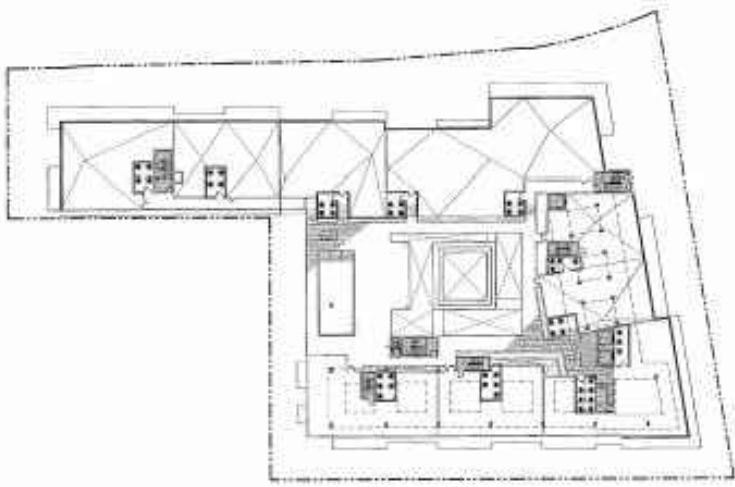
LEVEL 3
N.T.S.



LEVEL 4
N.T.S.



LEVEL 5
N.T.S.



ROOF LEVEL
N.T.S.

FLOOR AREA CALCULATIONS	
SHADED AREAS DENOTE SQUARE FOOTAGE INCLUDED IN F.A.R.	
FLOOR:	F.A.R.
LEVEL 1 - GROUND FLOOR PLAN	15,321 - SF
LEVEL 2	16,758 - SF
LEVEL 3	24,807 - SF
LEVEL 4	25,187 - SF
LEVEL 5	24,884 - SF
LEVEL 6 - ROOF	2,037 - SF
TOTAL FLOOR AREA	108,994 - SF

SOURCE: SHEET A1.03
FROM APPROVED BUILDING
PERMIT B1304944

FLOOR AREA CALCULATIONS	
SHADED AREAS DENOTES SQUARE FOOTAGE INCLUDED IN F.A.R.	
FLOOR:	F.A.R.
LEVEL 1 - GROUND FLOOR PLAN	15,321 - SF
LEVEL 2	16,758 - SF
LEVEL 3	24,807 - SF
LEVEL 4	25,187 - SF
LEVEL 5	24,884 - SF
LEVEL 6 - ROOF	2,037 - SF
TOTAL FLOOR AREA	108,994 - SF

F.A.R. STUDY

REVISIONS / SUBMISSIONS	
REVISIONS	DATE
1. BUILDING DEPT.	10/25/14
2. BUILDING DEPT.	10/25/14
3. BUILDING DEPT.	10/25/14
4. BUILDING DEPT.	10/25/14
5. BUILDING DEPT.	10/25/14
6. BUILDING DEPT.	10/25/14
7. BUILDING DEPT.	10/25/14
8. BUILDING DEPT.	10/25/14
9. BUILDING DEPT.	10/25/14
10. BUILDING DEPT.	10/25/14

1165

PALAU AT SUNSET HARBOUR
1201, 1225, 1237, 20TH STREET
MIAMI BEACH, FLORIDA

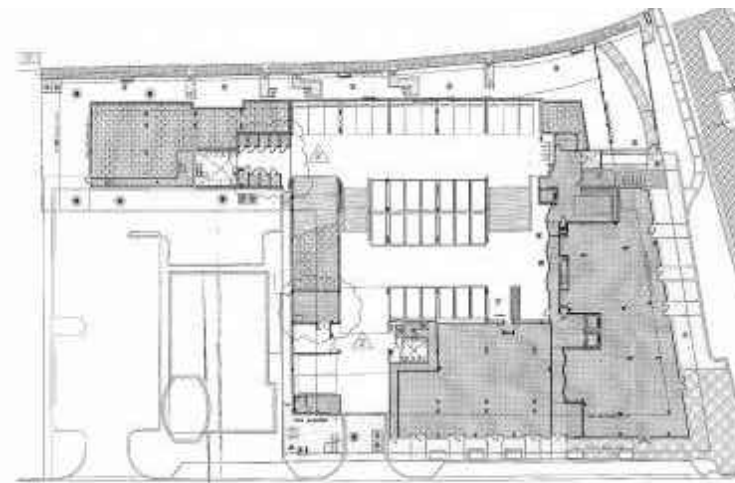
F.A.R. CALCULATIONS



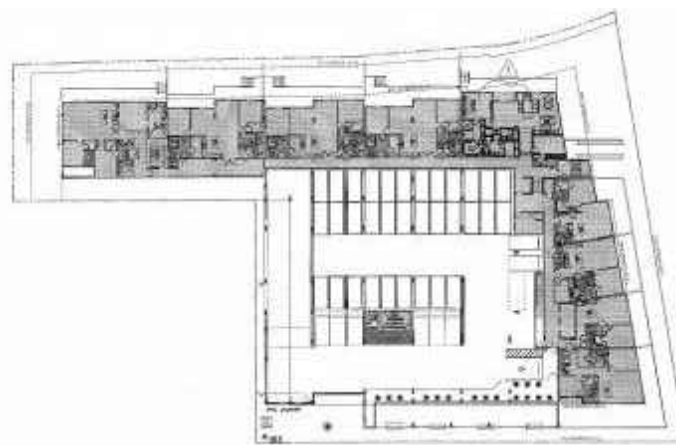
ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA - ASID - NCARB
2014 Registered Professional
Member of the AIA
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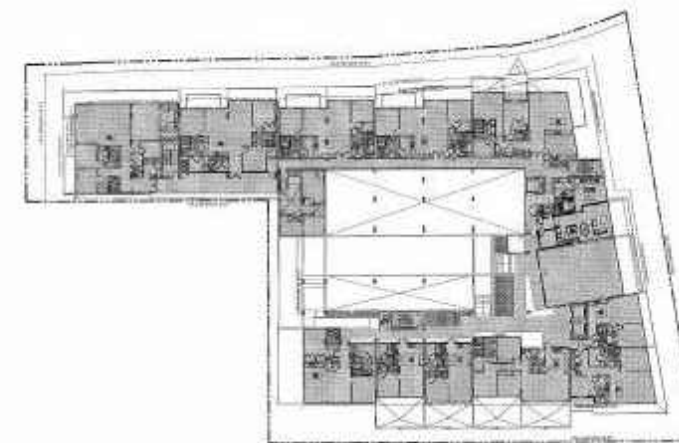
DRAWN BY:
CHECKED BY:
DATE: 10/25/14
A1.03



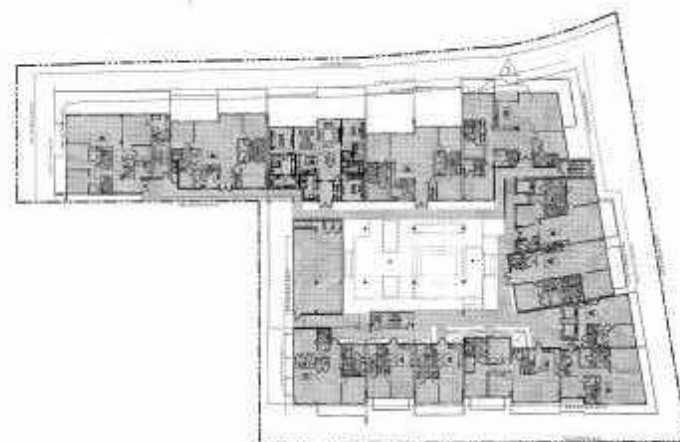
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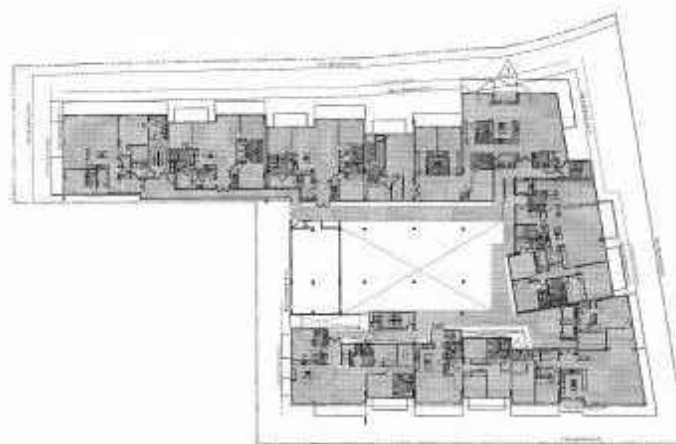
LEVEL 2
N.T.S.



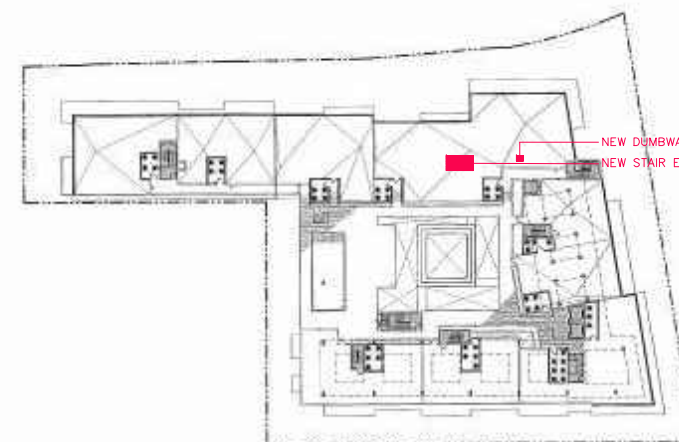
LEVEL 3
N.T.S.



LEVEL 4
N.T.S.



LEVEL 5
N.T.S.



ROOF LEVEL
N.T.S.

FLOOR AREA CALCULATIONS:

SHADED AREA DENOTES SQ. FOOTAGE IN PROPOSED F.A.R.

FLOOR:	F.A.R.:	LOT AREA:	TOTAL ALLOWABLE F.A.R.:	EXISTING F.A.R.:	PROPOSED F.A.R.:	REMAINING F.A.R.:
LEVEL 1 - GROUND FLOOR PLAN	15,321 SF	54,765 SF	109,530 SF	108,994 SF	109,100 SF	430 SF
LEVEL 2	16,758 SF					
LEVEL 3	24,807 SF					
LEVEL 4	25,187 SF					
LEVEL 5	24,884 SF					
LEVEL 6 - ROOF	2,139 SF					

TOTAL FLOOR AREA: 109,096 SF

SOURCE: SHEET A1.03
FROM APPROVED BUILDING
BUILDING PERMIT B1304944



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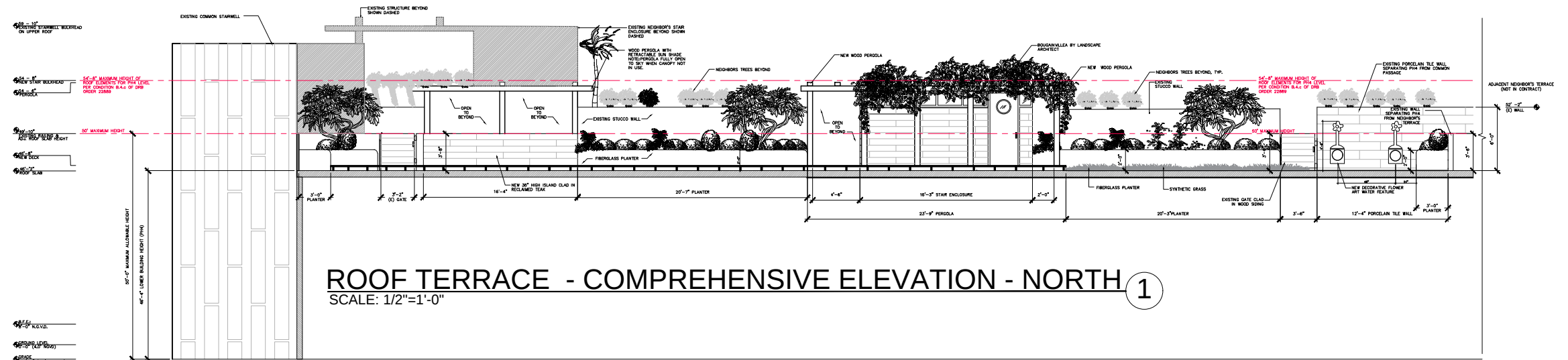
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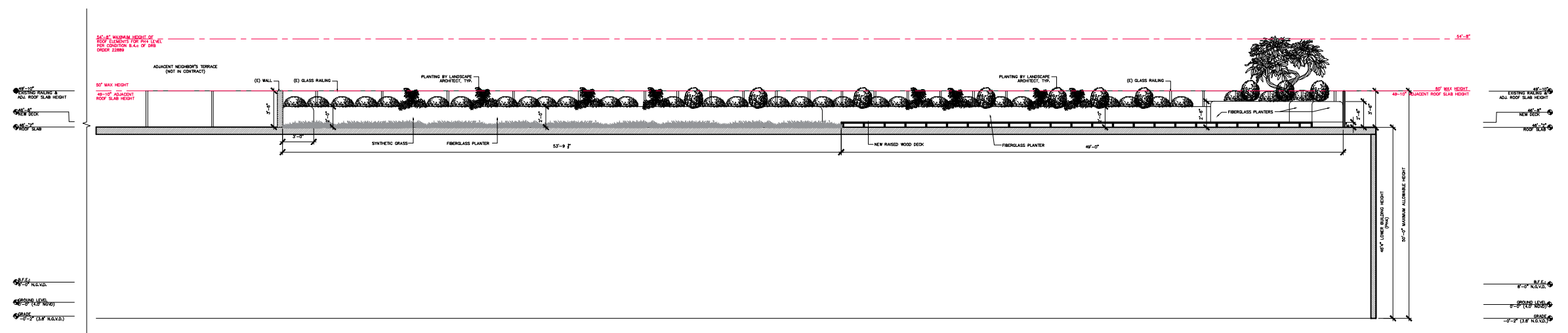
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PROPOSED FAR
DRAWING
1/4" = 1'-0"

A-1.4



ROOF TERRACE - COMPREHENSIVE ELEVATION - NORTH ①
SCALE: 1/2"=1'-0"



ROOF TERRACE - COMPREHENSIVE ELEVATION - SOUTH ②
SCALE: 1/2"=1'-0"

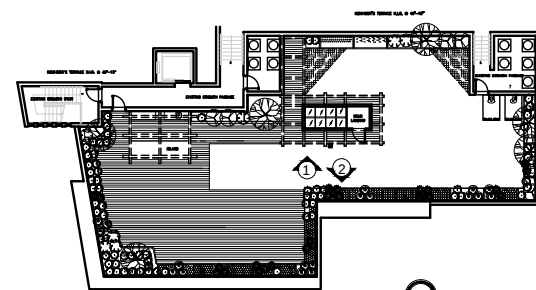


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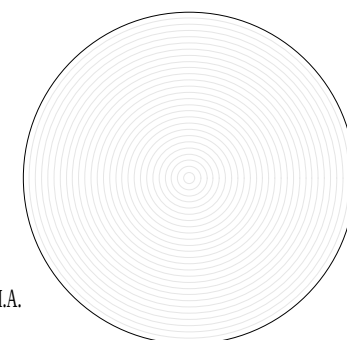
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KEY PLAN

SIGN & SEAL

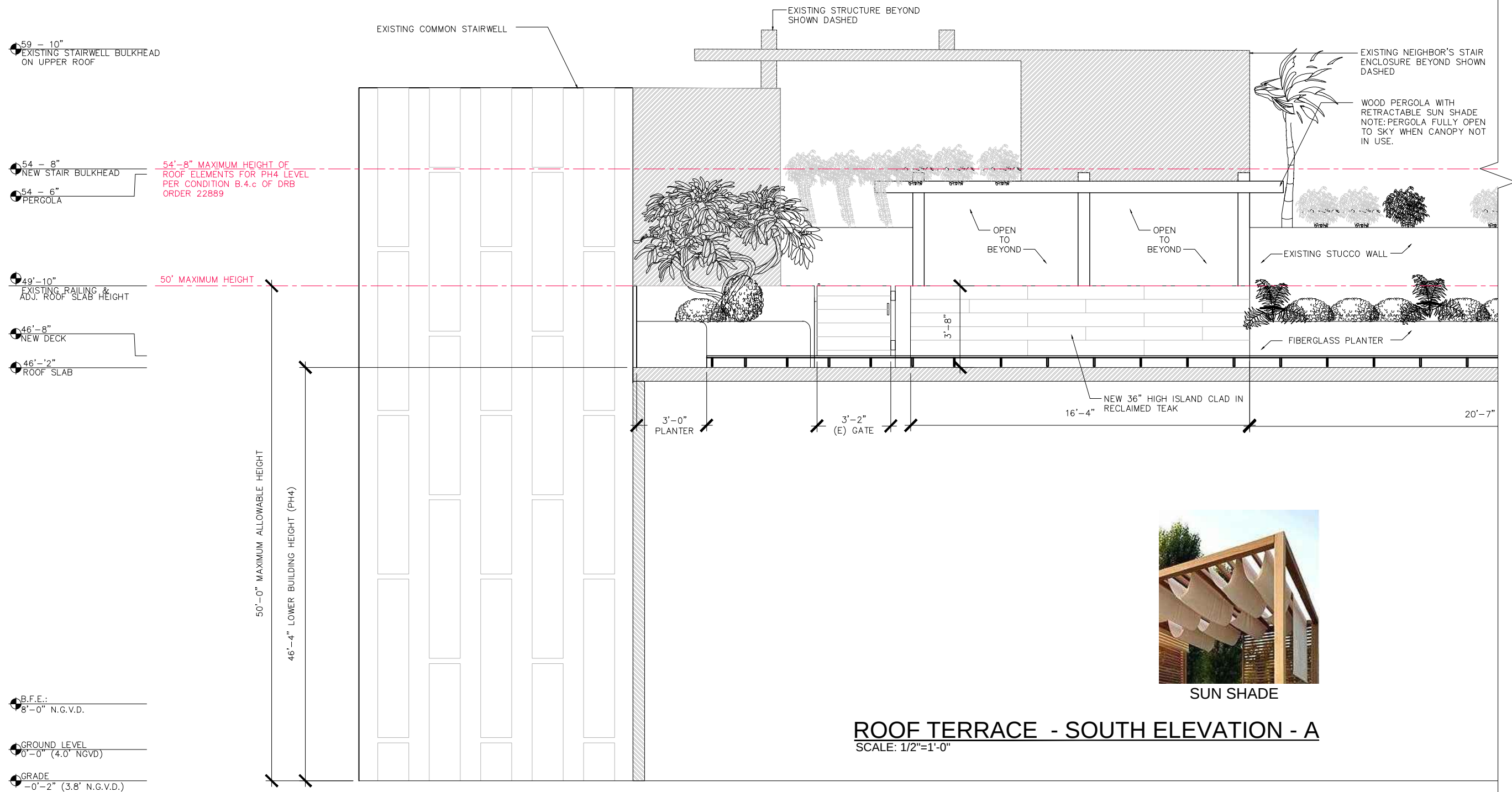


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COMPREHENSIVE
ELEVATIONS
NORTH & SOUTH

SCALE: 3/16" = 1'-0"

A - 2.0

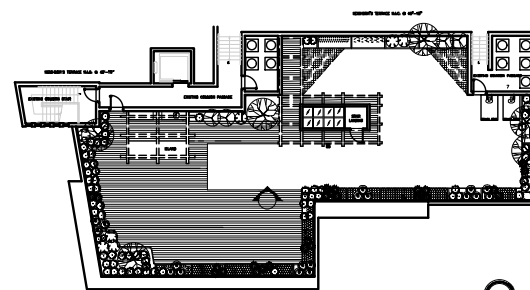


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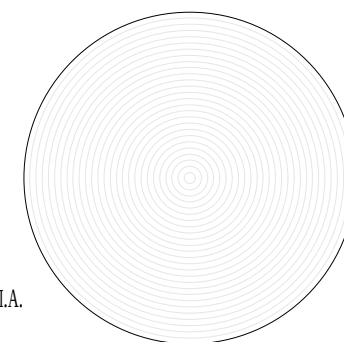
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KEY PLAN

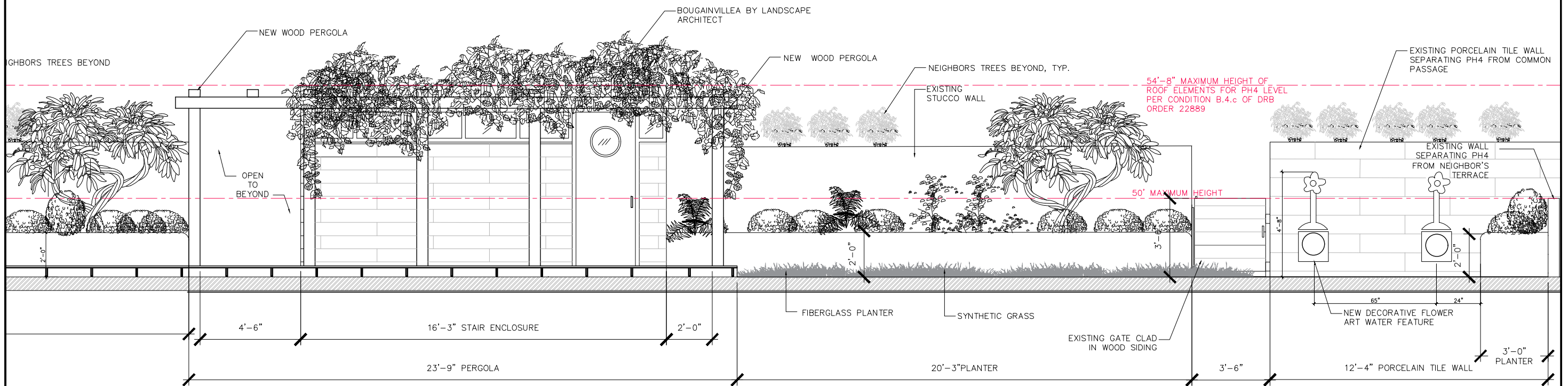
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SOUTH ELEVATION - A
SCALE: 1/2" = 1'-0"

A - 2.1



ROOF TERRACE - SOUTH ELEVATION - B
SCALE: 1/2"=1'-0"

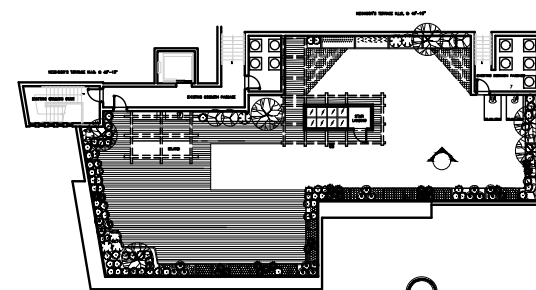


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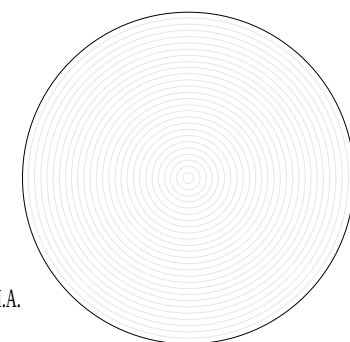
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KEY PLAN
1:20

SIGN & SEAL



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SOUTH ELEVATION - B
SCALE: 1/2" = 1'-0"

A - 2.2

59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-8"
NEW STAIR BULKHEAD

54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK

46'-2"
ROOF SLAB

B.F.E.:
8'-0" N.G.V.D.

GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

EXISTING COMMON STAIRWELL

EXISTING STRUCTURE BEYOND
SHOWN DASHED

EXISTING NEIGHBOR'S STAIR
ENCLOSURE BEYOND SHOWN
DASHED

(N) WALL IN RECLAIMED TEAK
SIDING

EXISTING STUCCO WALL

EXISTING WALL BEYOND

3'-0"
PLANTER

EXISTING GATE
CLAD IN WD. SIDING

2'-1"
14'-10"
WET BAR

FIBERGLASS PLANTER

50'-0" MAXIMUM ALLOWABLE HEIGHT

46'-4" LOWER BUILDING HEIGHT (PH4)

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS FOR PH4 LEVEL
PER CONDITION B.4.c OF DRB
ORDER 22889

50' MAXIMUM HEIGHT

6'-0"

ROOF TERRACE - SOUTH ELEVATION - C

SCALE: 1/2"=1'-0"



DUMB WAITER

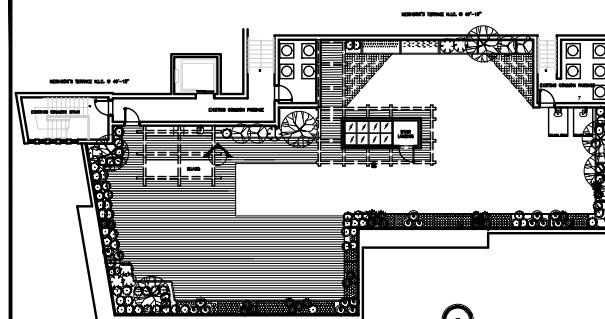


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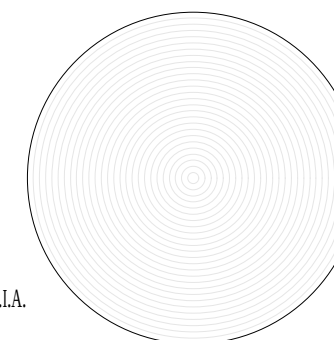
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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR
1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019



KEY PLAN

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

SOUTH ELEVATION - C
SCALE: 1/2" = 1'-0"

A - 2.3

59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK

46'-2"
ROOF SLAB

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS FOR PH4 LEVEL
PER CONDITION B.4.c OF DRB
ORDER 22889

50' MAXIMUM HEIGHT

50'-0" MAXIMUM ALLOWABLE HEIGHT

46'-4" LOWER BUILDING HEIGHT (PH4)

B.F.E.:
8'-0" N.G.V.D.

GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

WOOD PERGOLA WITH
RETRACTABLE SUN SHADE
NOTE: PERGOLA FULLY OPEN
TO SKY WHEN CANOPY NOT
IN USE

PLANTING BY LANDSCAPE
ARCHITECT, TYP.

EXISTING GLASS
RAILING, TYP.

8'-4"
TOP OF PERGOLA FROM ROOF SLAB

3'-0"
PLANTER

25'-1" FIBERGLASS PLANTER

3'-11"
ISLAND

5'-1"

24"

(N) ISLAND CLAD IN RECLAIMED
TEAK

ROOF TERRACE - EAST ELEVATION - A 1

SCALE: 1/2"=1'-0"

NEW WALL
CLAD IN TEAK
SIDING

SOLID WOOD CABINET
WITH ADJUSTABLE
INTERIOR
SHELF

RAISED WD.
DECKING

42"

24"

PROVIDE BLOCKING
UNDER CABINET

ENLARGED SECTION AT WET BAR 2

SCALE: 1/2"=1'-0"

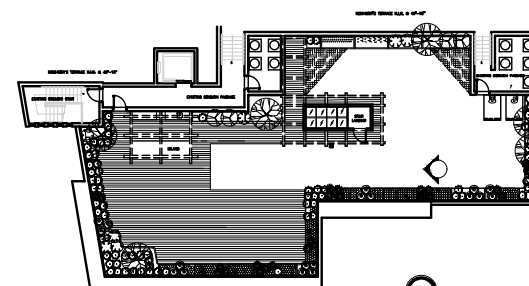


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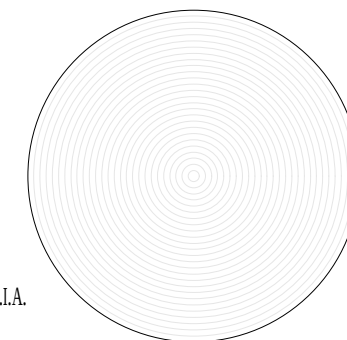
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KEY PLAN
1:20

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

EAST ELEVATION - A
SCALE: 1/2" = 1'-0"

A - 2.4

59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-8"
NEW STAIR BULKHEAD
54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK
46'-2"
ROOF SLAB

B.F.E.:
8'-0" N.G.V.D.

GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS PER CONDITION
B.4.c OF DRB ORDER 22889

50' MAXIMUM HEIGHT

50'-0" MAXIMUM ALLOWABLE HEIGHT

46'-4" LOWER BUILDING HEIGHT (PH4)

(E) GLASS RAILING

PLANTING BY LANDSCAPE
ARCHITECT, TYP.

2'-0"

19'-8"

3'-0"
PLANTER

FIBERGLASS PLANTERS



8'-6"

8'-4"

7'-6"

9'-7"

SYNTHETIC GRASS

10'-4"

(N) RAISED WOOD DECK

EXISTING PORCELAIN
TILE WALL

13'-3"

PLANTER
TYP.

FIBERGLASS
PLANTER

NEW STAIR ENCLOSURE CLAD IN
RECLAIMED TEAK SIDING

EXISTING DIVIDING PARTITION
AT COMMON PASSAGE

NEW WOOD PERGOLA

ROOF TERRACE - EAST ELEVATION - B
SCALE: 1/2"=1'-0"



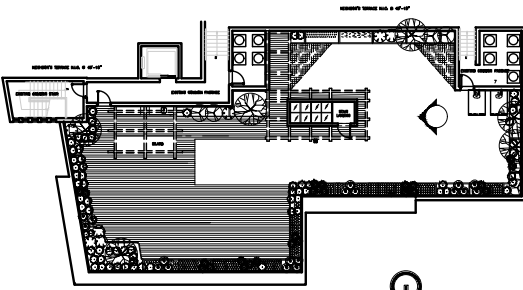
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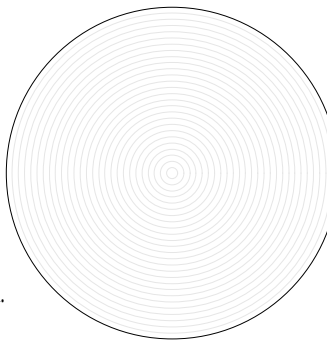
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KEY PLAN
1:20

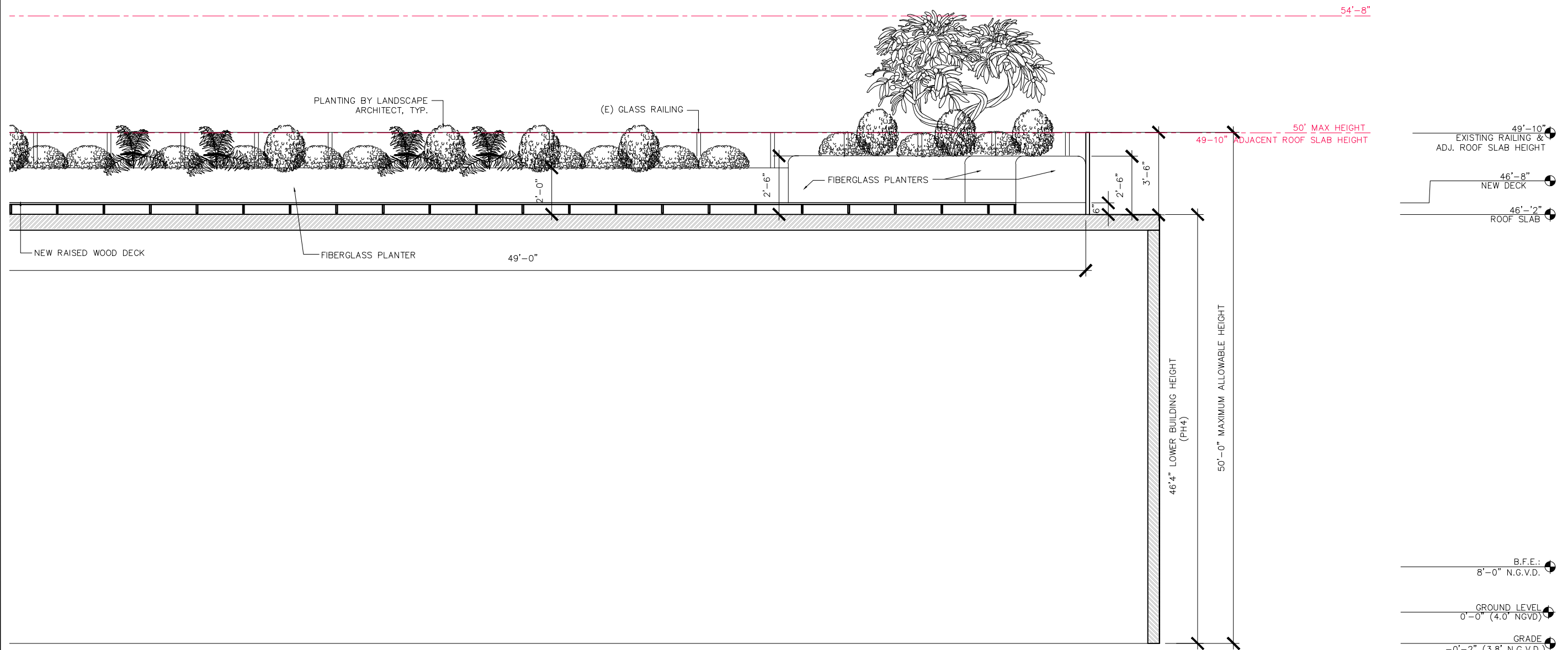
SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

EAST ELEVATION - B
SCALE: 1/2" = 1'-0"

A - 2.5



ROOF TERRACE - NORTH ELEVATION - A
SCALE: 1/2"=1'-0"



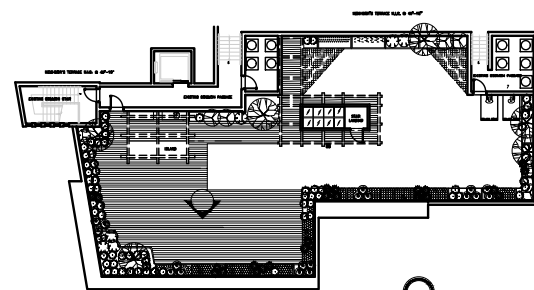
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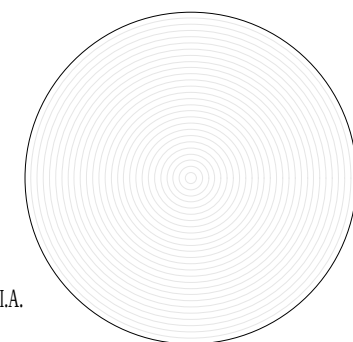
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KEY PLAN
1:20

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
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NORTH ELEVATION A
SCALE: 1/2" = 1'-0"

A - 2.6

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS FOR PH4 LEVEL
PER CONDITION B.4.c OF DRB
ORDER 22889

ADJACENT NEIGHBOR'S TERRACE
(NOT IN CONTRACT)

50' MAX HEIGHT
49'-10" ADJACENT
ROOF SLAB HEIGHT

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK

46'-2"
ROOF SLAB

(E) WALL

(E) GLASS RAILING

PLANTING BY LANDSCAPE
ARCHITECT, TYP.

SYNTHETIC GRASS

FIBERGLASS PLANTER

53'-9 1/2"

B.F.E.:
8'-0" N.G.V.D.

GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

ROOF TERRACE - NORTH ELEVATION - B

SCALE: 1/2"=1'-0"

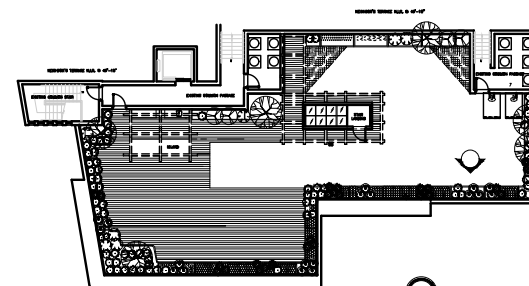


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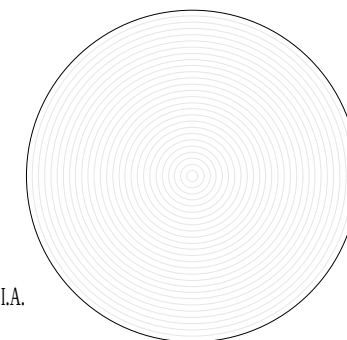
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KEY PLAN
1:20

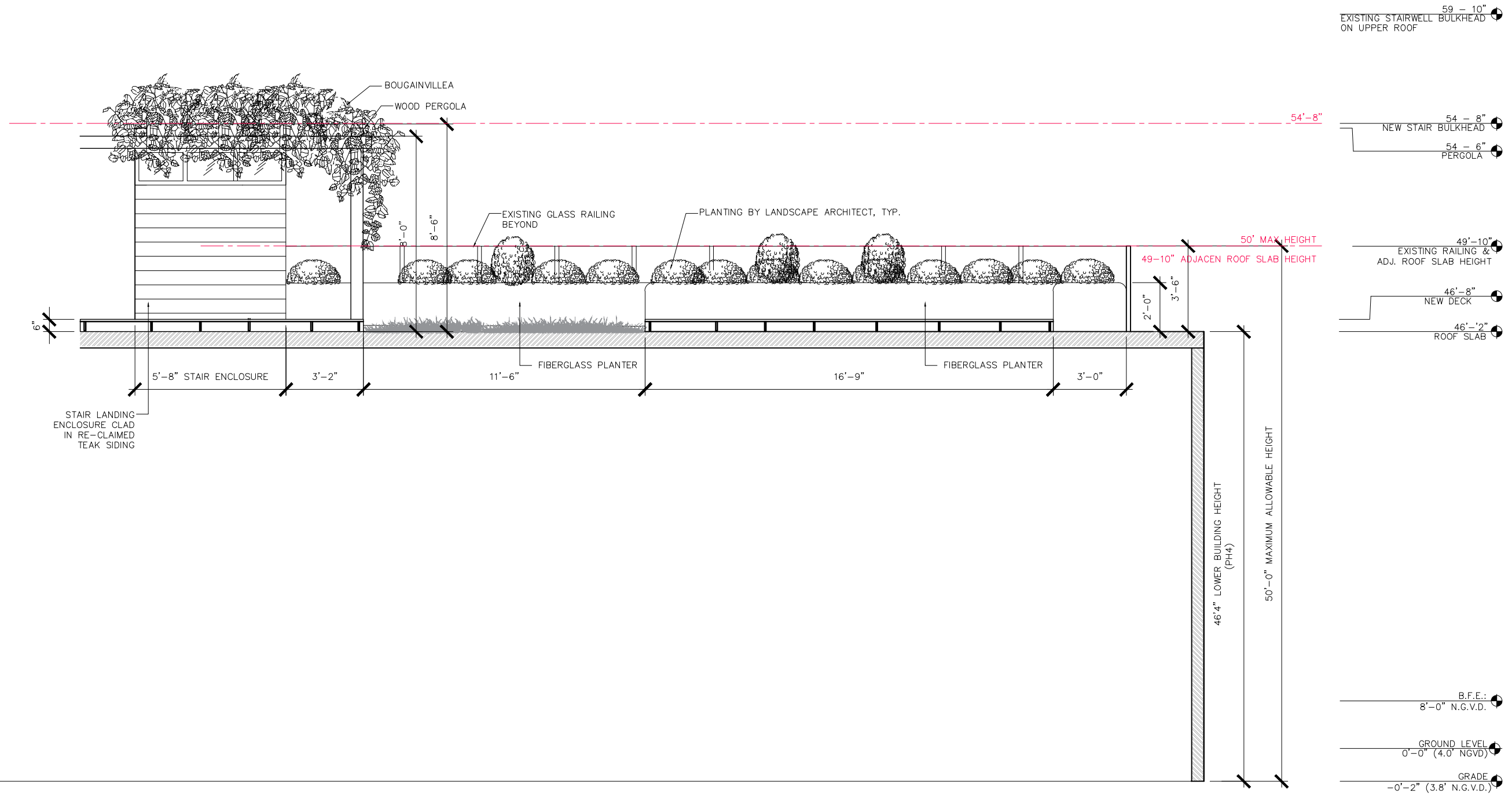
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NORTH ELEVATION - B
SCALE: 1/2" = 1'-0"

A - 2.7

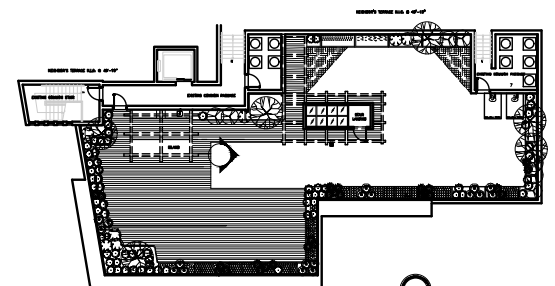


ROOF TERRACE - WEST ELEVATION
 SCALE: 1/2"=1'-0"



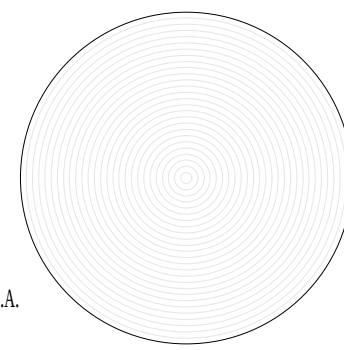
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KEY PLAN
 N.T.S.

SIGN & SEAL



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WEST ELEVATION
 SCALE: 1/2" = 1'-0"

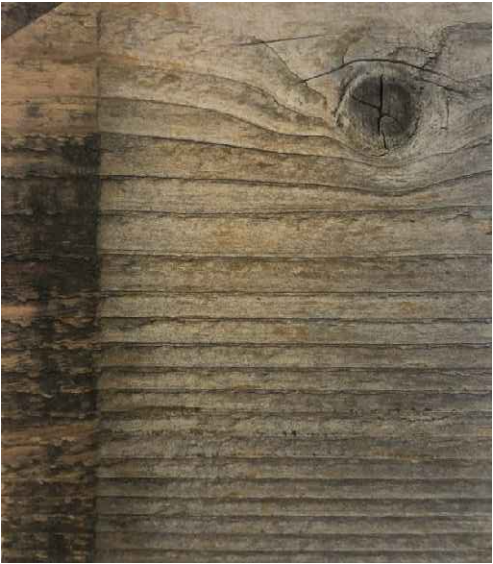
A - 2.8



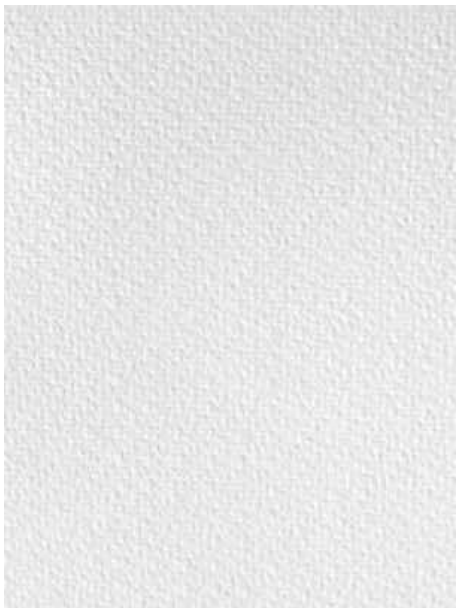
EXISTING PORCELAIN
TILE WALLS



SYNTHETIC GRASS



RECLAIMED TEAK SIDING
(WALLS & ISLAND)



EXISTING STUCCO
WALLS



WOOD DECK



FIBERGLASS
(PLANTERS)



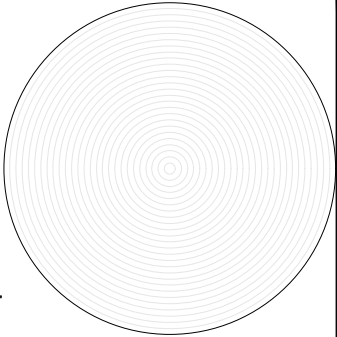
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MATERIAL PALLET

A - 3.0



RENDERED PLAN



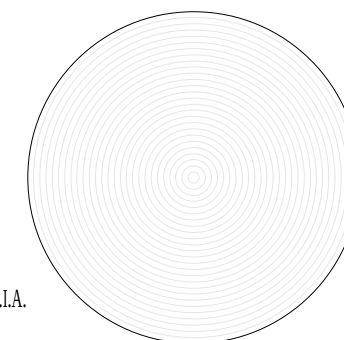
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RENDERED PLAN

A - 4.0A



NEW PROPOSED ELEMENTS	
1.	NEW STAIR ENCLOSURE
2.	NEW PERGOLAS
3.	NEW WET BAR
4.	NEW ISLAND
5.	NEW DUMB WAITER
6.	NEW FLOWER ART WATER FEATURE
7.	NEW WOODEN DECK
8.	NEW FIBERGLASS PLANTERS
9.	NEW NATIVE PLANTS & LANDSCAPE LIGHTING
10.	NEW SYNTHETIC GRASS
11.	NEW HURRICANE STORAGE NETS

RENDERED PLAN



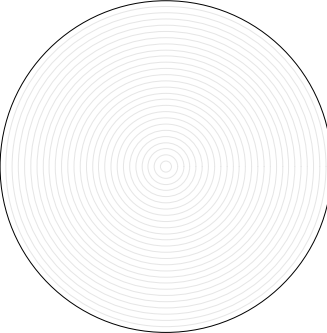
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RENDERED PLAN
+
KEY SCHEDULE

A - 4.0B



RENDERING LOOKING SOUTH



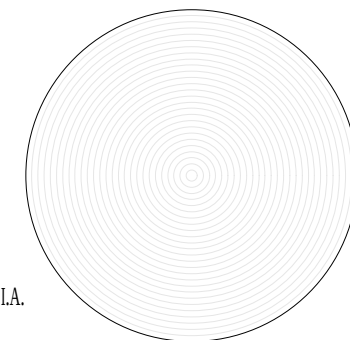
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RENDERING

A - 4.1



RENDERING LOOKING EAST



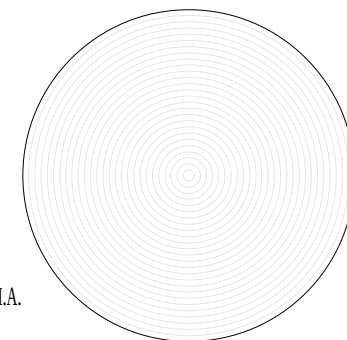
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RENDERING

A - 4.2



RENDERED PLAN



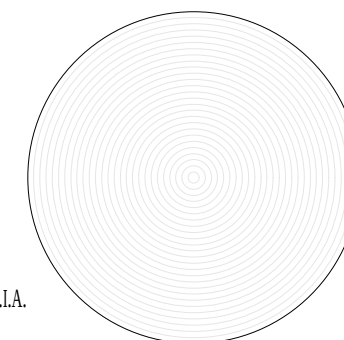
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RENDERED PLAN

A - 4.0A