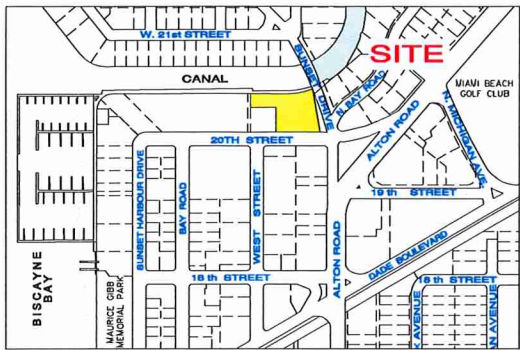
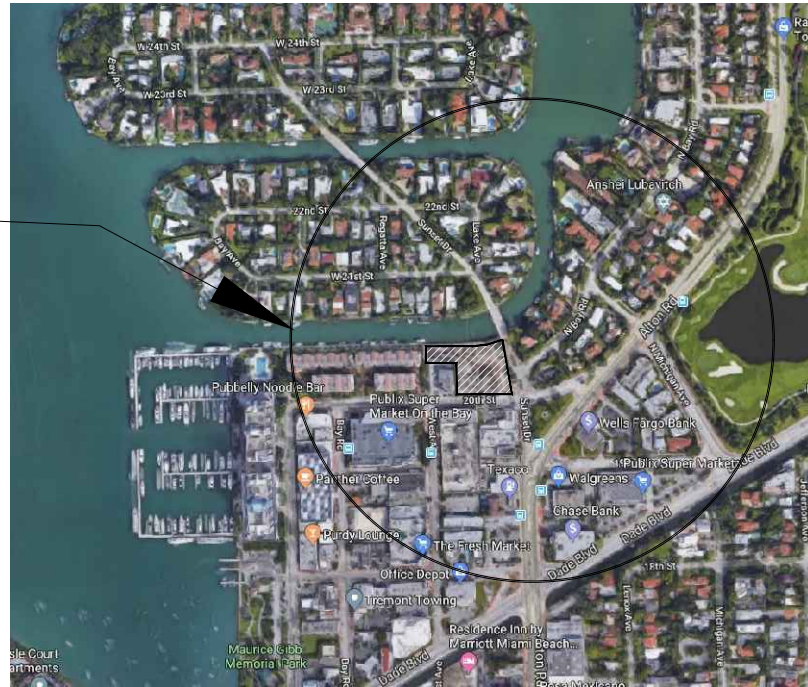




By: Daniel C. Fortin
Daniel C. Fortin, For The Firm
Surveyor and Mapper, LS2853
State of Florida.

Original Date		9/28/11
Scale	1" = 20'	
Drawn By	DWF	
CAD No.	000284	
Plotted	3/29/19 1:22p	
Ref. Dwg.	2001-150-3	
Field Book	617-11-14, 411/32-1R	
Job No.	111068	
Dwg. No.	2011-121-1	
Sheet	1 of 1	

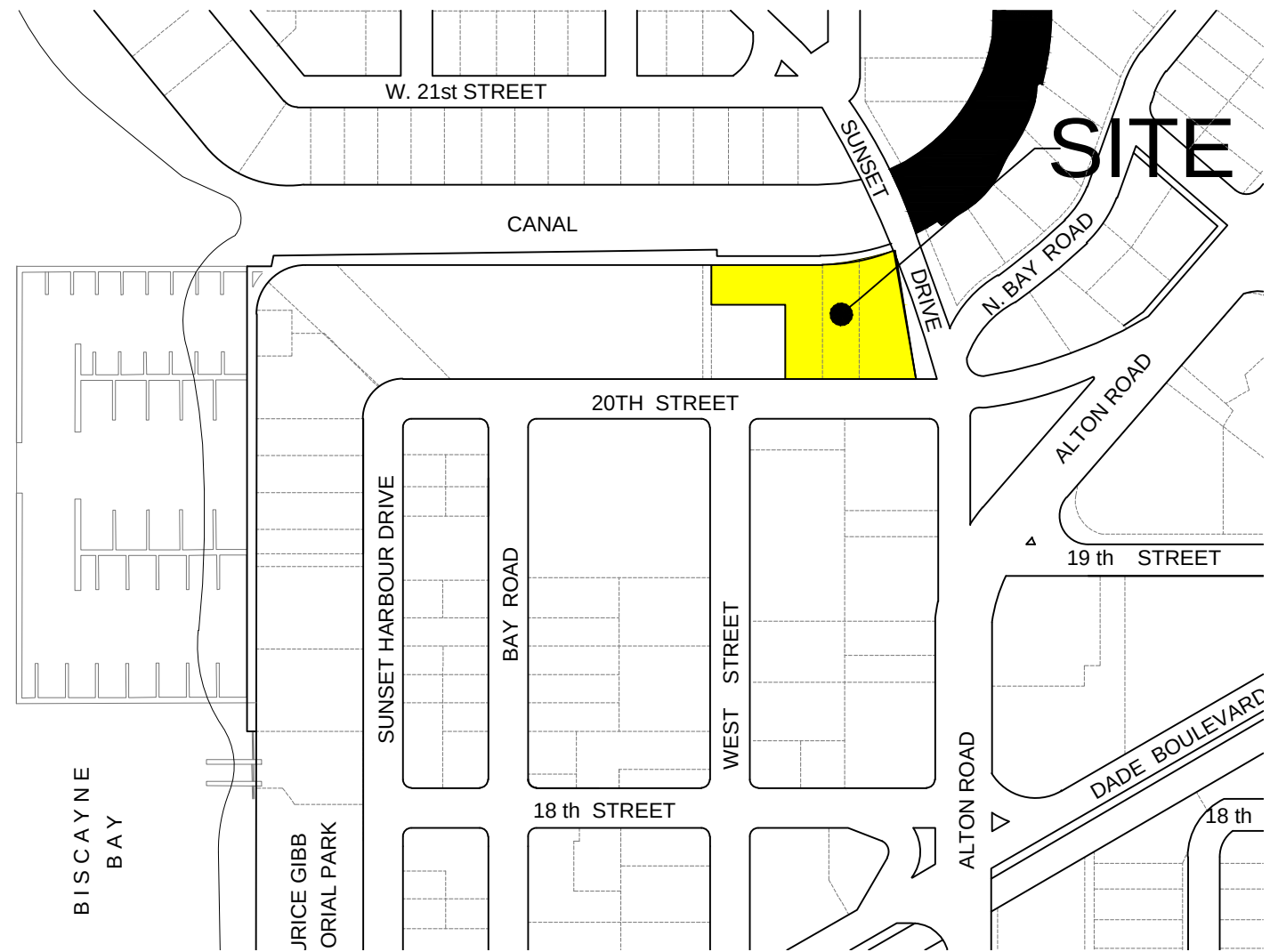
1/2 MILE RADIUS



AERIAL VIEW



SITE



LOCATION MAP



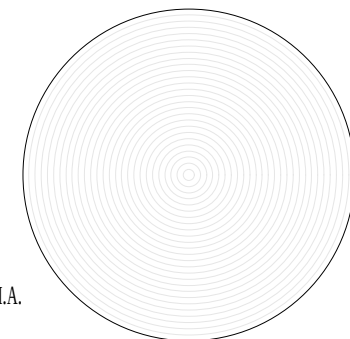
2750 NW 3rd Avenue, Suite 23
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AA 26001595 - IB 26000969

Miami - CapeTown - New York - Dubai

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FAX (305) 531-4554
www.bluedesigncompany.com

THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

LOCATION MAP
N.T.S.

A - 0.2

BOUNDARY & TOPOGRAPHIC SURVEY
PALAU SUNSET HARBOR
 CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA



THE PALAU SOUTH-EAST EXTERIOR (EXISTING IMAGE)



THE PALAU NORTH-WEST EXTERIOR (EXISTING IMAGE)



THE PALAU HIDDEN GARDEN (EXISTING IMAGE)



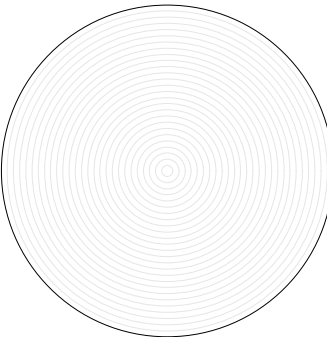
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AR-13718 / ID-4763

EXISTING SITE CONTEXT

A - 0.5

EXTENT OF PROJECT SITE



THE PALAU NORTH - EAST ELEVATION



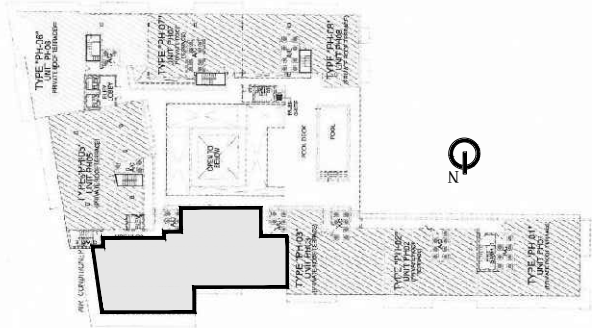
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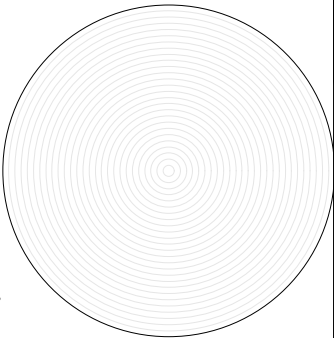
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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET
PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

KEY PLAN



SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

EXISTING
SITE CONDITIONS

A - 0.6



1. ROOF LOOKING EAST



3. ROOF LOOKING NORTH-EAST



2. ROOF LOOKING WEST



4. ROOF LOOKING NORTH-EAST



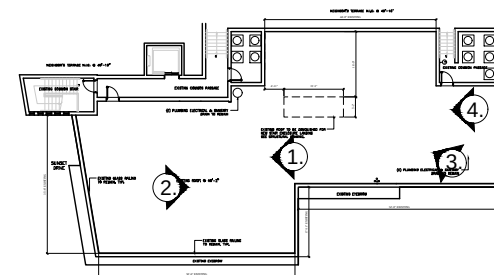
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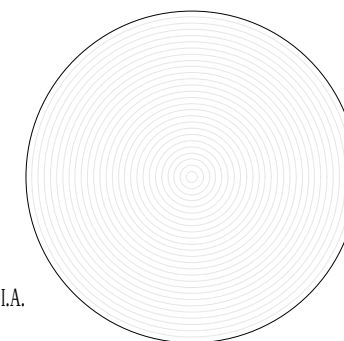
THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR
1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

PHOTO KEY PLAN



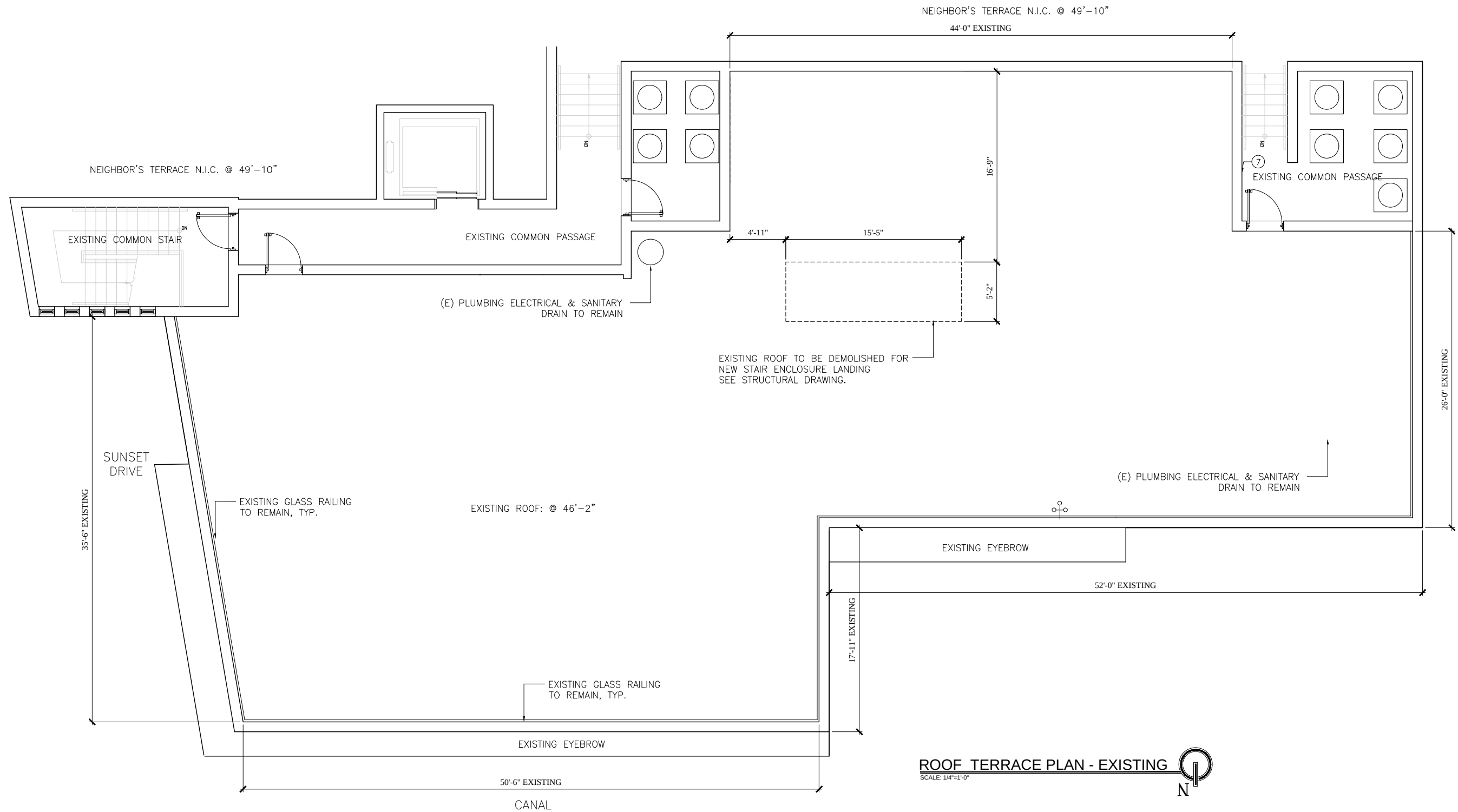
SIGN & SEAL

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AR-13718 / ID-4763



EXISTING
SITE PHOTOS

A - 0.7



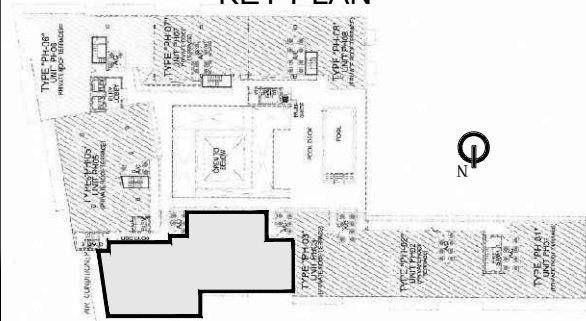
2750 NW 3rd Avenue, Suite 23
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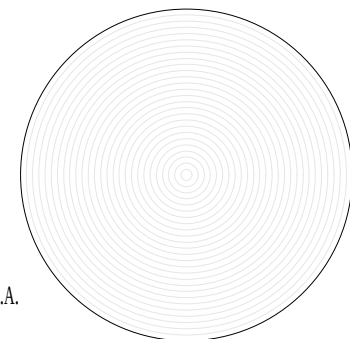
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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET
PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

KEY PLAN



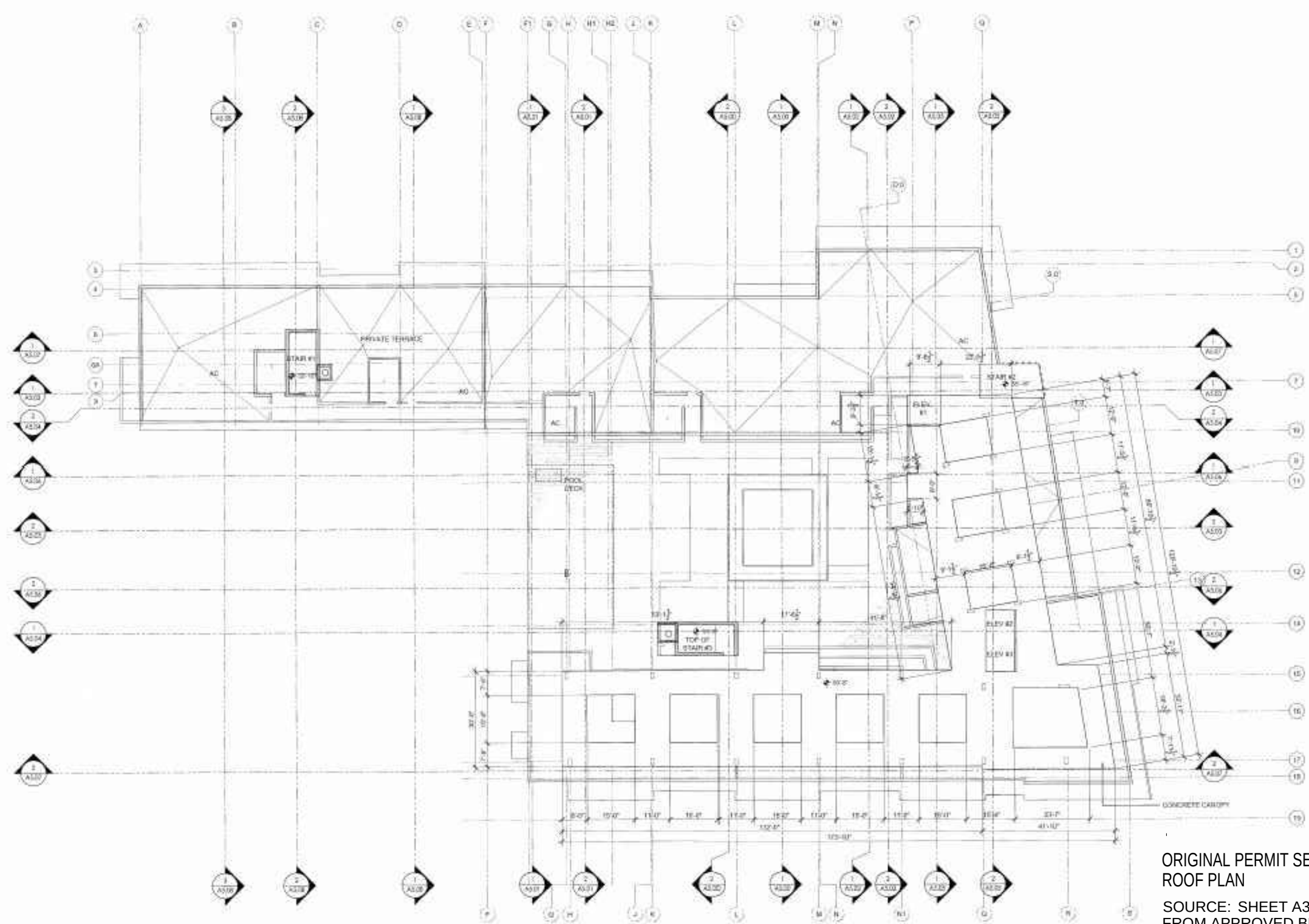
SIGN & SEAL



EXISTING CONDITIONS
& DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

A-1.0

PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763



ORIGINAL PERMIT SET
ROOF PLAN
SOURCE: SHEET A3.06
FROM APPROVED BUILDING
PERMIT B1304944

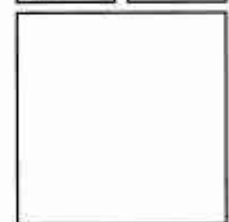
UPPER ROOF PLAN
1/16" = 1'-0"

REVISIONS / SUBMISSIONS	
1	
2	
3	
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11	
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13	
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18	
19	

1165

PALAU AT SUNSET HARBOUR
1201, 1225, 1237 20TH STREET
MIAMI BEACH, FLORIDA

UPPER ROOF
FLOOR PLAN



ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA AIA NCARB
2014 Registered Architect
Miami Beach, FL 33139
P: 305.415.0788
WWW.KOBKARP.COM



DRAWN BY:
CHECKED BY:
DATE: 2/15

A3.06

46'-2"

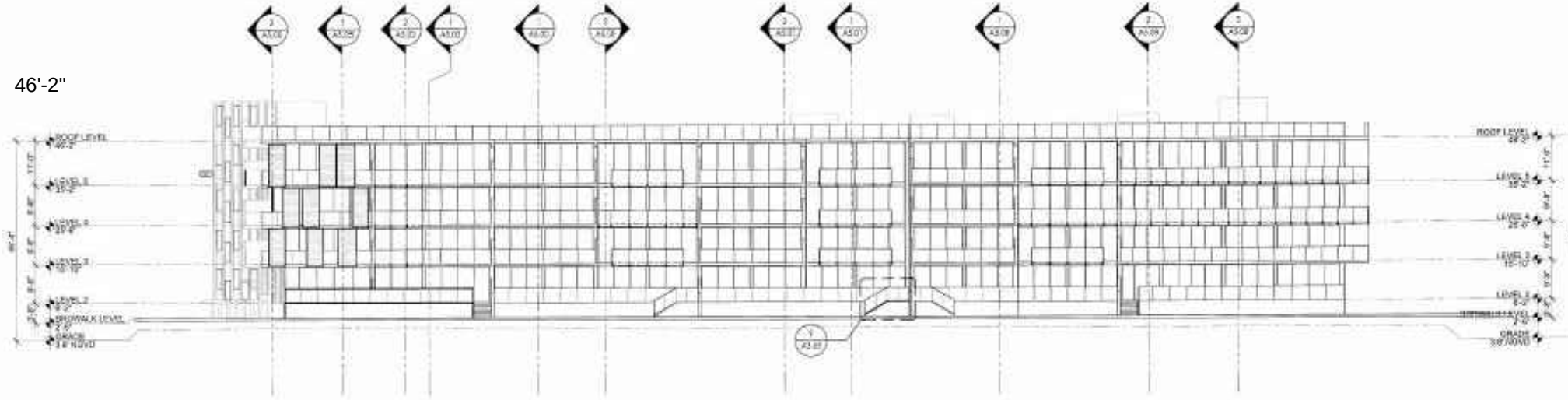


TABLE TAKE MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FT)						
	0 TO 3	GREATER THAN 3 TO 5	GREATER THAN 5 TO 10	GREATER THAN 10 TO 15	GREATER THAN 15 TO 20	GREATER THAN 20 TO 25	GREATER THAN 25
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	NO LIMIT
PROTECTED	NOT PERMITTED	10%	20%	40%	75%	NO LIMIT	NO LIMIT

NOTE:
ALL OPENINGS BELOW GROUND WILL
BE PROTECTED BY FLOOD BARRIERS

NORTH ELEVATION
1/16" = 1'-0"

1

A = AREA OF PROTECTED MASONRY OPENINGS
B = ALLOWABLE AREA OF MASONRY OPENINGS

A 8'-3" FROM PROPERTY LINE
B 1'-0" FROM PROPERTY LINE

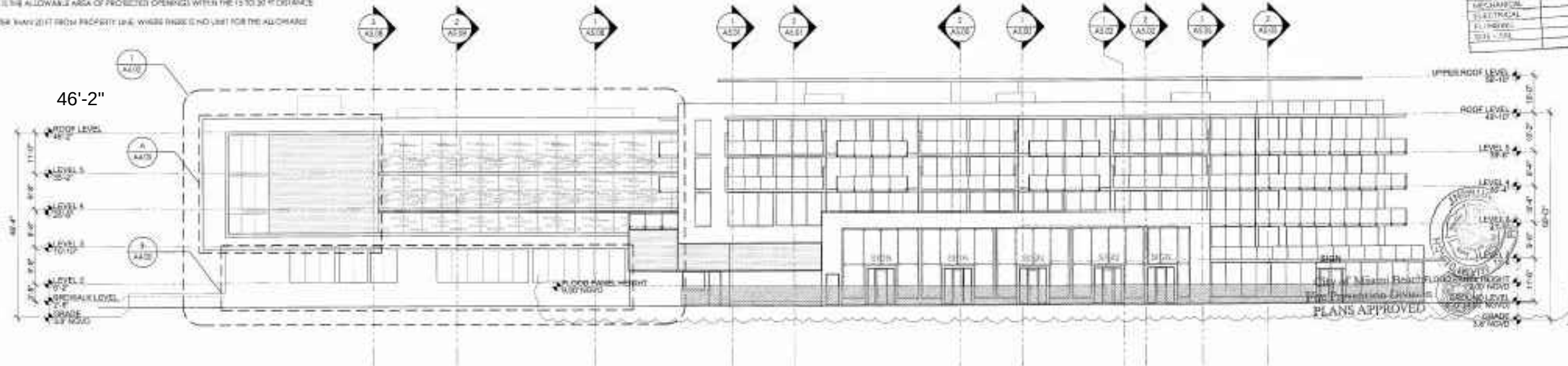
ALLOWABLE PROTECTED OPENING WITHIN 3 TO 5 FT. = 10%
PROTECTED PROTECTED OPENING WITHIN 3 TO 5 FT. = 14.8%

B 12'-0" FROM PROPERTY LINE
B 1'-0" FROM PROPERTY LINE

ALLOWABLE PROTECTED OPENING WITHIN 10 TO 15 FT. = 40%
PROTECTED PROTECTED OPENING WITHIN 10 TO 15 FT. = 41.1%

NOTE: IDENTIFIED AREA ABOVE IS THE ALLOWABLE AREA OF PROTECTED OPENINGS WITHIN THE 15 TO 30 FT DISTANCE FROM THE PROPERTY LINE.
NON IDENTIFIED AREA IS GREATER THAN 30 FT FROM PROPERTY LINE, WHICH THERE IS NO LIMIT FOR THE ALLOWABLE PROTECTED OPENING.

46'-2"



SOURCE: SHEET A-4.0
FROM APPROVED BUILDING
PERMIT B1304944

SOUTH ELEVATION
1/16" = 1'-0"

2

REVISIONS / SUBMISSIONS

NO.	DESCRIPTION	DATE
1	BUILDING DPT.	06/10/14
2		
3		
4		
5		
6		
7		
8		
9		
10		

1165

PALAU AT SUNSET HARBOUR
1201 - 1225 1237 20TH STREET
MIAMI BEACH, FLORIDA

ELEVATION
NORTH AND SOUTH

MAY 01 2014

1/16" = 1'-0"

LIC. # A40072571

ARCHITECTURE
INTERIOR DESIGN
PLANNING
AVA ASD NCARB
2011 Registered Professional
Architect
License # 1075
FL 2012-2016
WWW.KOBKARP.COM



DRAWN BY:
CHECKED BY:
DATE: 2013

A4.00



EAST ELEVATION

1/16" - 1'-0"

1

(NOTE: IDENTIFIED AREA ABOVE IS THE ALLOWABLE AREA OF PROTECTED OPENINGS WITHIN THE 13 TO 20 FT DISTANCE FROM THE PROPERTY LINE. NON-IDENTIFIED AREA IS GREATER THAN 20 FT FROM PROPERTY LINE, WHERE THERE IS NO LIMIT FOR THE ALLOWABLE PROTECTED OPENING.)



WEST ELEVATION

 $1.015^{\circ} = 1^{\circ} 09'$

(2)

1165

PALAU AT SUNSET HARBOUR
1201, 1225, 1237 26TH STREET
MIAMI BEACH, FLORIDA

A, 1225, 1237 2014 STREET
SEASIDE BEACH, FLORIDA

ELEVATION
EAST AND WEST

MAY 01 2014

UIC # A80012578

ARCHITECTURE
INTERIOR DESIGN
PLANNING

AIA ASID NCARB

2070 Macquay Boulevard
Suite 300
Miami, Florida 33131
☎ 305-575-1914
F 305-533-3166

WWW.KOBUKARP.COM

CREATED BY:	
CHECKED BY:	
DATE:	2013

A4.01