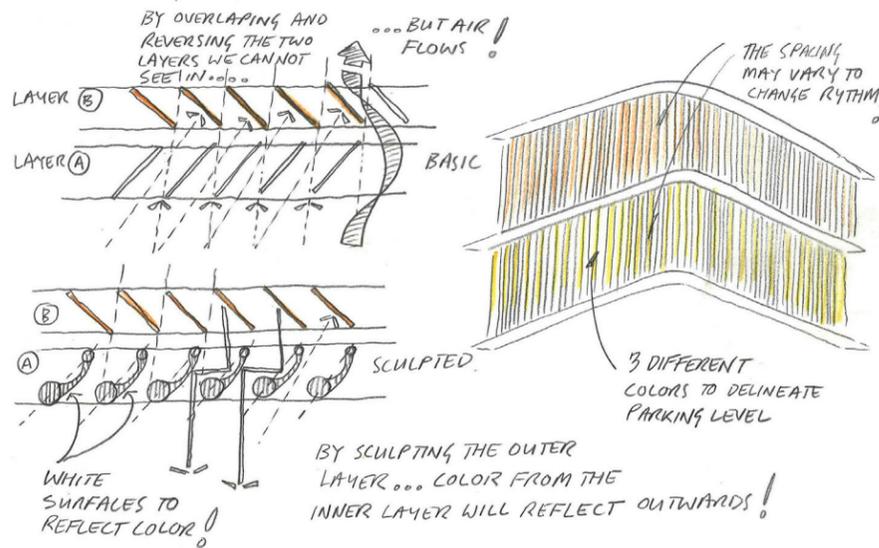
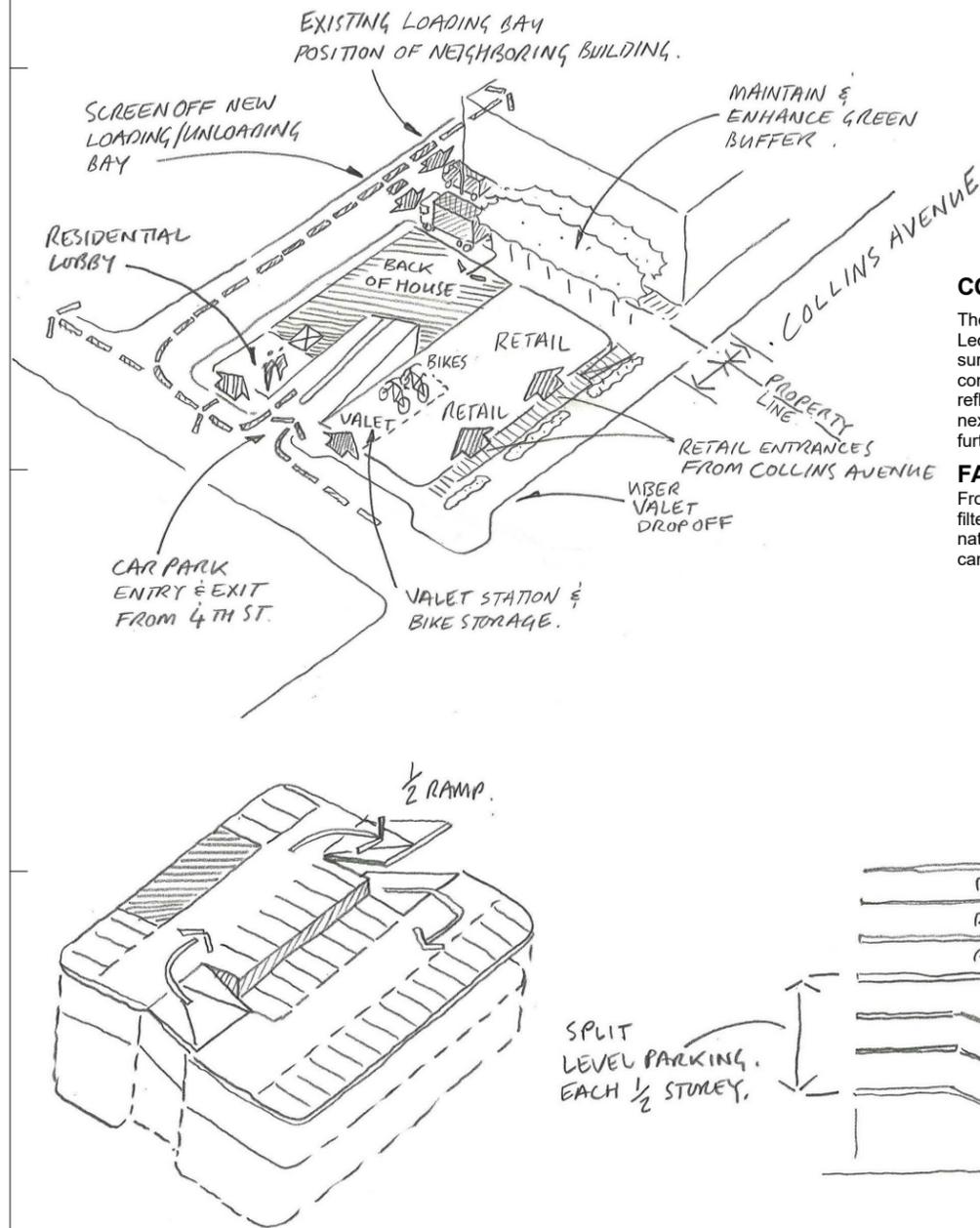


**SITE & BUILDING DIAGRAM**

The project is situated on the North West corner of Collins Avenue and 4th Street in Miami Beach. The lot area is 19,500 sq ft and is currently used as a primary purpose parking lot. The site is zoned as "mixed-use commercial" and is adjacent to residential zoning districts. The site is surrounded by ostensibly residential buildings- both single family homes and condominium buildings.

The project comprises 7,913 sq ft of ground floor retail including a 64-seat restaurant and 4,200 sq ft of retail; 3-levels of primary use public parking with 27 designated residential spaces, valet and self-parking for the restaurant and retail, along with other non-designated spaces, in all totaling 120 parking spaces (A full traffic impact report has been undertaken).

Above the 3-level parking structure, set back from each lot line and set within generously landscaped terraced gardens, there are a further 3-levels of prime residential development comprising of 15- condominium family apartments between 722 NSF - 1,625 NSF per dwelling.

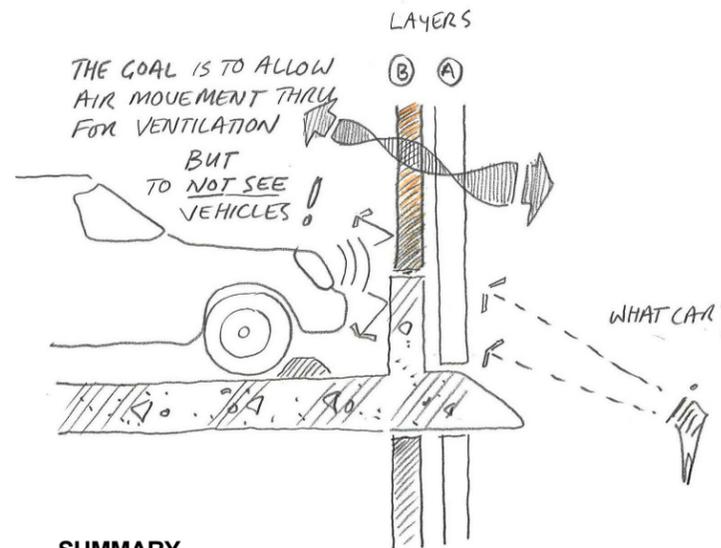


**CONTEXT & DESIGN CONCEPT**

The OCEAN BEACH PRESERVATION DISTRICT is known for its deco residential buildings and the use of a curated color palette championed by Leonard Horowitz and Barbara Capitan in the late 1970's. Taking cues from the surrounding deco architectural language, featuring both white surfaces and pastel colors, "eyebrow" horizontal features and curvilinear forms, the Torino Car Park project creates a subtle and delicate contemporary architectural response, where the scale of each parking level has been broken down to form a changing color wave of direct, reflected and obscured shades from white to magenta. The eye of the observer is drawn to an ever-varied mix of color, each floor different from the next and the intensity of color changing according to vantage point. The custom vertical white rods at times are spaced close apart and at others further apart, creating an abstract and interactive experience depending upon the viewpoint, the time of day or with seasonal weather fluctuations.

**FAÇADE**

From the inside, the inner wall of the façade design has been designated a different color according to each level. The play of filtered light from outside to inside will create a unique user experience setting the project apart from the usual perfunctory nature of parking structures. The façade design has also been ingeniously designed to shield the penetration of direct light from car headlamps to the exterior, as well as to mitigate against noise from automobiles emanating from within.



**SUMMARY**

In summary, the aims of the project are to respect the character, scale and spirit of the OCEAN BEACH PRESERVATION DISTRICT, whilst creating an uplifting and joyous piece of contemporary architecture that appears as a welcome and appropriate addition to the district from now and into the future. The changing nature of the façade with its subtle and sophisticated play of light and color will interact with passersby and residents of the neighborhood, providing an engaging connection to the built environment.

NOT FOR CONSTRUCTION

**PROJECT**

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:  
Savoy Hotel Partners, LLC  
c/o Allied Partners  
770 Lexington Ave  
17th Floor  
New York, NY 10065-8165

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1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

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SCALE: CHECKED BY:

PROJECT NO. & TITLE: 1907 TORINO GARAGE

PROJECT STATUS: PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED GRAPHIC SCALE (AS NOTED)

**SEAL & SIGNATURE**

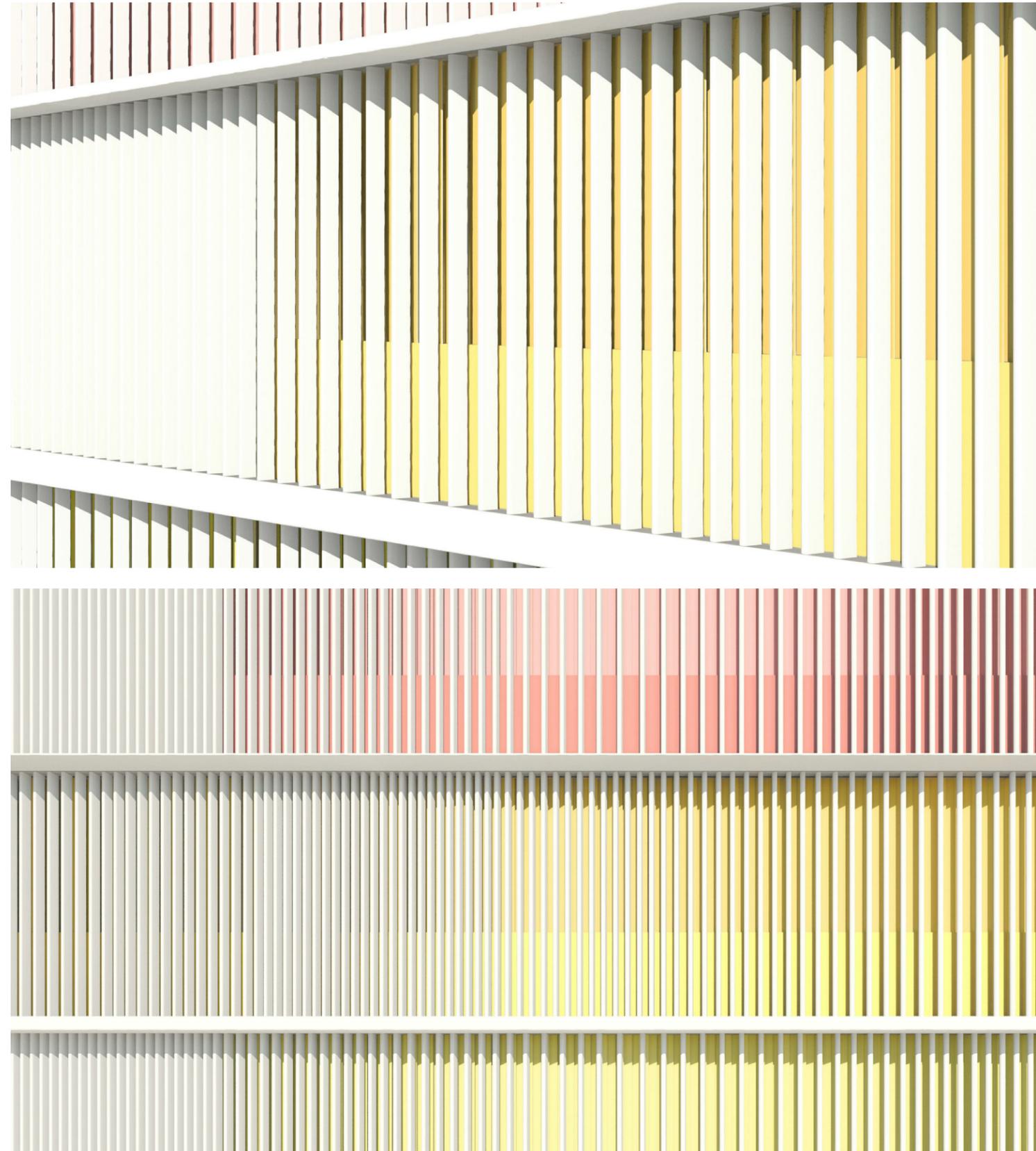
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**DRAWING TITLE**

**HPB A-073**  
PROPOSED BUILDING - NARRATIVE

ARCH D 36"x24"



PERSPECTIVE - CLOSE-UP OF FACADE FIN SYSTEM

PROJECT

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

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KEY PLAN



SCALE & ORIENTATION



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DRAWING TITLE

**HPB A-074**  
PROPOSED BUILDING -  
PERSPECTIVES

NOT FOR CONSTRUCTION



PERSPECTIVE - CLOSE-UP - LOOKING UP AT THE FACADE FROM STREET LEVEL

**PROJECT**

**TORINO GARAGE**

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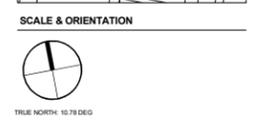
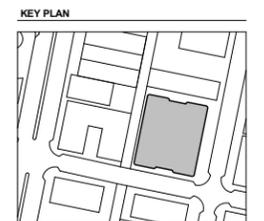
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1507 TORINO GARAGE

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PLANNING BOARD FINAL SUBMITTAL



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GRAPHIC SCALE (AS NOTED)

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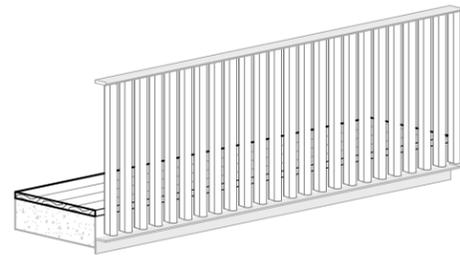
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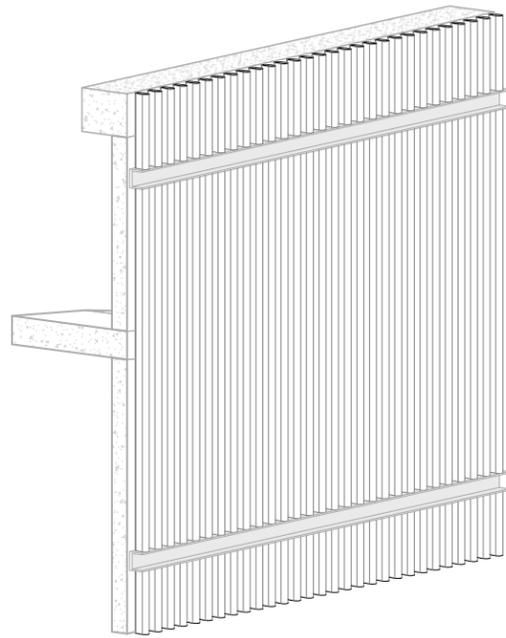


**DRAWING TITLE**  
**HPB A-075**  
PROPOSED BUILDING - PERSPECTIVES

NOT FOR CONSTRUCTION



ALUMINUM EXTRUSION BALUSTRADE



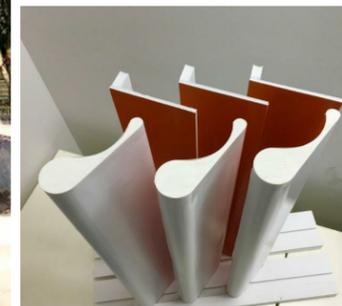
ALUMINUM EXTRUSION SCREEN



EXTERIOR & INTERIOR TERRAZZO FLOORING



SATIN WHITE & MULTI-COLORED ALUMINUM FIN FACADE



PROJECT

**TORINO GARAGE**

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1507 TORINO GARAGE

**PROJECT STATUS**  
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KEY PLAN



SCALE & ORIENTATION



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DRAWING TITLE

**HPB A-076**  
PROPOSED BUILDING - MATERIALS

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**Owner:**  
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 Firm Reg. No. LC26000548

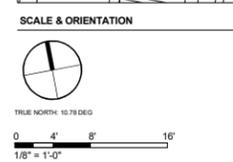
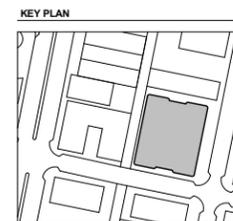
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**PROJECT NO. & TITLE**  
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**PROJECT STATUS**  
 PLANNING BOARD FINAL SUBMITTAL



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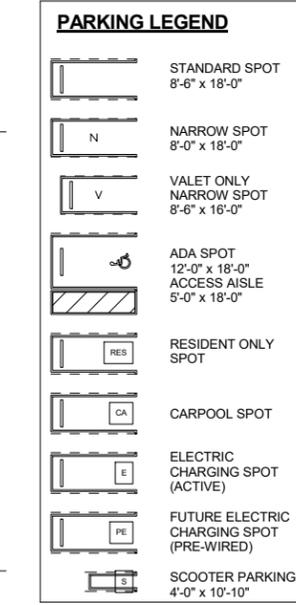
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**DRAWING TITLE**  
**HPB A-111**  
 BUILDING PLAN - LEVEL 1  
 GROUND

**PARKING COUNT**

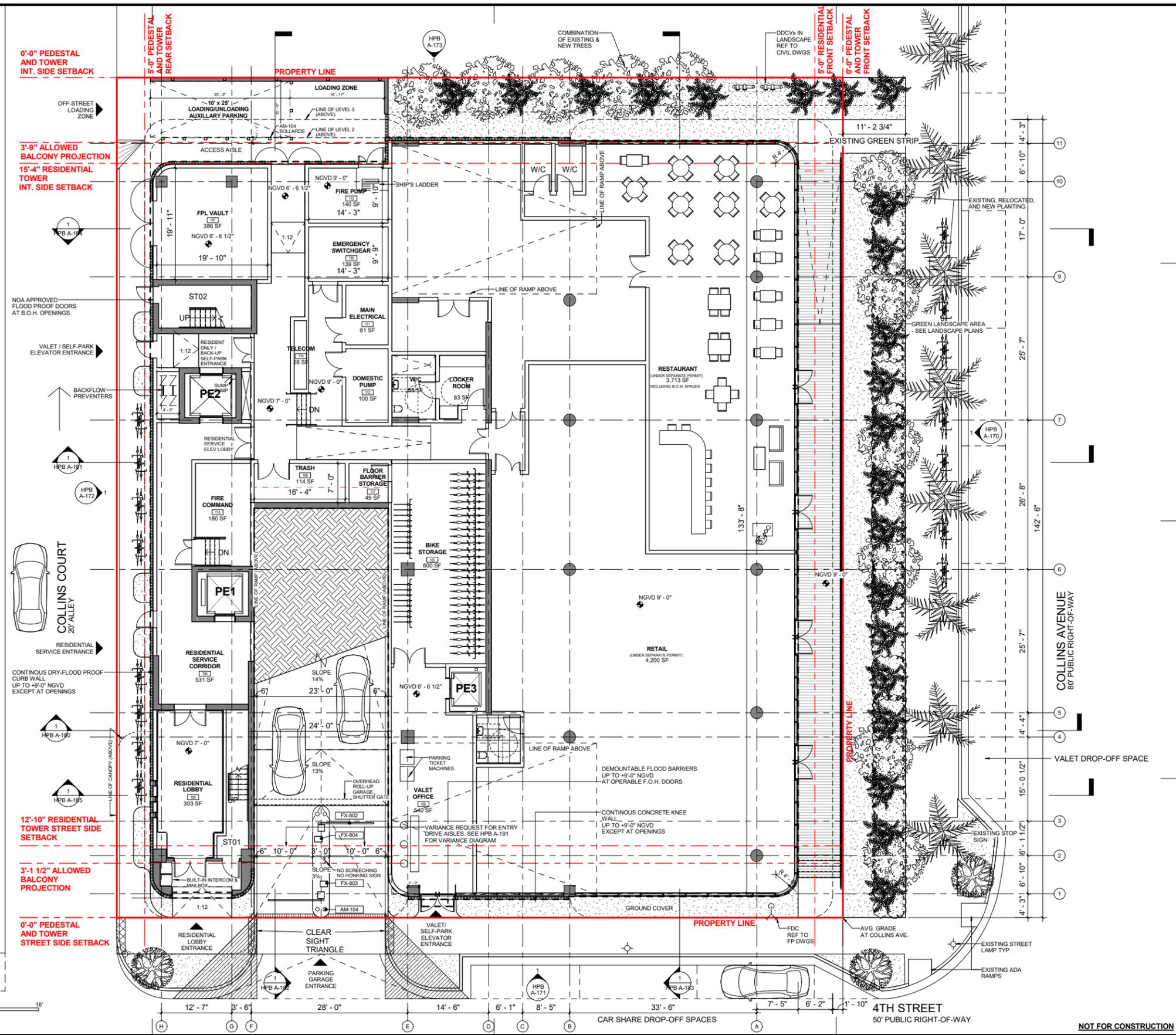
LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
<b>BLDG TOTAL</b>	<b>115</b>	<b>5</b>	<b>120</b>



--- BOUNDARY OF 2'-5 1/2" TALL CONTINUOUS CONCRETE FLOOD PROOF CURB WALL (ALL DOORS AT WALL OPENINGS ARE EITHER FIT WITH DEMOUNTABLE FLOOD BARRIER PANELS OR ARE FLOOD PROOF.)

--- DEMOUNTABLE FLOOD BARRIER PANELS

1 BP - LEVEL 01  
 1/8" = 1'-0"



NOT FOR CONSTRUCTION

ARCH D 36"x24"

PROJECT

**TORINO GARAGE**

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**Parking Consultant:**  
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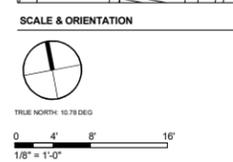
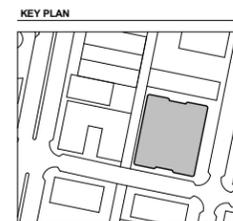
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 1507 TORINO GARAGE

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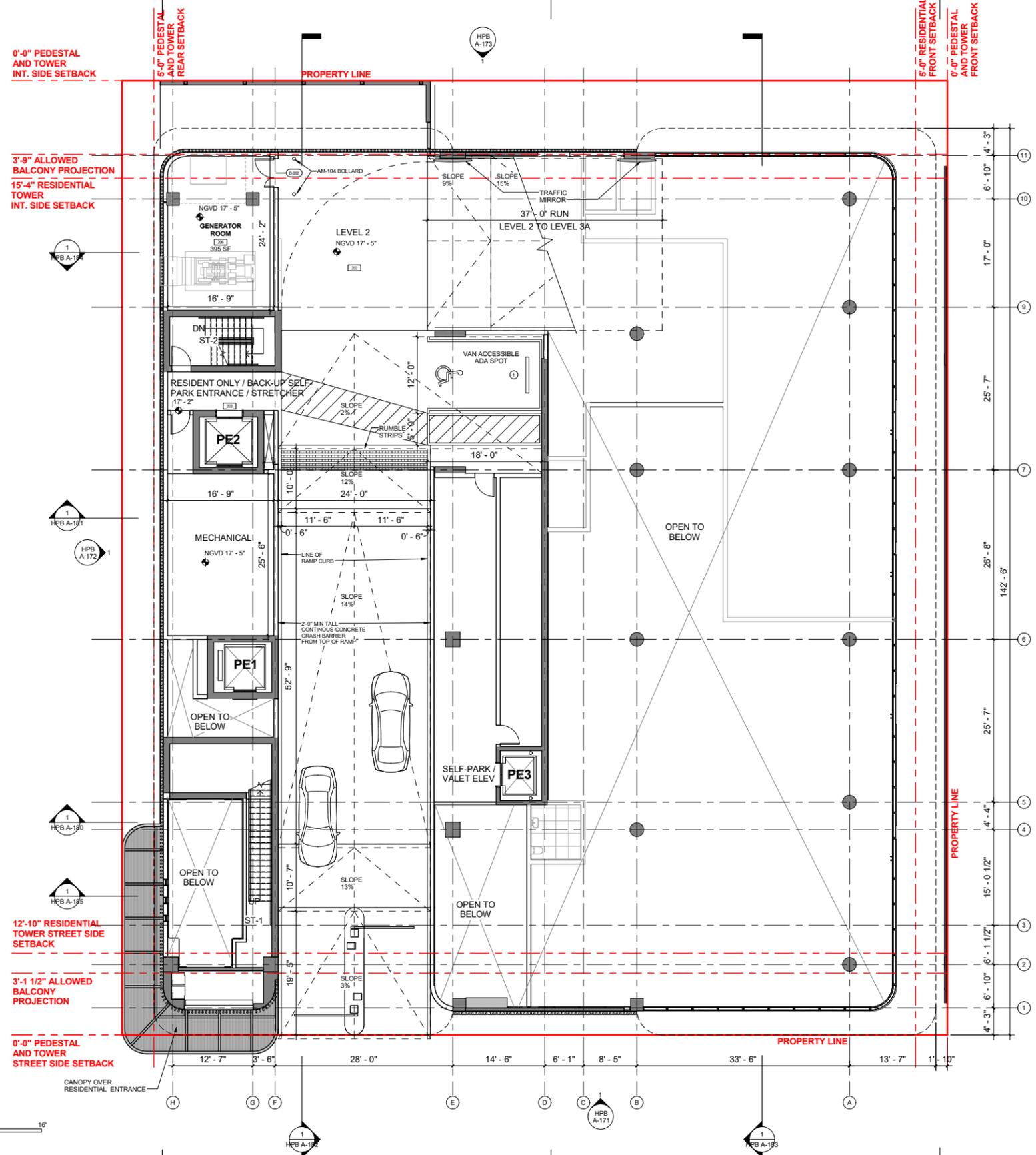
**DRAWING TITLE**  
**HPB A-112**  
 BUILDING PLAN - LEVEL 2

**PARKING COUNT**

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
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4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
<b>BLDG TOTAL</b>	<b>115</b>	<b>5</b>	<b>120</b>

**PARKING LEGEND**

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"



1 BP - LEVEL 02  
 1/8" = 1'-0"

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PROJECT

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

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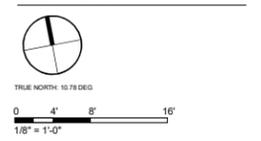
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**KEY PLAN**



**SCALE & ORIENTATION**



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**HPB A-113**  
BUILDING PLAN - LEVEL 3

**PARKING COUNT**

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
<b>BLDG TOTAL</b>	<b>115</b>	<b>5</b>	<b>120</b>

**PARKING LEGEND**

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

1 BP - LEVEL 03  
1/8" = 1'-0"



NOT FOR CONSTRUCTION

ARCH D 36"x24"

**PROJECT**  
**TORINO GARAGE**

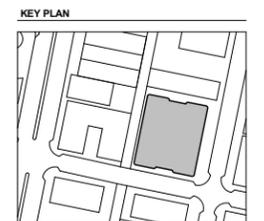
400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
 Savoy Hotel Partners, LLC  
 c/o Allied Partners  
 770 Lexington Ave  
 17B Floor  
 New York, NY 10065-8165  
**Architect:**  
 Brandon Haw Architecture LLP  
 375 Park Avenue, Suite 3308  
 New York, NY 10152  
 License # AA26003249

**CONSULTANTS**  
**Structural Engineer:**  
 DeSimone  
 800 Brickell Avenue, 6th Floor  
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**MEP Engineer:**  
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 3915 Biscayne Blvd, Suite 401  
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**Parking Consultant:**  
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 40 NW 3rd Street, Suite 1102  
 Miami, FL 33128  
**Elevator Consultant:**  
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 973-C Russell Avenue  
 Gaithersburg, MD 20879  
**Landscape Architect:**  
 Naturalica, Inc.  
 6915 Red Road, Suite 224  
 Coral Gables, FL 33143  
 Contact: Andres Arcoia  
 O: 786.717.6564 / M: 305.321.2341  
 Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

**DATE OF ISSUE**      **DRAWN BY**  
 04/15/19                      -  
**SCALE**                      **CHECKED BY**  
 As Indicated                      -

**PROJECT NO. & TITLE**  
 1507 TORINO GARAGE  
**PROJECT STATUS**  
 PLANNING BOARD FINAL SUBMITTAL



**SCALE & ORIENTATION**

**SEAL & SIGNATURE**

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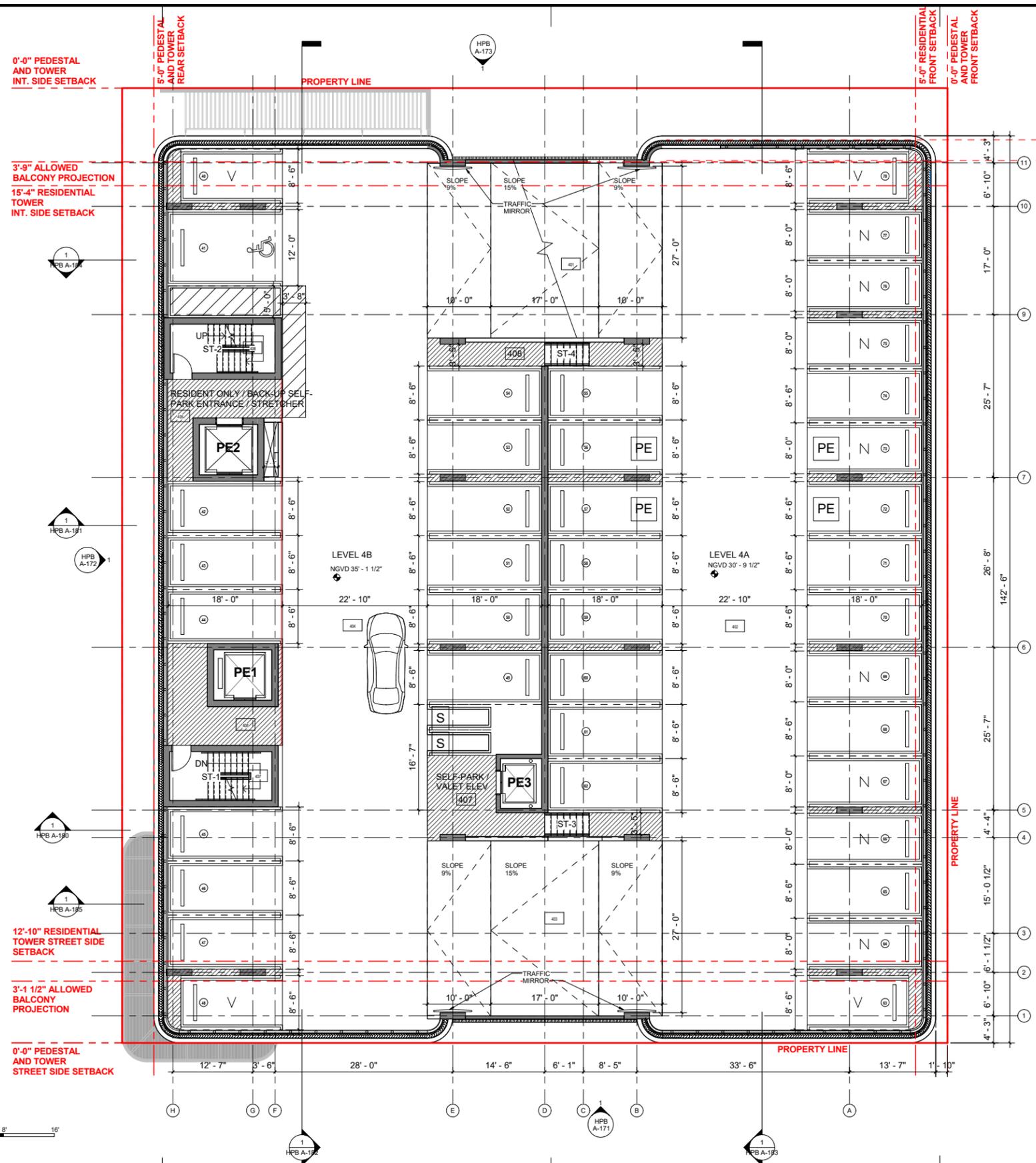
**DRAWING TITLE**  
**HPB A-114**  
 BUILDING PLAN - LEVEL 4

**PARKING COUNT**

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
<b>BLDG TOTAL</b>	<b>115</b>	<b>5</b>	<b>120</b>

**PARKING LEGEND**

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"



1 BP - LEVEL 04  
 1/8" = 1'-0"

NOT FOR CONSTRUCTION

**PROJECT**  
**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
 Savoy Hotel Partners, LLC  
 c/o Allied Partners  
 770 Lexington Ave  
 17B Floor  
 New York, NY 10065-8165  
**Architect:**  
 Brandon Haw Architecture LLP  
 375 Park Avenue, Suite 3308  
 New York, NY 10152  
 License # AA26003249

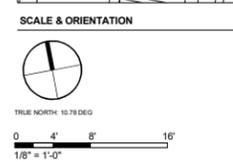
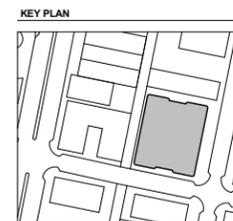
**CONSULTANTS**  
**Structural Engineer:**  
 DeSimone  
 800 Brickell Avenue, 6th Floor  
 Miami, FL 33131  
**MEP Engineer:**  
 Stanlec  
 3915 Biscayne Blvd, Suite 401  
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**Civil Engineer:**  
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 260 Palermo Avenue  
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**Parking Consultant:**  
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 40 NW 3rd Street, Suite 1102  
 Miami, FL 33128  
**Elevator Consultant:**  
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 1507 TORINO GARAGE  
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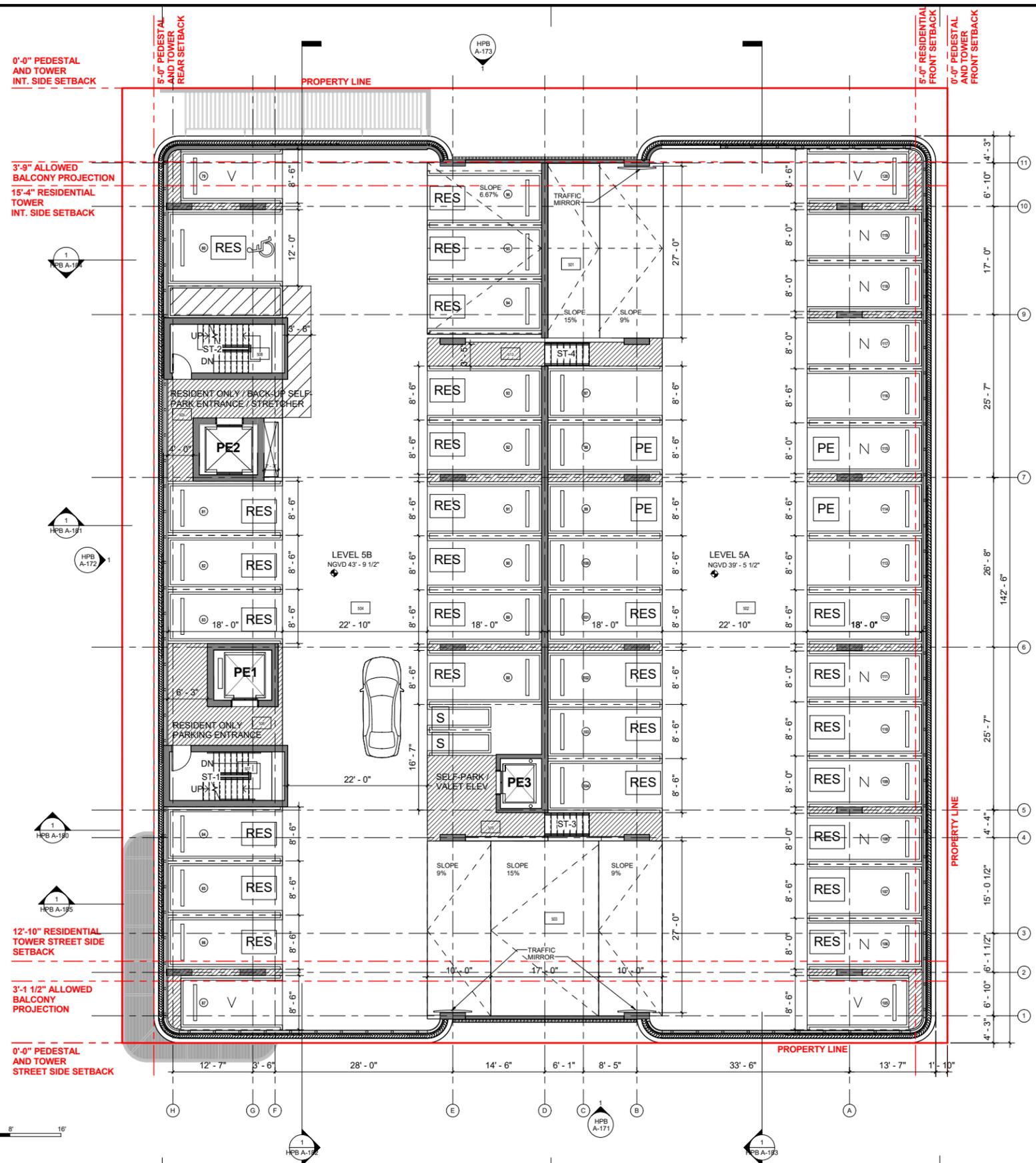
**DRAWING TITLE**  
**HPB A-115**  
 BUILDING PLAN - LEVEL 5

**PARKING COUNT**

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
<b>BLDG TOTAL</b>	<b>115</b>	<b>5</b>	<b>120</b>

**PARKING LEGEND**

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"



1 BP - LEVEL 05  
 1/8" = 1'-0"

NOT FOR CONSTRUCTION

**ROOFING NOTES**

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE, THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4" .12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMP IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. O.S. = OVERFLOW SCUPPER.
9. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKIN PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

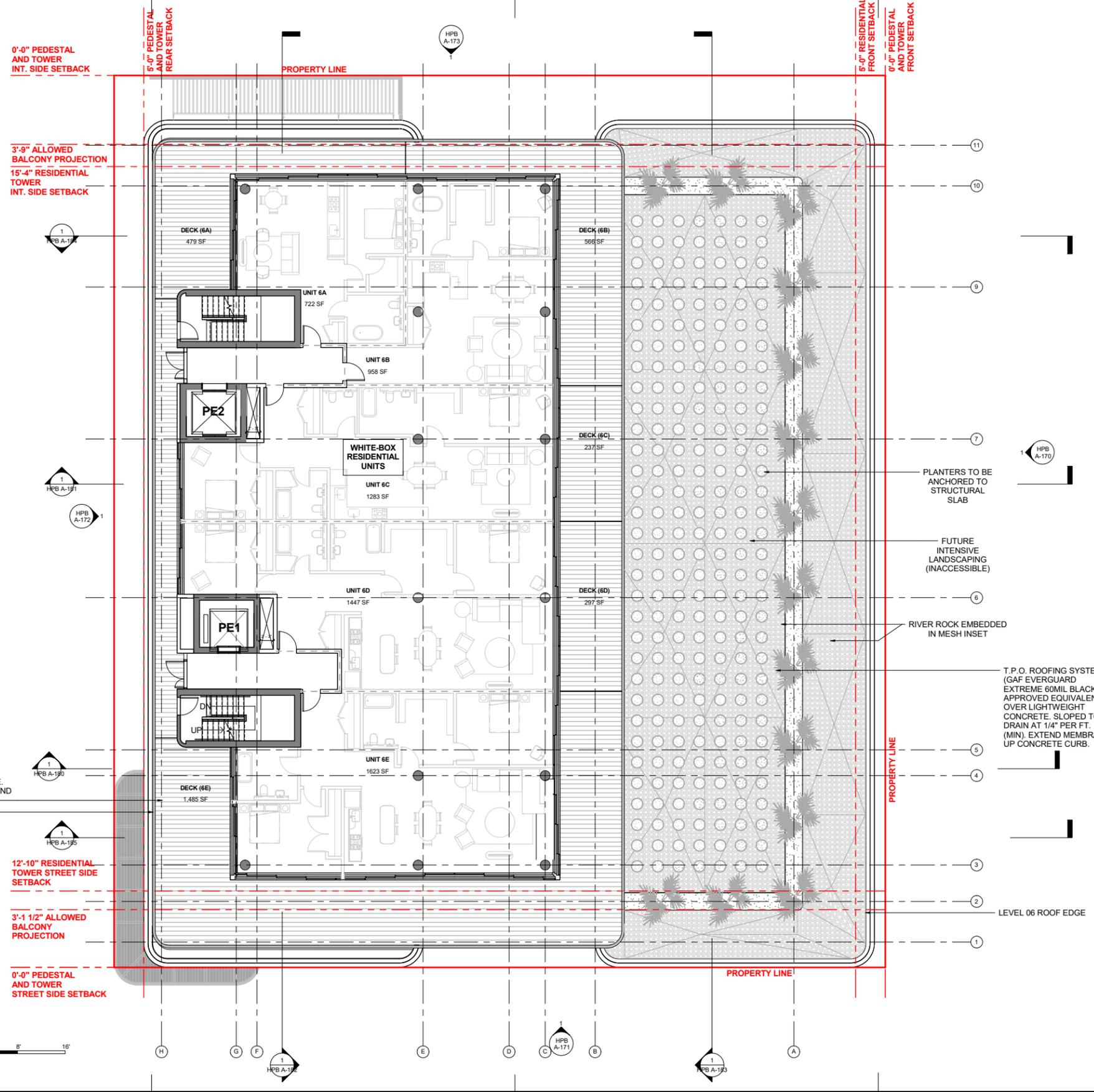
**KEY**

- ☐ ROOF DRAIN
- ☐ DECK DRAIN
- ☐ PLANTER DRAIN
- ☐ TRENCH DRAIN RAIN WATER LEADER
- ☐ SIDE OUTLET SCUPPER DRAIN
- ☐ TRENCH DRAIN

**LEVEL 6 UNITS**

LEVEL	INTERIOR	EXTERIOR	TOTAL
6A	722 NSF	479 NSF	1,201 NSF
6B	958 NSF	566 NSF	1,524 NSF
6C	1,283 NSF	237 NSF	1,520 NSF
6D	1,447 NSF	297 NSF	1,744 NSF
6E	1,623 NSF	1,485 NSF	3,108 NSF
<b>TOTAL</b>	<b>6,033 NSF</b>	<b>3,064 NSF</b>	<b>9,097 NSF</b>

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.  
 LINE OF 42" TALL BALUSTRADE



2 BP - LEVEL 06 - RESIDENTIAL  
 1/8" = 1'-0"

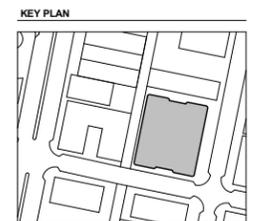
**PROJECT**

**TORINO GARAGE**  
 400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
 Savoy Hotel Partners, LLC  
 c/o Allied Partners  
 770 Lexington Ave  
 17th Floor  
 New York, NY 10065-8165  
**Architect:**  
 Brandon Haw Architecture LLP  
 375 Park Avenue, Suite 3308  
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 License # AA26003249

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Miami, FL 33131
  - MEP Engineer:**  
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3915 Biscayne Blvd, Suite 401  
Miami, FL 33137-3737
  - Civil Engineer:**  
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260 Palermo Avenue  
Coral Gables, FL 33134
  - Parking Consultant:**  
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Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

**DATE OF ISSUE**      **DRAWN BY**  
 04/15/19                      -  
**SCALE**                      **CHECKED BY**  
 1/8" = 1'-0"                      -  
**PROJECT NO. & TITLE**  
 1507 TORINO GARAGE  
**PROJECT STATUS**  
 PLANNING BOARD FINAL SUBMITTAL



**SCALE & ORIENTATION**

**SEAL & SIGNATURE**  
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**DRAWING TITLE**  
**HPB A-116**  
 BUILDING PLAN - LEVEL 6 - RESIDENTIAL 01

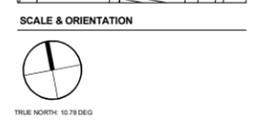
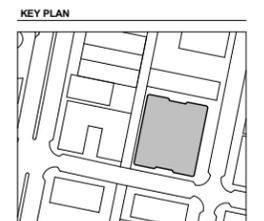
**NOT FOR CONSTRUCTION**

400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
 Savoy Hotel Partners, LLC  
 c/o Allied Partners  
 770 Lexington Ave  
 17th Floor  
 New York, NY 10065-8165  
**Architect:**  
 Brandon Haw Architecture LLP  
 375 Park Avenue, Suite 3308  
 New York, NY 10152  
 License # AA26003249

**CONSULTANTS**  
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 800 Brickell Avenue, 6th Floor  
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**MEP Engineer:**  
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**Civil Engineer:**  
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 260 Palermo Avenue  
 Coral Gables, FL 33134  
**Parking Consultant:**  
 Timothy Haha & Associates, Inc.  
 40 NW 3rd Street, Suite 1102  
 Miami, FL 33128  
**Elevator Consultant:**  
 Van Deusen & Associates, Inc.  
 8201 Peters Road, Suite 1000  
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**Acoustic Consultant:**  
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 O: 786.717.6564 / M: 305.321.2341  
 Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

**DATE OF ISSUE**      **DRAWN BY**  
 04/15/19  
**SCALE**      **CHECKED BY**  
 1/8" = 1'-0"  
**PROJECT NO. & TITLE**  
 1507 TORINO GARAGE  
**PROJECT STATUS**  
 PLANNING BOARD FINAL SUBMITTAL



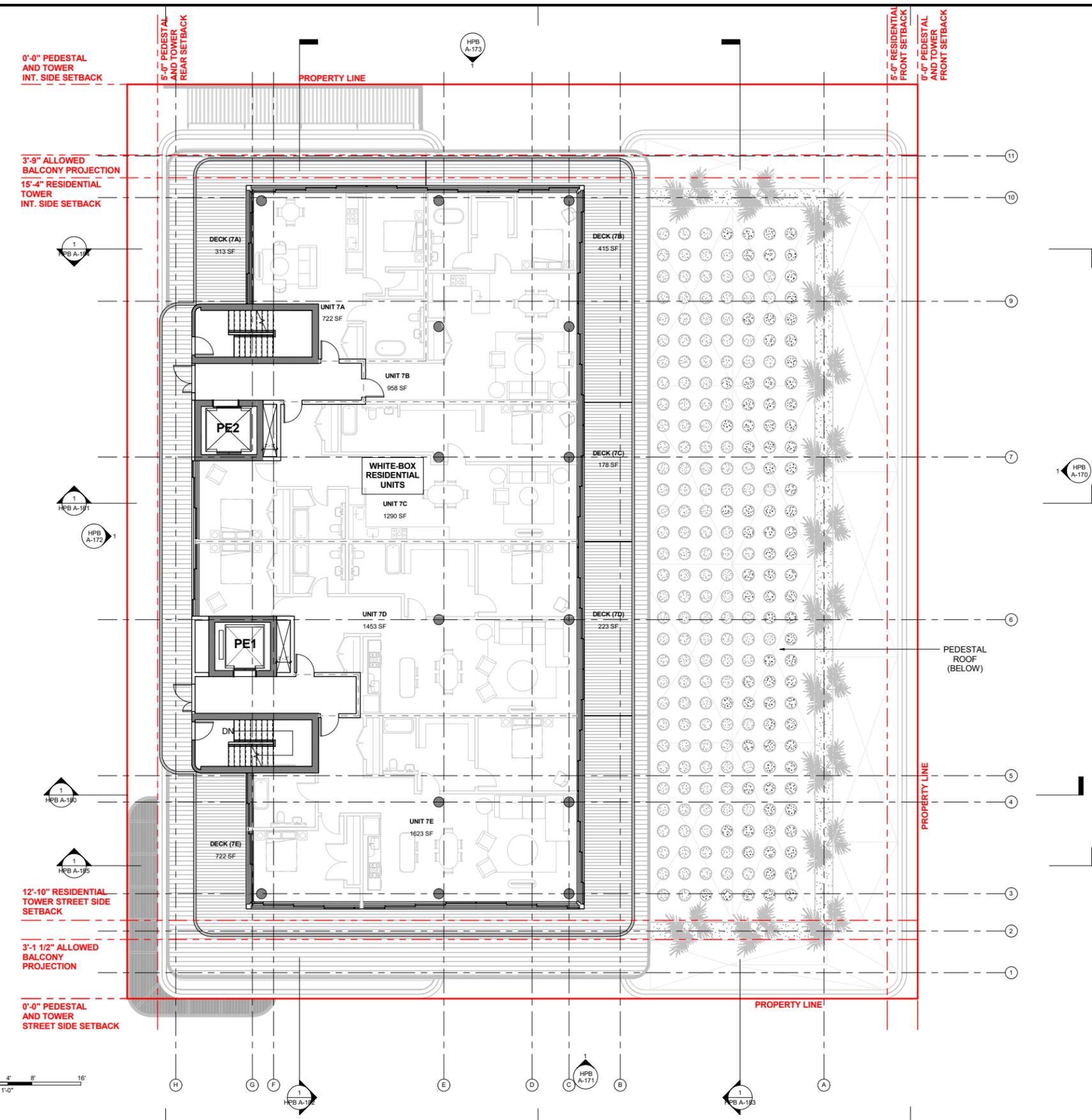
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**DRAWING TITLE**  
**HPB A-117**  
 BUILDING PLAN - LEVEL 7 -  
 RESIDENTIAL 02

**LEVEL 7 UNITS**

LEVEL	INTERIOR	EXTERIOR	TOTAL
7A	722 NSF	313 NSF	1,035 NSF
7B	958 NSF	415 NSF	1,373 NSF
7C	1,290 NSF	178 NSF	1,468 NSF
7D	1,453 NSF	223 NSF	1,676 NSF
7E	1,623 NSF	722 NSF	2,345 NSF
<b>TOTAL</b>	<b>6,046 NSF</b>	<b>1,851 NSF</b>	<b>7,897 NSF</b>



1 BP - LEVEL 07 - RESIDENTIAL  
 1/8" = 1'-0"

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PROJECT

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

**Owner:**  
Savoy Hotel Partners, LLC  
c/o Allied Partners  
770 Lexington Ave  
17B Floor  
New York, NY 10065-8165

**Architect:**  
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375 Park Avenue, Suite 3308  
New York, NY 10152  
License # AA26003249

**CONSULTANTS**

**Structural Engineer:**  
DeSimone  
800 Brickell Avenue, 6th Floor  
Miami, FL 33131

**MEP Engineer:**  
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3915 Biscayne Blvd, Suite 401  
Miami, FL 33137-3737

**Civil Engineer:**  
VSN Engineering, Inc.  
8660 W. Flagler Street, Suite 113  
Miami, FL 33144

**Geo-tech Engineer:**  
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Miami Lakes, FL 33016-5948

**Life Safety Consultant:**  
SLS Consulting, Inc.  
260 Palermo Avenue  
Coral Gables, FL 33134

**Parking Consultant:**  
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40 NW 3rd Street, Suite 1102  
Miami, FL 33128

**Elevator Consultant:**  
Van Deusen & Associates, Inc.  
8201 Peters Road, Suite 1000  
Plantation, FL 33324

**Acoustic Consultant:**  
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973-C Russell Avenue  
Gaithersburg, MD 20879

**Landscape Architect:**  
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DATE OF ISSUE DRAWN BY

04/15/19

SCALE CHECKED BY

1/8" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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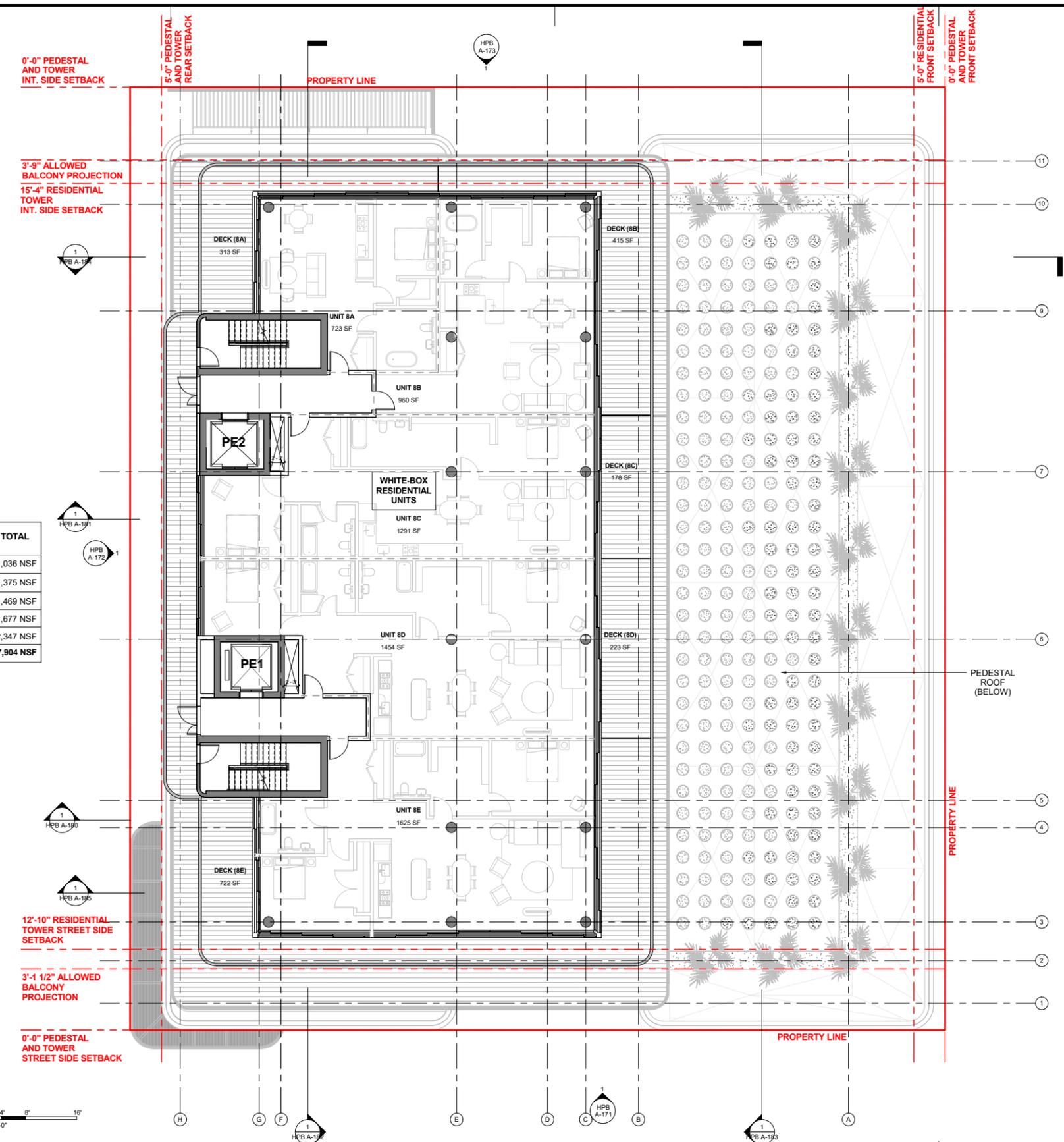
DRAWING TITLE

**HPB A-118**  
BUILDING PLAN - LEVEL 8 -  
RESIDENTIAL 03

NOT FOR CONSTRUCTION

**LEVEL 8 UNITS**

LEVEL	INTERIOR	EXTERIOR	TOTAL
8A	723 NSF	313 NSF	1,036 NSF
8B	960 NSF	415 NSF	1,375 NSF
8C	1,291 NSF	178 NSF	1,469 NSF
8D	1,454 NSF	223 NSF	1,677 NSF
8E	1,625 NSF	722 NSF	2,347 NSF
<b>TOTAL</b>	<b>6,053 NSF</b>	<b>1,851 NSF</b>	<b>7,904 NSF</b>



1 BP - LEVEL 08 - RESIDENTIAL  
1/8" = 1'-0"



**ROOFING NOTES**

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE. THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4" : 12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMPS IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL.
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. O.S. = OVERFLOW SCUPPER.
9. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKIN PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

**KEY**

- ROOF DRAIN
- DECK DRAIN
- PLANTER DRAIN
- TRENCH DRAIN RAIN WATER LEADER
- SIDE OUTLET SCUPPER DRAIN
- TRENCH DRAIN

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL WHITE OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE WITH MIN. R-19 RIGID INSULATION. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.

LINE OF 42" TALL GLASS BALUSTRADE

PEDESTAL ROOF (BELOW)

LINE OF 42" TALL GLASS BALUSTRADE

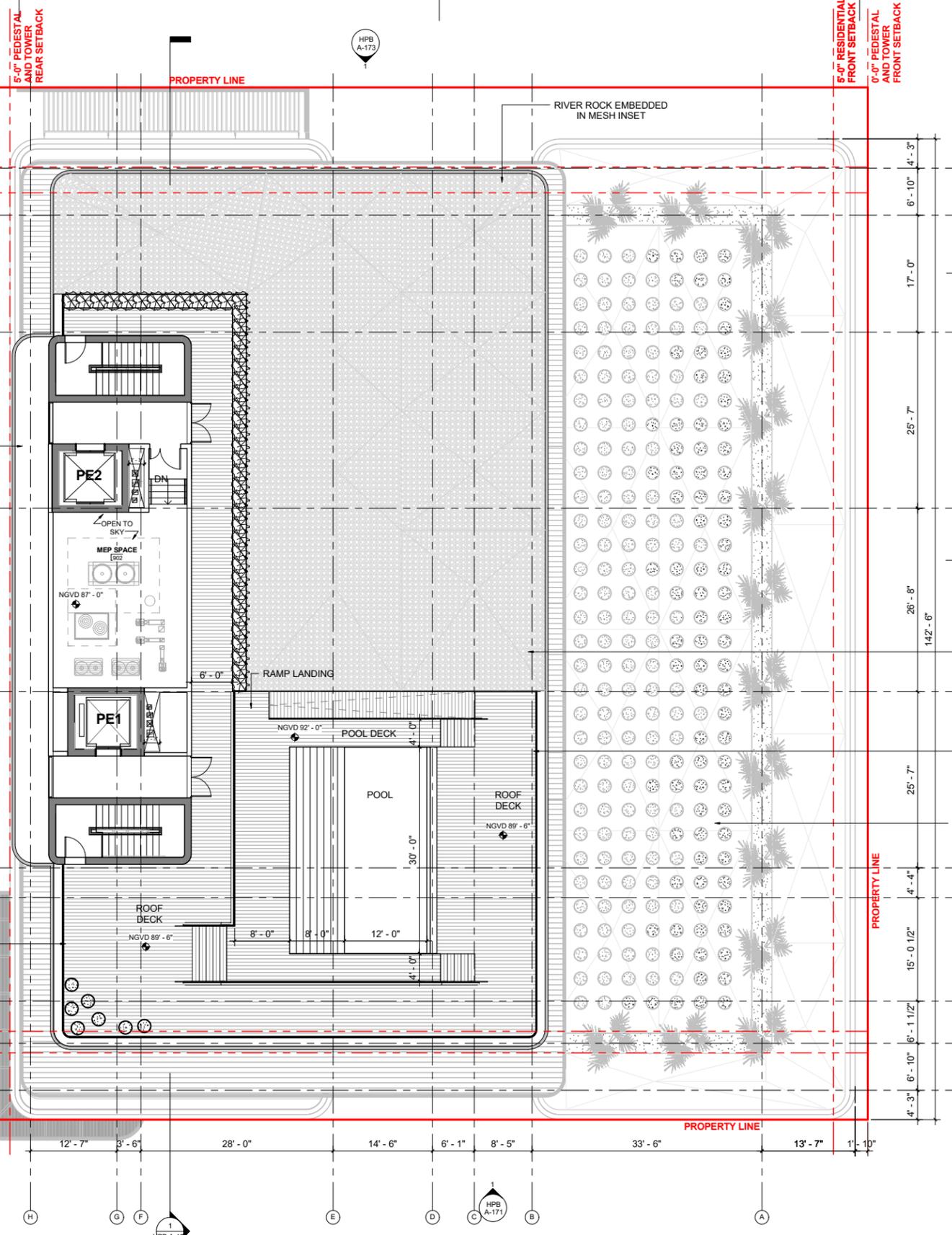
12'-10" RESIDENTIAL TOWER STREET SIDE SETBACK

3'-1 1/2" ALLOWED BALCONY PROJECTION

0'-0" PEDESTAL AND TOWER STREET SIDE SETBACK

0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK

3'-9" ALLOWED BALCONY PROJECTION  
15'-4" RESIDENTIAL TOWER INT. SIDE SETBACK



1 BP - LEVEL 09 - ROOF LEVEL  
1/8" = 1'-0"

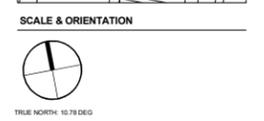
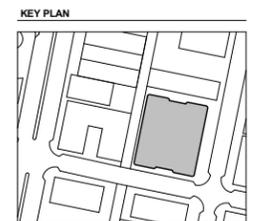


**PROJECT**  
**TORINO GARAGE**  
400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
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**CONSULTANTS**  
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**MEP Engineer:**  
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**Civil Engineer:**  
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NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

**DATE OF ISSUE** DRAWN BY  
04/15/19  
**SCALE** CHECKED BY  
1/8" = 1'-0"  
**PROJECT NO. & TITLE**  
1507 TORINO GARAGE  
**PROJECT STATUS**  
PLANNING BOARD FINAL SUBMITTAL



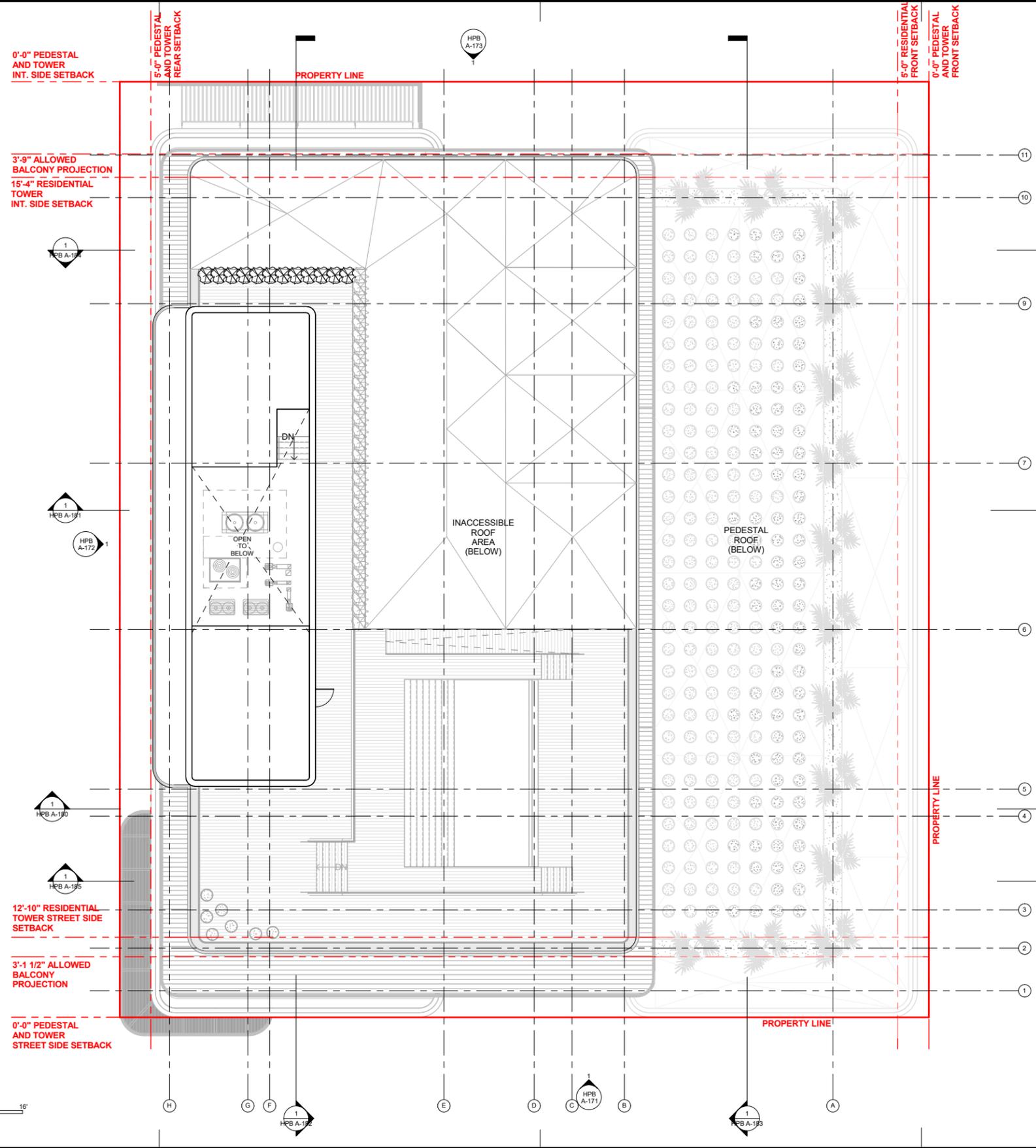
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GRAPHIC SCALE (AS NOTED)

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**DRAWING TITLE**  
**HPB A-119**  
BUILDING PLAN - LEVEL 9 ROOF DECK

NOT FOR CONSTRUCTION



**ROOFING NOTES**

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE, THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4" : 12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMPS IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL.
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. O.S. = OVERFLOW SCUPPER.
9. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKING PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

**KEY**

- ROOF DRAIN
- DECK DRAIN
- PLANTER DRAIN
- TRENCH DRAIN RAIN WATER LEADER
- SIDE OUTLET SCUPPER DRAIN
- TRENCH DRAIN

**PROJECT**

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
 Savory Hotel Partners, LLC  
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1/8" = 1'-0"      -

**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



TRUE NORTH: 15.78 DEG

SCALE AS NOTED  
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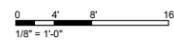
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**DRAWING TITLE**

**HPB A-120**  
 BUILDING PLAN - ROOF PLAN

1 BP - ROOF PLAN  
 1/8" = 1'-0"



**NOT FOR CONSTRUCTION**

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

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KEY PLAN



SCALE & ORIENTATION



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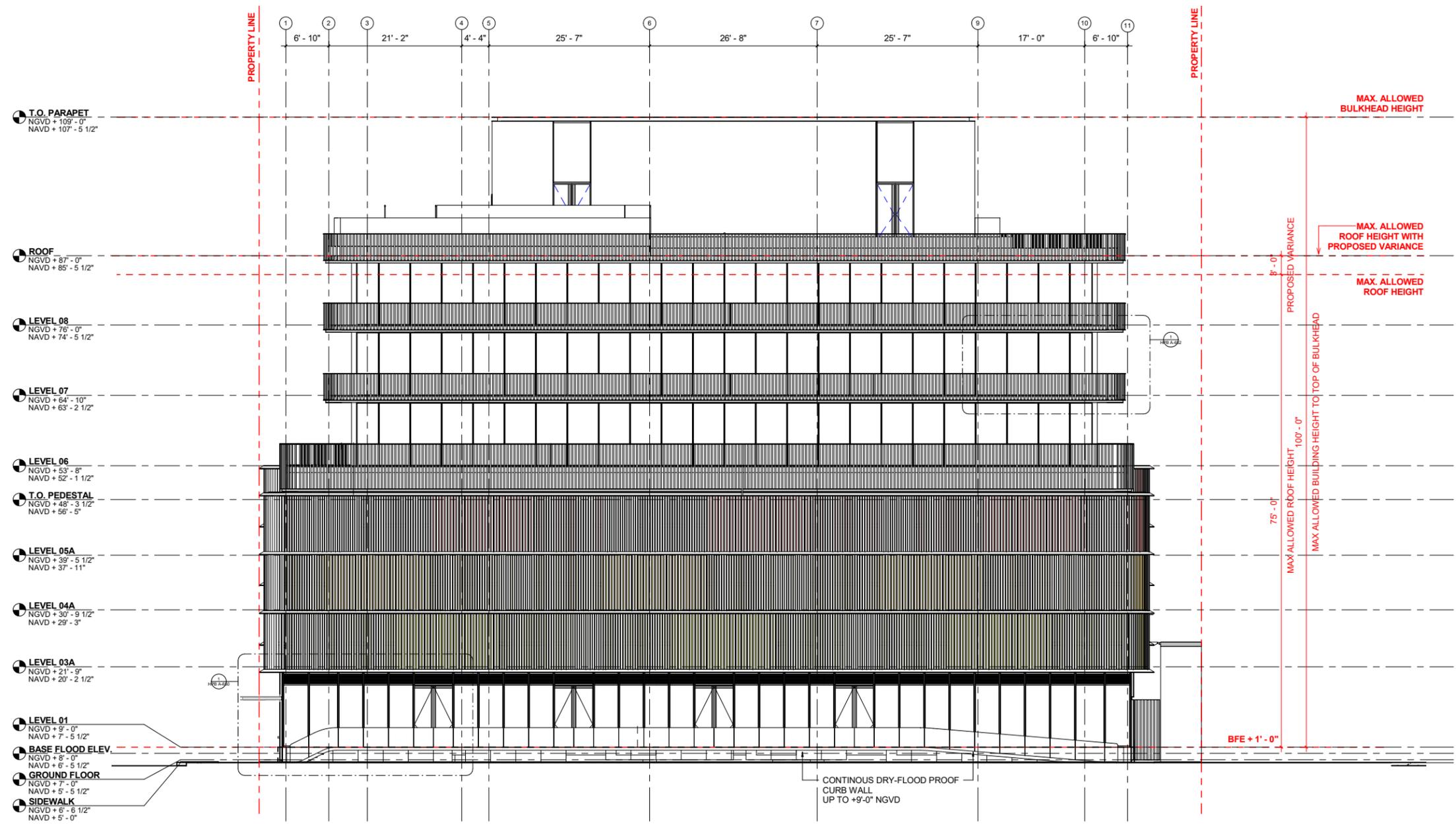
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DRAWING TITLE

**HPB A-170**  
PROPOSED BUILDING ELEVATION  
- EAST

NOT FOR CONSTRUCTION



**TORINO GARAGE**

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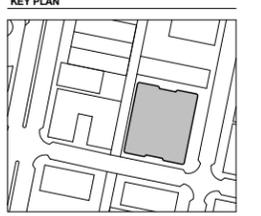
**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



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GRAPHIC SCALE (AS SHOWN)

**SEAL & SIGNATURE**

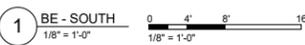
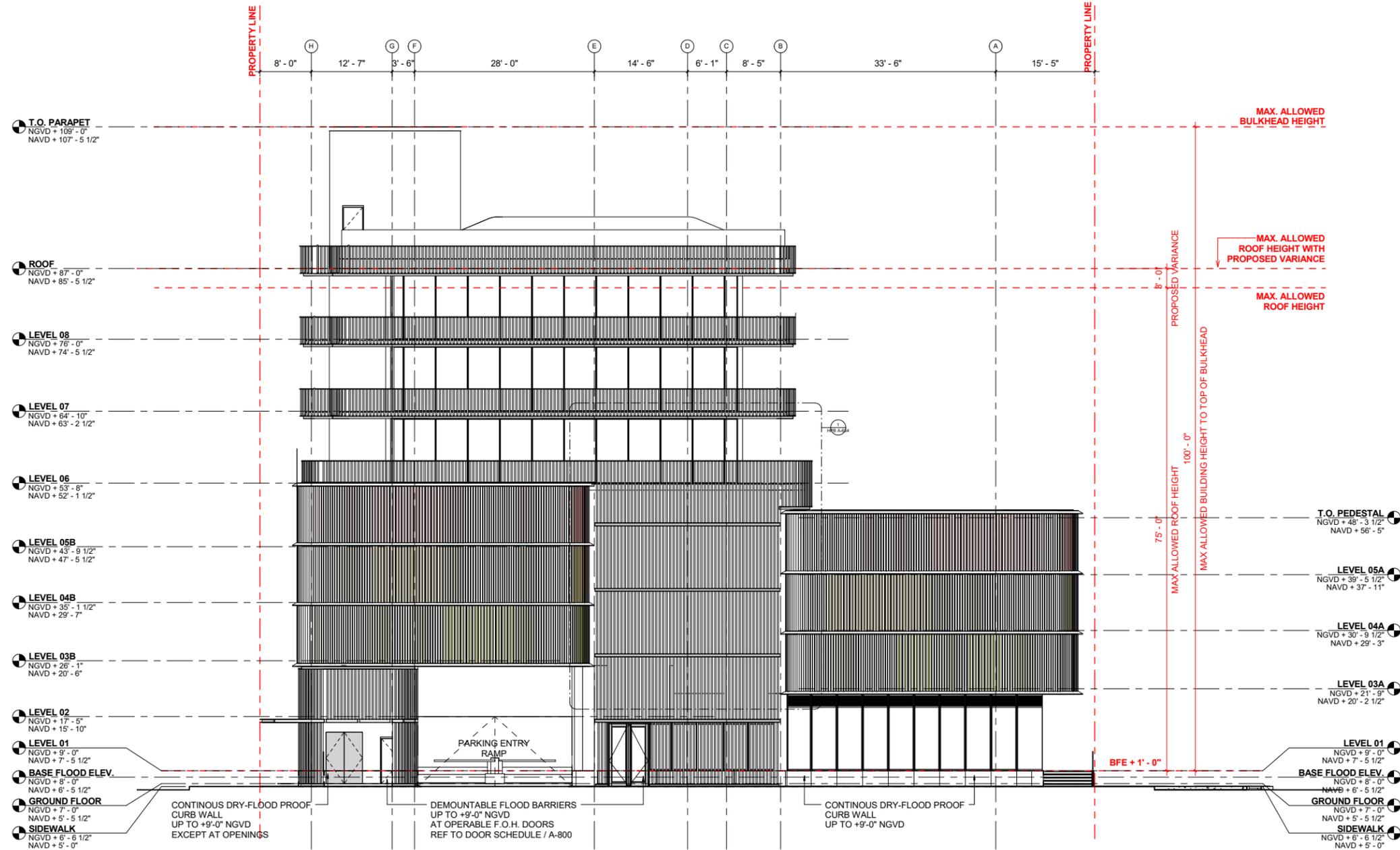
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**DRAWING TITLE**

**HPB A-171**  
PROPOSED BUILDING ELEVATION  
- SOUTH

NOT FOR CONSTRUCTION



**TORINO GARAGE**

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04/15/19      -

**SCALE**      **CHECKED BY**

1/8" = 1'-0"      -

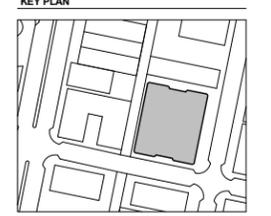
**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED  
GRAPHIC SCALE (AS NOTED)

**SEAL & SIGNATURE**

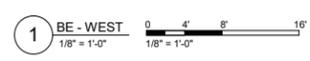
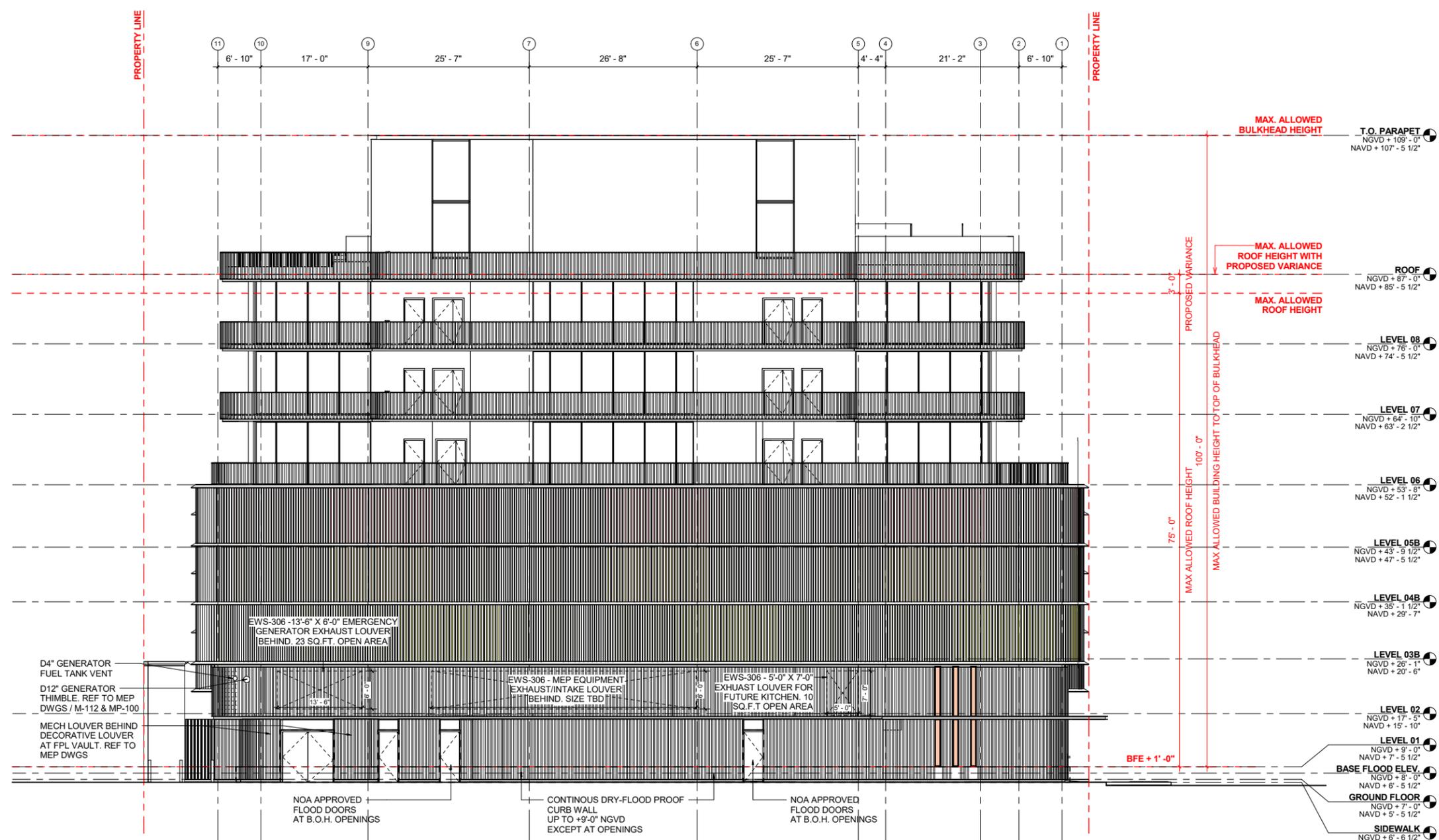
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**DRAWING TITLE**

**HPB A-172**  
PROPOSED BUILDING ELEVATION  
- WEST

NOT FOR CONSTRUCTION



**TORINO GARAGE**

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1/8" = 1'-0"      -

**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



TRUE NORTH: 15.75 DEG

**SCALE AS NOTED**

GRAPHIC SCALE (AS NOTED)

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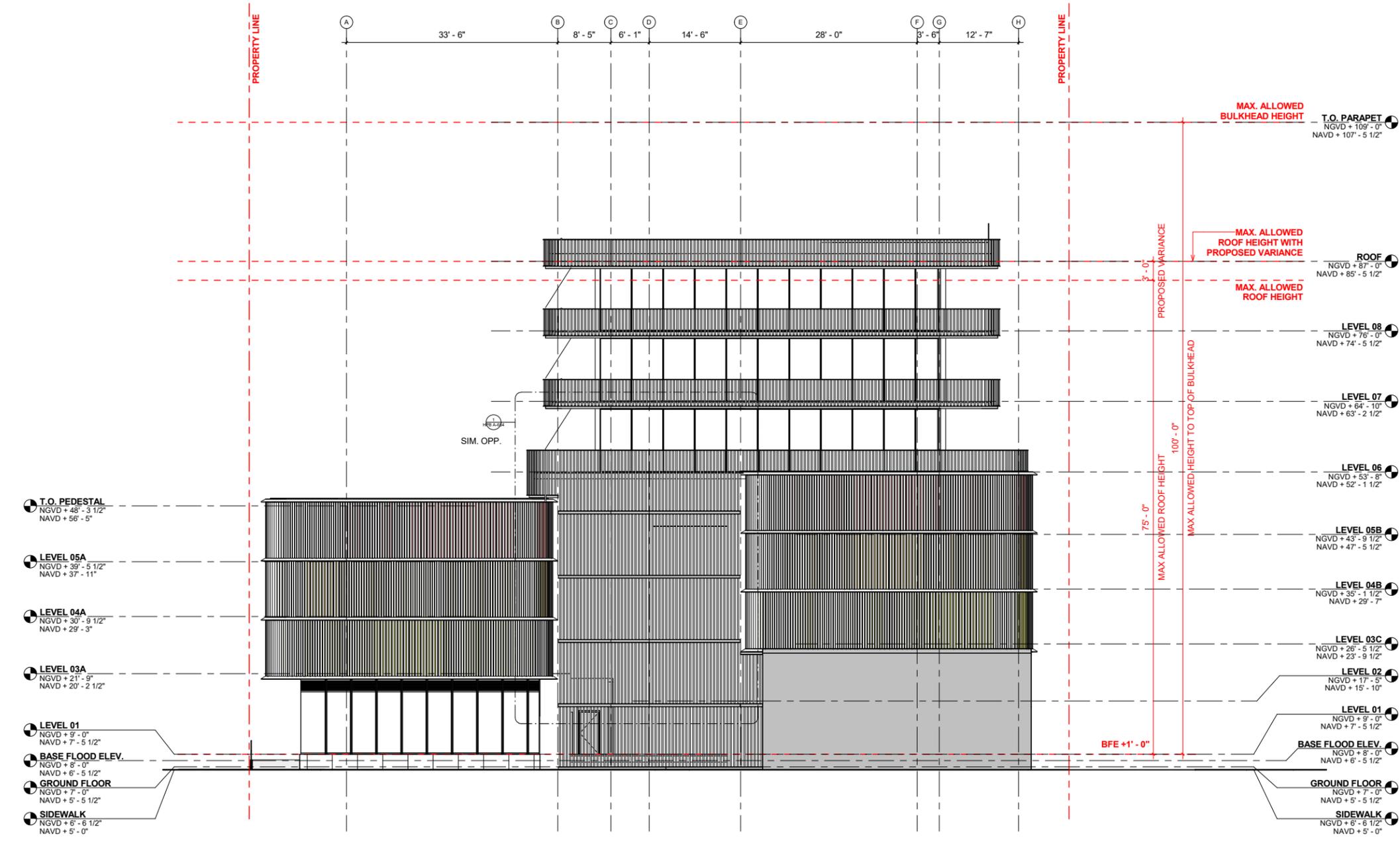
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**DRAWING TITLE**

**HPB A-173**  
PROPOSED BUILDING ELEVATION  
- NORTH

NOT FOR CONSTRUCTION



**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139  
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**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



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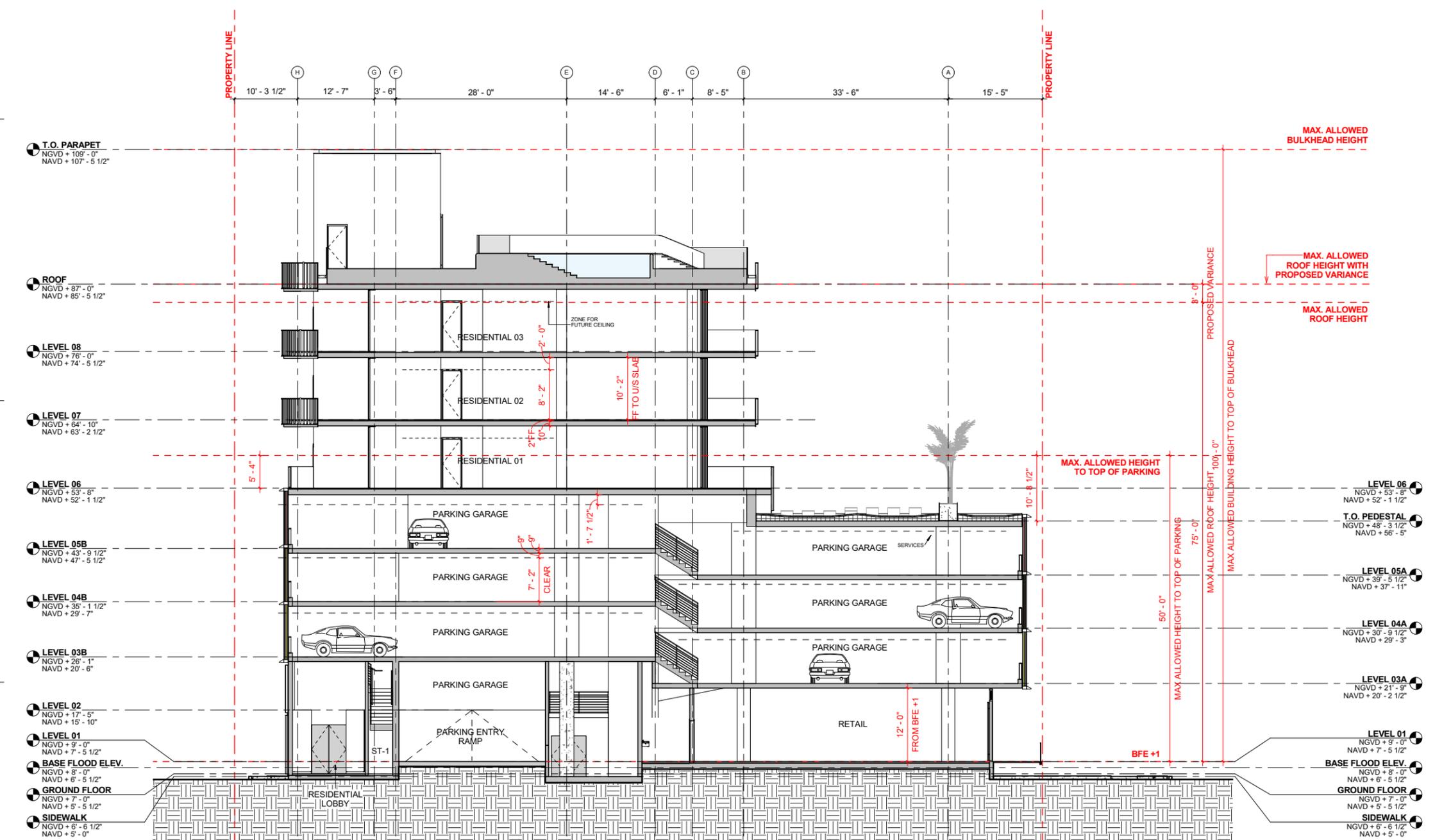
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**DRAWING TITLE**

**HPB A-180**  
 BUILDING SECTION 01



1 BUILDING SECTION - EW - THRU PARKING LEVEL C AND D  
 1/8" = 1'-0"



NOT FOR CONSTRUCTION

**TORINO GARAGE**

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PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 15.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

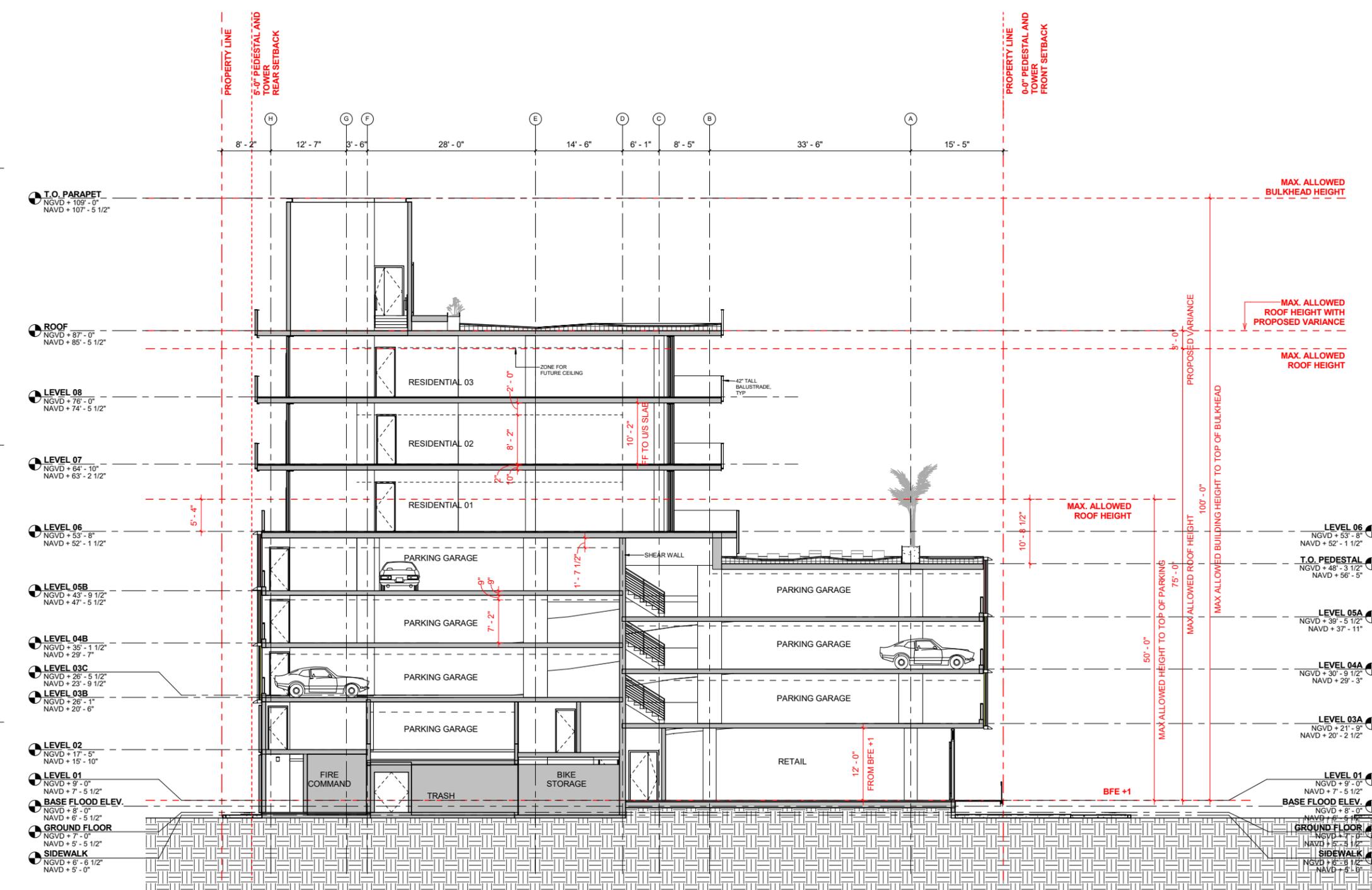
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DRAWING TITLE

**HPB A-181**  
BUILDING SECTION 02



1 BUILDING SECTION - EW - THRU SLOPED PARKING TIERS AND BULKHEAD  
1/8" = 1'-0"



NOT FOR CONSTRUCTION

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1507 TORINO GARAGE

**PROJECT STATUS**  
PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED  
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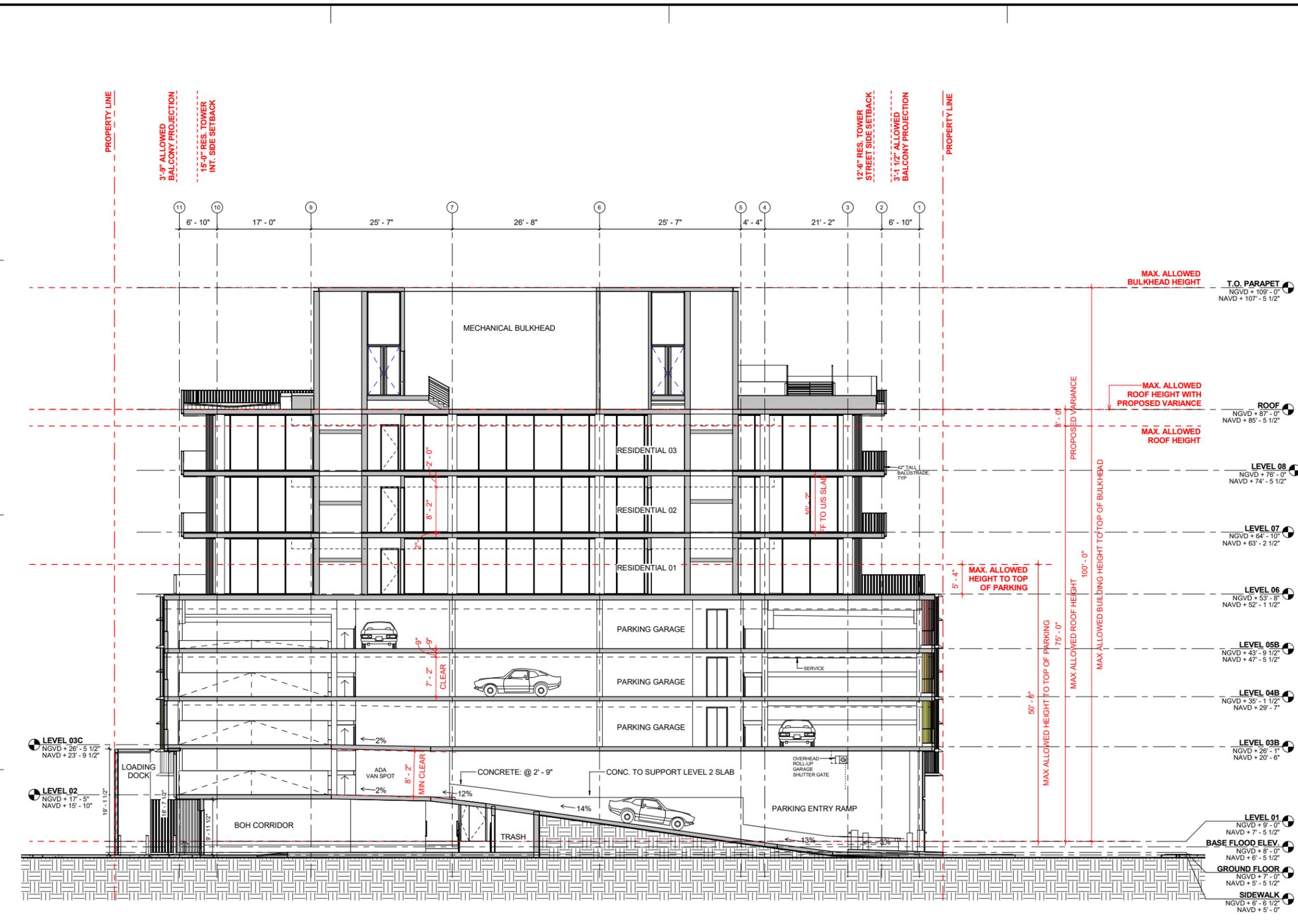
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**DRAWING TITLE**

**HPB A-182**  
BUILDING SECTION 03

NOT FOR CONSTRUCTION

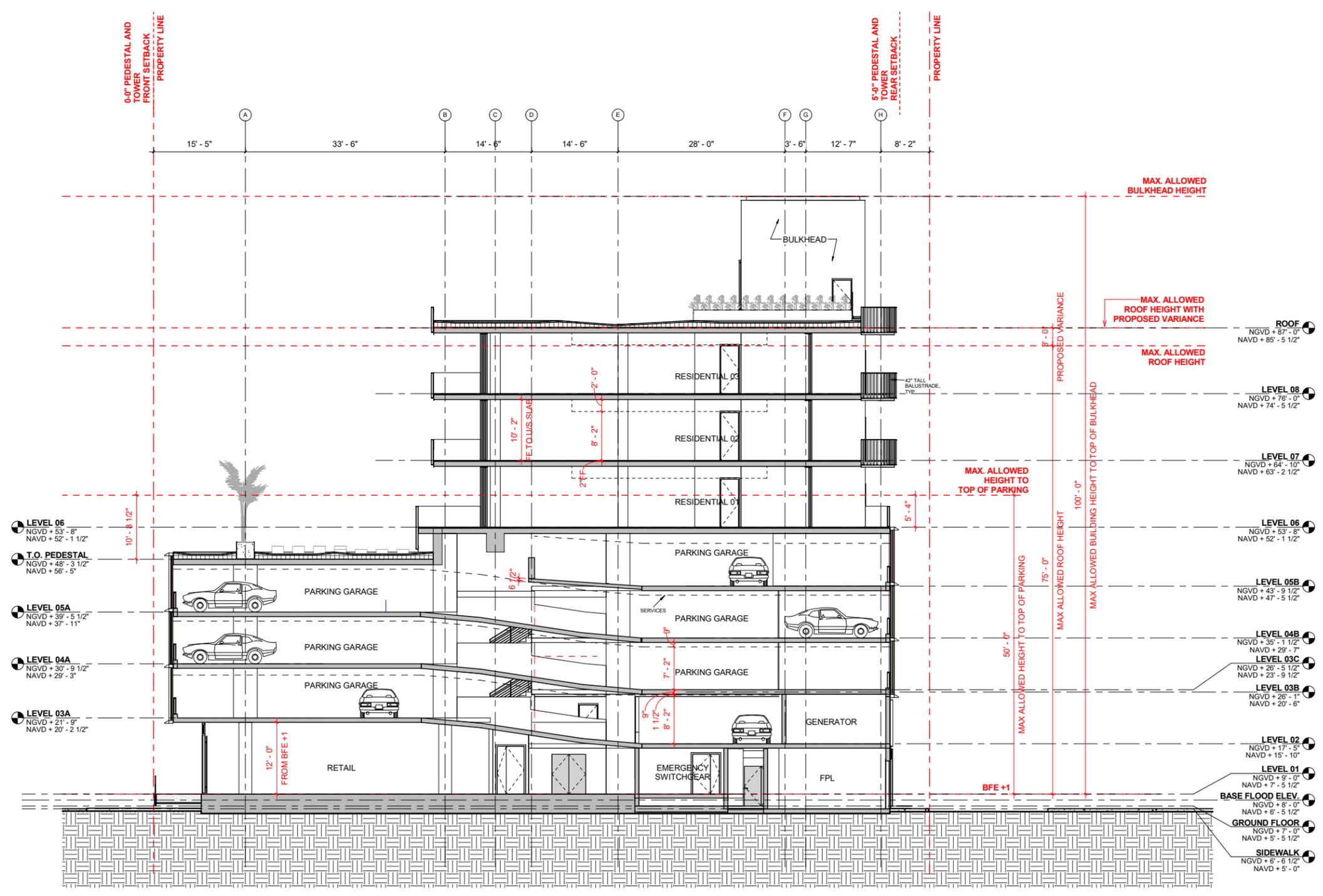


**1 BUILDING SECTION - NS - THRU PARKING ENTRY RAMP**  
1/8" = 1'-0"



NOT FOR CONSTRUCTION





1 BUILDING SECTION - EW - THRU PARKING LEVEL D AND A  
1/8" = 1'-0"  
0 4' 8' 16'  
1/8" = 1'-0"

**PROJECT**

**TORINO GARAGE**  
400 COLLINS AVE., MIAMI BEACH, FL 33139  
**Owner:**  
Savoy Hotel Partners, LLC  
c/o Allied Partners  
770 Lexington Ave  
17th Floor  
New York, NY 10065-8165  
**Architect:**  
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License # AA26003249

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Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

**DATE OF ISSUE**      **DRAWN BY**

04/15/19  
1/8" = 1'-0"

**SCALE**      **CHECKED BY**

1/8" = 1'-0"

**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED  
GRAPHIC SCALE (AS NOTED)

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**DRAWING TITLE**

**HPB A-184**  
BUILDING SECTION 05

NOT FOR CONSTRUCTION

**TORINO GARAGE**

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**DATE OF ISSUE**      **DRAWN BY**

04/15/19

**SCALE**      **CHECKED BY**

1/8" = 1'-0"

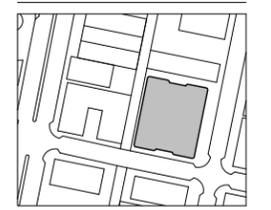
**PROJECT NO. & TITLE**

1507 TORINO GARAGE

**PROJECT STATUS**

PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED  
GRAPHIC SCALE (AS NOTED)

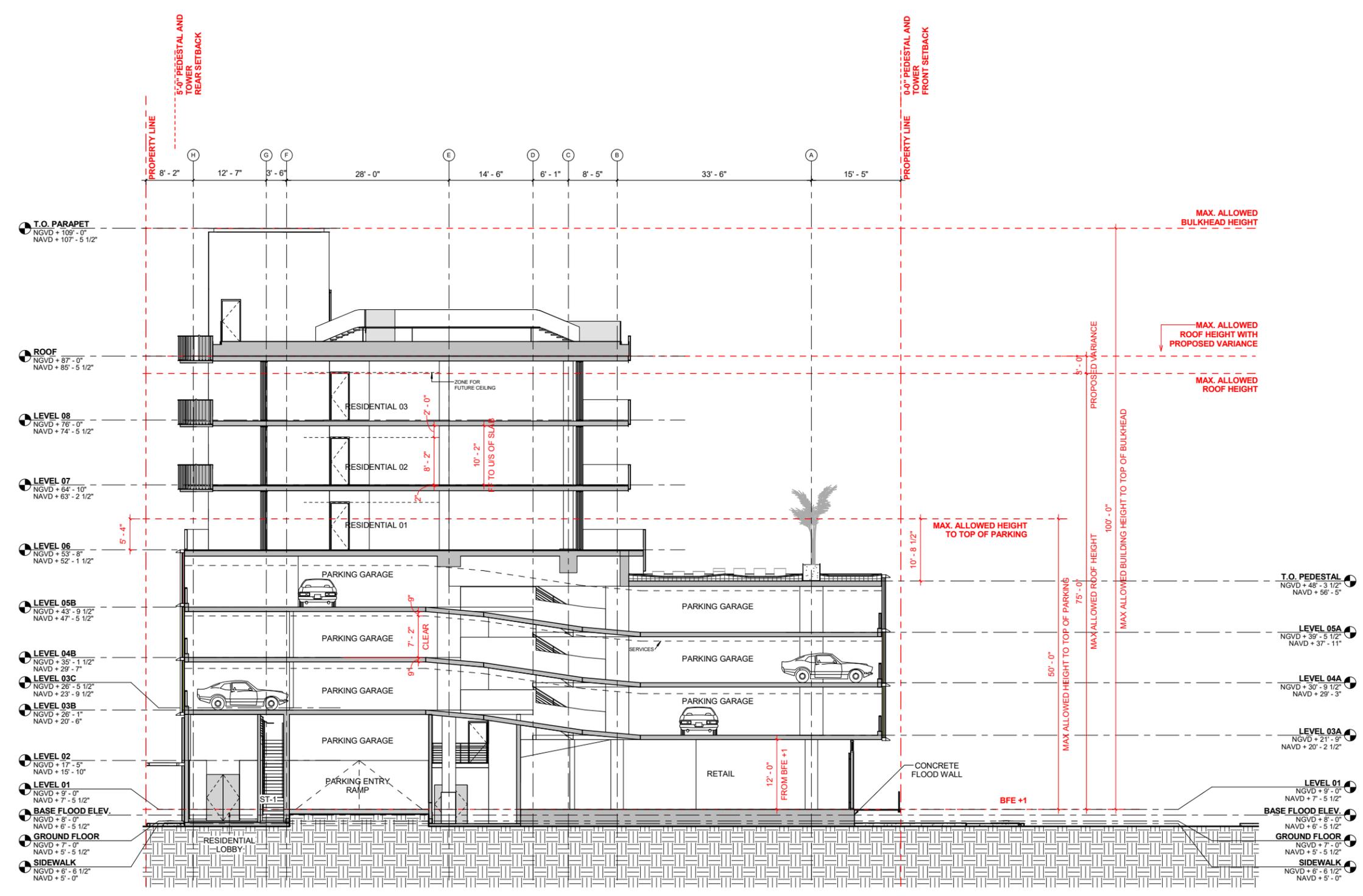
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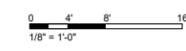


**DRAWING TITLE**

**HPB A-185**  
BUILDING SECTION 06



1 BUILDING SECTION - EW - THRU PARKING LEVEL C AND D  
1/8" = 1'-0"



NOT FOR CONSTRUCTION

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04/15/19	Author

SCALE	CHECKED BY
As Indicated	Checker

**PROJECT NO. & TITLE**  
 1507 TORINO GARAGE  
**PROJECT STATUS**  
 PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**

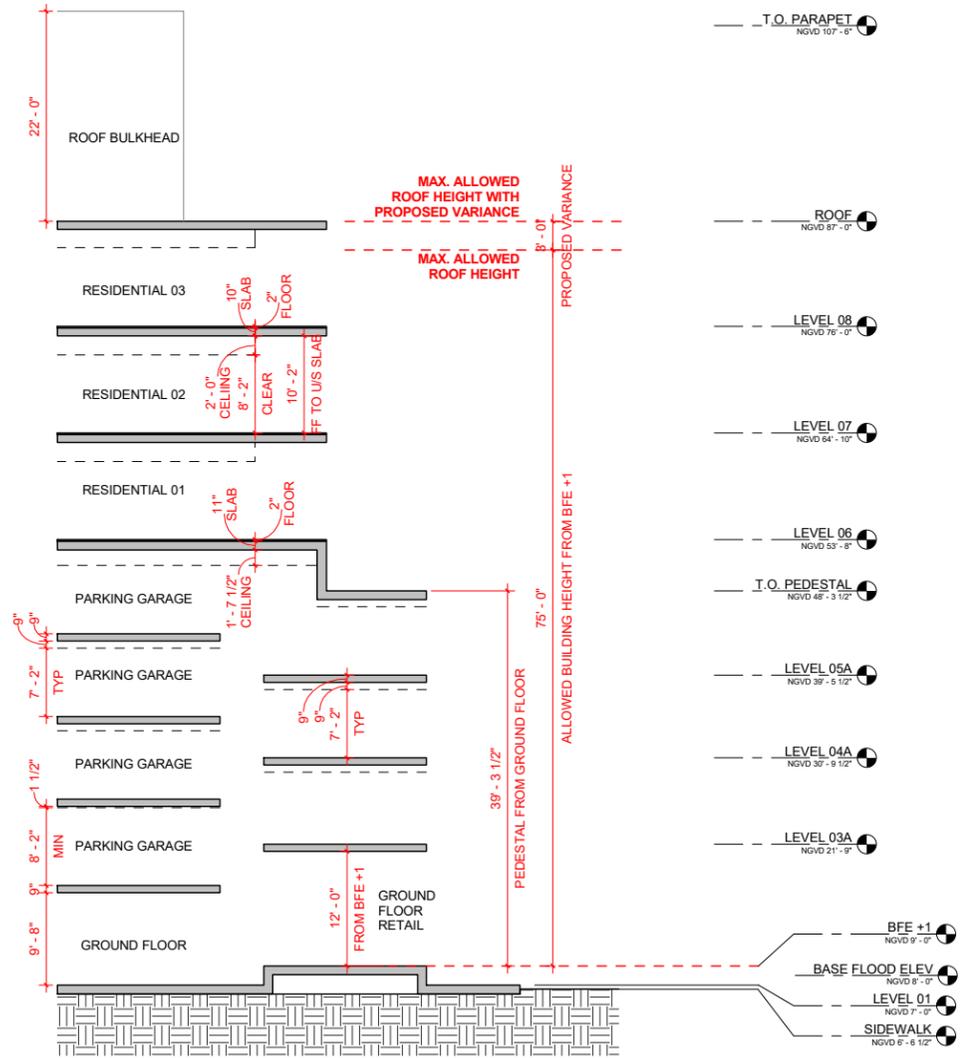


SCALE AS NOTED  
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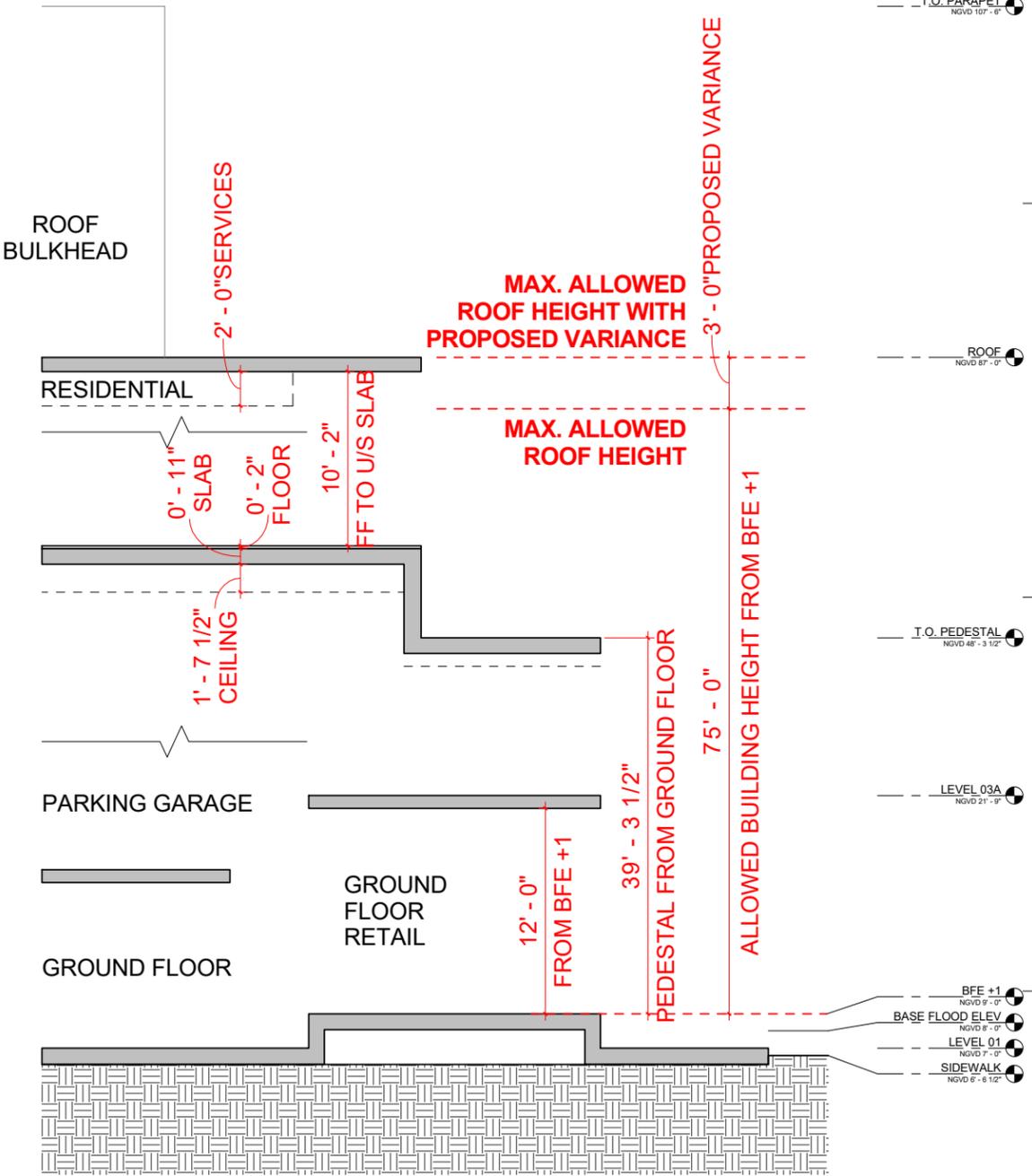
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**DRAWING TITLE**  
**HPB A-190**  
 BUILDING HEIGHT VARIANCE  
 DIAGRAMS



**PROPOSED AMENDMENT SCHEME (3 LVLS RESIDENTIAL)  
 PROPOSING 3' - 0" HEIGHT VARIANCE**



**PROPOSED AMENDMENT SCHEME (3 LVLS RESIDENTIAL)  
 PROPOSING 3' - 0" HEIGHT VARIANCE**



NOT FOR CONSTRUCTION

**TORINO GARAGE**

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05/06/19	Author
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3/8" = 1'-0"	Checker

**PROJECT NO. & TITLE**  
1507 TORINO GARAGE

**PROJECT STATUS**  
PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED  
GRAPHIC SCALE (AS NOTED)

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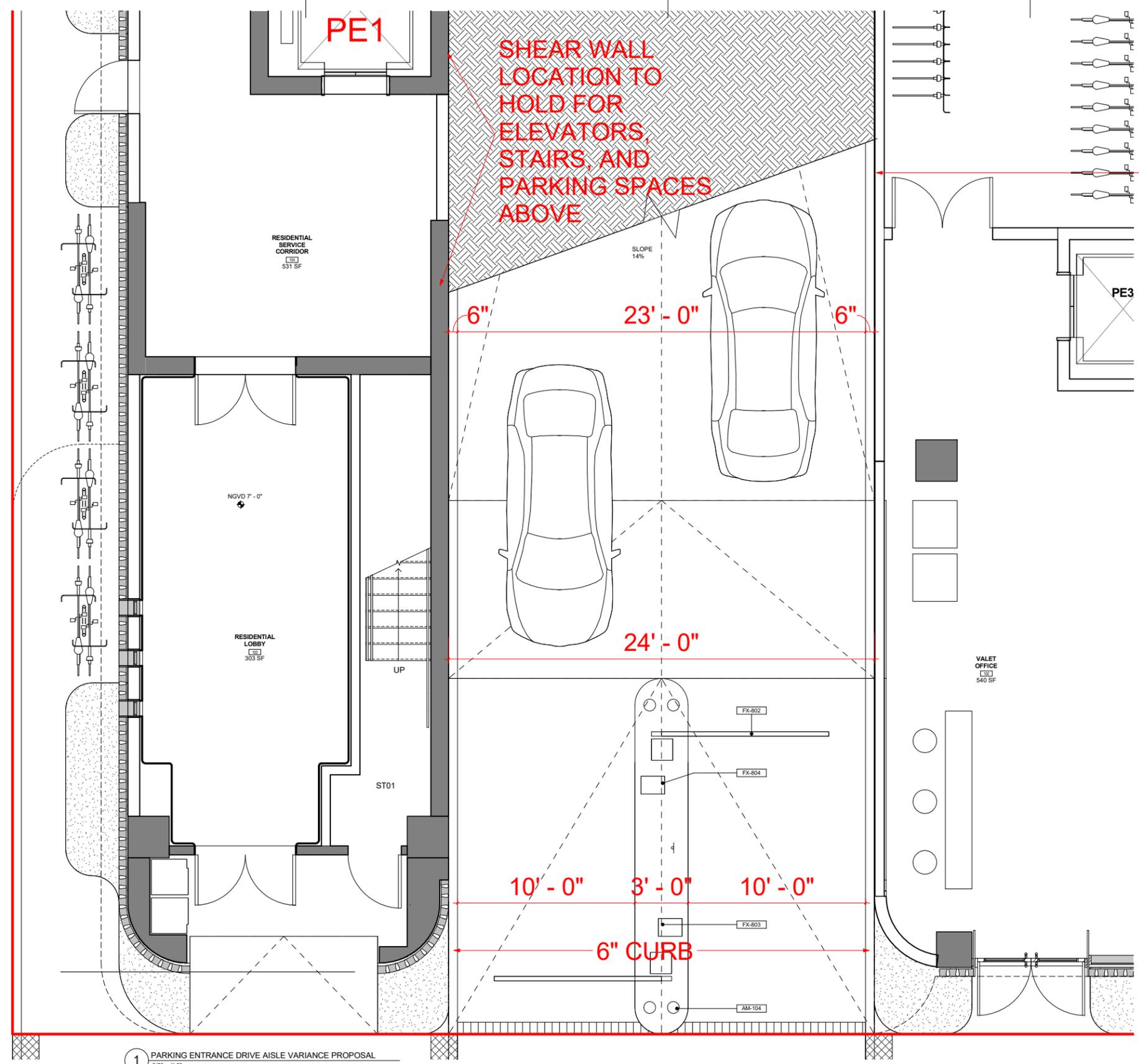


**DRAWING TITLE**

**HPB A-191**  
GARAGE ENTRANCE DRIVE AISLE  
VARIANCE DIAGRAM

WALL TO HOLD FOR PARKING SPACES ABOVE

SHEAR WALL LOCATION TO HOLD FOR ELEVATORS, STAIRS, AND PARKING SPACES ABOVE



1 PARKING ENTRANCE DRIVE AISLE VARIANCE PROPOSAL  
3/8" = 1'-0"

NOT FOR CONSTRUCTION

PROJECT

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

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PROJECT NO. & TITLE: 1507 TORINO GARAGE

PROJECT STATUS: PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION

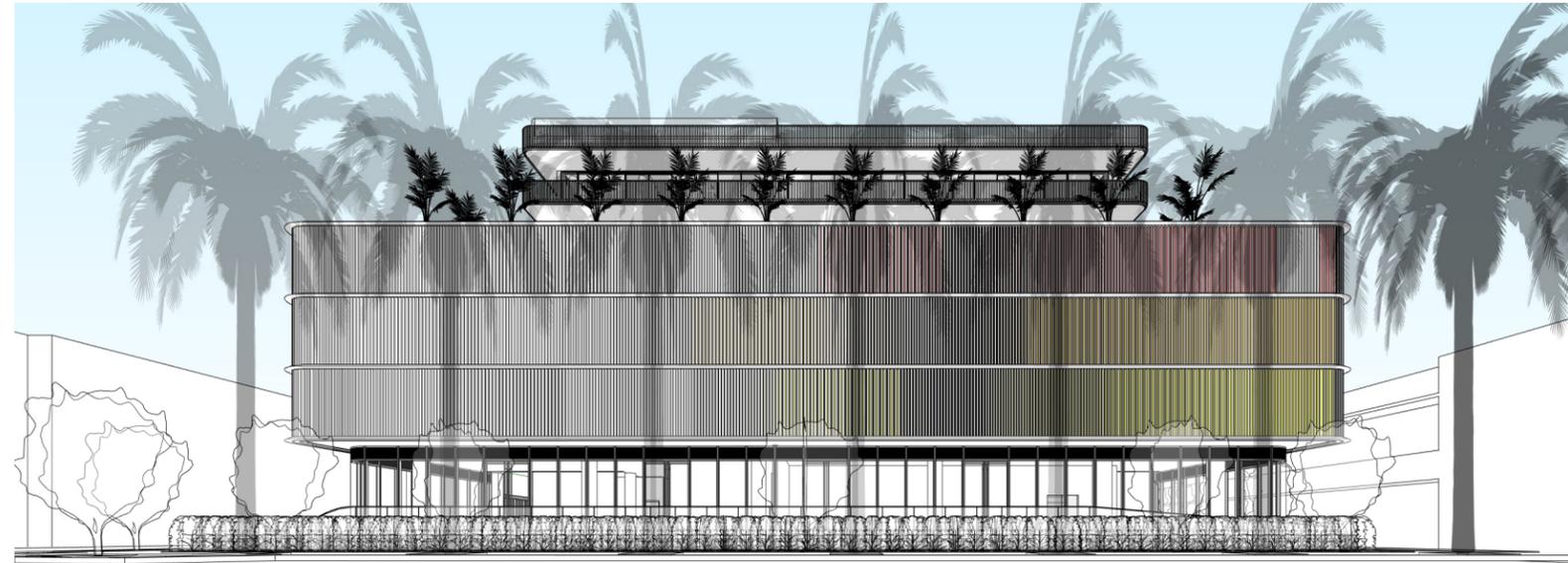


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GRAPHIC SCALE (AS NOTED)

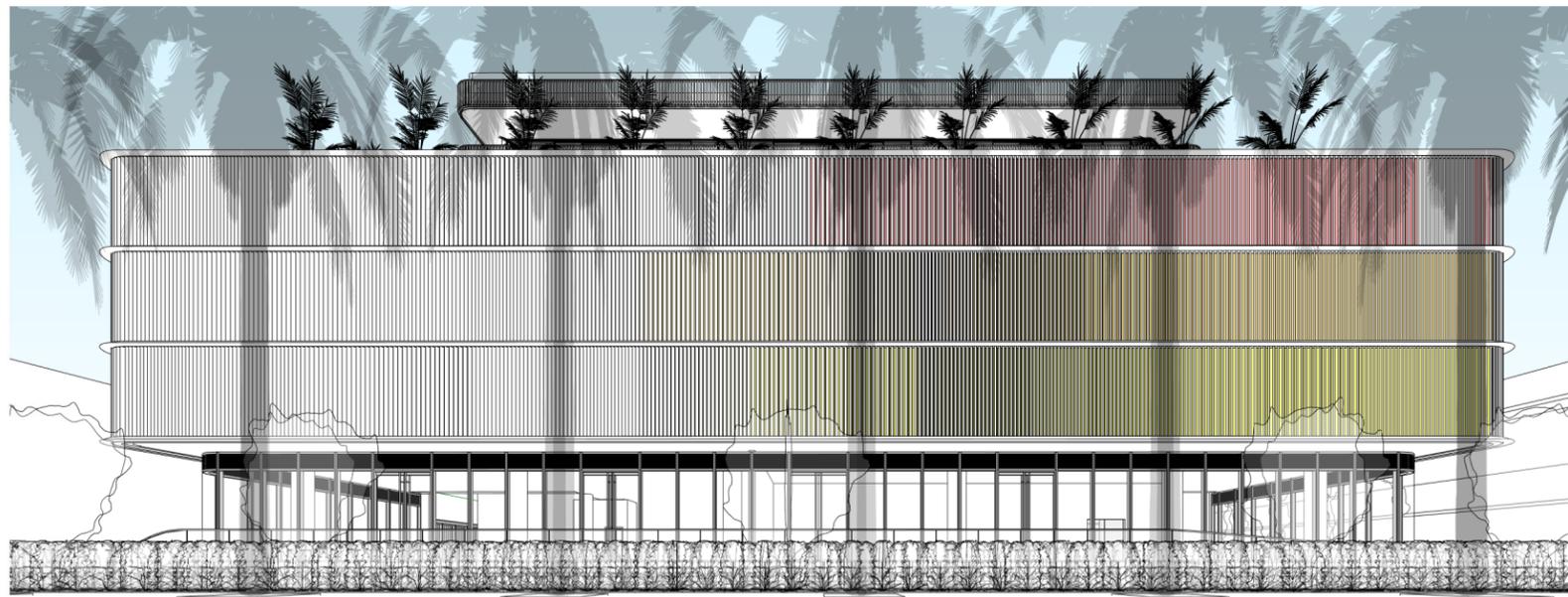
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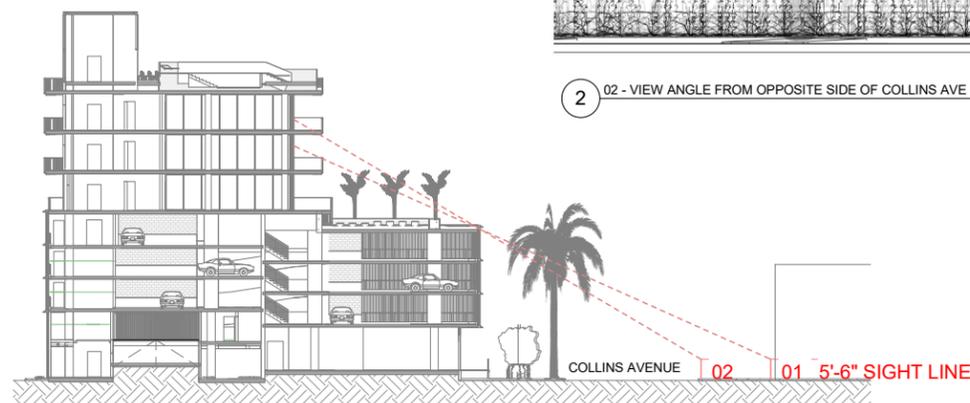
DRAWING TITLE  
**HPB A-403**  
VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



3 01 - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



2 02 - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



1 DIAGRAM - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE  
3/64" = 1'-0"

NOT FOR CONSTRUCTION

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

**Owner:**  
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04/15/19

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1/8" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SCALE AS NOTED  
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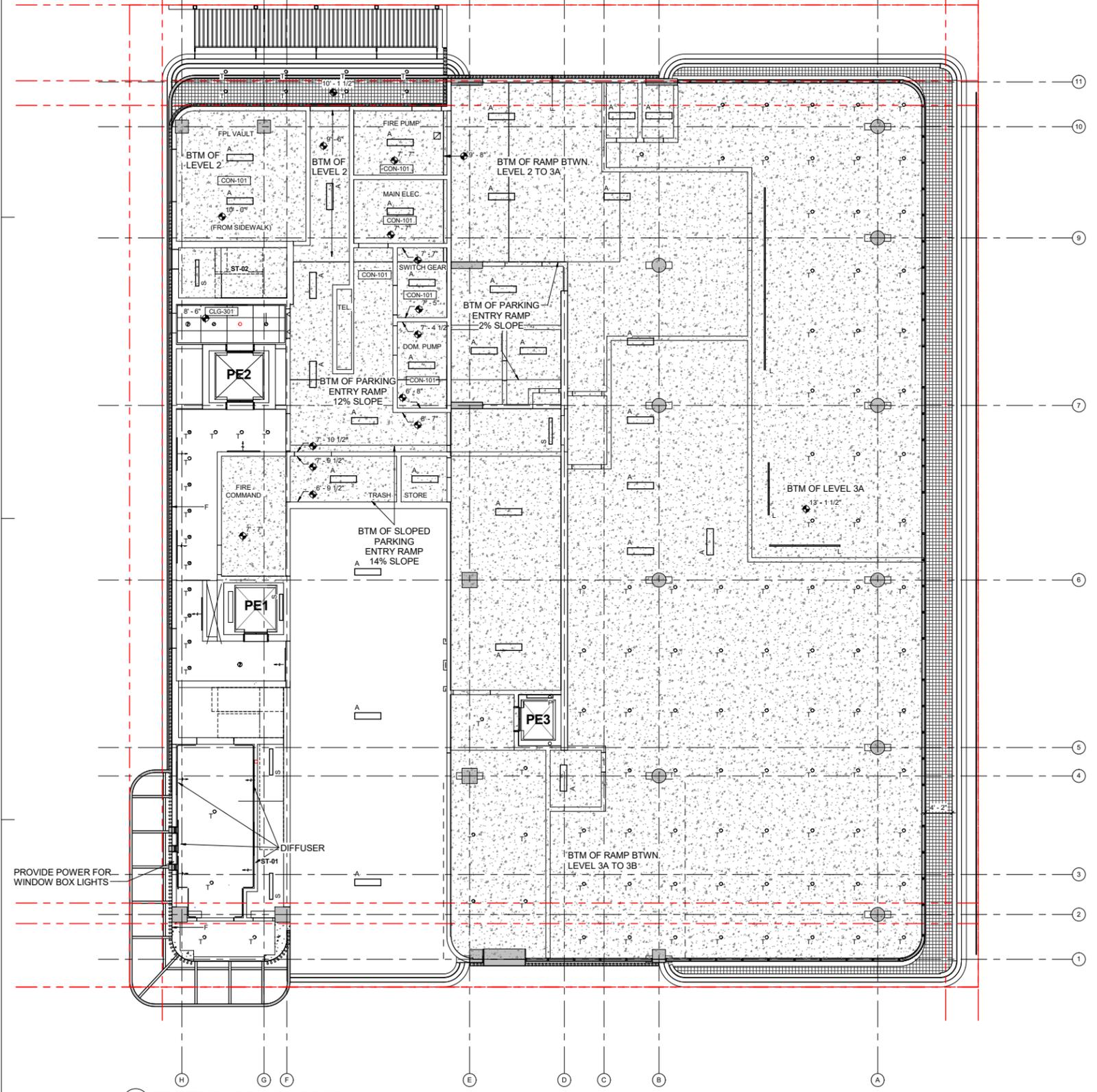
DRAWING TITLE

**HPB A-501**  
GROUND LVL INTERIOR LIGHTING PLAN

LIGHTING LEGEND		
Symbol	Fixture Type	Fixture Description
<b>A</b> 	Typ. Parking Illumination	1'x4' T-8 Surface Strip Fixture (2 Lamp), Fluorescent
<b>S</b> 	Egress Illumination	6"x4' T-12 Surface Strip Fixture (2 Lamp), Fluorescent
<b>P</b> 	Service / Elev. Shaft Illumination	1'x6" T-8 Surface Strip Fixture (2 Lamp), Fluorescent
<b>F</b> 	Facade Illumination	Continuous Strip L.E.D Facade Uplighting with Radial Corners
<b>T</b> 	Recessed Down Lights	4" Universal Down Light, Recessed Can, Incandescent, Trimless
<b>L</b> 	Linear Strip Light / Wall Washer Accent Light	Flexible, Trimless LED Luminaire

GENERAL NOTES:  
THE LIGHTING DESIGN INDICATED IS FOR CONCEPT / DESIGN INTENT PURPOSES ONLY. LOCATIONS OF FIXTURES AND FIXTURE TYPES ARE SHOWN DIAGRAMMATICALLY TO PROVIDE MINIMUM ILLUMINATION TO THE COMMERCIAL CAR PARK ACCORDING TO INDUSTRY STANDARDS. FACADE ILLUMINATION IS INTENDED TO BE SUBTLE AND APPROPRIATE TO THE RESIDENTIAL CONTEXT. PRIOR TO PERMITTING, THE ARCHIECT WILL COLLABORATE WITH A QUALIFIED ELECTRICAL ENGINEER / LIGHTING CONSULTANT, WHO WILL PROVIDE PHOTOMETRIC ANALYSIS, FIXTURE SPECIFICATIONS AND CODE COMPLIANCE.

NOT FOR CONSTRUCTION



1 REFLECTED CEILING PLAN GROUND FLOOR  
1/8" = 1'-0"

**TORINO GARAGE**

400 COLLINS AVE., MIAMI BEACH, FL 33139

**Owner:**  
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PROJECT STATUS: PLANNING BOARD FINAL SUBMITTAL

**KEY PLAN**



**SCALE & ORIENTATION**



SCALE AS NOTED GRAPHIC SCALE (AS NOTED)

**SEAL & SIGNATURE**

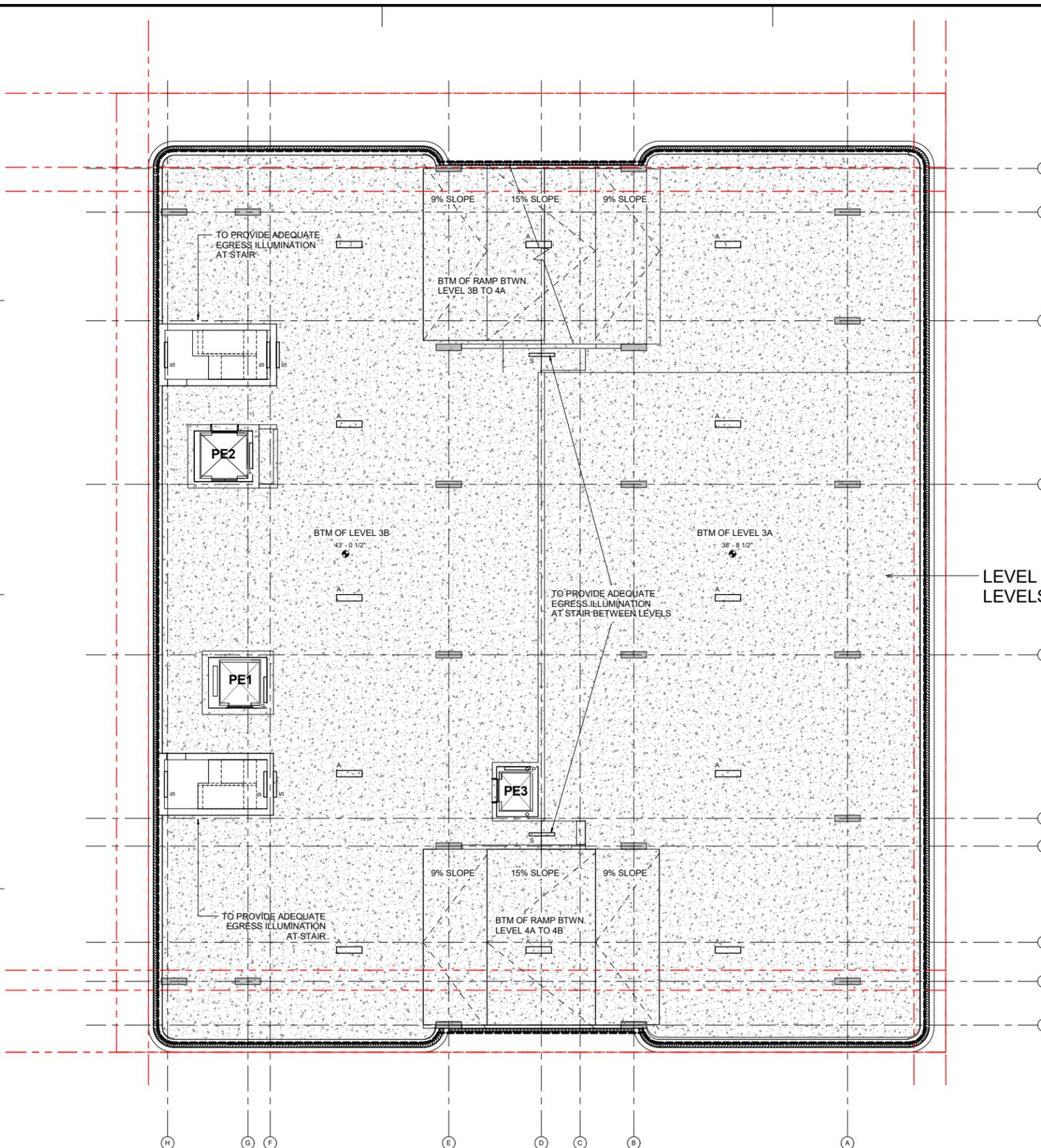
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**DRAWING TITLE**

**HPB A-502**  
TYP. PARKING LVL INTERIOR LIGHTING PLAN

**NOT FOR CONSTRUCTION**



LEVEL 3 SHOWN  
LEVELS 4 AND 5 ARE SIMILAR

LIGHTING LEGEND		
Symbol	Fixture Type	Fixture Description
<b>A</b> 	Typ. Parking Illumination	1'x4' T-8 Surface Strip Fixture (2 Lamp), Fluorescent
<b>S</b> 	Egress Illumination	6"x4' T-12 Surface Strip Fixture (2 Lamp), Fluorescent
<b>P</b> 	Service / Elev. Shaft Illumination	1'x6" T-8 Surface Strip Fixture (2 Lamp), Fluorescent
<b>F</b> 	Facade Illumination	Continuous Strip L.E.D Facade Uplighting with Radial Corners

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