

ARCH D 36"x24"

- SCOPE OF WORK:
- DEMOLITION OF EXISTING SURFACE PARKING LOT ON SITE
 - CONSTRUCTION OF 8-STOREY BUILDING, INCLUDING GROUND-FLOOR RETAIL, 3 LEVELS OF PARKING, AND 3 LEVELS OF RESIDENTIAL



TORINO GARAGE
400 COLLINS AVENUE
MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
FINAL SUBMISSION

MAY 6, 2019

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8800 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	-

SCALE	CHECKED BY
-	-

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

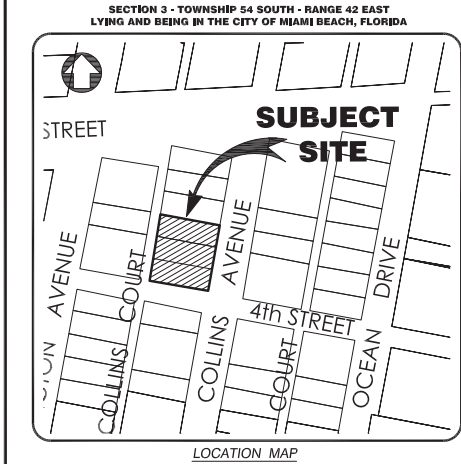
TRUE NORTH: 10.78 DEG

NOT TO SCALE

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
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DRAWING TITLE
HPB A-000
TITLE SHEET



SURVEYOR'S NOTES:

DATE'S OF SURVEY:

The date of completion of the original Survey was on June 30, 2013.
Revision 1: The Survey was Updated in the field on April 21, 2016.
Revision 2: The Survey was Updated in the field on April 5, 2017

ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for Suburban Area (Linear: 1 foot in 7,500 feet) as defined in Rule SJ-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of $\frac{1}{100}$ of a foot on hard surfaces and $\frac{1}{50}$ of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

PERTINENT INFORMATION USED FOR SURVEY:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the centerline of Collins Avenue with an assumed bearing of N10°47'05"E, said line to be considered a well established and monumented line.

This property appears to be located in a Flood Zone "AE" with a Base Flood Elevation being 8.0 feet, as per Federal Emergency Management Agency (FEMA) Community- Panel Number 120651 (City of Miami Beach), Map No. 0319, Suffix L, Map Revised Date: September 11, 2009.

For Vertical Control:

All elevations shown hereon are based on the North American Vertical Datum of 1988, and a Benchmark supplied by the Public Works Department of Miami-Dade County, Florida.

Benchmark: D-146
Elevation: 8.84 (N.G.V.D. 29 Datum)
-1.558 = 7.282 (N.A.V.D. 88 datum)

Located at the Southwest corner of the intersection of Ocean Drive and 5th Street.

Plot of "OCEAN BEACH FLA. SUBDIVISION" recorded in Plat Book 2 at Page 38 of the Public Records of Miami-Dade County, Florida.

RESTRICTIONS:

Since no other information were furnished other than that is cited under pertinent information, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Works Department of Miami-Dade County, Florida.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of Public Records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

MISCELLANEOUS:

There exist 48 regular parking spaces and 1 handicapped parking space on the subject property

PURPOSE OF SURVEY:

The purpose of this survey is for a Permit and Design.

CLIENT INFORMATION:

This Boundary/Topographic Survey was prepared at the insistence of and certified to:

Savoy Hotel Partners LLC
The Savoy Hotel

SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary/Topographic Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary/Topographic Survey" meets the intent of the applicable provisions of the "Standards of Practice" for Land Surveying in the State of Florida, pursuant to Rule SJ-17.051 through SJ-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

LONGITUDE SURVEYORS LLC, a Florida Limited Liability Corporation
Florida Certificate of Authorization Number LB7335

By: **Eduardo M Suarez, PSM** Signature Date:
Registered Surveyor and Mapper L5513
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

LONGITUDE
SURVEYORS

7769 N.W. 48TH STREET, SUITE 375
MIAMI, FLORIDA 33166
PHONE: (305)463-0912 FAX: (305)513-5680
WWW.LONGITUDESURVEYORS.COM

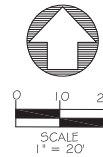
JOB NO.: 14297.2.00
FIELD BOOK: EFB

DRAWN BY: RE
SHEET 1 OF 1

BOUNDARY/TOPOGRAPHIC SURVEY

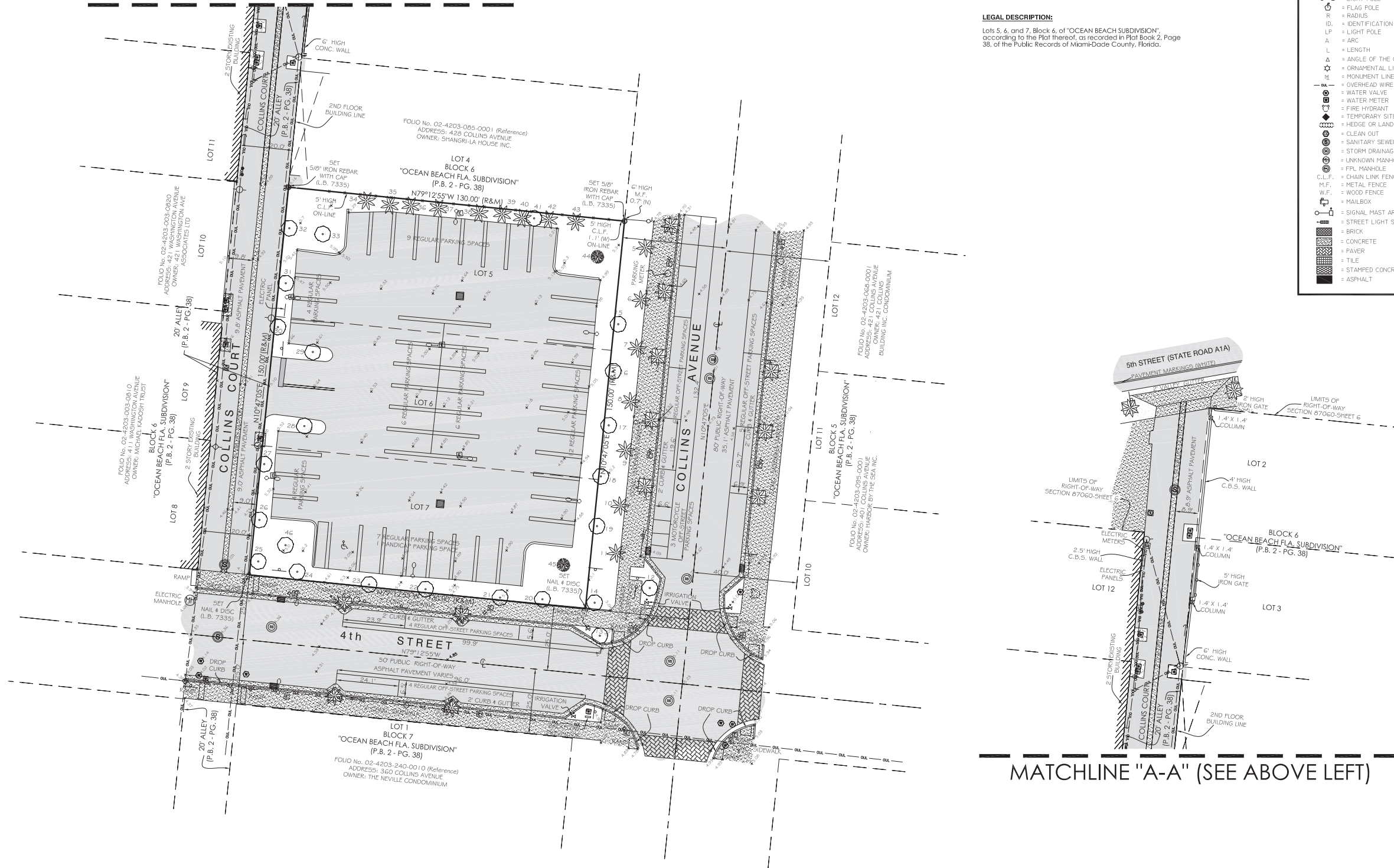
TREE TABLE				
No.	BOTANICAL NAME	COMMON NAME	CAULIPER	HEIGHT
1	SIBAL PALMETTO	SABAL PALM	10"	27'
2	COCOS NUCIFERA	COCONUT PALM	8"	20'
3	SIBAL PALMETTO	SABAL PALM	12"	27'
4	QUERCUS VIRGINIANA	LIVE OAK	13"	26'
5	SIBAL PALMETTO	SABAL PALM	8"	25'
6	COCOS NUCIFERA	COCONUT PALM	8"	21'
7	QUERCUS VIRGINIANA	LIVE OAK	12"	30'
8	SIBAL PALMETTO	SABAL PALM	12"	30'
9	COCOS NUCIFERA	COCONUT PALM	7"	20'
10	QUERCUS VIRGINIANA	LIVE OAK	12"	26'
11	SIBAL PALMETTO	SABAL PALM	12"	25'
12	QUERCUS VIRGINIANA	LIVE OAK	10"	26'
13	COCOS NUCIFERA	COCONUT PALM	8"	21'
14	SIBAL PALMETTO	SABAL PALM	12"	26'
15	QUERCUS VIRGINIANA	LIVE OAK	13"	30'
16	SIBAL PALMETTO	SABAL PALM	12"	31'
17	FLORIDA NATIVE	TREE	3"	13'
18	BISERA SIMARUBA	GUMBO LIMBO	14"	16'
19	FLORIDA NATIVE	TREE	4"	13'
20	BISERA SIMARUBA	GUMBO LIMBO	15"	26'
21	BISERA SIMARUBA	GUMBO LIMBO	13"	18'
22	BISERA SIMARUBA	GUMBO LIMBO	13"	17'
23	BISERA SIMARUBA	GUMBO LIMBO	15"	20'

TREE TABLE				
No.	BOTANICAL NAME	COMMON NAME	CAULIPER	HEIGHT
24	BUSERA SIMARUBA	GUMBO LIMBO	13"	30'
25	FLORIDA NATIVE	TREE	3"	8'
26	QUERCUS VIRGINIANA	LIVE OAK	13"	30'
27	QUERCUS VIRGINIANA	LIVE OAK	11"	30'
28	QUERCUS VIRGINIANA	LIVE OAK	9"	30'
29	QUERCUS VIRGINIANA	LIVE OAK	12"	27'
30	QUERCUS VIRGINIANA	LIVE OAK	13"	30'
31	QUERCUS VIRGINIANA	LIVE OAK	8"	27'
32	QUERCUS VIRGINIANA	LIVE OAK	11"	30'
33	QUERCUS VIRGINIANA	LIVE OAK	12"	35'
34	FLORIDA NATIVE	TREE	9"	20'
35	SABAL PALMETTO	SABAL PALM	8"	20'
36	SABAL PALMETTO	SABAL PALM	8"	20'
37	SABAL PALMETTO	SABAL PALM	9"	20'
38	SABAL PALMETTO	SABAL PALM	7"	20'
39	SABAL PALMETTO	SABAL PALM	7"	20'
40	SABAL PALMETTO	SABAL PALM	8"	18'
41	SABAL PALMETTO	SABAL PALM	10"	18'
42	QUERCUS VIRGINIANA	LIVE OAK	15"	30'
43	SABAL PALMETTO	SABAL PALM	10"	15'
44	SABAL PALMETTO	SABAL PALM	13"	18'
45	FLORIDA NATIVE	TREE	3"	12'
46	FLORIDA NATIVE	TREE	4"	17'



LEGAL DESCRIPTION:

Lots 5, 6, and 7, Block 6, of "OCEAN BEACH SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida.



LEGEND

- CONC. = CONCRETE
- R = RECORDED VALUE
- M = MEASURED VALUE
- (C) = CALCULATED
- C.B.S. = CONCRETE BLOCK STUCCO
- CL = CENTERLINE
- P.B. = PLAT BOOK
- PG. = PAGE
- M.F. = METAL FENCE
- W.P. = WOOD POWER POLE
- G.A. = GUY ANCHOR
- CP = CONCRETE POWER POLE
- OLP = ORNAMENTAL PLANT
- BOLLARD = BOLLARD
- SIGN = SIGN
- PT = PALM TREE
- TREE = TREE
- CLF = CHAIN LINK FENCE
- WF = WOOD FENCE
- MF = METAL FENCE
- COLP = COLLUM
- GV = GAS VALVE
- CB = CATCH BASIN
- OL = ORNAMENTAL LIGHT
- OLP = ORNAMENTAL LIGHT POLE
- LP = LIGHT POLE
- FP = FLAG POLE
- R = RADIUS
- ID = IDENTIFICATION
- LF = LIGHT POLE
- A = ARC
- L = LENGTH
- Δ = ANGLE OF THE CURVE
- ★ = ORNAMENTAL LIGHT POLE
- M = MONUMENT LINE
- OW = OVERHEAD WIRE
- WV = WATER VALVE
- WM = WATER METER
- FD = FIRE HYDRANT
- TSSB = TEMPORARY SITE BENCHMARK
- HOLA = HEDGE OR LANDSCAPED AREA
- CO = CLEAN OUT
- SSM = SANITARY SEWER MANHOLE
- SDM = STORM DRAINAGE MANHOLE
- UM = UNKNOWN MANHOLE
- FPL = FPL MANHOLE
- CLF = CHAIN LINK FENCE
- M.F. = METAL FENCE
- W.F. = WOOD FENCE
- MB = MAILBOX
- SMA = SIGNAL MAST ARM
- SLS = STREET LIGHT SIGNAL
- BRICK = BRICK
- CONC = CONCRETE
- PAV = PAVEMENT
- TILE = TILE
- SC = STAMPED CONCRETE
- ASP = ASPHALT

ARCH D 36"x24"

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A-600s: 20		
TOTAL DRAWING COUNT: 91		

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
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Civil Engineer:

VSN Engineering, Inc.
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Geo-tech Engineer:

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Acoustic Consultant:

Electro-Media Design, Ltd.
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Gaithersburg, MD 20879

Landscape Architect:

Naturalific, Inc.
6915 Red Road, Suite 224
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Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
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1	HPB FIRST SUBMITTAL	April 15, 2019
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DATE OF ISSUE	DRAWN BY
04/15/19	-
SCALE	CHECKED BY
	-

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS REQ'D)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

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DRAWING TITLE

HPB A-002

SHEET INDEX

NOT FOR CONSTRUCTION

ZONING DATA

LEGAL DESCRIPTION

PARCEL 3:

Lots 5, 6, and 7, Block 6 of "OCEAN BEACH SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida

(Exhibit "A" of Commitment for Title Insurance prepared by First American Title Insurance Company FAST File No. 1062-2977598, with an effective date of May 17, 2013 at 8:00 A.M.).

Containing 19,500 Square Feet or 0.45 Acres (Net Area) and 31,500 Square Feet or 0.73 Acres (Gross Area), more or less, by calculations.

SITE ADDRESS
400 COLLINS AVENUE, MIAMI BEACH, FL 33139

SITE DATA
ZONING DESIGNATION: C-PS2 GENERAL MIXED-USE COMMERCIAL (SEC. 142-698 - 142-699)
FLOOD ZONE: "AE" (ELEV. 8' NGVD29)
FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0319L

BASE FLOOD ELEVATION: 8.0', N.G.V.D. 1929

BLDG. DATA
BUILDING HEIGHT: ALLOWED FOR PARKING STRUCTURE:
50'-0" ABOVE BASE FLOOD ELEVATION + FREEBOARD
ALLOWED FOR RESIDENTIAL/MIXED USE:
75'-0" ABOVE BASE FLOOD ELEVATION + FREEBOARD
ESTABLISHED BFE:
8'-0" N.G.V.D.
PROPOSED FOR PARKING STRUCTURE:
53'-8" N.G.V.D. T.O. DECK (44'-6" FROM BFE + FREEBOARD)
PROPOSED FOR RESIDENTIAL/MIXED USE:
87'-0" N.G.V.D. T.O. DECK (78'-0" FROM BFE + FREEBOARD)

PROPOSED RESIDENTIAL:
15 UNITS TOTAL:
5 UNITS ON LEVEL 06
5 UNITS ON LEVEL 07
5 UNITS ON LEVEL 08

LOT AREA
31,500 SF or 0.73 ACRES (GROSS AREA) +/-
19,500 SF or 0.45 ACRES (NET AREA) +/-

MIN. LOT AREA
REQUIRED 6,000 S.F. - EXCEEDS CRITERIA AT 31,500 SF

PRINCIPLE USE COMMERCIAL GARAGE
The building is designed and approved as a principle use commercial garage pursuant to Sec. 130-68. Per 130-68 (5): Setbacks shall be the same as the pedestal setbacks for the underlying zoning district. For main use parking garages located on non-oceanfront lots within the Collins Waterfront Historic District, with frontage on both Indian Creek Drive and Collins Avenue, the required pedestal setbacks may extend up to a maximum height of eight stories and 75 feet.

RESIDENTIAL USE IN C-PS2 DISTRICT
Per Sec. 142-698 (b), Residential and/or hotel development is pursuant to all R-PS3 district regulation, except maximum building height for residential and mixed use buildings shall be 75 feet.
Per Sec. 142-700 (1), When more than 25 percent of the total area of a building in a C-PS2 district is used for residential or hotel units, any floor containing such units shall follow the R-PS1, 2, 3, 4 setback regulations.

MAX BUILDING HEIGHT (SEC. 130-68 (4))
50 FT EXCEPT FOR RESIDENTIAL USES HEIGHT SHALL BE 78 FT (SEC. 142-698 (b))

MAX NUMBER OF STORIES
ALLOWED PARKING GARAGE = 5
PROPOSED PARKING GARAGE = 4

ALLOWED RESIDENTIAL = 4
PROPOSED RESIDENTIAL = 3

MAX ALLOWED F.A.R.
Per 130-68 (6) - The volume of such commercial and noncommercial parking garages shall be limited by the required setbacks and heights described within this section and shall not be subject to the floor area ratios prescribed for in the underlying zoning district.

MIN. LOT WIDTH
REQUIRED 50 FT
EXCEEDS CRITERIA AT 150 FT

NOTE: FOR FIRM MAP SEE SHEET HPB A-007.2

MIAMI BEACH

Planning Department, 1700 Convention Center Drive

Miami Beach, Florida 33139, www.miamibeach.gov

305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Item #	Zoning Information			
1	Address:	400 COLLINS AVENUE, MIAMI BEACH, FL 33139		
2	Board and File Numbers	HPB19-0295		
3	Folio Number(s):	02-4203-003-0800; 02-4203-003-0780; 02-4203-003-0770; 02-4203-003-0790		
4	Year Constructed:	N/A	Zoning District	C-PS2 (subject to rules for Principle Use Commercial Garage)
5	Base Flood Elevation (BFE)	AE +8'-0" NGVD	Proposed Lowest Grade	+6'-6 1/2" NGVD
6	Adjusted Grade (Flood + Grade/2)	6.865' NGVD	Freeboard	1'-0" above BFE = 9'-0" NGVD
7	Proposed Lowest Floor Elevation	7'-0" NGVD	Proposed Top of Next Fir.	West: 17'-5" NGVD (Lvl 2) East: 21'-9" NGVD (Lvl 3A)
8	Lowest Elev. of Machinery or Equipment Serving Bldg.	FPL Vault = 6'-6 1/2" NGVD. All Other Equipment = 9'-0" NGVD		
9	Lot Area	31,500 SF = 0.73 Acres		
10	Lot Width	150' Avg.	Lot Depth	130' Avg.
	Minimum Unit Size	722 sf	Average Unit Size	1,209 sf
	Existing Use	Surface Parking Lot	Proposed Use	Principle Use Commercial Garage + Residential + Dry Retail + Restaurant
		Maximum	Proposed	Deficiencies
11	Height	75 ft	78 ft from BFE + Freeboard	See Diagrams of Proposed Variance in PB A-18X Series Sections
12	Number of Stories	8	8	
13	FAR	N/A		
14	Gross Square Footage			See sheet HPB A-016.1
15	Square Footage by Use			See sheet HPB A-016.1
16	Number of Units (Residential)	N/A	15	
17	Open space Ratio	N/A	N/A	
	Setbacks (Pedestal & Tower - Non Ocean Front)	Required	Notes	Proposed
18	Front (East - Facing Collins Avenue)	0'-0", 5'-0" (Residential)		2'-8", 54'-10" (Residential)
19	Side Interior (North - Facing Adjacent Lot)	0'-0", 15'-4" (Residential)	Residential= 7'-6" + 10% of Bldg Ht. (i.e. 7'-10") = 15'-4"	8'-4", 16'-7" (Residential)
20	Side Facing Street (South - Facing 4th Street)	0'-0", 12'-10" (Residential)	Residential = 5' + 10% of Bldg. Ht. (i.e. 7'-10") = 12'-10"	0'-10", 14'-8 1/2" (Residential)
21	Rear	5'-0"		5'-10"
	Balcony / Cornice Projections into Required Yards (Residential) - 25% of Required Yard. Max 6 ft.	Maximum	Proposed	Deficiencies
22	Front (East - Facing Collins Avenue)	1'-3"		0'-0"
23	Side Interior (North - Facing Adjacent Lot)	3'-9"		3'-9"
24	Side Facing Street (South - Facing 4th Street)	3'-1 1/2"		3'-1 1/2"
25	Rear	1'-3"		0'-0"
	Parking (Parking District No. 1)	Required	Proposed	Deficiencies
26	Residential (2 per Dwelling for Unit > 1200 sf; 1.75 per Dwelling for Unit 1000 sf < x < 1200 sf; 1.5 per Dwelling for Unit 550 sf < x < 1000 sf)	27	27	
27	4,200sf Dry Retail (1 for every 300 sf)	14	0	See Parking Deduction Allowances on HPB A-015.1
28	64-Seat Restaurant (1 for every 4 seats)	16	5	See Parking Deduction Allowances on HPB A-015.1
29	Total Number of Parking Spaces	N/A	120	
30	Number of Parking Spaces per Level		See Chart on Sheet HPB A-111	
31	Parking Space Dimensions			
	Standard Spot	8'-6" x 18'-0"	8'-6" x 18'-0"	
	Narrow Spot	8'-0" x 18'-0"	8'-0" x 18'-0"	
	Valet Only Spot	8'-0" x 16'-0"	8'-0" x 16'-0"	
	ADA Spot	12'-0" x 18'-0"	12'-0" x 18'-0"	
32	Parking Space Configuration		90 Degree	
33	Tandem Spaces		0	
34	Drive Aisle Width	22'-0"	22'-0"	
35	Valet drop-off and pick-up		Yes. On Collins Street	
36	Loading zones and Trash Collection Areas		Yes. On Collins Court	
37	Trash Collection Areas		Yes. On Collins Court	
38	Bicycle Racks		Yes, 45 Long and 30 Short term spaces	

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
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1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



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HPB A-006

ZONING DATA

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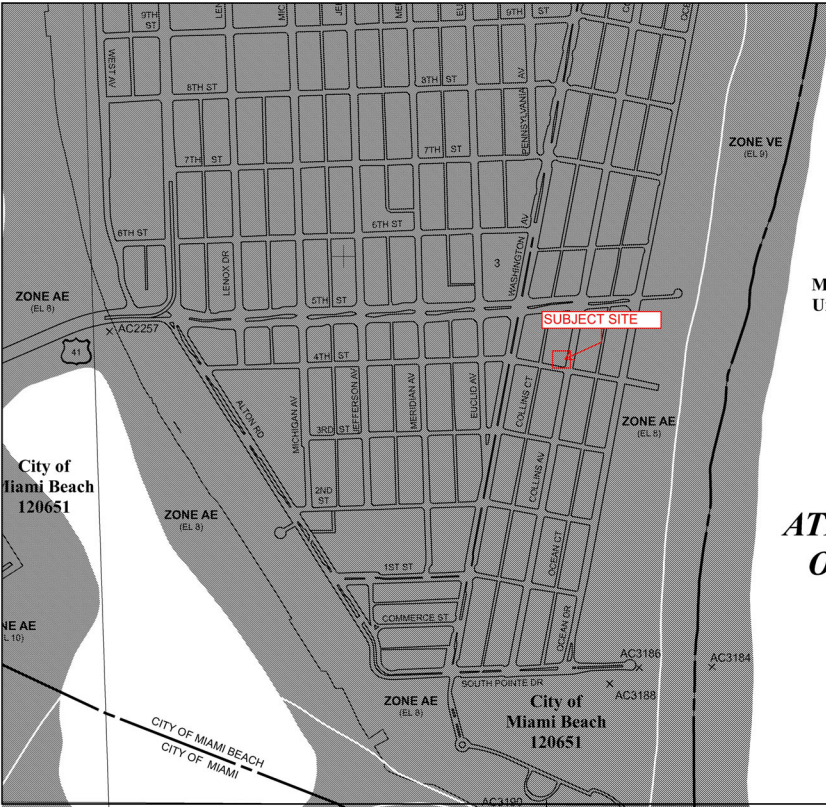
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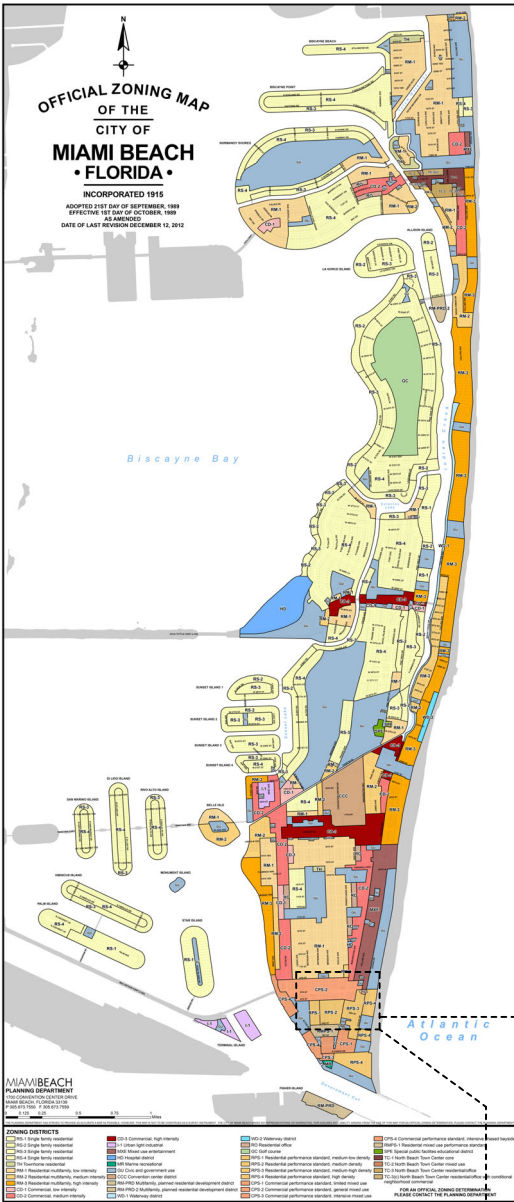
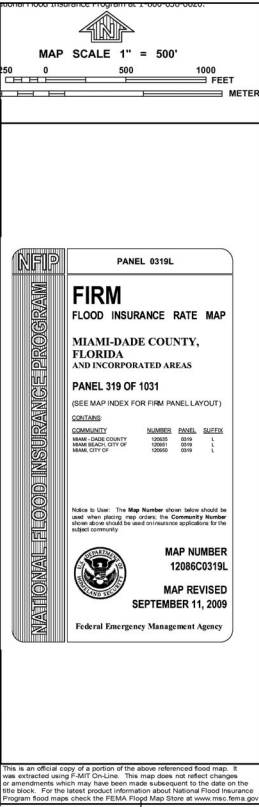
LOCATION PLAN

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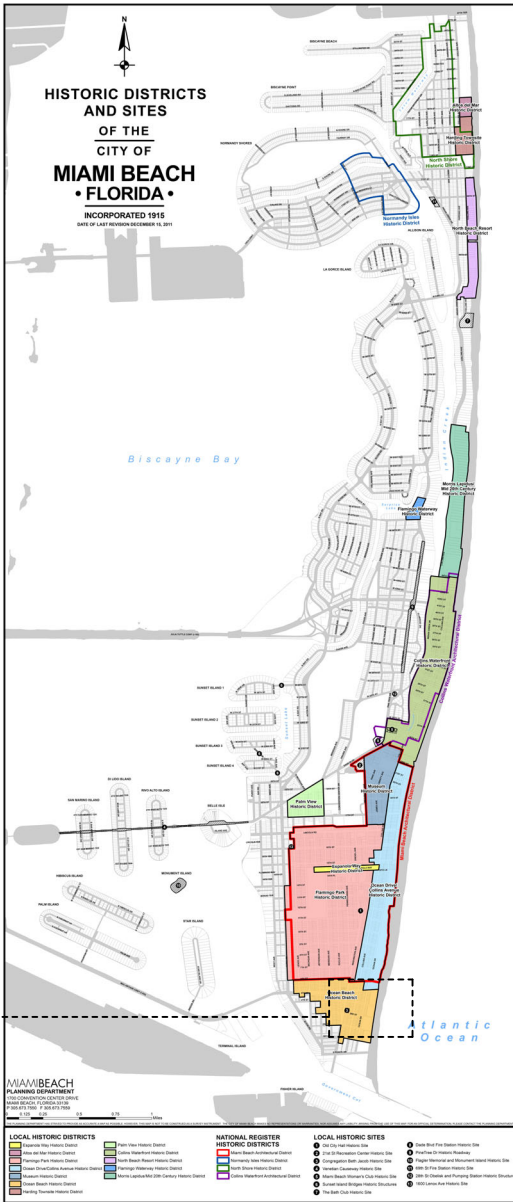


Miami - Dade County
Unincorporated Areas
120635

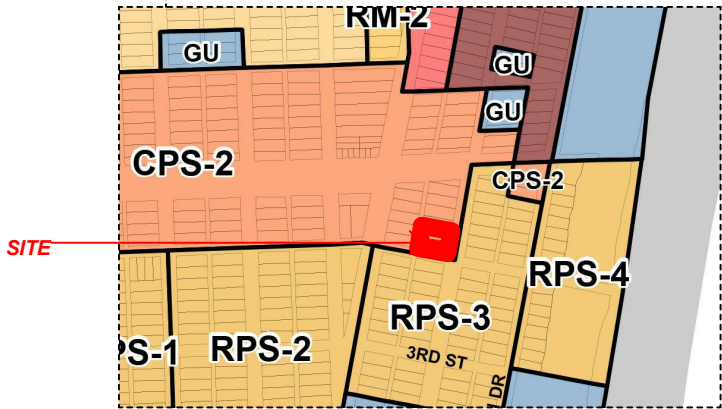
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OCEAN



C-PS2 ZONING DISTRICT



OCEAN BEACH HISTORIC DISTRICT



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PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
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1507 TORINO GARAGE

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HPB A-007.2

SITE LOCATION, HISTORIC
DISTRICT, ZONING & FIRM MAP

[illegible]

Looking Northwest (March 12, 2019)



Looking East (April 23, 2019)



A Looking East (April 23, 2019)

TORINO GARAGE
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PROJECT NO. & TITLE
1507 TORINO GARAGE
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A circular compass rose with a vertical line indicating True North. The text below the rose reads: TRUE NORTH: 10.78 DEG

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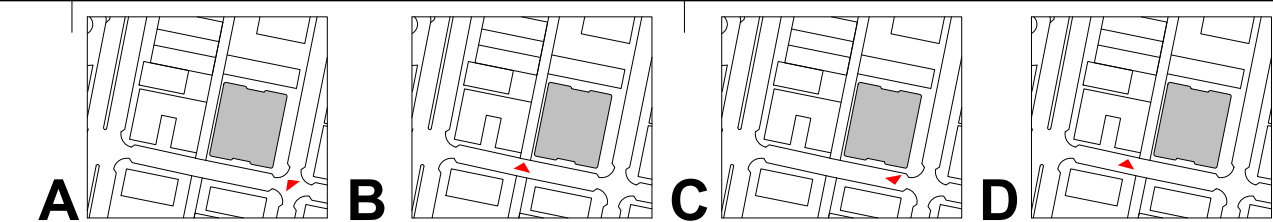
ARCH D 36"x24"



D 4th Street
Looking Northeast (March 12, 2019)



B 4th Street
Looking North down Collins Court (April 23, 2019)



C Collins Avenue
Looking Northeast (March 12, 2019)



A Collins Avenue
Looking Northeast (March 12, 2019)

PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

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1507 TORINO GARAGE

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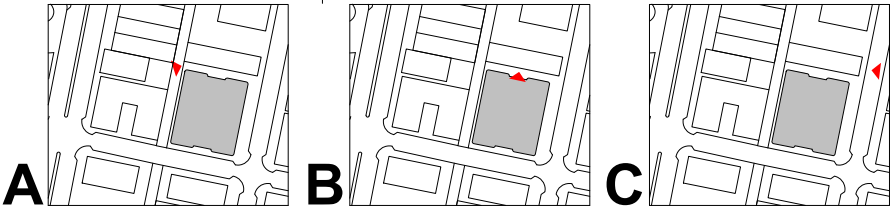
C Collins Avenue
Looking West (April 23, 2019)



B On Site
Looking North (March 12, 2019)



A Collins Court
Looking Northeast (April 23, 2019)



PROJECT

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CURRENT SITE PHOTOGRAPHS

ARCH D 36"x24"

PROJECT

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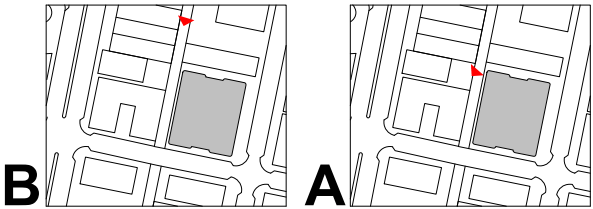
CURRENT SITE PHOTOGRAPHS



B Collins Court
Looking South (March 12, 2019)

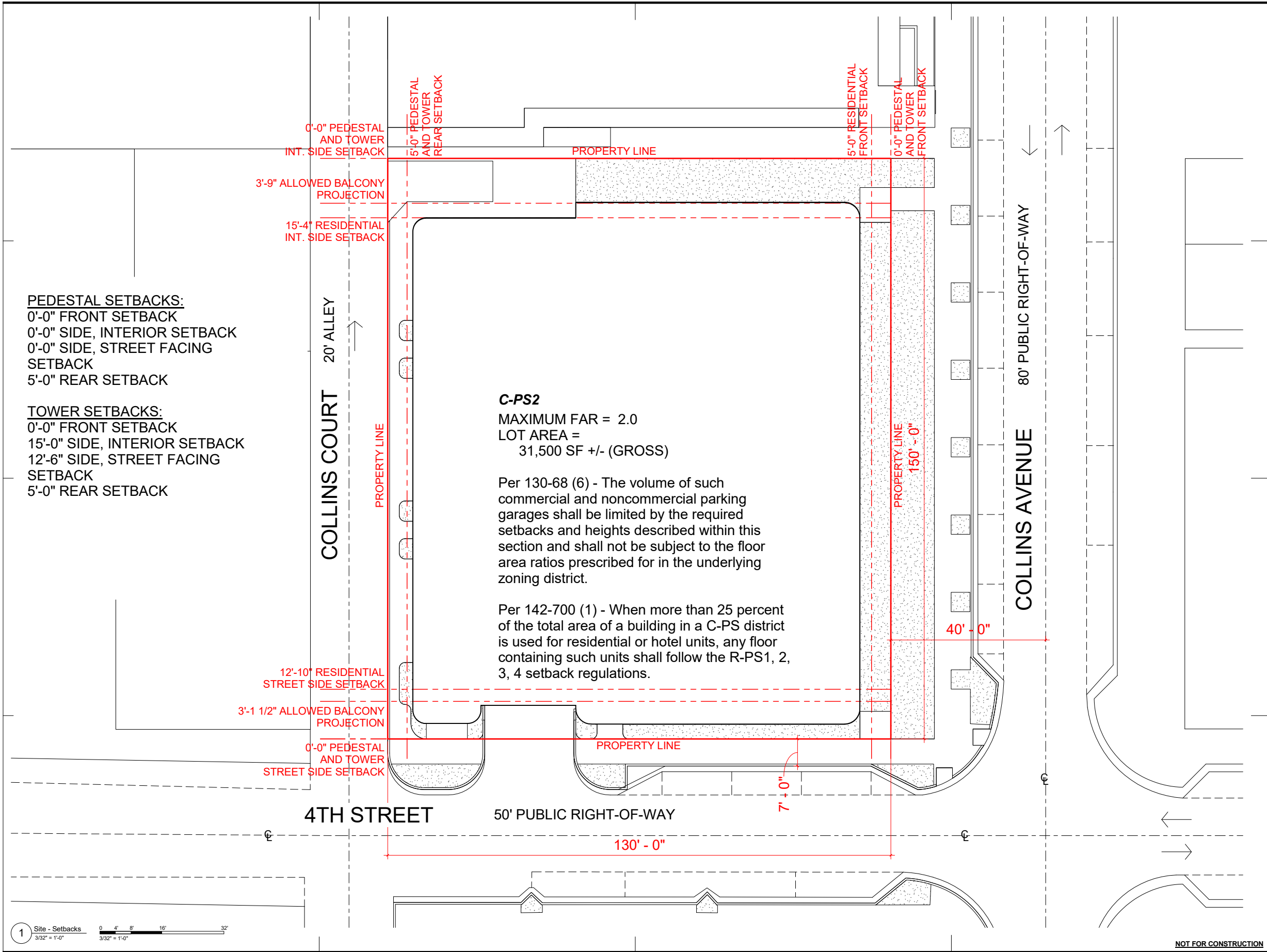


A Collins Court
Looking Southwest (March 12, 2019)



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ARCH D 36"x24"



PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

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PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
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KEY PLAN

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SITE PLAN WITH SETBACKS

ARCH D 36"x24"

1. AREA SUMMARY - COMPLIANCE AS PRIMARY USE PARKING GARAGE

TOTAL GROSS BUILDING AREA	
LEVEL	AREA
GROUND FLOOR	14,317 SF
LEVEL 02	6,922 SF
LEVEL 03A	17,338 SF
LEVEL 04A	17,338 SF
LEVEL 05A	17,338 SF
LEVEL 06	7,594 SF
LEVEL 07	7,691 SF
LEVEL 08	7,692 SF
ROOF	1,013 SF
TOTAL	97,242 SF

TOTAL GROSS PARKING AREA	
LEVEL	AREA
GROUND FLOOR	5,117 SF
LEVEL 02	6,922 SF
LEVEL 03A	17,265 SF
LEVEL 04A	17,265 SF
LEVEL 05A	17,265 SF
TOTAL	63,834 SF

TOTAL GROSS NON-PARKING AREA	
LEVEL	AREA
GROUND FLOOR	9,200 SF
LEVEL 03A	72 SF
LEVEL 04A	72 SF
LEVEL 05A	73 SF
LEVEL 06	7,594 SF
LEVEL 07	7,691 SF
LEVEL 08	7,692 SF
ROOF	1,013 SF
TOTAL	33,407 SF

PER MIAMI BEACH ZONING ORD. SEC. 130-68 (1), FOR COMMERCIAL AND NON-COMMERICAL PARKING GARAGE:
THE TOTAL FLOOR AREA FOR NON-PARKING USES (i.e. RESIDENTIAL AND COMMERCIAL) MUST BE < 25% OF THE TOTAL FLOOR AREA OF THE STRUCTURE, SO AS TO INSURE THAT THE STRUCTURE'S MAIN USE IS AS A PARKING GARAGE.

- TOTAL GROSS NON-PARKING AREA = 33,407 SF
- TOTAL GROSS BUILDING AREA = 97,242 SF
- % OF NON-PARKING AREA TO TOTAL GROSS BUILDING AREA = $(33,407\text{ SF} / 97,242\text{ SF}) \times 100 = 34.35\%$ = 34.35%
- NON-PARKING AREA IS > 25% OF TOTAL GROSS BUILDING AREA BUT < 35% OF TOTAL GROSS BUILDING AREA. THIS BUILDING WILL COMPLY WITH PROPOSED AMENDMENTS TO SECTION 130-68(1).

2. PARKING SPACE COUNT SUMMARY

PARKING SCHEDULE	
Type	Count
Parking Spot 8'-6" x 18'-0"	79
Parking Spot ADA 12'-0" x 18'-0"	5
Parking Spot Narrow 8'-0" x 18'-0"	24
Parking Spot Valet Only 8'-6" x 16'-0"	12
TOTAL PARKING COUNT	120

120 PARKING SPACES PROVIDED TOTAL, OF WHICH 5 ARE ADA SPACES, WITH 1 AVAILABLE FOR ADA VAN ACCESS*.

* NOTE: ACCESSIBLE PARKING REQUIREMENTS FROM IBC 2012 SEC. 1106.1, 1106.5

3. PARKING SPACE ALLOCATION SUMMARY

OFF-STREET PARKING DEDUCTIONS FOR NON-PRIMARY USE	
ALTERNATE PARKING INCENTIVES - ZONING SECTION 130-40	
RESIDENTIAL PARKING SPACES REQUIRED - 15 UNITS (PRE-DEDUCTION)	27
1.5 SPACES PER UNIT BETWEEN 550-999 SF; 1.75 SPACES PER UNIT BETWEEN 1000-1200 SF; 2 SPACES FOR UNITS ABOVE 1200 SF	
RETAIL PARKING SPACES REQUIRED (PRE-DEDUCTION)	14
4,200SF RETAIL / 300 SF PER PARKING SPACE = MINIMUM OF 14 SPACES REQUIRED	
RESTAURANT PARKING SPACES REQUIRED (PRE-DEDUCTION)	16
64-SEAT RESTAURANT / 4 SEATS PER PARKING SPACE = MINIMUM OF 16 SPACES REQUIRED	
TOTAL SPACES REQUIRED FOR NON-PRIMARY USE (PRE-DEDUCTION)	57
ALTERNATE PARKING INCENTIVES - ZONING SECTION 130-40	
DEDUCTION FOR DROP-OFF & LOADING ZONES FOR COMPENSATION VEHICLES	-9
C) DEVELOPMENTS OVER 50,000 SF MAY REDUCE A MAXIMUM OF 9 OFF-STREET PARKING SPACES BY PROVIDING 3 DROP-OFF STALLS	
DEDUCTION FOR LONG-TERM BICYCLE PARKING	-9
A) 1 OFF-STREET PARKING SPACE DEDUCTED PER 5 BIKE SPACES W/ MAX OF 15% OF TOTAL (9 SPACES) 45 LONG-TERM BIKE SPACES PROVIDED ON GROUND FLOOR / 5 = 9 SPACES DEDUCTED	
DEDUCTION FOR SHORT-TERM BICYCLE PARKING	-3
B) 1 OFF-STREET PARKING SPACE DEDUCTED PER 10 BIKE SPACES W/ MAX OF 15% OF TOTAL (9 SPACES) 30 SHORT-TERM BIKE SPACES PROVIDED ON GROUND FLOOR / 10 = 3 SPACES DEDUCTED	
DEDUCTION FOR SCOOTER, MOPED, OR MOTORCYCLE PARKING	-2
E) 1 OFF-STREET PARKING SPACE DEDUCTED PER 3 MOPED SPACES W / MAX OF 15% OF TOTAL (9 SPACES) 6 SCOOTER SPACES PROVIDED / 3 = 2 SPACES DEDUCTED	
DEDUCTION FOR CARPOOL PARKING	-6
C) 3 OFF-STREET PARKING SPACES DEDUCTED PER 1 CARPOOL SPACE W / MAX OF 10% OF TOTAL (6 SPACES) 2 CARPOOL SPACES PROVIDED X 3 = 6 SPACES DEDUCTED	
TOTAL DEDUCTIONS	-29
TOTAL SPACES REQUIRED FOR NON-PRIMARY USE (POST-DEDUCTION)	28

PER MIAMI BEACH ZONING ORD. SEC. 130-68 (1), FOR COMMERCIAL AND NON-COMMERICAL PARKING GARAGE:
THE TOTAL FLOOR AREA OF THE STRUCTURE USED FOR PARKING, EXCLUSIVE OF THE REQUIRED PARKING FOR THE RESIDENTIAL AND COMMERCIAL SPACE, MUST BE > 50% OF THE TOTAL FLOOR AREA OF THE STRUCTURE, SO AS TO INSURE THAT THE STRUCTURE'S MAIN USE IS AS A PARKING GARAGE.

- 50% OF TOTAL GROSS BUILDING AREA = $97,242\text{ SF} / 2 = 48,621\text{ SF}$
- TOTAL GROSS PARKING AREA = 63,834 SF
- TOTAL PARKING COUNT = 120 SPACES
- GROSS FLOOR AREA PER PARKING SPACE (GROSS PARKING AREA/TOTAL PARKING COUNT) = $63,834\text{ SF} / 120\text{ SPACES} = 532\text{ SF PER PARKING SPACE}$
- MAX. PARKING FOR NON-PRIMARY USE (GROSS PARKING AREA - 50% OF GROSS BUILDING AREA) = $63,834\text{ SF} - 48,621\text{ SF} = 15,213\text{ SF}$:
- MAX. NUMBER OF PARKING SPACES FOR NON-PRIMARY USE: $15,213\text{ SF} / 532\text{ SF PER PARKING SPACE} = 28\text{ MAX NON-PRIMARY PARKING SPACES}$
- MIN. PARKING FOR PRIMARY USE: $120\text{ SPACES} - 28\text{ MAX NON-PRIMARY SPACES} = 92\text{ MIN PRIMARY PARKING SPACES}$

92 PRIMARY + 28 NON-PRIMARY PARKING SPACES = 120 PARKING SPACES PROVIDED
BUILDING MEETS PARKING REQUIREMENTS USING ALTERNATE PARKING INCENTIVES.

TOTAL TRANSPORTATION SPACES PROVIDED	
VEHICLE SPACES	120
LONG-TERM BICYCLE RACKS	45
SHORT-TERM BICYCLE RACKS	30
SCOOTER PARKING	6
TOTAL TRANSPORTATION SPACES PROVIDED	201

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
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c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

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1507 TORINO GARAGE	
PROJECT STATUS	
PLANNING BOARD FINAL SUBMITTAL	

KEY PLAN



SCALE & ORIENTATION



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HPB A-015.1

AREA AND PARKING COUNT
SUMMARY - COMPLIANCE AS
PRIMARY USE PARKING GARAGE

NOT FOR CONSTRUCTION

[illegible]

NON-PARKING
72 SF

PARKING
17,265 SF

PRIMARY USE CARPARK (PU)	39
RETAIL (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	39

PRIMARY USE CARPARK (PU)	1
RETAIL (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	1

PRIMARY USE CARPARK (PU)	38
RETAIL (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	38

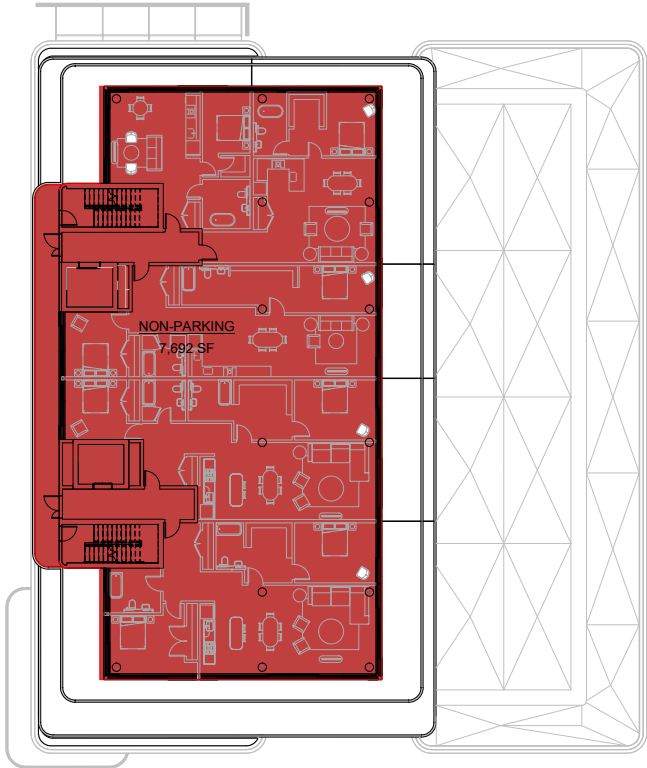
NON-PARKING	9,200 SF
PARKING	5,117 SF
FLOOR TOTAL	14,317 SF

0 8 16 32
1/16" = 1'-0"

HPB A-015.2

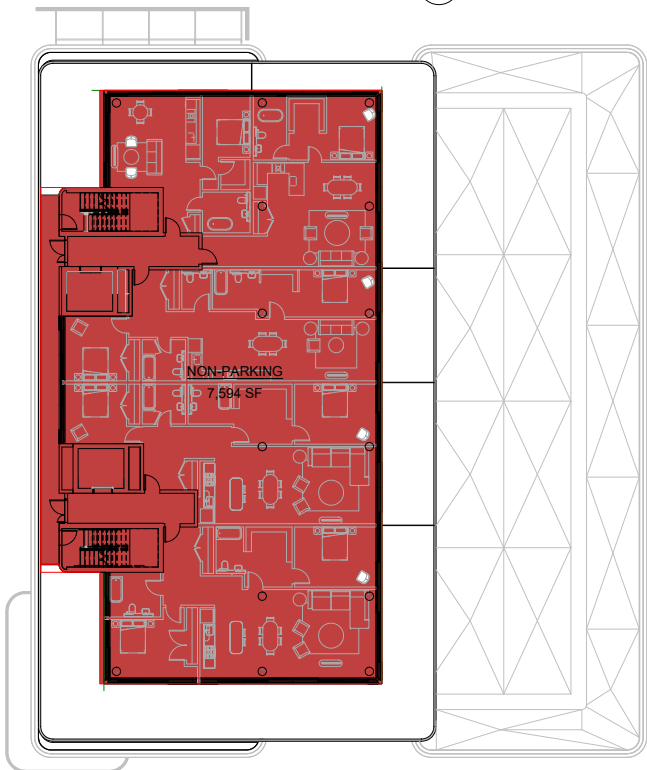
PRIMARY USE PARKING GARAGE
AREA PLANS - LEVEL 01 TO
LEVEL 04

FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF SUMMARY SHEET A-015.1



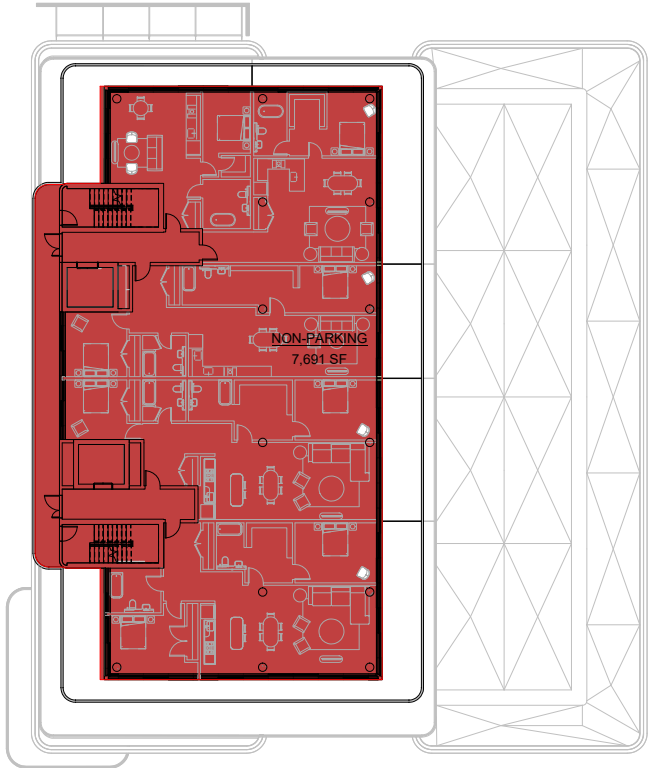
LEVEL 08	
GROSS FLOOR AREA - LEVEL 08	
PROGRAM	AREA
NON-PARKING	7,692 SF
FLOOR TOTAL	7,692 SF

4 PRIMARY USE AREA - LEVEL 08
1/16" = 1'-0"



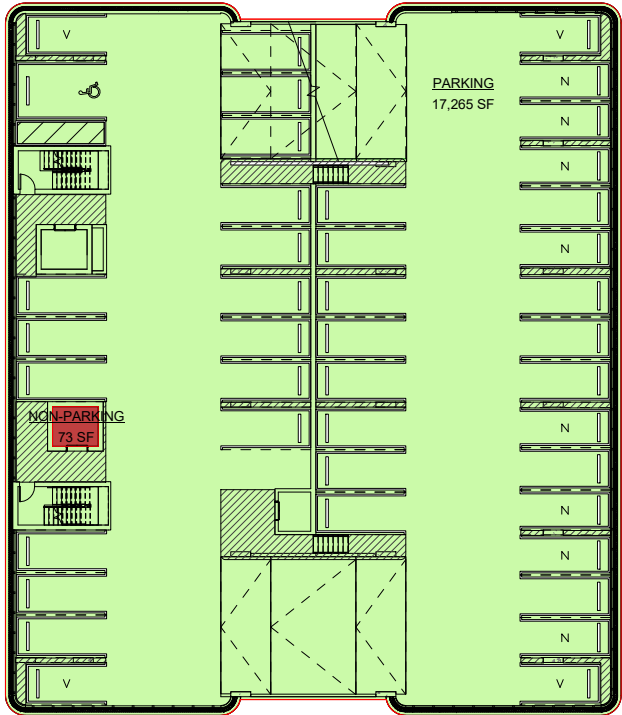
LEVEL 06	
GROSS FLOOR AREA - LEVEL 06	
PROGRAM	AREA
NON-PARKING	7,594 SF
FLOOR TOTAL	7,594 SF

2 PRIMARY USE AREA - LEVEL 06
1/16" = 1'-0"



LEVEL 07	
GROSS FLOOR AREA - LEVEL 07	
PROGRAM	AREA
NON-PARKING	7,691 SF
FLOOR TOTAL	7,691 SF

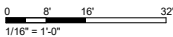
3 PRIMARY USE AREA - LEVEL 07
1/16" = 1'-0"



LEVEL 05	
GROSS FLOOR AREA - LEVEL 05	
PROGRAM	AREA
NON-PARKING	73 SF
PARKING	17,265 SF
FLOOR TOTAL	17,338 SF

PARKING SPACE ALLOCATION	
Allocation	Count
PRIMARY USE CARPARK (PU)	12
RETAIL (R)	1
RESIDENTIAL (RES)	29
FLOOR TOTAL	42

1 PRIMARY USE AREA - LEVEL 05
1/16" = 1'-0"



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PROJECT

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1507 TORINO GARAGE
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KEY PLAN



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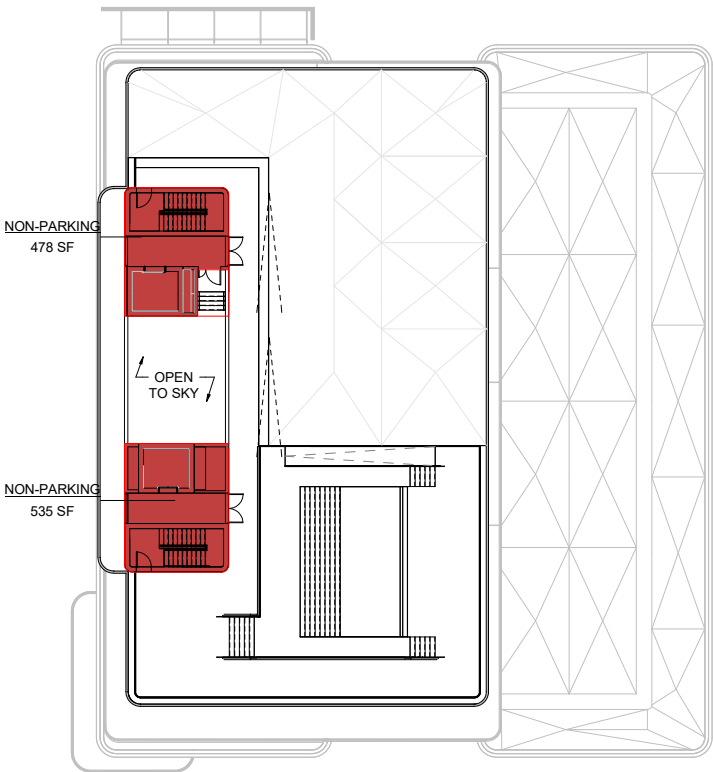


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HPB A-015.3
PRIMARY USE PARKING GARAGE
AREA PLANS - LEVEL 05 TO
LEVEL 08

ARCH D 36"x24"

FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF SUMMARY SHEET A-015.1



LEVEL 09 - ROOF

GROSS FLOOR AREA - LEVEL 09

PROGRAM	AREA
---------	------

NON-PARKING	1,013 SF
FLOOR TOTAL	1,013 SF

1 PRIMARY USE AREA - LEVEL 09 ROOF
1/16" = 1'-0"

0 8' 16' 32'
1/16" = 1'-0"

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
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1/16" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

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KEY PLAN



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PRIMARY USE PARKING GARAGE
AREA PLANS - LEVEL 09

1. AREA SUMMARY - FAR COMPLIANCE

TOTAL FAR*	
Level	Area
GROUND FLOOR	14,175 SF
LEVEL 02	6,977 SF
LEVEL 03A	17,338 SF
LEVEL 04A	17,338 SF
LEVEL 05A	17,339 SF
LEVEL 06	7,273 SF
LEVEL 07	7,287 SF
LEVEL 08	7,287 SF
ROOF	1,012 SF
TOTAL	96,026 SF

GROSS PARKING FAR	
Level	Area
GROUND FLOOR	2,545 SF
LEVEL 02	6,509 SF
LEVEL 03A	17,265 SF
LEVEL 04A	17,266 SF
LEVEL 05A	17,266 SF
TOTAL	60,851 SF

GROSS RESIDENTIAL FAR	
Level	Area
GROUND FLOOR	1,063 SF
LEVEL 03A	73 SF
LEVEL 04A	73 SF
LEVEL 05A	73 SF
LEVEL 06	7,273 SF
LEVEL 07	7,287 SF
LEVEL 08	7,287 SF
ROOF	861 SF
TOTAL	23,989 SF

GROSS RETAIL FAR	
Level	Area
GROUND FLOOR	8,132 SF
TOTAL	8,132 SF

GROSS INCLUDED BOH FAR	
Level	Area
GROUND FLOOR	2,435 SF
LEVEL 02	468 SF
ROOF	151 SF
TOTAL	3,054 SF

GROSS EXCLUDED BOH FAR*	
Level	Area
GROUND FLOOR	139 SF
TOTAL	139 SF

PER MIAMI BEACH ZONING ORD. SEC. 142-700 (1), SETBACKS:
When more than 25 percent of the total area of a building in a C-PS district is used for residential or hotel units, any floor containing such units shall follow the R-PS1, 2, 3, 4 setback regulations.

1. TOTAL GROSS RESIDENTIAL FAR = 23,989 SF
2. TOTAL FAR = 96,026 SF
3. % OF GROSS RESIDENTIAL FAR TO TOTAL FAR = (23,989 SF / 96,026 SF) x 100 = 24.98 = 24.98%

4. TOTAL GROSS RESIDENTIAL FAR IS < 25% OF TOTAL FAR. FLOORS WITH RESIDENTIAL OR HOTEL UNITS DO NOT NEED TO COMPLY WITH R-PS1, 2, 3, 4 SETBACK REGULATIONS.

*FROM MIAMI BEACH ZONING ORD.
SEC. 114-1 DEFINITIONS: FLOOR AREA:

THE FLOOR AREA OF A BUILDING SHALL NOT INCLUDE:
(7) MECHANICAL EQUIPMENT ROOMS LOCATED ABOVE ROOF DECK.
(10) ENCLOSED GARBAGE ROOMS, ENCLOSED WITHIN THE BUILDING ON THE GROUND FLOOR LEVEL.

PROJECT

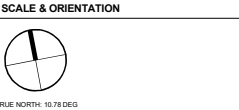
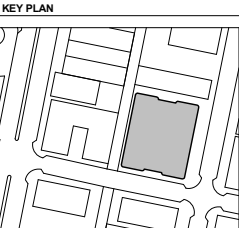
TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139
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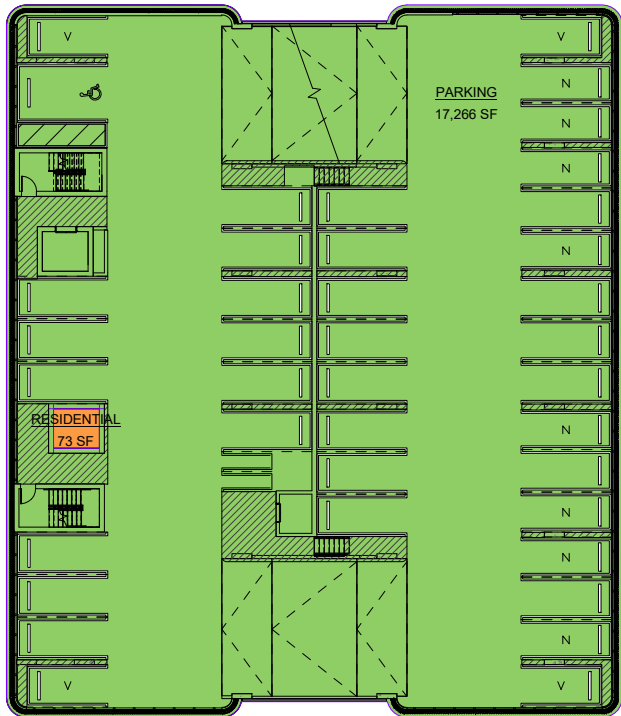
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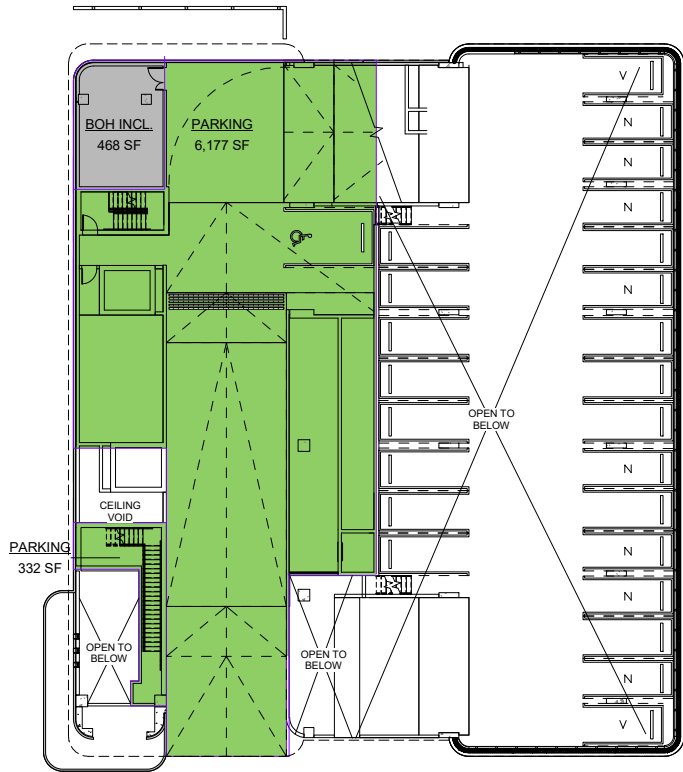
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HPB A-016.1
AREA AND PARKING COUNT
SUMMARY - FAR COMPLIANCE

NOT FOR CONSTRUCTION



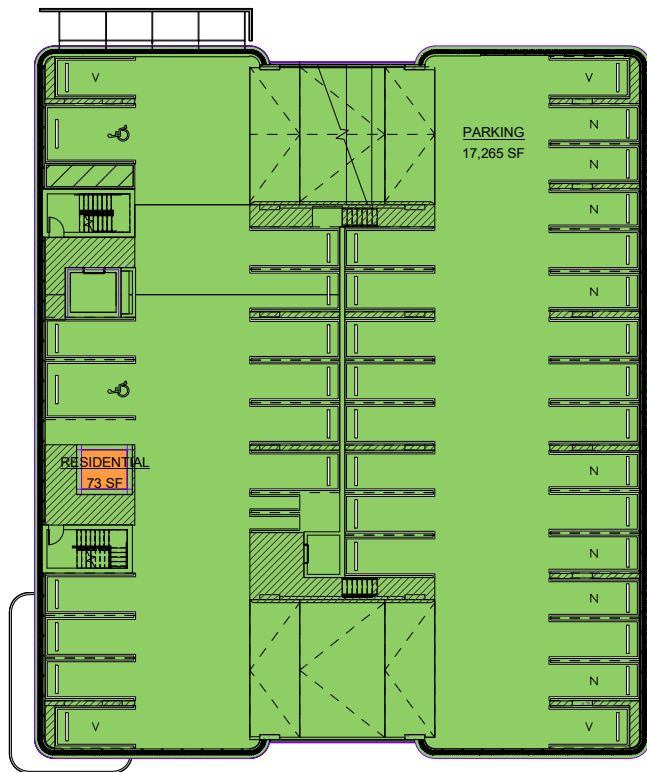
LEVEL 04	
FAR - GROSS FLOOR AREA - LEVEL 04	
Name	Area
PARKING	17,266 SF
RESIDENTIAL	73 SF
FLOOR TOTAL	17,338 SF

4 FAR - LEVEL 04
1/16" = 1'-0"



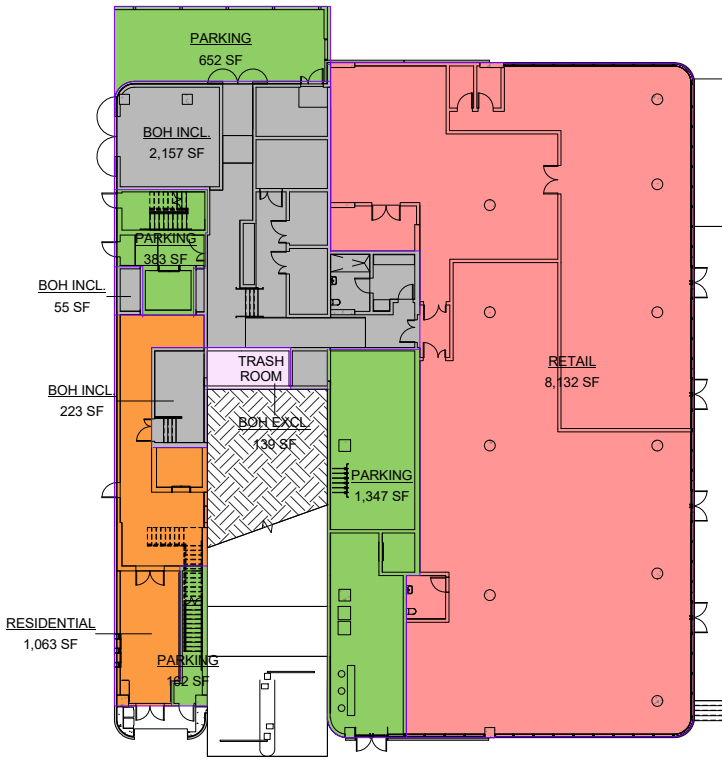
LEVEL 02	
FAR - GROSS FLOOR AREA - LEVEL 02	
Name	Area
BOH INCL.	468 SF
PARKING	6,509 SF
FLOOR TOTAL	6,977 SF

2 FAR - LEVEL 02
1/16" = 1'-0"



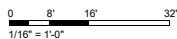
LEVEL 03	
FAR - GROSS FLOOR AREA - LEVEL 03	
Name	Area
PARKING	17,265 SF
RESIDENTIAL	73 SF
FLOOR TOTAL	17,338 SF

3 FAR - LEVEL 03
1/16" = 1'-0"



LEVEL 01 - GROUND	
FAR - GROSS FLOOR AREA - LEVEL 01	
Name	Area
BOH EXCL.	139 SF
BOH INCL.	2,435 SF
PARKING	2,545 SF
RESIDENTIAL	1,063 SF
RETAIL	8,132 SF
FLOOR TOTAL	14,314 SF

1 FAR - LEVEL 01 GROUND
1/16" = 1'-0"



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

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KEY PLAN



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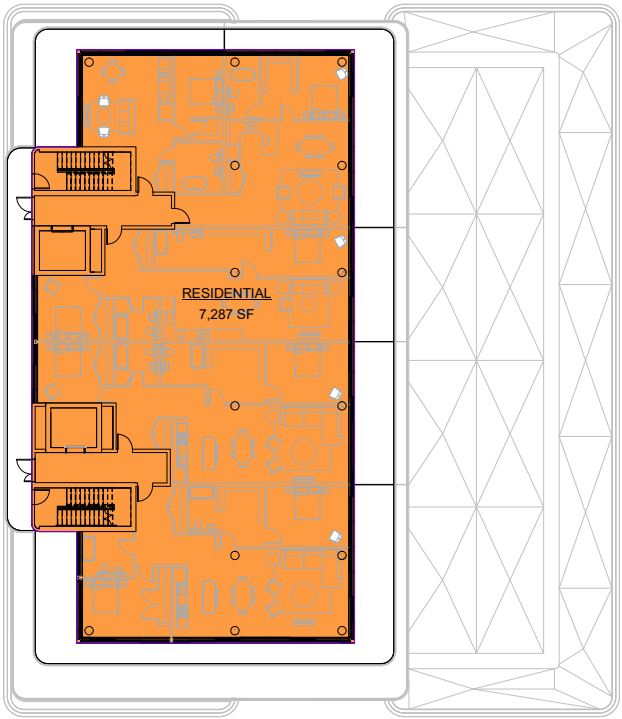


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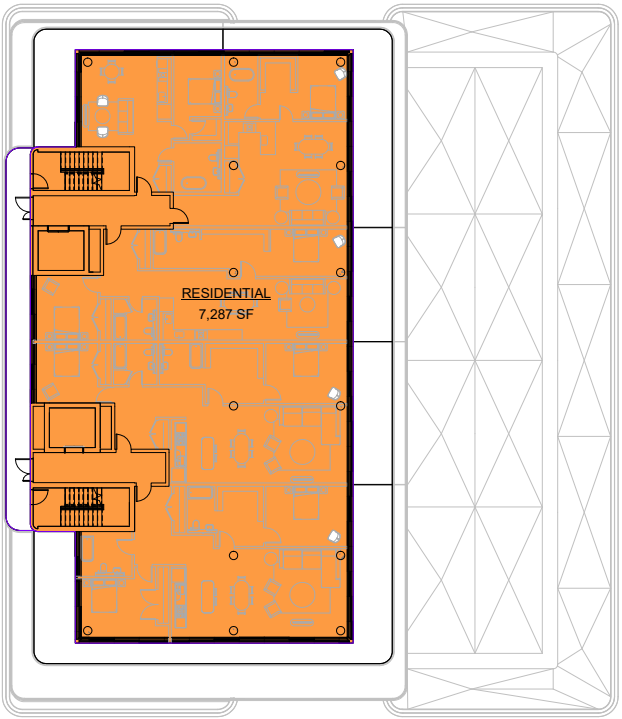
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FAR AREA PLANS - LEVEL 1 TO
LEVEL 4

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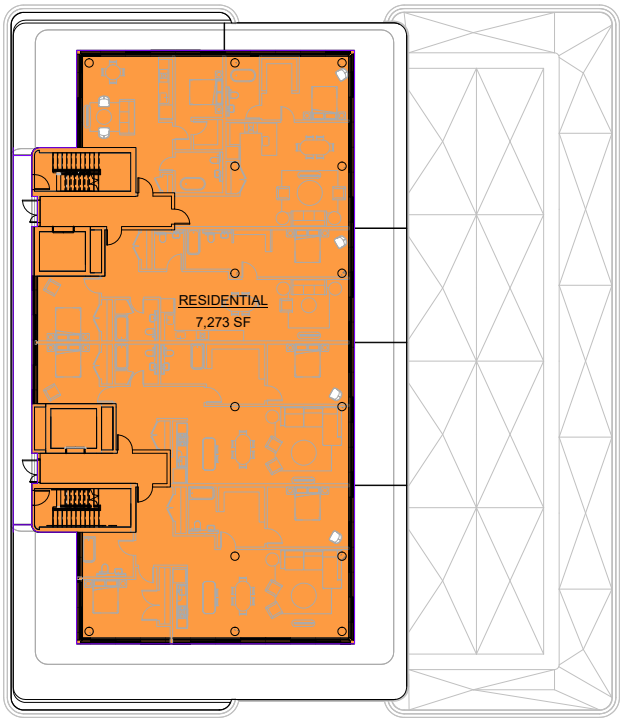
ARCH D 36"x24"



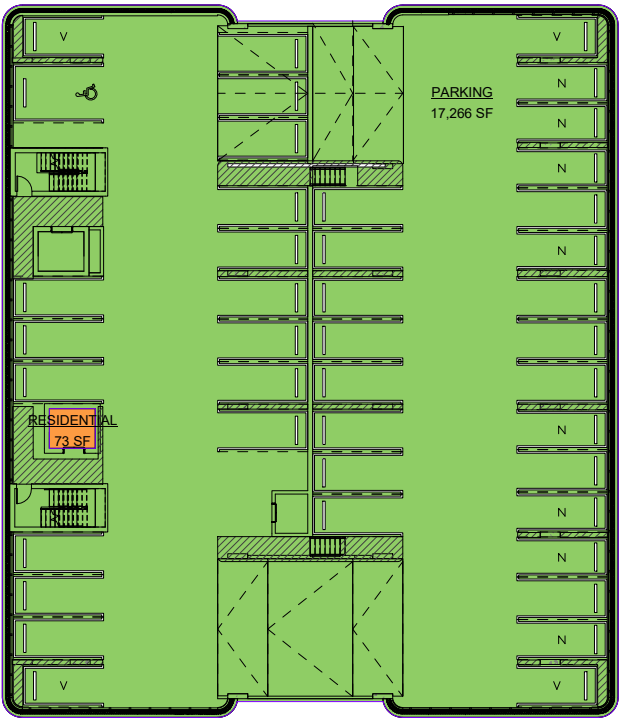
4 LEVEL 08
1/16" = 1'-0"



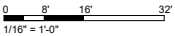
3 FAR - LEVEL 07
1/16" = 1'-0"



2 FAR - LEVEL 06
1/16" = 1'-0"



1 FAR - LEVEL 05
1/16" = 1'-0"



PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
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c/o Allied Partners
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17th Floor
New York, NY 10065-8165

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O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

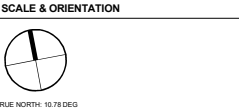
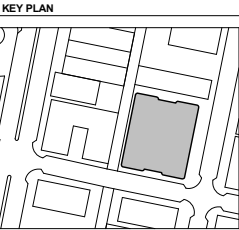
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1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE **DRAWN BY**
04/15/19 -

SCALE **CHECKED BY**
1/16" = 1'-0" -

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL



SCALE AS NOTED
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DRAWING TITLE

HPB A-016.3
FAR AREA PLANS - LEVEL 5 TO 8

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PROJECT

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KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

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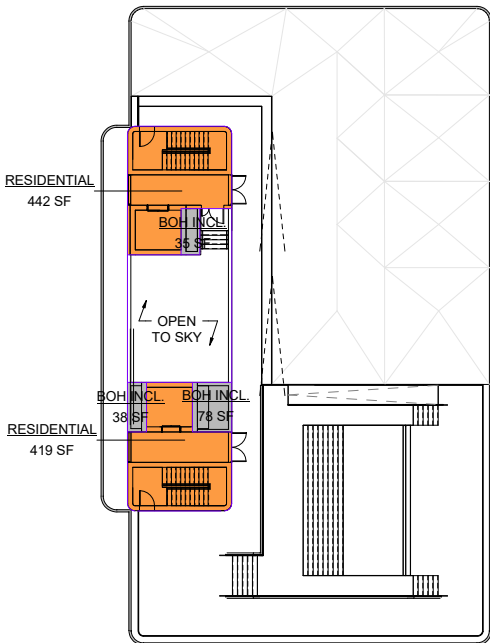
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DRAWING TITLE

HPB A-016.4

FAR AREA PLANS - LEVEL 9



ROOF

FAR - GROSS FLOOR AREA - LEVEL 09

Name	Area
------	------

BOH INCL.	151 SF
RESIDENTIAL	861 SF
FLOOR TOTAL	1,012 SF

1 FAR - LEVEL 09 - ROOF
1/16" = 1'-0"

0 8' 16' 32'
1/16" = 1'-0"

NOT FOR CONSTRUCTION

1. AREA SUMMARY - COMPLIANCE TO MAXIMUM ALLOWED ROOF DECK AREA

PER MIAMI BEACH ZONING ORD. SEC. 142-1161 (a)(3):
DECKS, ARE NOT TO EXCEED THREE FEET ABOVE THE MAIN ROOFLINE AND NOT EXCEEDING A COMBINED DECK AREA OF 50 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW.

1. TOTAL GROSS ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW MAIN ROOFLINE = LEVEL 8 =
= 7,287 SF
2. 50% OF 1a. = 7,322 / 2 = 3,644 SF
3. TOTAL ROOF DECK AREA PROVIDED = 1,995 SF

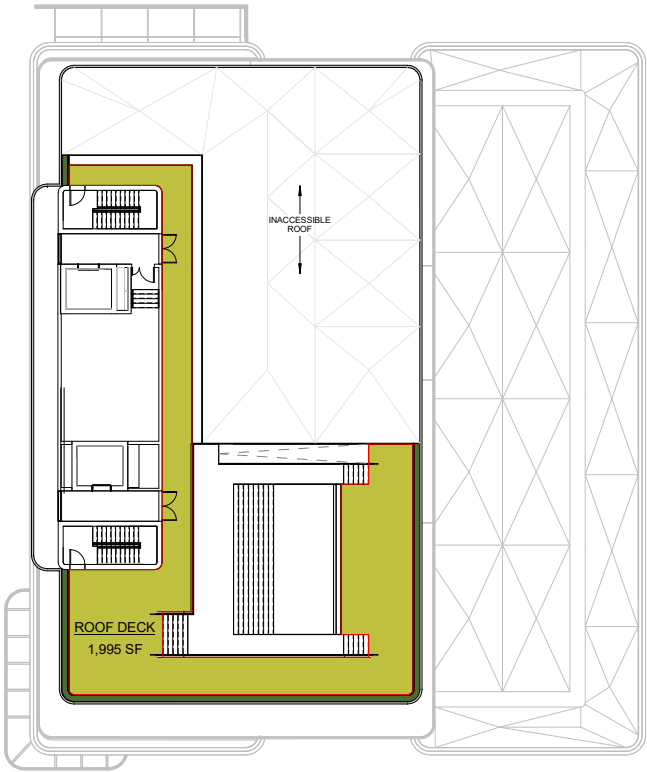
4. TOTAL OCCUPIABLE ROOF DECK AREA IS < THAN 50% OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW THE MAIN ROOFLINE. THIS BUILDING COMPLIES WITH SEC. 142-1161 (a)(3).

Sec. 142-1161. - Height regulation exceptions

(a) The height regulations as prescribed in these land development regulations shall not apply to the following when located on the roof of a structure or attached to the main structure. For exceptions to the single-family residential districts, see subscription 142 - 105 (e).

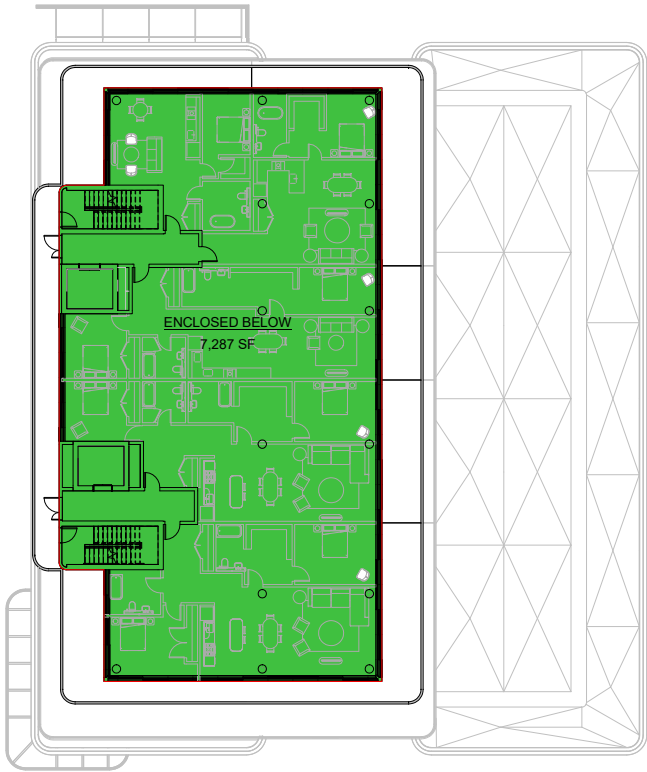
- (3) Docks, not to exceed three feet above the main roofline and not exceeding a combined deck area of 50 percent of the enclosed floor area immediately one floor below.
- (8) Planters, not to exceed three feet in height above the main roofline.
- (13) Swimming pools, whirlpools, or similar structures, which shall have a four-foot wide walkway surrounding such structures, not to exceed five feet above the main roofline.

ROOF AREAS	
Name	Area
ROOF DECK	1,995 SF
TOTAL	1,995 SF



2 ROOF AREA - LEVEL 09 - ROOF DECK
1/16" = 1'-0"

TOTAL GROSS ENCLOSED AREA OF LAST OCCUPIED FLOOR BENEATH ROOF SLAB	
Name	Area
ENCLOSED BELOW	7,287 SF
TOTAL	7,287 SF



1 ENCLOSED AREA - LEVEL 08 - RESIDENTIAL
1/16" = 1'-0"

PROJECT

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Author

1/16" = 1'-0"

Checker

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

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GRAPHIC SCALE (AS NOTED)

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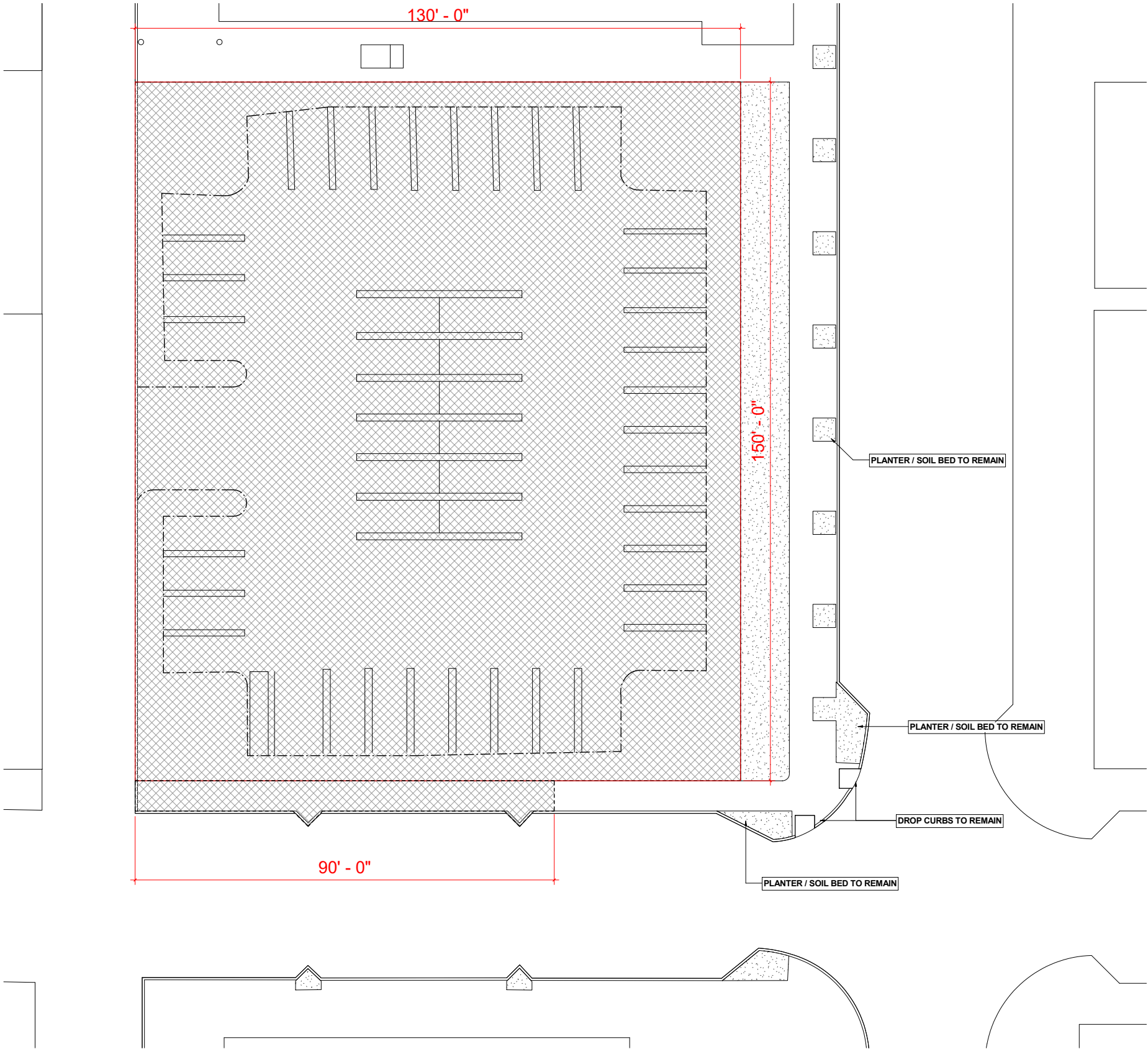
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HPB A-017

AREA SUMMARY COMPLIANCE TO
MAXIMUM ALLOWED ROOF DECK
AREA AND OPEN SPACE RATIO

NOT FOR CONSTRUCTION

ARCH D 36"x24"



NOTES

- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR INFORMATION ON UTILITY MODIFICATIONS AND TREE DISPOSITION
1. AS PER FBC 2014, CH. 33, DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE UNITED STATES WEATHER BUREAU AS BEING HURRICANE WARNING OR ALERT, ALL CONSTRUCTION MATERIALS AND/OR EQUIPMENT SHALL BE SECURED AGAINST DISPLACEMENT BY WIND FORCES
 2. THE SCOPE OF REMOVAL OF WORK SHALL INCLUDE THE REMOVAL OF ALL EXISTING CONDITIONS AS REQUIRED TO ACCOMMODATE THE PROPOSED WORK, WHETHER OR NOT IT IS SPECIFICALLY CALLED OUT ON THIS DEMOLITION PLAN.
 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ANY WORK.
 4. EXISTING UTILITIES SHOWN ARE BASD ON RECORD INFORMATION AND MAY BE INCOMPLETE, CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES
 5. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS FOR CLEARING, SOIL EROSION PROTECTION, AND DISPOSING OF DEBRIS FROM THE SITE
 6. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, RELOCATION, OR RE-ROUTING OF ANY UTILITIES, UNDERGROUND AND OVERHEAD, WITH EACH RESPECTIVE UTILITY COMPANY
 7. THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGEWAYS FOR TRAFFIC AND PEDESTRIANS TO EXISTING BUSINESSES WHICH WILL REMAIN IN OPERATION THROUGHOUT THE DURATION OF CONSTRUCTION
 8. THE CONTRACTOR SHALL FOLLOW ALL SOIL PREPARATION AND FOUNDATION CONSTRUCTION RECOMMENDATIONS AS STATED IN THE GEOTECHNICAL ENGINEERING REPORT
 9. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR ANY ACCIDENTAL RUPTURES DURING EXCAVATION OR CONSTRUCTION
 10. THE CONTRACTOR SHALL REMOVE ALL VISIBLE AND PARTIALLY BURIED DEBRIS FROM AREAS TO BE DEVELOPED OR GRADED AND DISPOSE OF AT AN APPROPRIATE OFF-SITE LOCATION IN COMPLIANCE WITH AUTHORITIES HAVING JURISDICTION
 11. ALL ABANDONED UTILITIES SHALL BE CAPPED, SHUT OFF AT MAIN, AND FILLED
 12. ANY UTILITY LINES NO LONGER IN USE (EITHER SHOWN ON THIS DRAWING OR DISCOVERED DURING CONSTRUCTION) SHALL BE COMPLETELY REMOVED THROUGH COORDINATION WITH THEIR RESPECTIVE UTILITY COMPANY IF THEY CONFLICT WITH ANY NEW UTILITY OR STRUCTURE
 10. THE CONTRACTOR SHALL PROVIDED TEMPORARY PROTECTION, SHORING AND SUPPORT TO ANY LANDSCAPE TO REMAIN ACCORDING TO THE LANDSCAPE DRAWINGS
 11. THE CONTRACTOR SHALL BE RESONSIBLE FOR PROCURING THE REQUIRED ABATEMENT APPROVALS, CERTIFICATIONS AND PERMITS FOR LEAD, ASBESTOS, MERCURY, RODENTS, AND ANY OTHER TOXIC SUBSTANCE PRIOR TO DEMOLITION AS REQUIRED BY LOCAL, STATE, AND FEDERAL JURISDICTIONS HAVING AUTHORITY
 12. THE CONTRACTOR SHALL CONTACT THE CITY OF MIAMI BEACH MORE THE APPROPRIATE DEMOLITION PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK ON SITE
 13. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF MIAMI BEACH AND THE DEPARTMENT OF TRANSPORTATION WHEN DEALING TRAFFIC SIGNAGE THAT IS AFFECTED BY THE WORK
 14. THE CONTRACTOR SHALL ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION
 15. CONTRACTOR SHALL PROVIDE CONTINUOUS WATER SERVICE TO DEBRIS AND OTHERWISE PREVENT DEBRIS/DUST FROM SPREADING TO ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY.
 16. CONTRACTOR TO PROVIDE A TEMPORARY FENCE/WALL TO PROTECT ADJACENT PROPERTIES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION
 17. MEANS OF EGRESS AND LIFE SAFETY EQUIPMENT OF ADJACENT BUILDINGS SHALL NOT BE OBSTRUCTED WHILE WORK IS BEING PERFORMED ON THE SITE.

LEGEND

- PROPERTY LINE
- - - EXISTING CURB / GUTTER TO BE REMOVED
- [Cross-hatch pattern] LIMITS OF DEMOLITION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
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1507 TORINO GARAGE	
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PLANNING BOARD FINAL SUBMITTAL	

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

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DRAWING TITLE

HPB A-040
DEMOLITION PLAN

ARCH D 36"x24"

LOADING DOCK
ENTRY
(DELIVERIES)

MID-SIZE TRUCK STUDY
FROM AUTODESK VEHICLE
TRACKING:
MERCEDES ATEGO 1218
7'-7 3/8" WIDE X 23'-2 1/16"
LONG

COLLINS COURT
20' ALLEY

NORTH-BOUND
ONE WAY

PARKING
GARAGE
ENTRY

1 LOADING DOCK ACCESS
3/32" = 1'-0"

LOADING DOCK
ENTRY
(DELIVERIES)

GARBAGE COMPANY
MANEUVERS BIN
DURING PICK UP

STANDARD GARBAGE
TRUCK STUDY FROM
AUTODESK VEHICLE
TRACKING:
8'-5" WIDE X 35'-0" LONG

COLLINS COURT
20' ALLEY

NORTH-BOUND
ONE WAY

PARKING
GARAGE
ENTRY

2 SANITATION VEHICLE ACCESS / SOLID-WASTE PICK UP
3/32" = 1'-0"

0 4' 8' 16' 32'
3/32" = 1'-0"

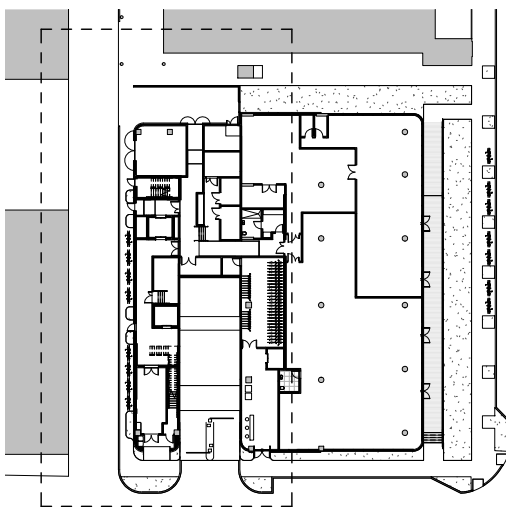
5'-0" RESIDENTIAL
FRONT SETBACK

ALTERNATE PERMANENT LOCATION FOR
RESIDENTIAL & COMMERCIAL BIN - HAULED IN
SMALLER CARTS PER PICK UP SCHEDULE

6'-0"
COMMERCIAL
TRASH BIN
6' MAX

TRASH
RESIDENTIAL
TRASH BIN

5'-0" RESIDENTIAL
FRONT SETBACK



3 GROUND FLOOR KEY PLAN
1/32" = 1'-0"

SANITATION NARRATIVE

Garbage trucks shall stop briefly in the alley and rollout carts, stored within a chilled storage room and accessible through the loading dock, shall be rolled out upon collection.

An alternate, permanent location for trash bins (dumpsters) is located north of the loading dock within the property line. If the sanitation company prefers this location, residential and commercial garbage can be carted from the chilled storage rooms to this bin.

Overhead clearance for garbage trucks to be coordinated with a Civil Engineer, the City of Miami Beach and the private solid waste collection company (TBD).

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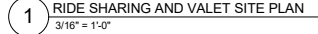


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HPB A-045.1

LOADING DOCK ACCESS &
SANITATION OPERATIONS

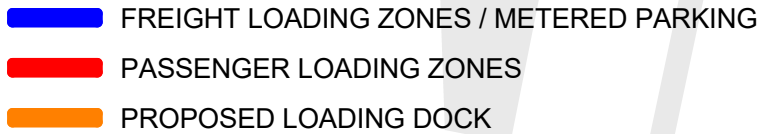
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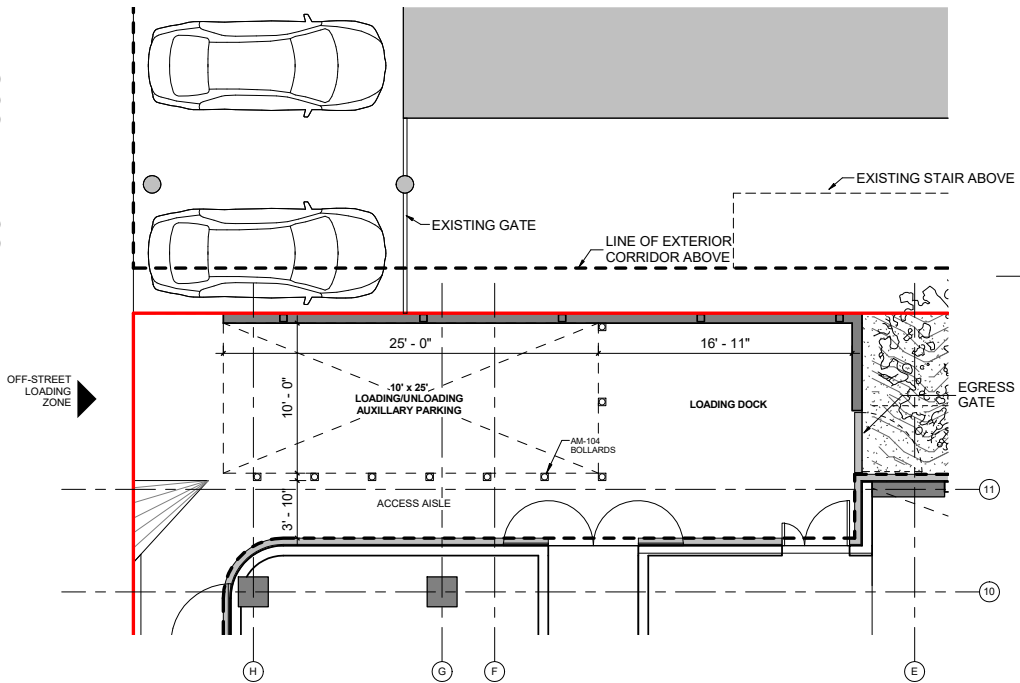
RIDE SHARING AND VALET SITE
PLAN

NOT FOR CONSTRUCTION

[illegible]

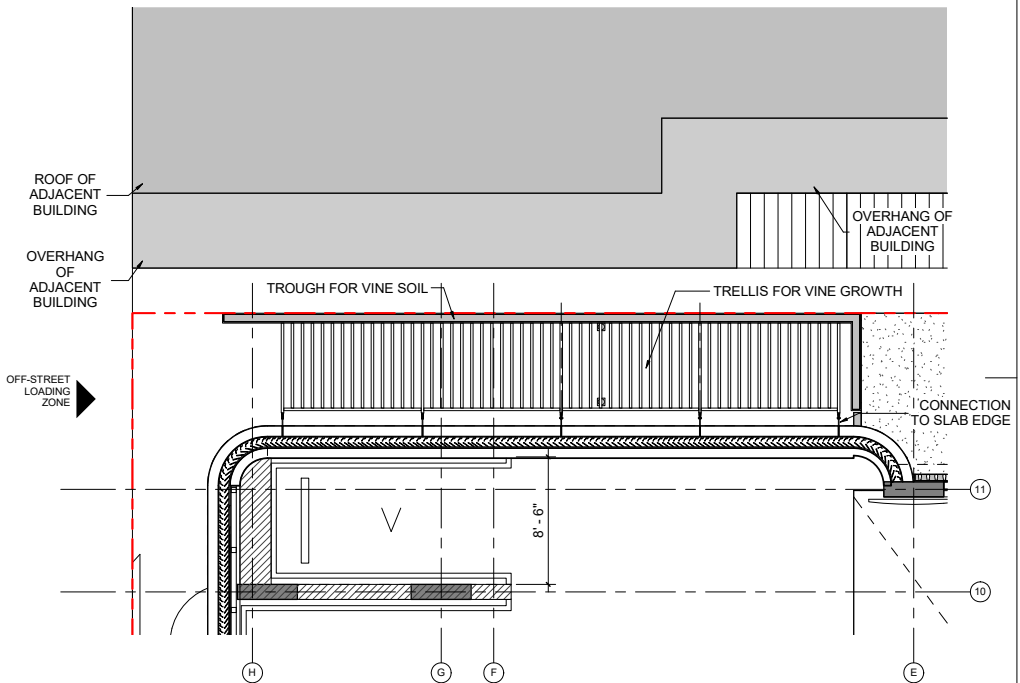
ARCH D 36"x24"

COLLINS COURT

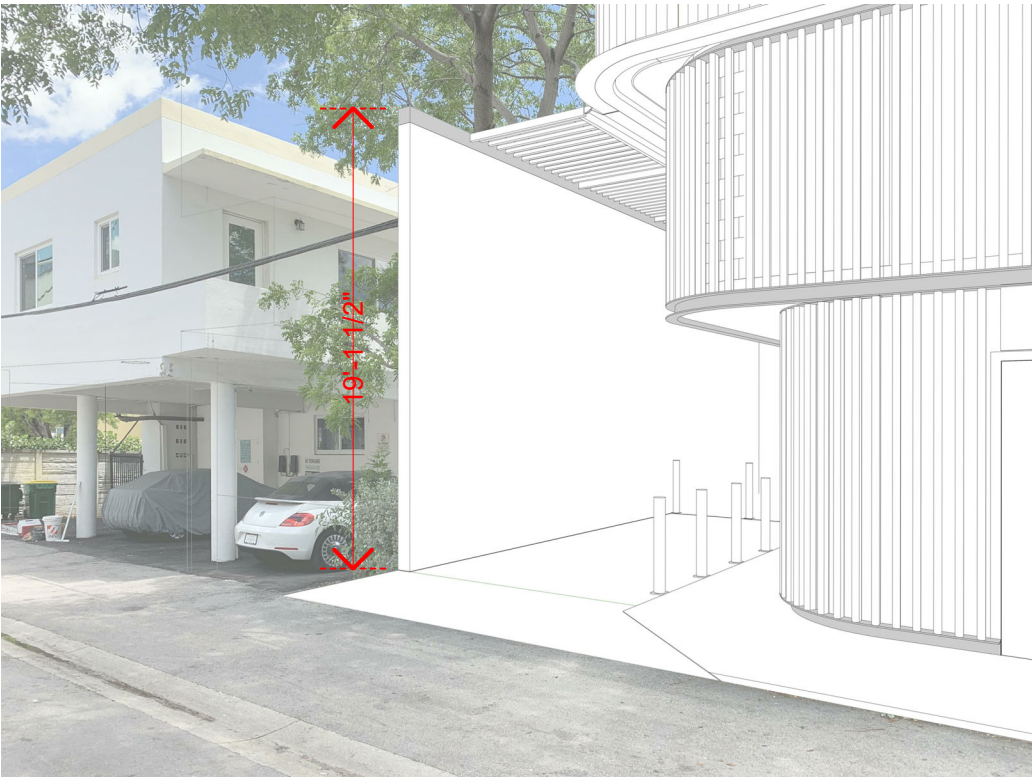


1 LOADING DOCK PLAN
3/16" = 1'-0"

COLLINS COURT



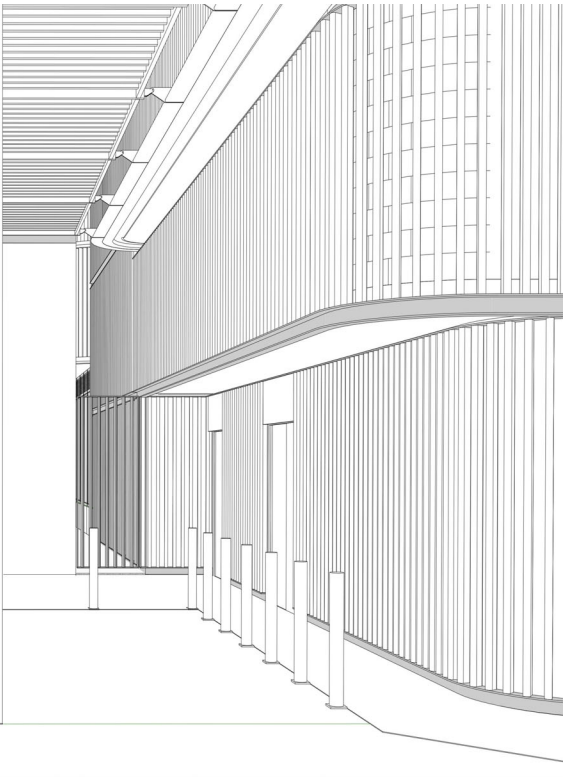
2 LOADING DOCK TRELLIS PLAN
3/16" = 1'-0"



PERSPECTIVE LOOKING TOWARDS ADJACENT PROPERTY



PERSPECTIVE LOOKING DOWN LOT LINE



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DRAWING TITLE

HPB A-045.4

LOADING DOCK

NOT FOR CONSTRUCTION

<u>BICYCLE PARKING SPACES</u>
LONG TERM SPACES:45
SHORT TERM SPACES:30

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	-
SCALE	CHECKED BY
As indicated	-


PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

An aerial photograph of a city block. A single building, located in the upper right quadrant of the block, is shaded in gray. The surrounding buildings are outlined in white. The street layout is visible, with a grid-like pattern of roads.

SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS REQD)

SEAL & SIGNATURE

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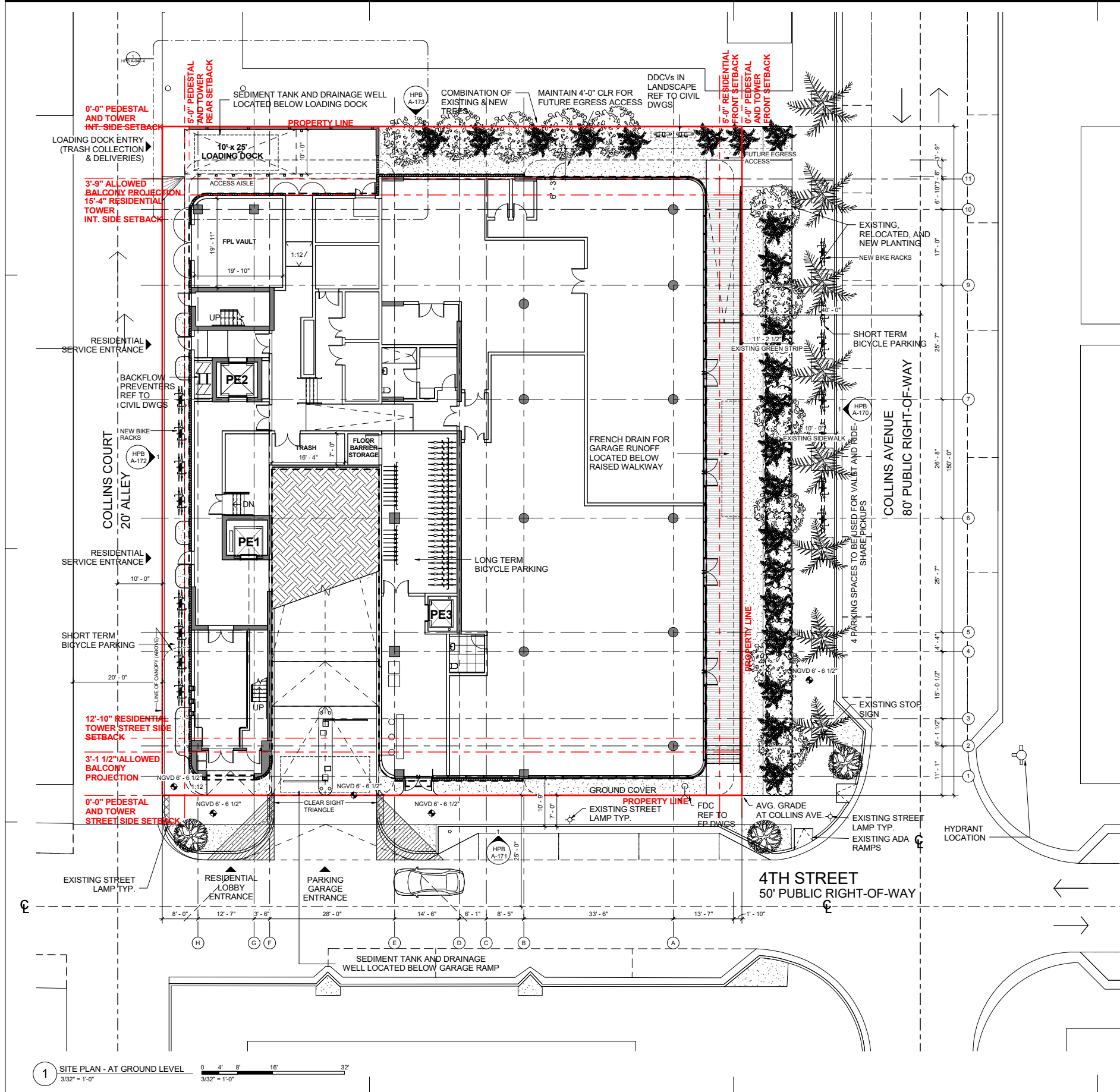
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DRAWING TITLE

HPB A-051

PROPOSED SITE PLAN - GROUND FLOOR



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

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Miami, FL 33131

MEP Engineer:

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Elevator Consultant:

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Acoustic Consultant:

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O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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SCALE

3/32" = 1'-0"

CHECKED BY

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1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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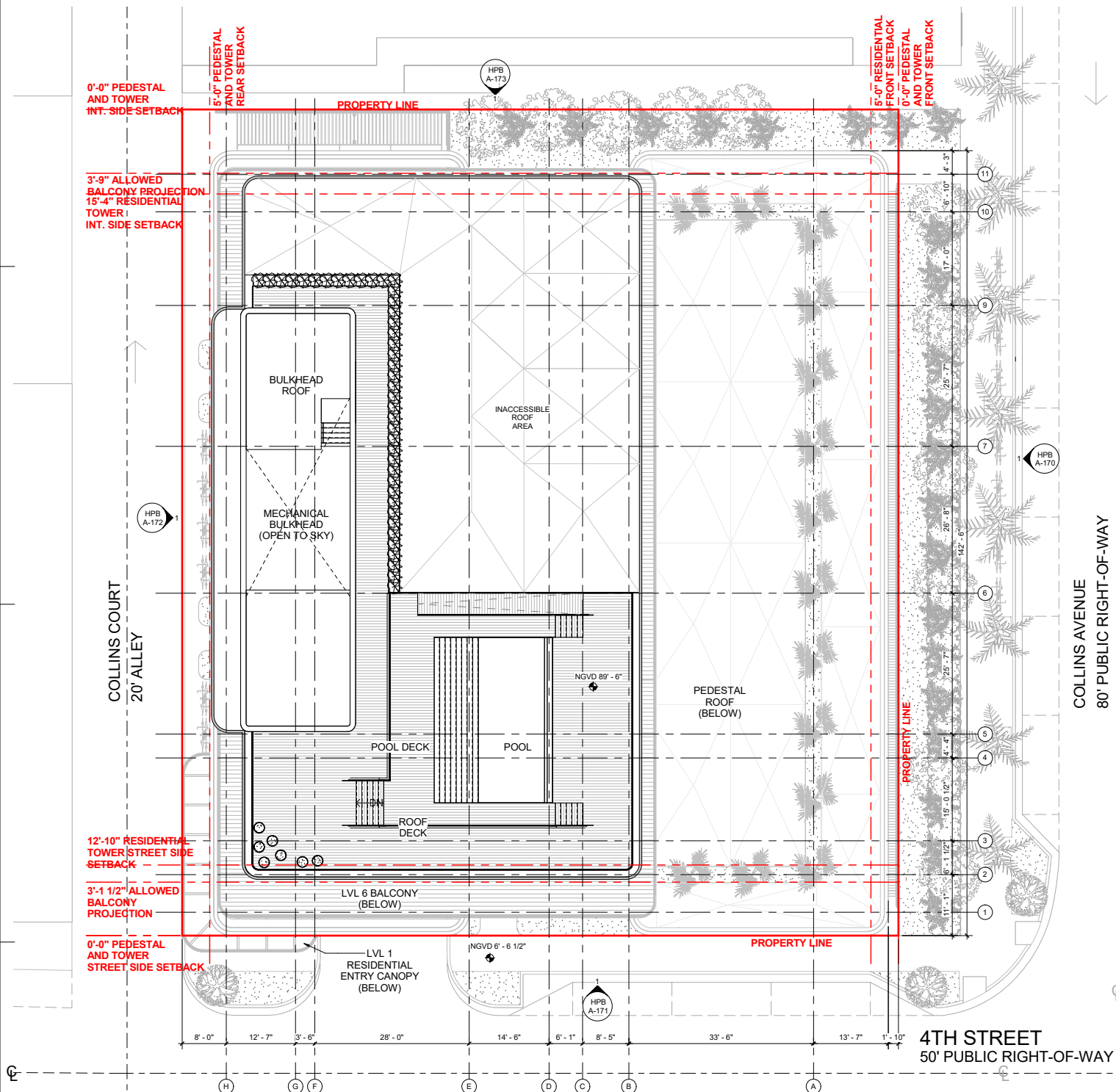


DRAWING TITLE

HPB A-052

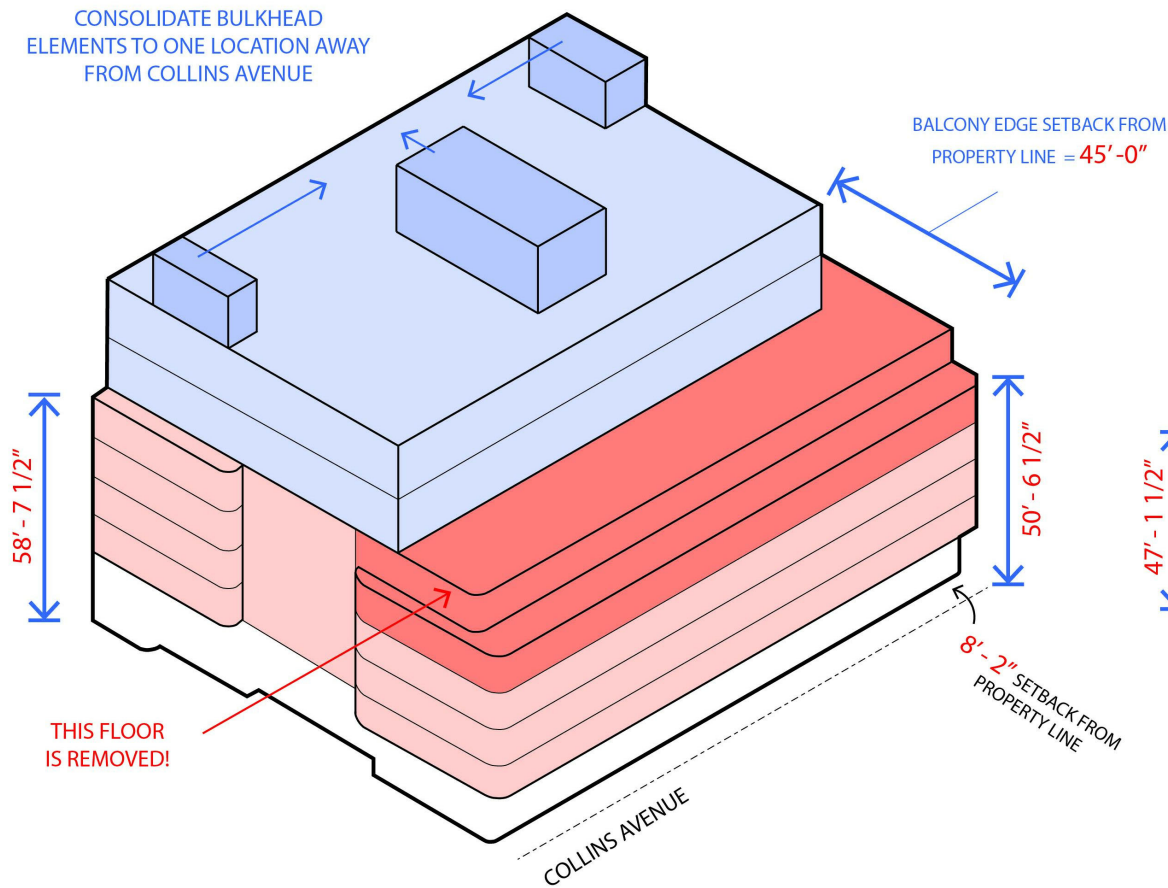
PROPOSED SITE PLAN - ROOF
LEVEL

NOT FOR CONSTRUCTION

1 SITE PLAN - FROM T.O. ROOF
3/32" = 1'-0"0 4' 8' 16' 32'
3/32" = 1'-0"

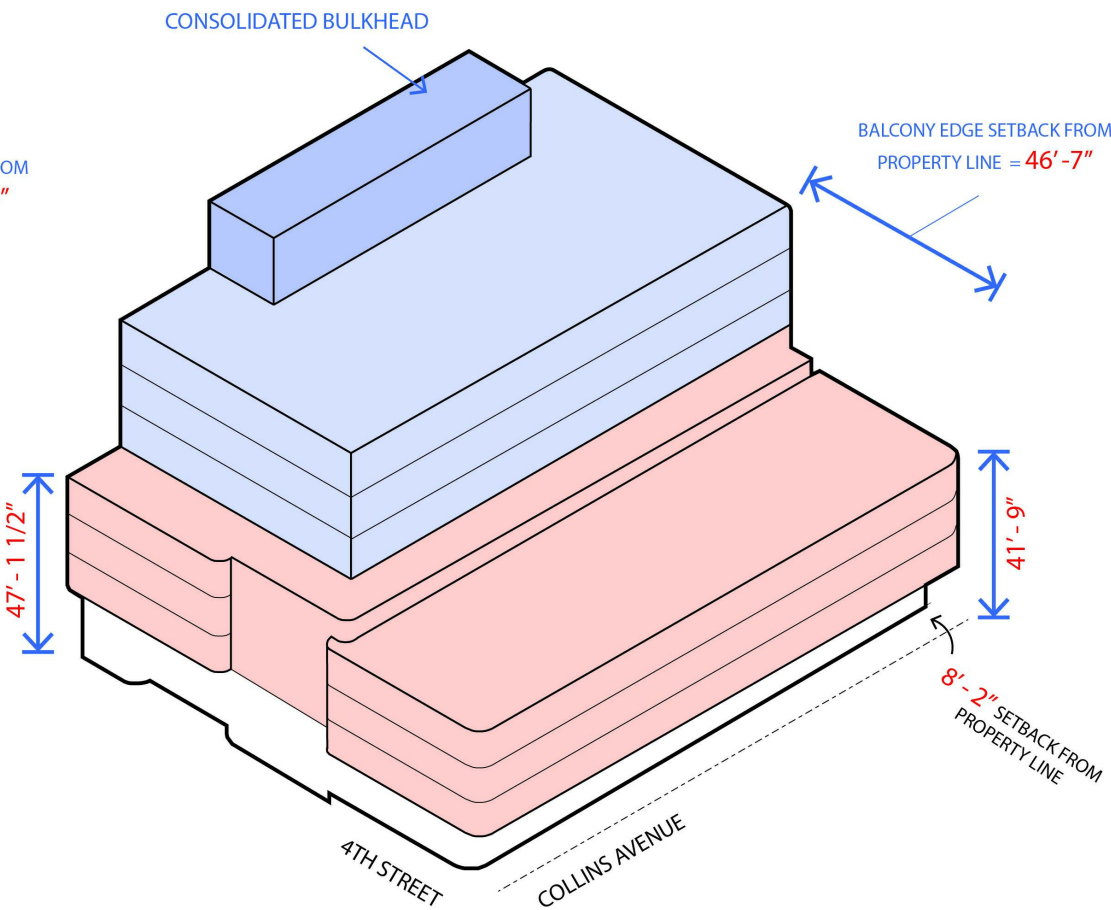
ARCH D 36"x24"

APPROVED HPB SCHEME



104,735 GFA

PROPOSED AMENDMENT SCHEME



97,174 GFA
7,769 SQ.FT. SMALLER
THAN APPROVED SCHEME

THE PROPOSED AMENDMENT SCHEME IS
96,953 CUBIC FEET SMALLER
VOLUMETRICALLY
THAN THE APPROVED HPB SCHEME

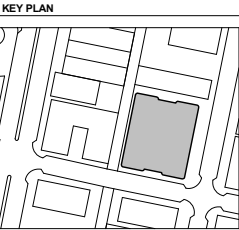
PROJECT
TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH,
FL 33139
Owner:
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c/o Allied Partners
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17th Floor
New York, NY 10065-8165
Architect:
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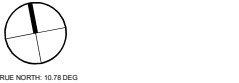
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PROJECT NO. & TITLE
1507 TORINO GARAGE
PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL



SCALE & ORIENTATION



SCALE AS NOTED
GRAPHIC SCALE (AS REQUIRED)

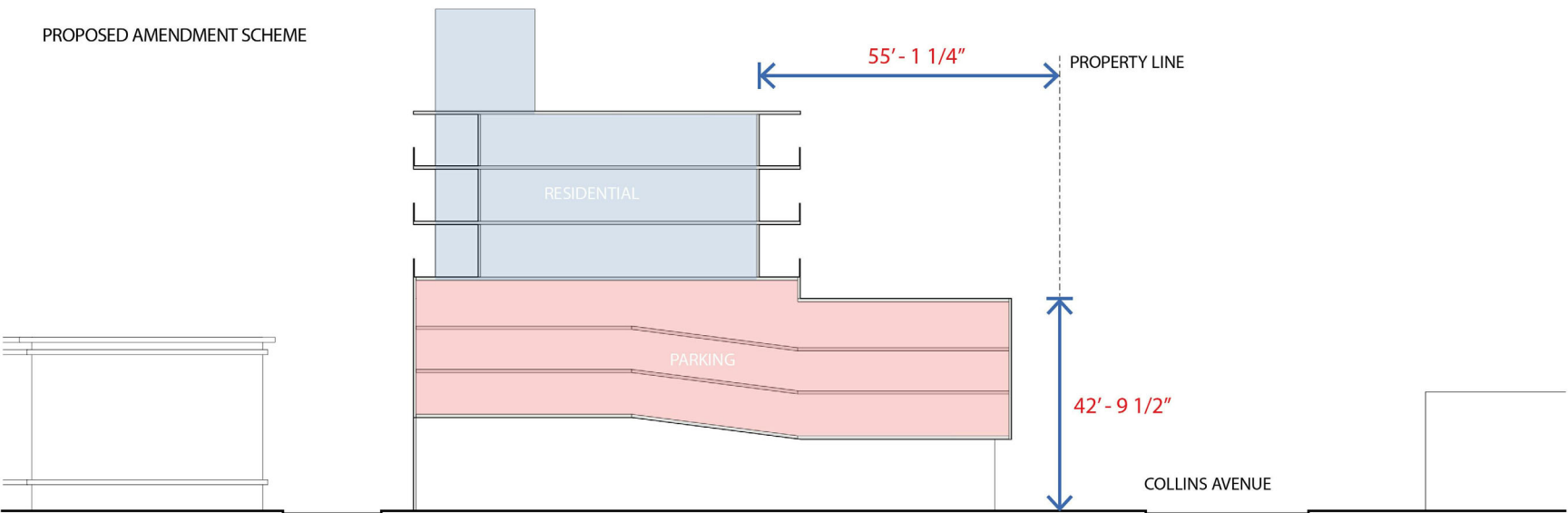
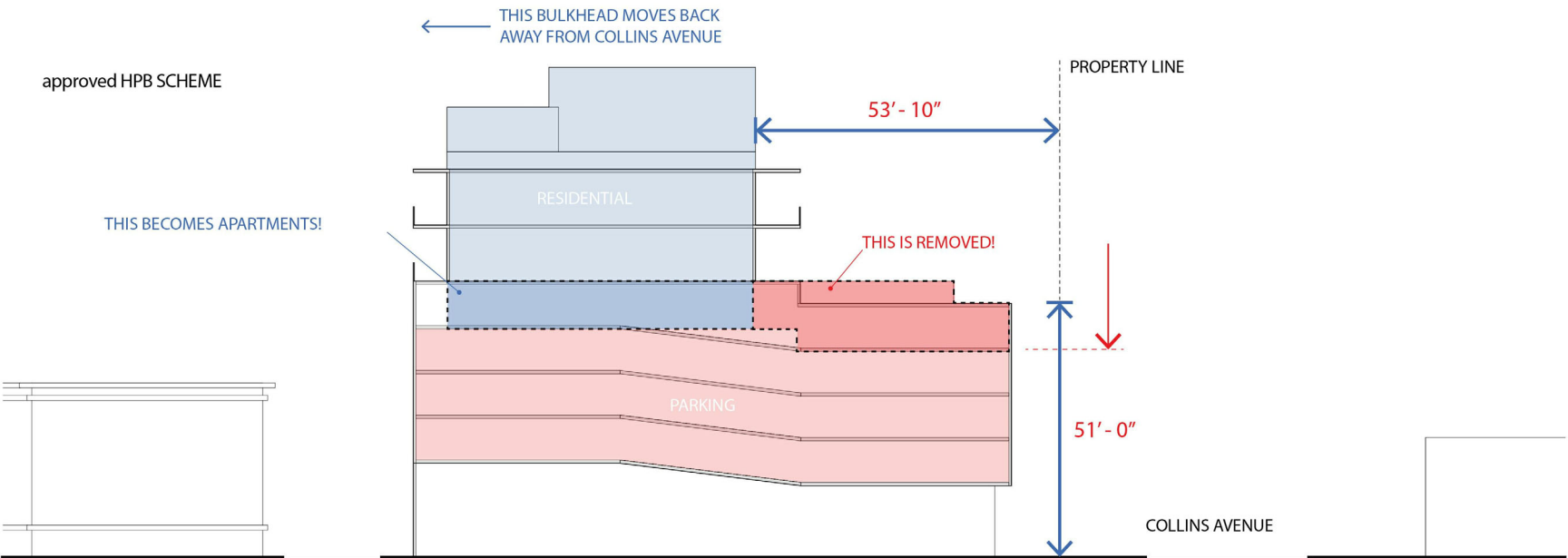
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DRAWING TITLE
HPB A-055
CURRENT SCHEME MASSING VS
PROPOSED SCHEME MASSING

NOT FOR CONSTRUCTION

ARCH D 36"x24"



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

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c/o Allied Partners
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17th Floor
New York, NY 10065-8165

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SCALE

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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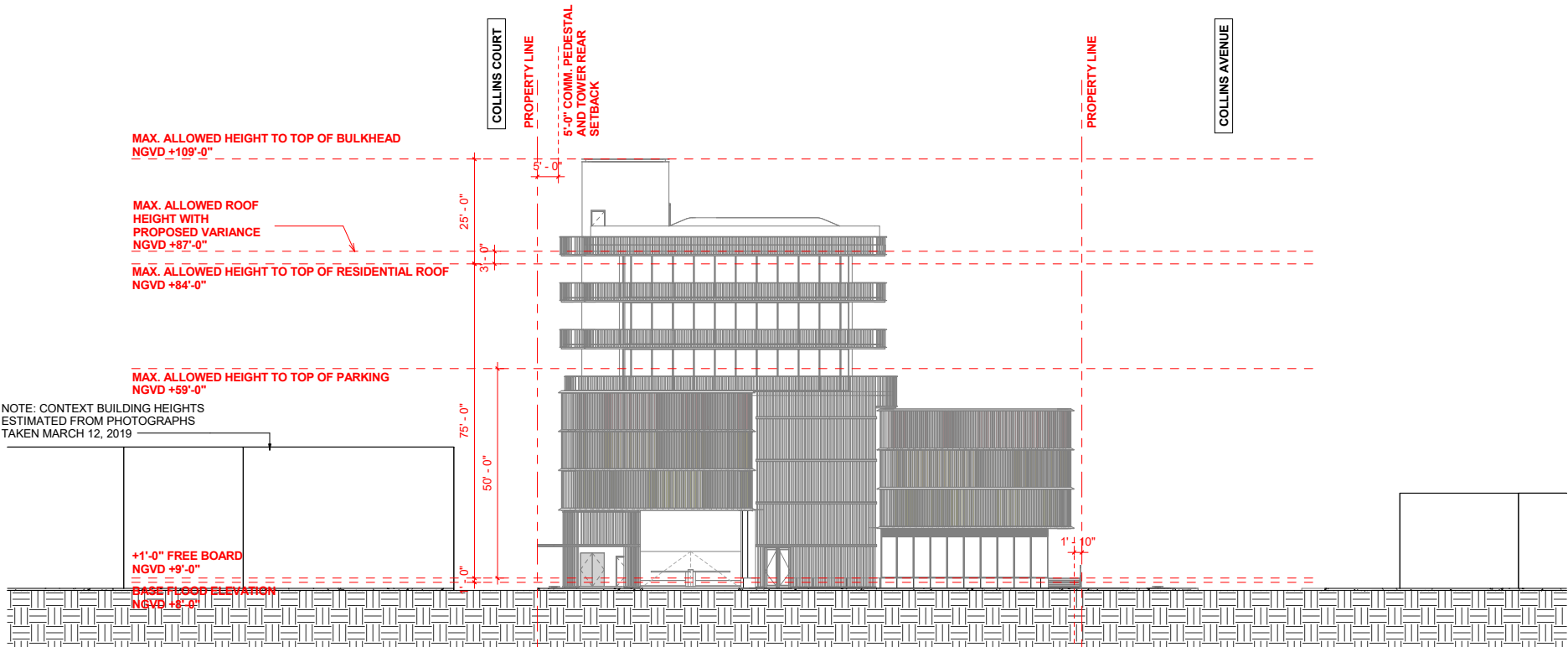
HPB A-056

CURRENT SCHEME SITE SECTION

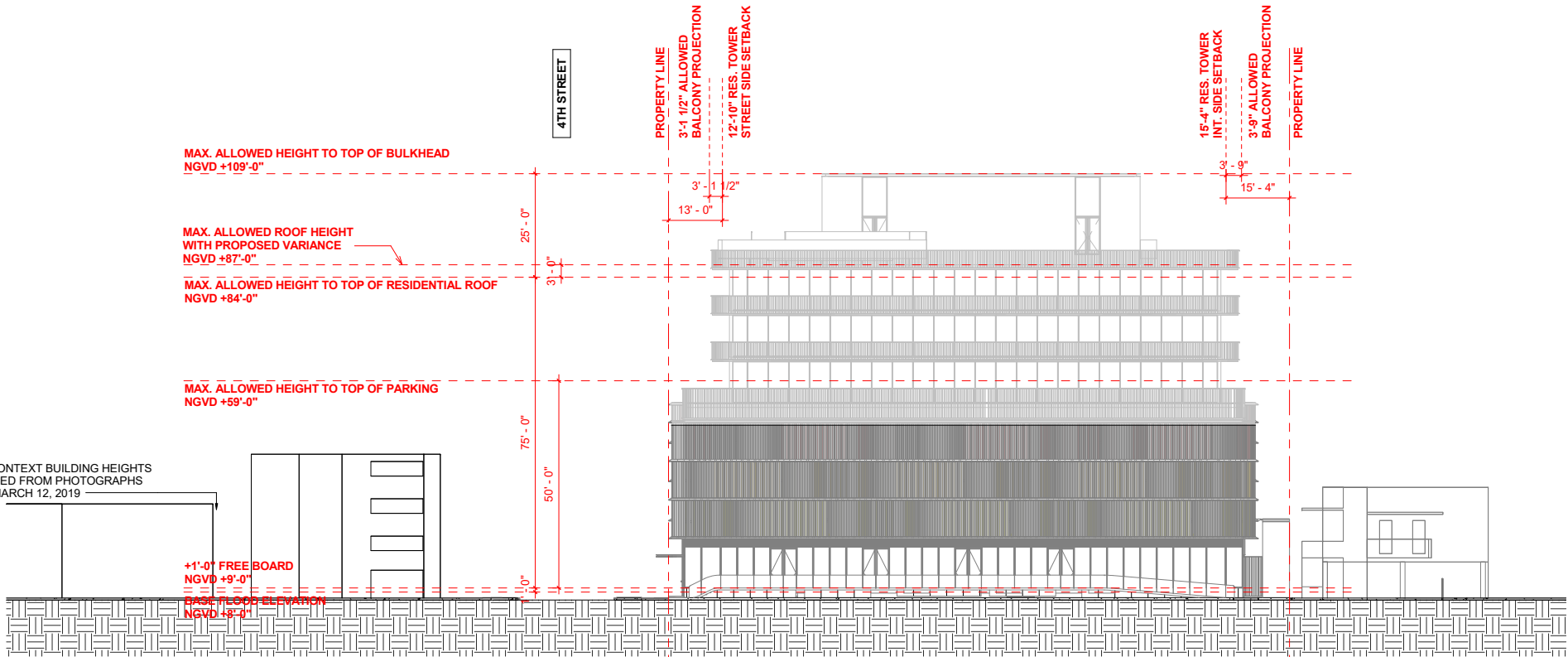
VS PROPOSED SCHEME SITE

SECTION - ALONG 4TH STREET

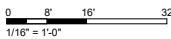
NOT FOR CONSTRUCTION



2 PROPOSED SITE ELEVATION - SOUTH
1/16" = 1'-0"



1 PROPOSED SITE ELEVATION - EAST
1/16" = 1'-0"



PROJECT

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04/15/19	-
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SCALE	CHECKED BY
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1/16" = 1'-0"	-
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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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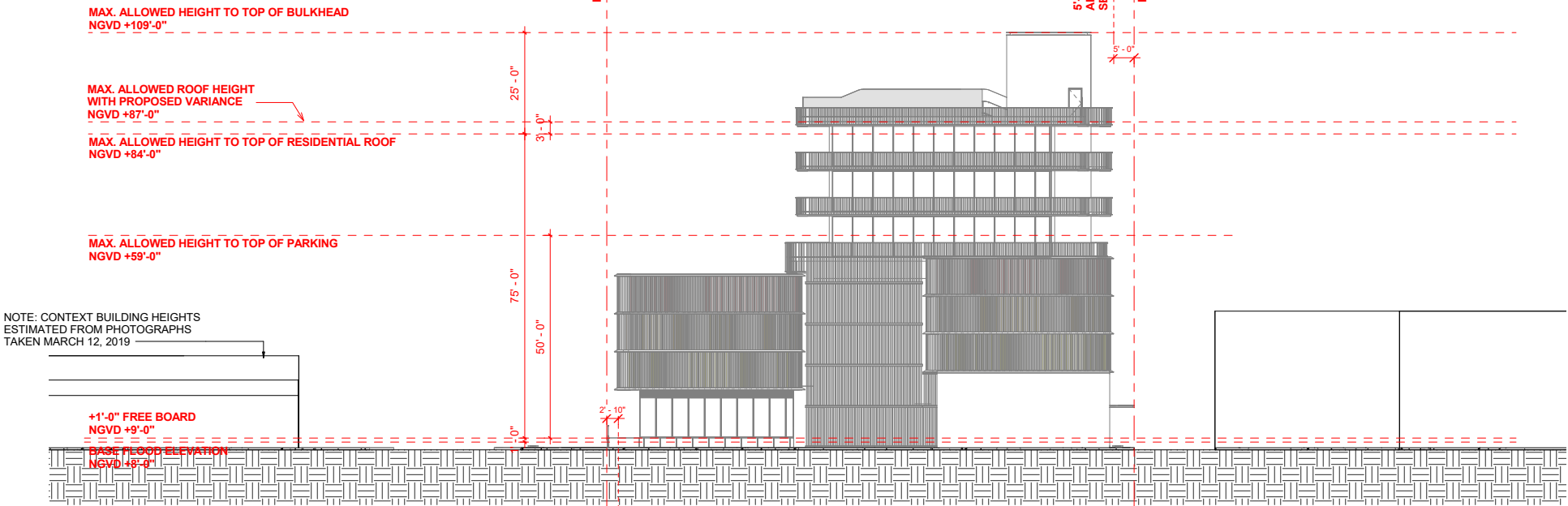


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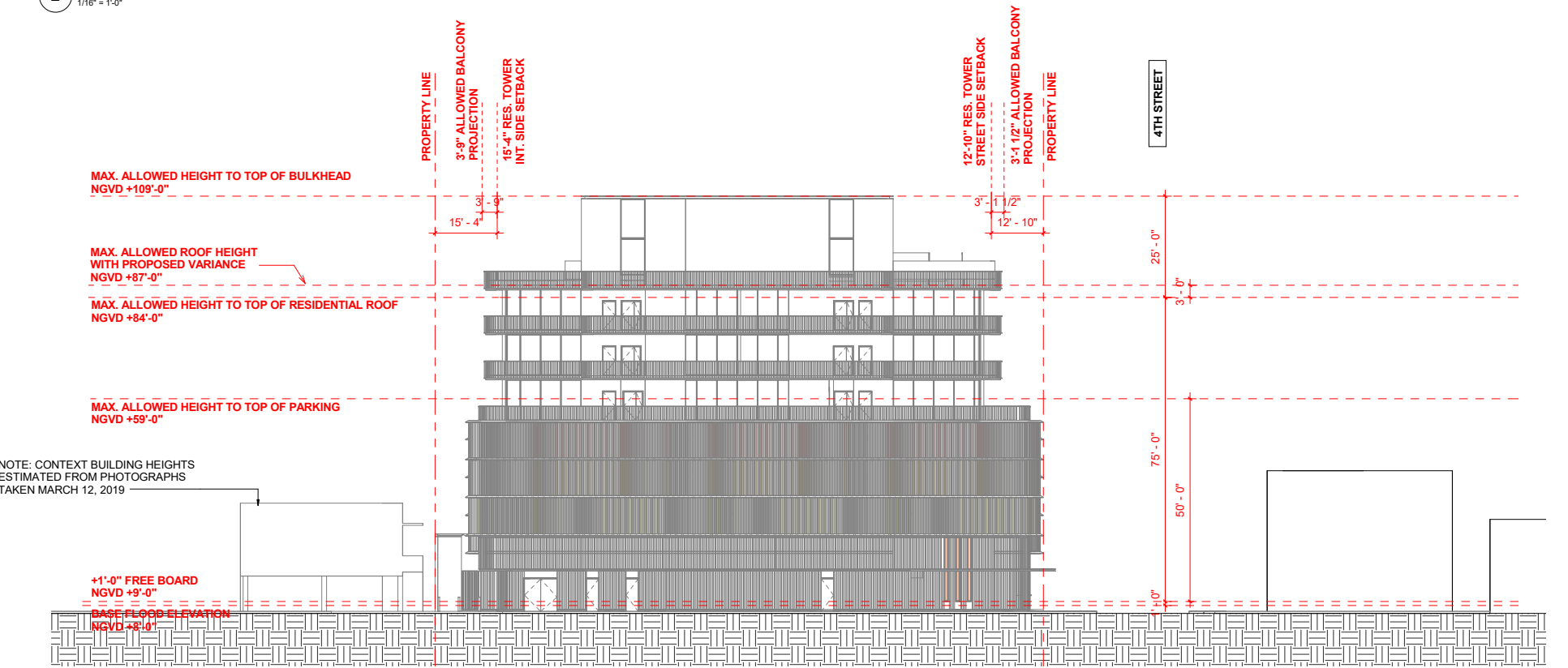
HPB A-060

PROPOSED SITE ELEVATION - SOUTH & EAST

NOT FOR CONSTRUCTION



2 PROPOSED SITE ELEVATION - NORTH
1/16" = 1'-0"



1 PROPOSED SITE ELEVATION - WEST
1/16" = 1'-0"

PROJECT

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1/16" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS REQ'D)

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DRAWING TITLE

HPB A-061

PROPOSED SITE ELEVATION -
NORTH & WEST

NOT FOR CONSTRUCTION