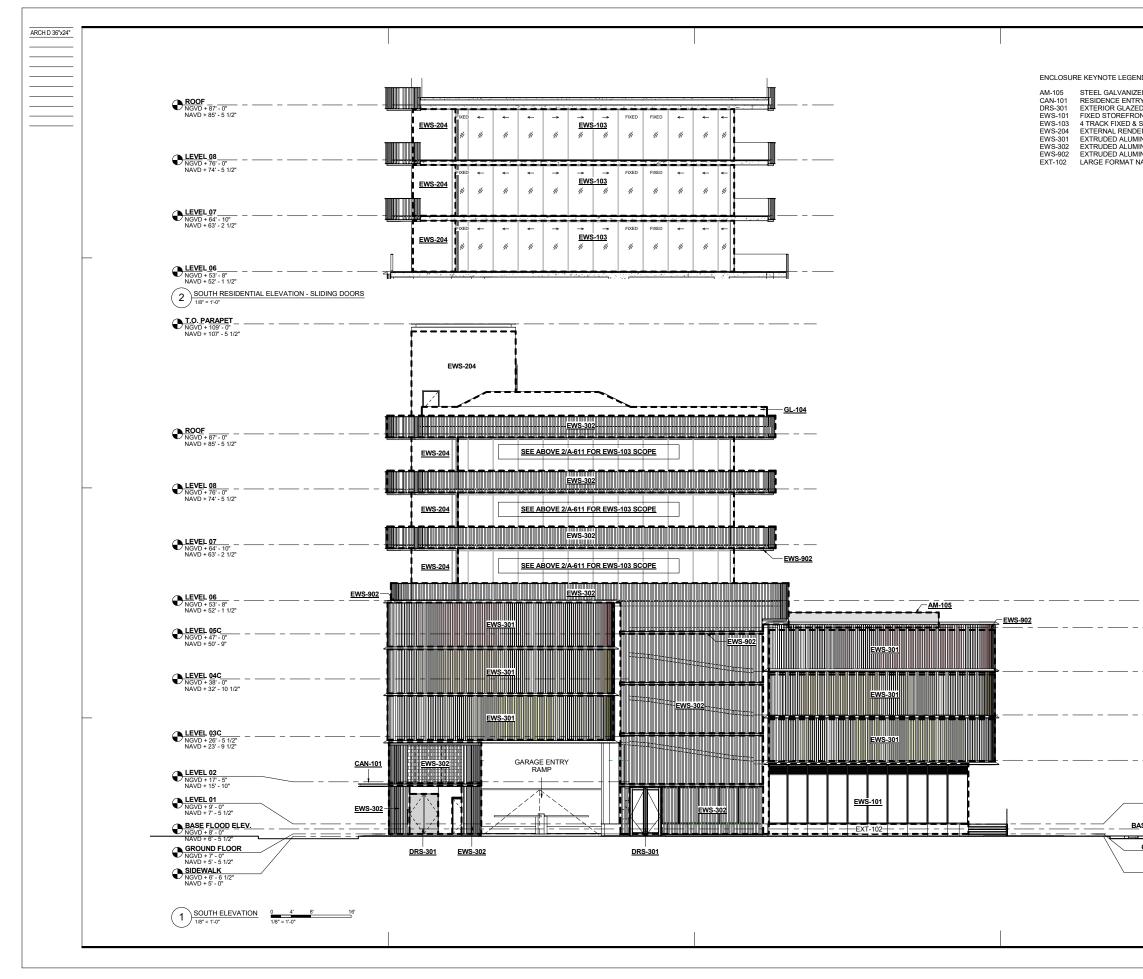
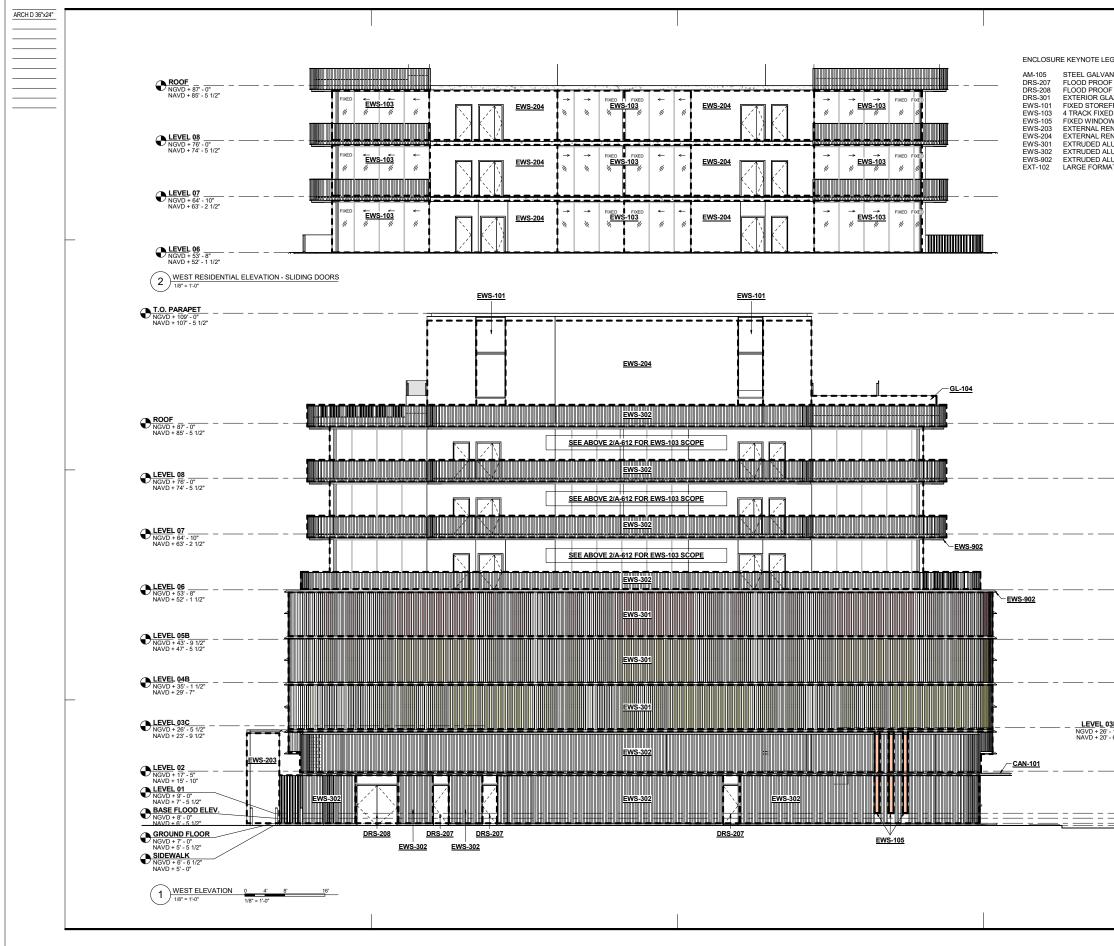


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| D D OUTSWING DOUBLE LEAF DOORSET AT SYSTEM R SYSTEM TO EXTERIOR WALLS R SYSTEM TO EXTERIOR WALLS UNU FRAMED DECORATIVE LOUVER SYSTEM JUM FRAMED DECORATIVE LOUVER SYSTEM JUM CHANNEL PROFILES ATURAL STONE WALL LINING | 400 COLLINS AVE., MIAMI BEACH, FL 33139 Down: So Allia of Partners, LLC So Allia of Partners, LLC So Allia of Partners, BLC So Allia of Partners, Solia Saloa T/D F.Boor New York, NY 10655-8165 Architect: Brandon Haw Architecture LLP 375 Park Avenue, Sula 3308 New York, NY 10152 Leanse # AA26003249 COSULTATS Structural Engineer: Desimone 800 Brickel Avenue, 6th Floor Mami, FL 33131 MEP Engineer: Statestime we bluck Sular A01 Mami, FL 33143 Mer Engineer: VIS Engineering, Inc. 8050 NY 78th Court, Sular A01 Mami, FL 33144 Cost Engineer: 1550 NY 78th Court, Sular A01 Mami, FL 33144 Cost Engineer: 1550 NY 78th Court, Sular A01 Mami, FL 33144 Cost Engineer: 200 Parterno Avenue 201 Gables, FL 3310-5548 Mer Engineering, Inc. 806 Roby 73th Court, Sular 200 Mami Lakes, FL 33104 Coral Gables, FL 33104 Part Consulting, Inc. 807 Parter Consultati: Timothy Haaha & Associates, Inc. Mami, FL 33144 Coral Guabes, FL 33104 Part Consultati: Mami, FL 33144 Coral Guabes, FL 33104 Part Consultati: Mami, FL 33142 Elevetor Consultati: Barter Consu |
| | DATE OF ISSUE DRAWN BY 0408/19 - SCAL CHECKED BY 18* = 1*0* - PROJECT NO. A TITLE 1507 TORINO GARAGE PROJECT STATUS PROJECT STATUS PANNING BOARD FINAL SUBMITTAL - KEY PLAN - OUTOFIC STATUS - SCALE & ORIENTATION - |
| NOT FOR CONSTRUCTION | <section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header> |

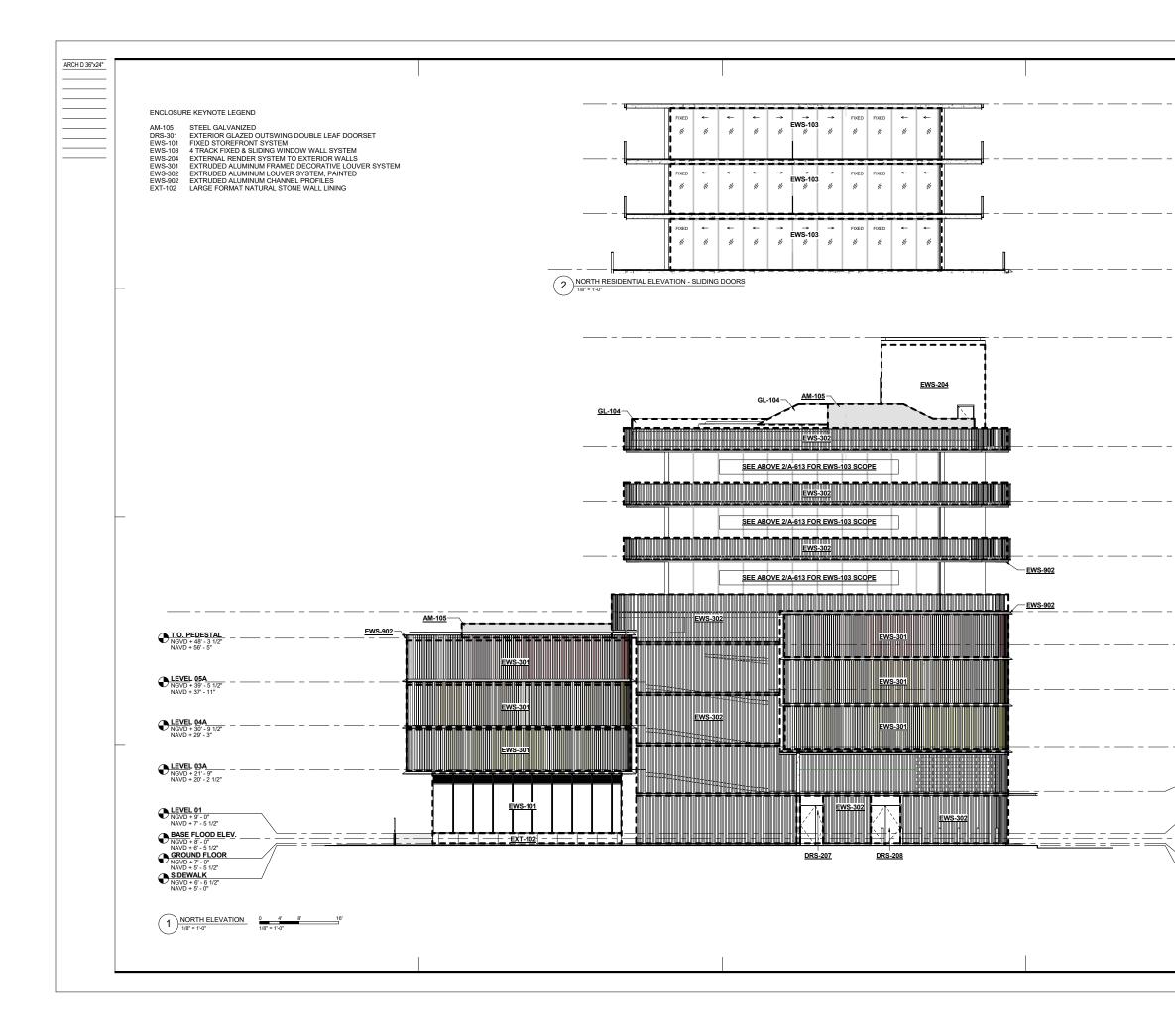


| | PROJECT |
|---|---|
| | TORINO GARAGE 400 COLLINS AVE., MIAMI BEACH, FL 33139 |
| | Owner: Savoy Hotel Partners, LLC |
| END | c/o Allide Partners 770 Lexington Ave |
| ZED 'RY CANOPY | 17th Floor New York, NY 10065-8165 |
| ED OUTSWING DOUBLE LEAF DOORSET | Architect: Brandon Haw Architecture LLP |
| ONT SYSTEM & SLIDING WINDOW WALL SYSTEM | 375 Park Avenue, Suite 3308 New York, NY 10152 |
| DER SYSTEM TO EXTERIOR WALLS MINUM FRAMED DECORATIVE LOUVER SYSTEM | License # AA26003249 CONSULTANTS |
| MINUM LOUVER SYSTEM, PAINTED | Structural Engineer: |
| MINUM CHANNEL PROFILES NATURAL STONE WALL LINING | DeSimone 800 Brickell Avenue, 6th Floor |
| | Miami, FL 33131 MEP Engineer: |
| | Stantec 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737 |
| | Miami, FL 33137-3737 Civil Engineer: |
| | VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113 |
| | Miami, FL 33144 |
| | Geo-tech Engineer: Langan 15150 NW 70th Court Suite 200 |
| | 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848 |
| | Life Safety Consultant: SLS Consulting, Inc. |
| | 260 Palermo Avenue Coral Gables, FL 33134 |
| | Parking Consultant: Timothy Haahs & Associates, Inc. |
| | Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 Miami, FL 33128 |
| | Elevator Consultant: Van Deusen & Associates, Inc. |
| | 8201 Peters Road, Suite 1000 Plantation, FL 33324 |
| | Acoustic Consultant: Electro-Media Design, Ltd. |
| | Electro-Media Design, Ltd. 973-C Russell Avenue Gaithersburg, MD 20879 |
| | Landscape Architect: |
| | Naturalficial, Inc. 6915 Red Road, Suite 224 Cord Gables, El 33143 |
| | Coral Gables, FL 33143 Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341 |
| | Firm Reg. No. LC26000548 |
| | NO. DESCRIPTION DATE 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019 |
| | 2 PLANNING BOARD FINAL SUBMITTAL April 26, 2019 |
| | |
| | |
| | |
| | |
| | |
| | DATE OF ISSUE DRAWN BY |
| | 04/08/19 - |
| | SCALE CHECKED BY |
| | 1/8" = 1'-0" - |
| | PROJECT NO. & TITLE 1507 TORINO GARAGE |
| | PROJECT STATUS |
| | PLANNING BOARD FINAL SUBMITTAL |
| | KEY PLAN |
| | Drink The In |
| <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" | |
| NAVD + 52' - 1 1/2" | |
| T.O. PEDESTAL | |
| NGVD + 48' - 3 1/2" NAVD + 56' - 5" | |
| | |
| | |
| _ LEVEL 05A NGVD + 39' - 5 1/2" | |
| NAVD + 37'- 11" | |
| | SCALE & ORIENTATION |
| LEVEL 04A | \square |
| - LEVEL 04A NGVD + 30' - 9 1/2" NAVD + 29' - 3" | (+) |
| | |
| | TRUE NORTH: 10.78 DEG |
| | |
| - <u>LEVEL 03A</u> NGVD + 21' - 9" NAVD + 20' - 2 1/2" | SCALE AS NOTED GRAPHIC SCALE (AS REQD) |
| | |
| | SEAL & SIGNATURE |
| LEVEL 01 NGVD + 9' - 0" NAVD + 7' - 5 1/2" | This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes. |
| | ilo Brandon Haw Architecture LLP 2019 |
| BASE FLOOD ELEV. NGVD + 8' - 0" | TE OF FLOA |
| | Water Control |
| AND + 0' - 5 1/2" GROUND FLOOD NGVD + 7' - 0" NAVD + 5' - 5 1/2" | 8 · · · · · · · · · · · · · · · · · · · |
| | AR97975 |
| SIDEWALK NGVD + 6' - 6 1/2" NAVD + 5' - 0" | ENTERED ARCHIDA |
| HAVD T J T U | |
| | |
| | PB A-611 |
| | ENCLOSURE SCOPE ELEVATION - |
| NOT FOR CONSTRUCTION | SOUTH |
| | I |
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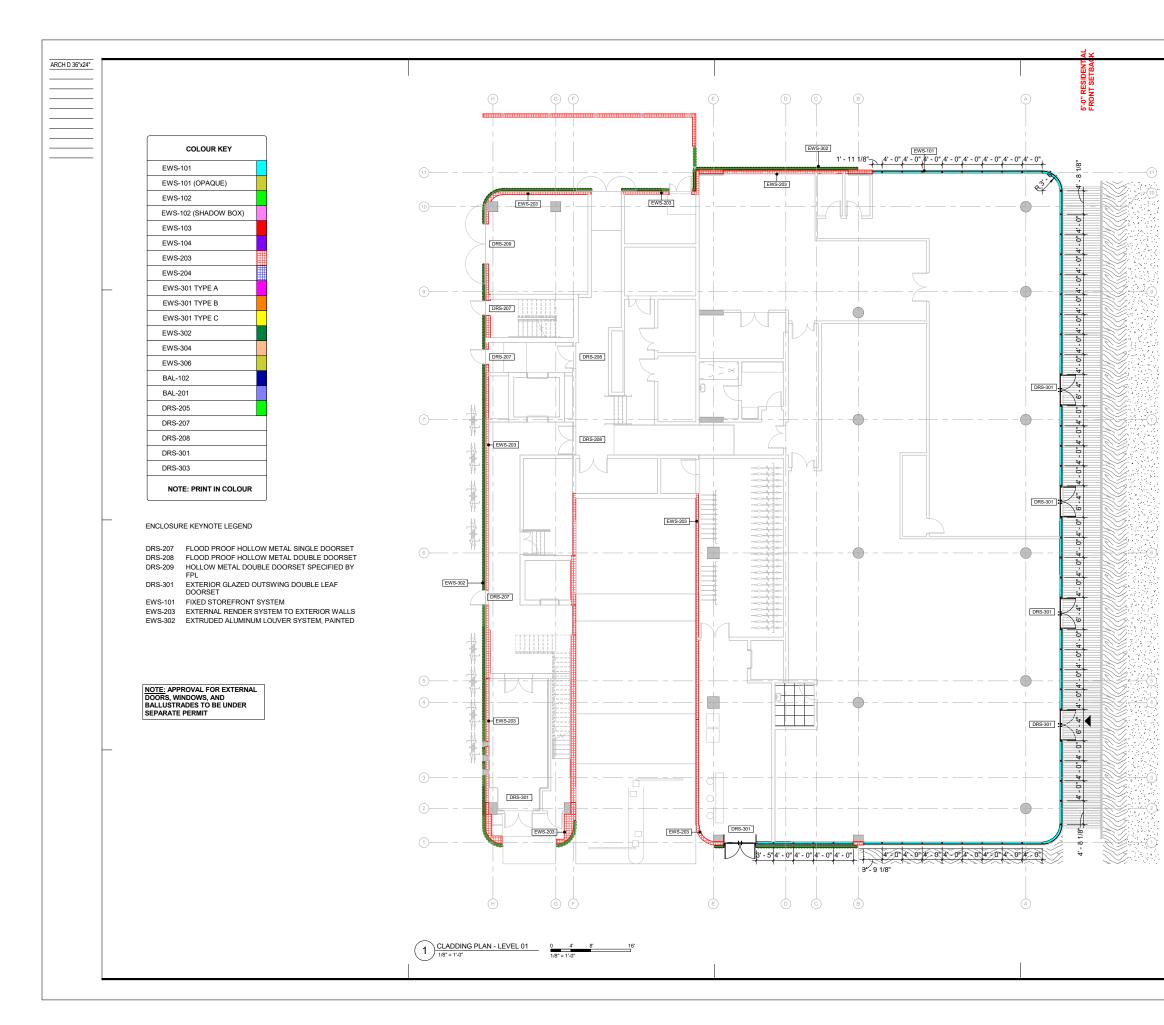
PROJECT



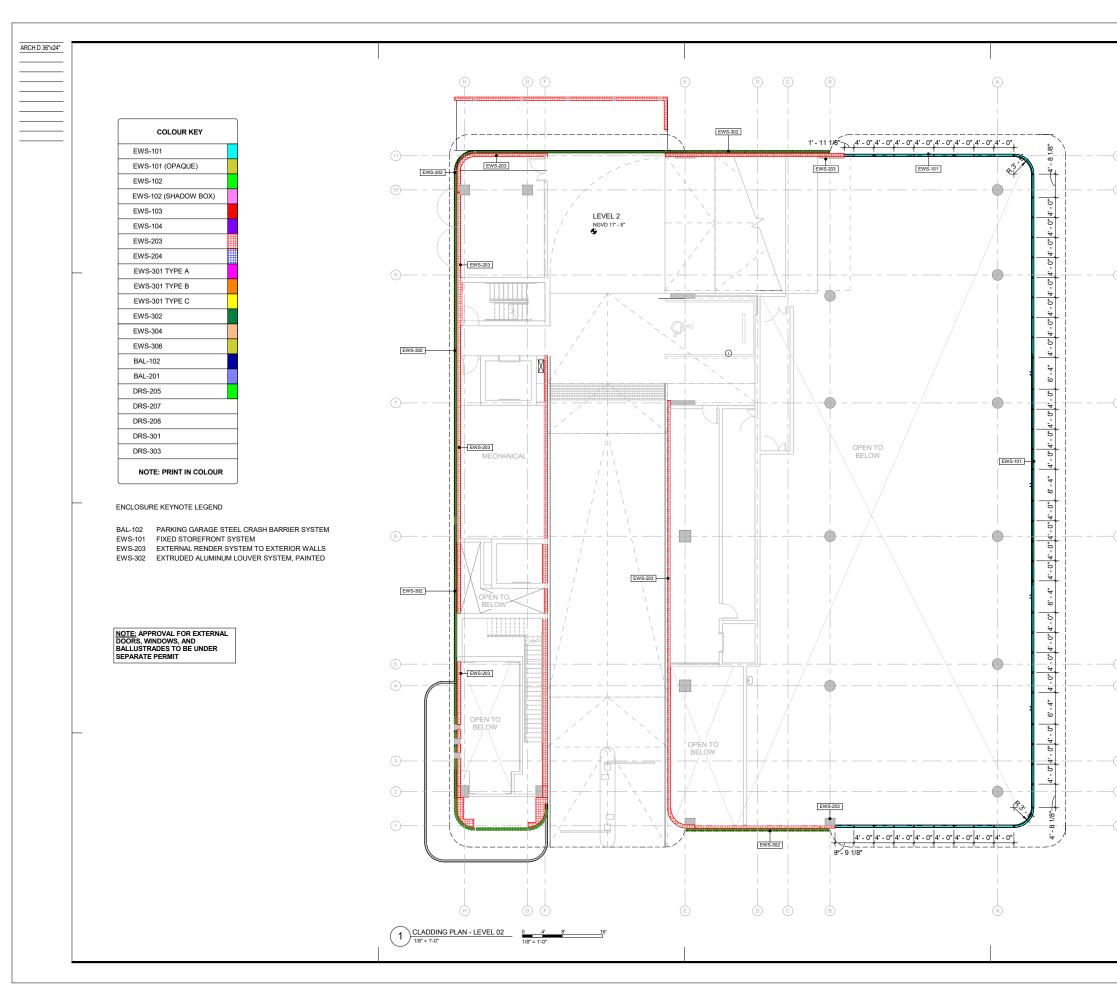
| 1 | 1100201 |
|---|---|
| GEND NIZED F HOLLOW METAL SINGLE DOORSET F HOLLOW METAL DOUBLE LOORSET AZED OUTSWING DOUBLE LEAF DOORSET FRONT SYSTEM D & SLIDING WINDOOW WALL SYSTEM W IN BLOCK WALL ENDER SYSTEM TO EXTERIOR WALLS UMINUM FRAMED DECORATIVE LOUVER SYSTEM JUMINUM FRAMED DECORATIVE LOUVER SYSTEM JUMINUM LOUVER SYSTEM, PAINTED JUMINUM CHANNEL PROFILES AT NATURAL STONE WALL LINING | COCLUNS AVE., MIAMI BEACH, FL 33139 Owne: Savoy Hotel Partners, LLC do Aldel Partners 70 Leavington Ave 770 Lea |
| | 15150 NW 73th Court, Suite 200 Mami Lakes, FL 33016-5848 Life Safety Consultant: SLS Consulting, Inc. 260 Palermo Avenue Cora Cables, FL 33164 Parking Consultant: Thowfy Haths & Associates, Inc. Mami, FL 33128 Elevator Consultant: Van Deusen & Associates, Inc. 820 Peters Road, Suite 1000 Plantation, FL 33324 Acoustic Consultant: Electro-Media Design, Ltd. 973-C Russell Avenue Galibersburg, MD 20879 Landscape Architect: Not Becker FL 33143 Contact. Andres Arclia 0. 788, 717, 6564 / M: 305.521.2341 Firm Reg. No. LC26000548 To: DeSCRIPTION DATE |
| | 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019 2 PLANNING BOARD FIRAL SUBMITTAL April 8, 2019 |
| | PROJECT NO. & ITILE 1907 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V |
| 3 <u>B</u> - 1 ⁺ - 6 ⁺ | SCALE & ORIENTATION |
| | SEAL & SIGNATURE |
| NOT FOR CONSTRUCTION | DRAWING TITLE PB A-612 ENCLOSURE SCOPE ELEVATION - WEST |



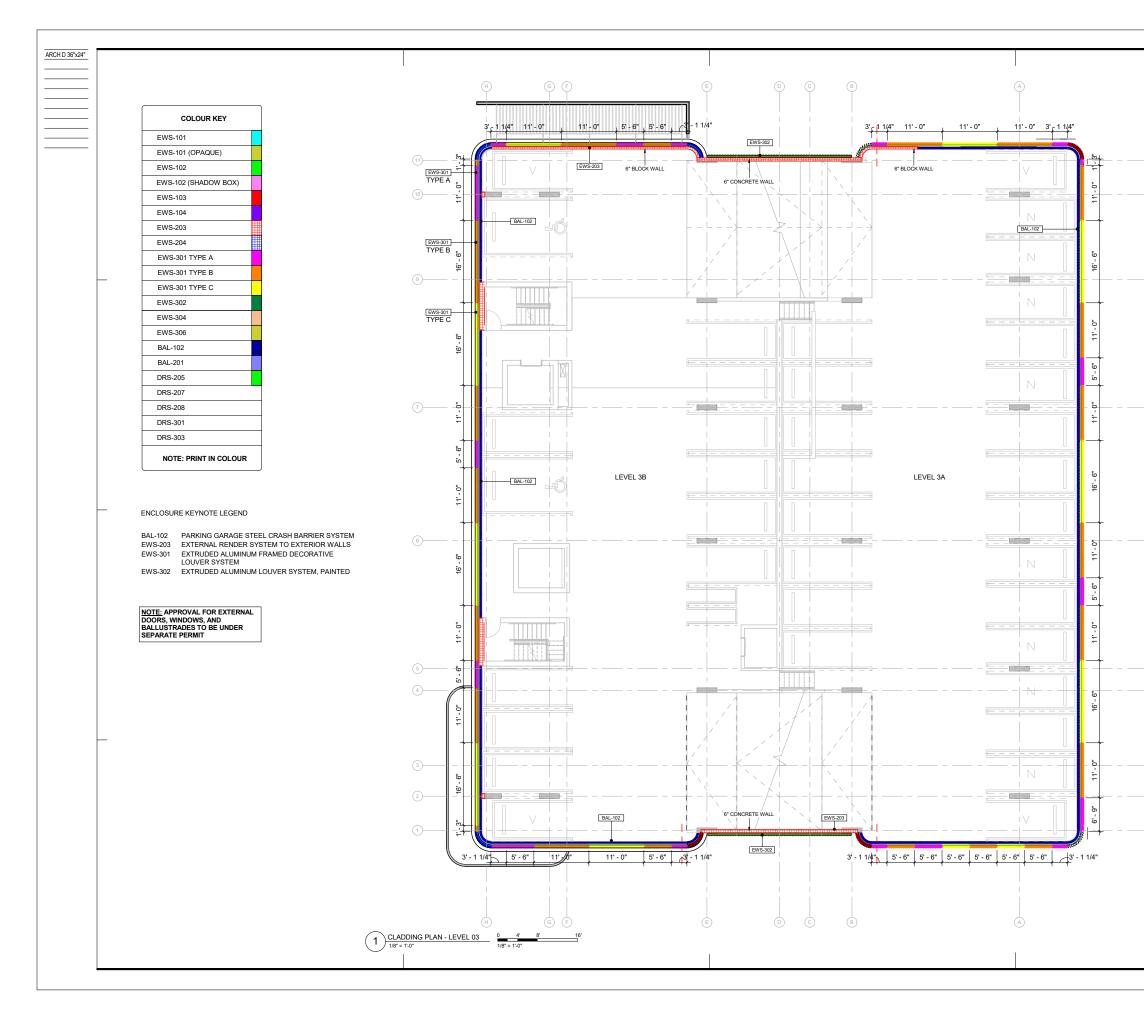
| | PROJECT |
|--|--|
| | TORINO GARAGE |
| | 400 COLLINS AVE., MIAMI BEACH, FL 33139 |
| - <u>ROOF</u> NGVD + 87' - 0" NAVD + 85' - 5 1/2" | Owner: Savoy Hotel Partners, LLC |
| NAVD + 85' - 5 1/2" | c/o Allied Partners 770 Lexington Ave 17th Eloor |
| | New York, NY 10065-8165 |
| | Brandon Haw Architecture LLP |
| - <u>LEVEL 08</u> NGVD + 76' - 0" NAVD + 74' - 5 1/2" | 375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249 |
| | CONSULTANTS Structural Engineer: |
| | DeSimone 800 Brickell Avenue, 6th Floor Miami, FL 33131 |
| - <u>LEVEL 07</u> NGVD + 64' - 10" | MEP Engineer: Stantec |
| NGVD + 64' - 10" NAVD + 63' - 2 1/2" | 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737 |
| | Civil Engineer: VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113 |
| | Miami, FL 33144 Geo-tech Engineer: |
| LEVEL 06 NGVD + 53' - 8" | Langan 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848 |
| NGVD + 53' - 8" NAVD + 52' - 1 1/2" | Life Safety Consultant: SLS Consulting, Inc. |
| | 260 Palermo Ávenue Coral Gables, FL 33134 |
| | Parking Consultant: Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 |
| T.O. PARAPET | 40 NW 3rd Street, Suite 1102 Miami, FL 33128 Elevator Consultant: |
| | Van Deusen & Associates, Inc. 8201 Peters Road, Suite 1000 |
| | Plantation, FL 33324 Acoustic Consultant: |
| | Electro-Media Design, Ltd. 973-C Russell Avenue Gaithersburg, MD 20879 |
| | Landscape Architect: Naturalficial. Inc. |
| | 6915 Red Road, Suite 224 Coral Gables, FL 33143 Contact: Andres Arcila |
| | O: 786.717.6564 / M: 305.321.2341 Firm Reg. No. LC26000548 |
| | NO. DESCRIPTION DATE 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019 |
| - <u></u> | 2 PLANNING BOARD FINAL SUBMITTAL April 26, 2019 |
| NAVD + 85' - 5 1/2" | |
| | |
| LEVEL 08 | |
| NGVD + 76' - 0" NAVD + 74' - 5 1/2" | |
| | DATE OF ISSUE DRAWN BY 04/08/19 - |
| | 04/08/19 |
| | SCALE CHECKED BY |
| | 1/8" = 1'-0" |
| - LEVEL 07 NGVD + 64' - 10" NAVD + 63' - 2 1/2" | |
| - LEVEL 07 NGVD + 64' - 10" NAVD + 63' - 2 1/2" | 1/8" = 1'-0" - PROJECT NO. & TITLE |
| NAVD + 63' - 2 1/2" | 1/8" = 1'-0" - PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS |
| NAVD + 63' - 2 1/2" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" - <u>EVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 9" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" - <u>EVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 5' NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2" | 18" = 11-0" PROLECT NO. & TITLE 1507 TORINO GARAGE PROLECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V |
| NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 8' NAVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD - 38' - 0' NAVD + 32' - 10 1/2' | 18" = 11-0" PROLECT NO. & TITLE 1507 TORINO GARAGE PROLECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 5' NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2" | 18" = 11-0" PROLECT NO. & TITLE 1507 TORINO GARAGE PROLECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V |
| NAVD + 63' - 2 1/2" - LEVEL 06 NOVD + 53' - 8" NAVD + 52' - 1 1/2" - LEVEL 05C NOVD + 47' - 0" NAVD + 50' - 9" - LEVEL 04C NOVD + 38' - 0" NAVD + 32' - 10 1/2" - LEVEL 03C NGVD + 26' - 5 1/2" NAVD + 26' - 5 1/2" | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN SCALE & ORIENTATION SCALE & ORIENTATION |
| NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 8' NAVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD - 38' - 0' NAVD + 32' - 10 1/2' | 1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN SCALE & ORIENTATION SCALE & ORIENTATION |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NOVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NOVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NOVD + 38' - 0" NAVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NAVD + 26' - 5 1/2" NAVD + 23' - 10 1/2" - <u>LEVEL 02</u> NAVD + 17' - 10" - <u>LEVEL 01</u> | Iβ# = 1·β* PREVENTION ARRAGE PARTONIC ADRAGE PARTONIC BOARD FINAL SUBMITTAL EXPLAN OUTPOINT OUTPOINT <t< td=""></t<> |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NGVD + 26' - 5 1/2" NGVD + 23' - 9 1/2" - <u>LEVEL 02</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" | 1β" = 1-φ" PORECT NO. & TITLE 197 TORINO GARAGE PORECT STATUE PAINNING BOARD FINAL SUBMITTAL KEY PLAN Image: Comparison of the compariso |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NGVD + 38' - 0" NGVD + 38' - 0" NGVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NGVD + 28' - 5 1/2" NGVD + 28' - 5 1/2" NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>NGVD + 15' - 10"</u> - <u>NGVD + 15' - 10"</u> | Iβ# = 1·β* PREVENTION ARRAGE PARTONIC ADRAGE PARTONIC BOARD FINAL SUBMITTAL EXPLAN OUTPOINT OUTPOINT <t< td=""></t<> |
| NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 6" NGVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NGVD + 26' - 5 1/2" NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>NGVD + 15' - 10"</u> - <u></u> | <text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text> |
| NAVD + 63' - 2 1/2' - LEVEL 06 NGVD + 53' - 8' NAVD + 52' - 1 1/2' - LEVEL 05C NGVD + 47' - 0' NAVD + 50' - 9' - LEVEL 03C NGVD + 38' - 0' NAVD + 32' - 10 1/2' - LEVEL 03C NGVD + 28' - 5 1/2' NGVD + 15' - 10' NGVD + 15' - 10' LEVEL 01 NGVD + 15' - 10' NGVD + 8' - 0' NAVD + 5' - 5 1/2' BASE FLOOD ELEV: NGVD + 8' - 0' NGVD + 5' - 10' | <section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header> |
| NAVD + 63' - 2 1/2' = <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' = <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' = <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' = <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' EVEL 02 NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 10' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' NGVD + | <text><text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text></text> |
| NAVD + 63' - 2 1/2' - LEVEL 06 NGVD + 53' - 8' NAVD + 52' - 1 1/2' - LEVEL 05C NGVD + 47' - 0' NAVD + 50' - 9' - LEVEL 03C NGVD + 38' - 0' NAVD + 32' - 10 1/2' - LEVEL 03C NGVD + 28' - 5 1/2' NGVD + 15' - 10' NGVD + 15' - 10' LEVEL 01 NGVD + 15' - 10' NGVD + 8' - 0' NAVD + 5' - 5 1/2' BASE FLOOD ELEV: NGVD + 8' - 0' NGVD + 5' - 10' | <text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text> |
| NAVD + 63' - 2 1/2' = <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' = <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' = <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' = <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' EVEL 02 NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 10' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' NGVD + | <text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text> |
| NAVD + 63' - 2 1/2' = <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' = <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' = <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' = <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' EVEL 02 NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 10' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' NGVD + | <text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text> |
| NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' - <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' - <u>LEVEL 02</u> NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' N | <text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text> |
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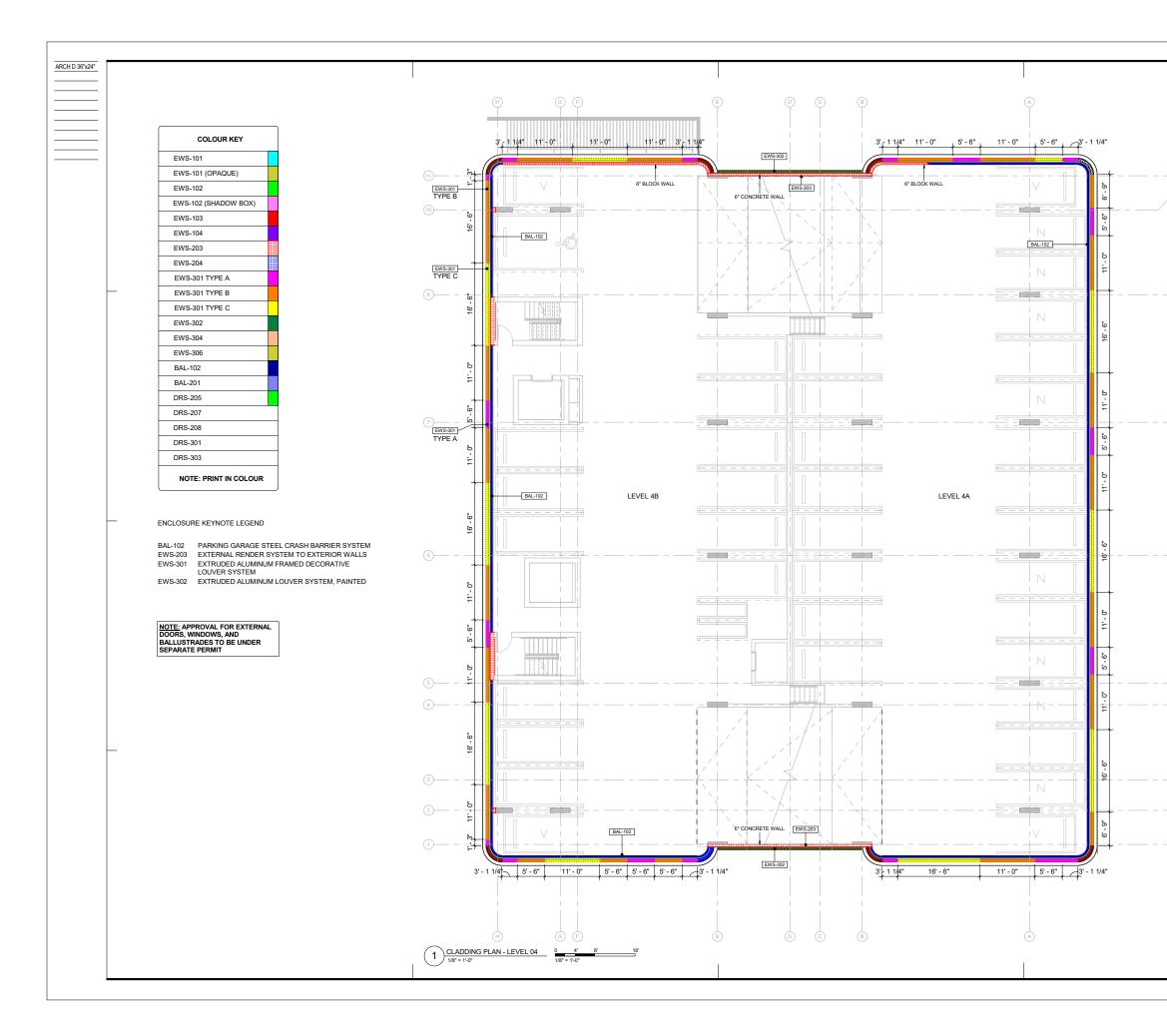
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| | TORINO GARAGE |
| | 400 COLLINS AVE MIAMI BEACH |
| | FL 33139 Owner: |
| | Savoy Hotel Partners, LLC c/o Allied Partners |
| | 770 Lexington Ave 17th Floor |
| | New York, NY 10065-8165 Architect: |
| - 1 | Brandon Haw Architecture LLP |
| | 375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249 |
| TT | CONSULTANTS |
| | Structural Engineer: DeSimone 800 Brickell Avenue, 6th Floor |
| | Miami, FL 33131 |
| | MEP Engineer: Stantec |
| 1 | 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737 |
| P T 1.4 | Civil Engineer: VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113 |
| т <u>г</u> | Miami, FL 33144 |
| | Geo-tech Engineer: Langan |
| | 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848 |
| | Life Safety Consultant: SLS Consulting, Inc. |
| | 260 Palermo Avenue Coral Gables, FL 33134 |
| | Parking Consultant: Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 |
| | Miami, FL 33128 |
| TT LL | Elevator Consultant: Van Deusen & Associates, Inc. |
| | 8201 Peters Road, Suite 1000 Plantation, FL 33324 |
| | Acoustic Consultant: Electro-Media Design, Ltd. |
| 11 | 973-C Russell Avenue Gaithersburg, MD 20879 |
| | Landscape Architect: Naturalficial, Inc. |
| | 6915 Red Road, Suite 224 Coral Gables, FL 33143 |
| | Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341 Eim Reg No. I C 2000548 |
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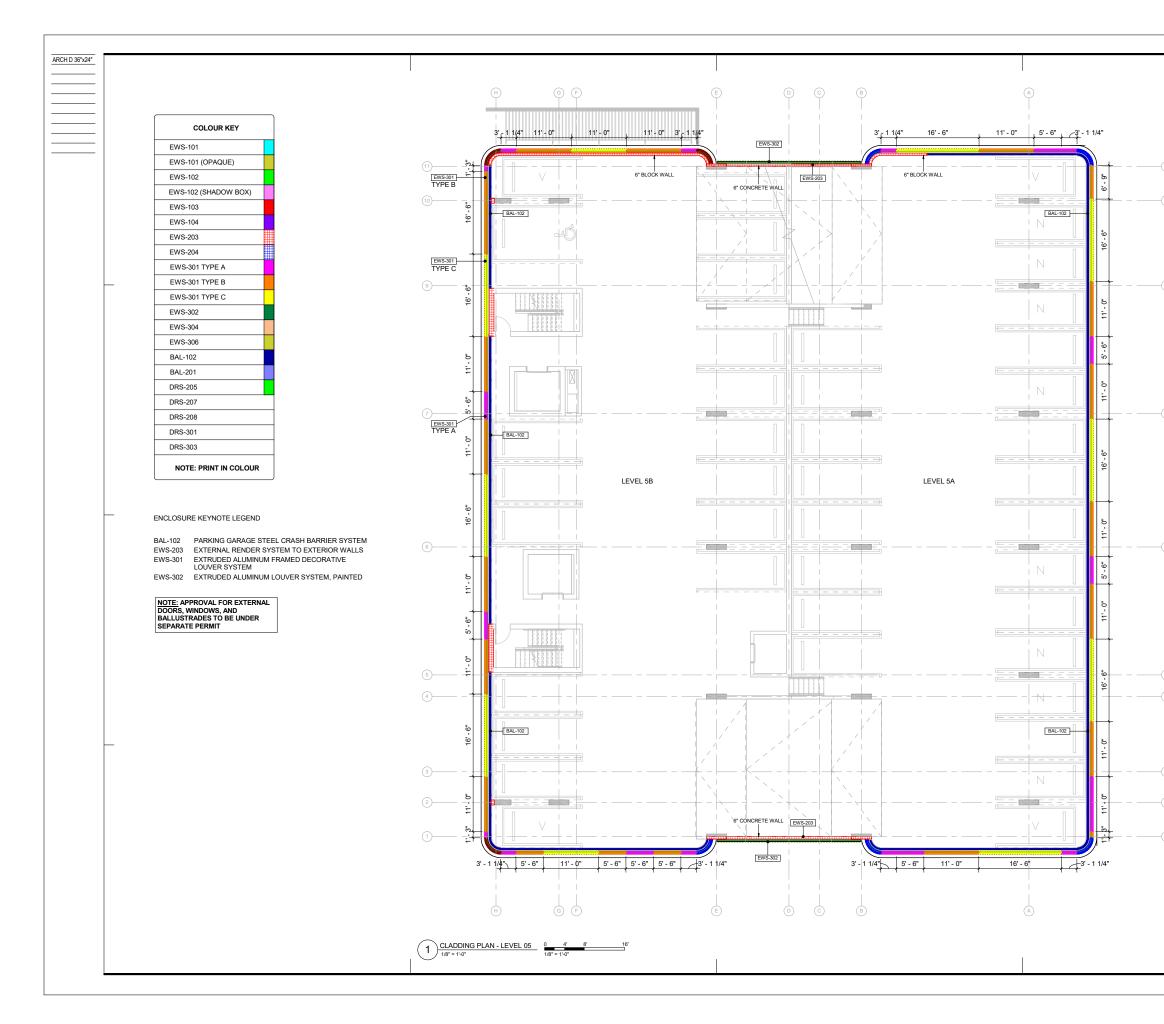
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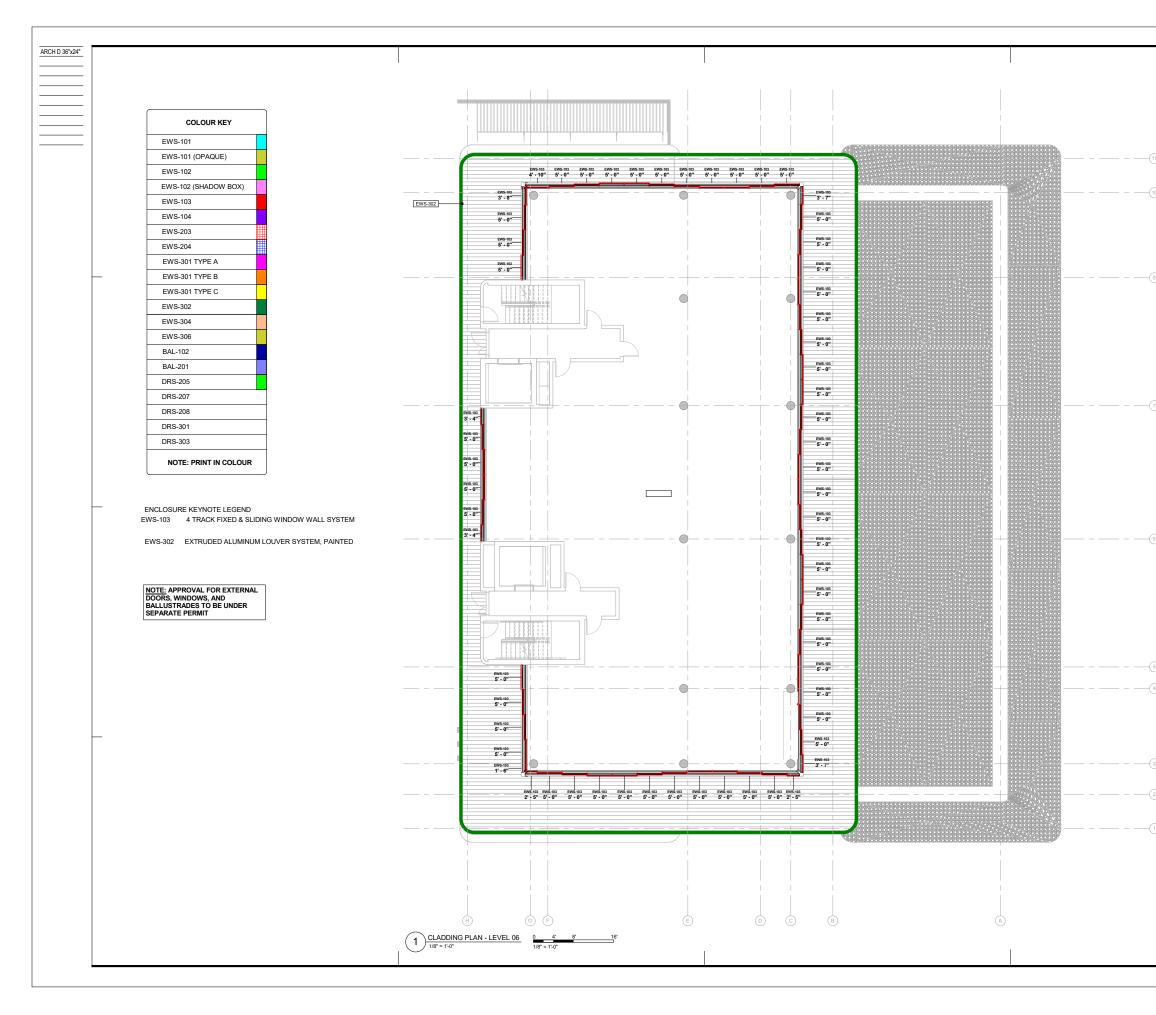
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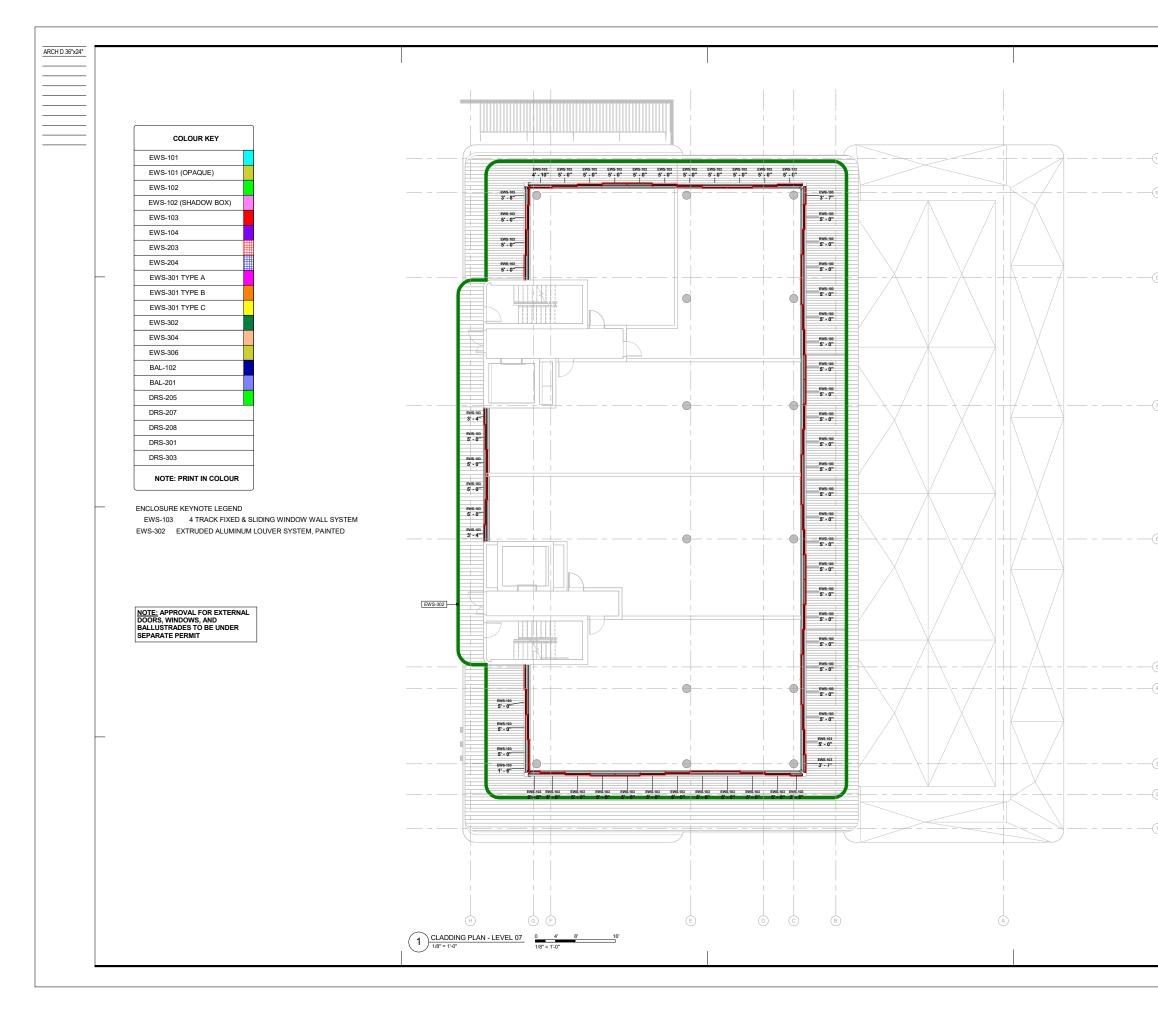
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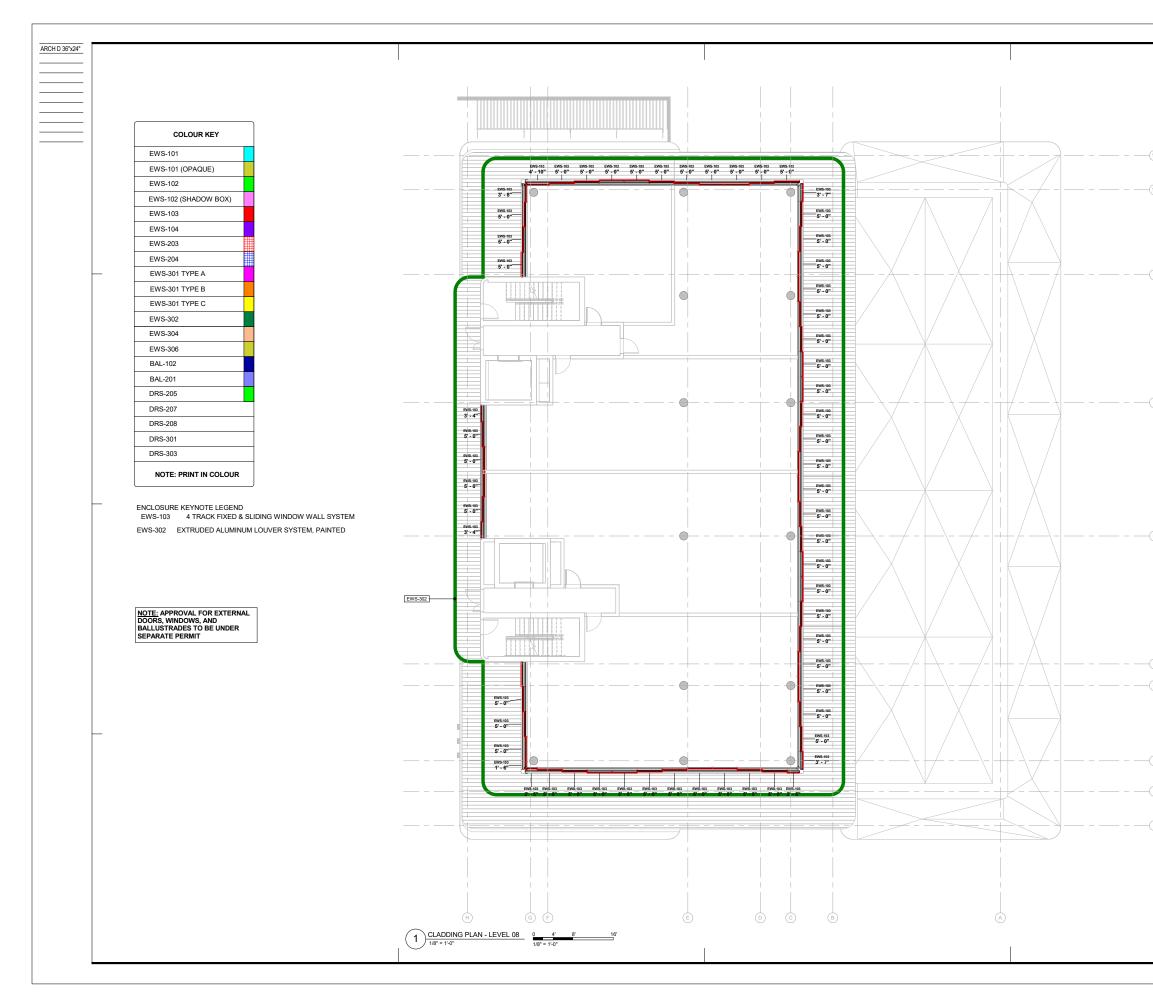
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| | | TORINO GARAGE |
| | | 400 COLLINS AVE., MIAMI BEACH, FL 33139 |
| | | Owner: Savoy Hotel Partners, LLC |
| | | c/o Allied Partners 770 Lexington Ave |
| | | 17th Floor New York, NY 10065-8165 |
| | | Architect: Brandon Haw Architecture LLP |
| | | 375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249 |
| 11) | | CONSULTANTS |
| | | Structural Engineer: DeSimone |
| 10) | | 800 Brickell Avenue, 6th Floor Miami, FL 33131 |
| | | MEP Engineer: Stantec 3915 Biscaune Blvd, Suite 401 |
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| | | Miami, FL 33144 Geo-tech Engineer: |
| | | Langan 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848 |
| <u>_</u> | | Life Safety Consultant: |
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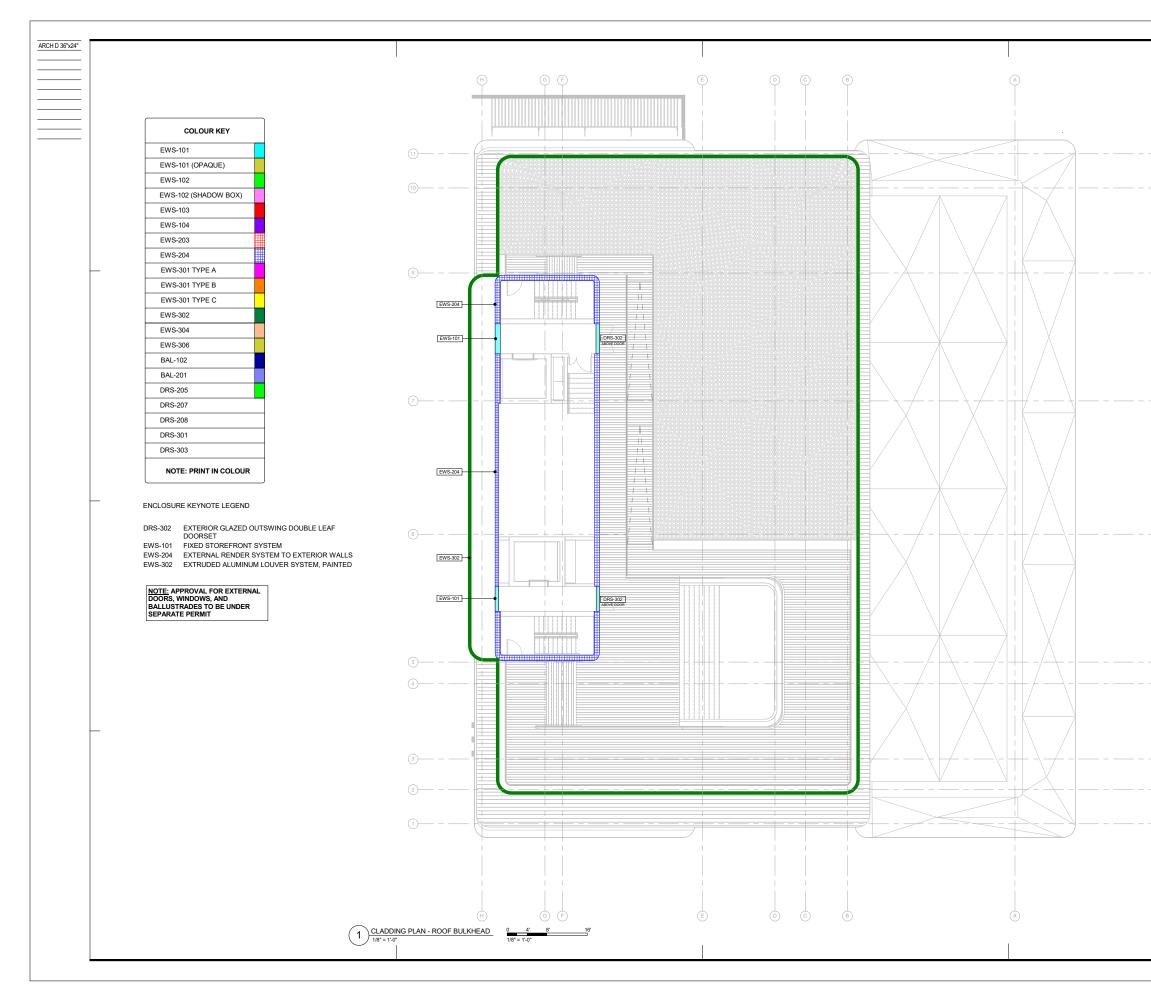
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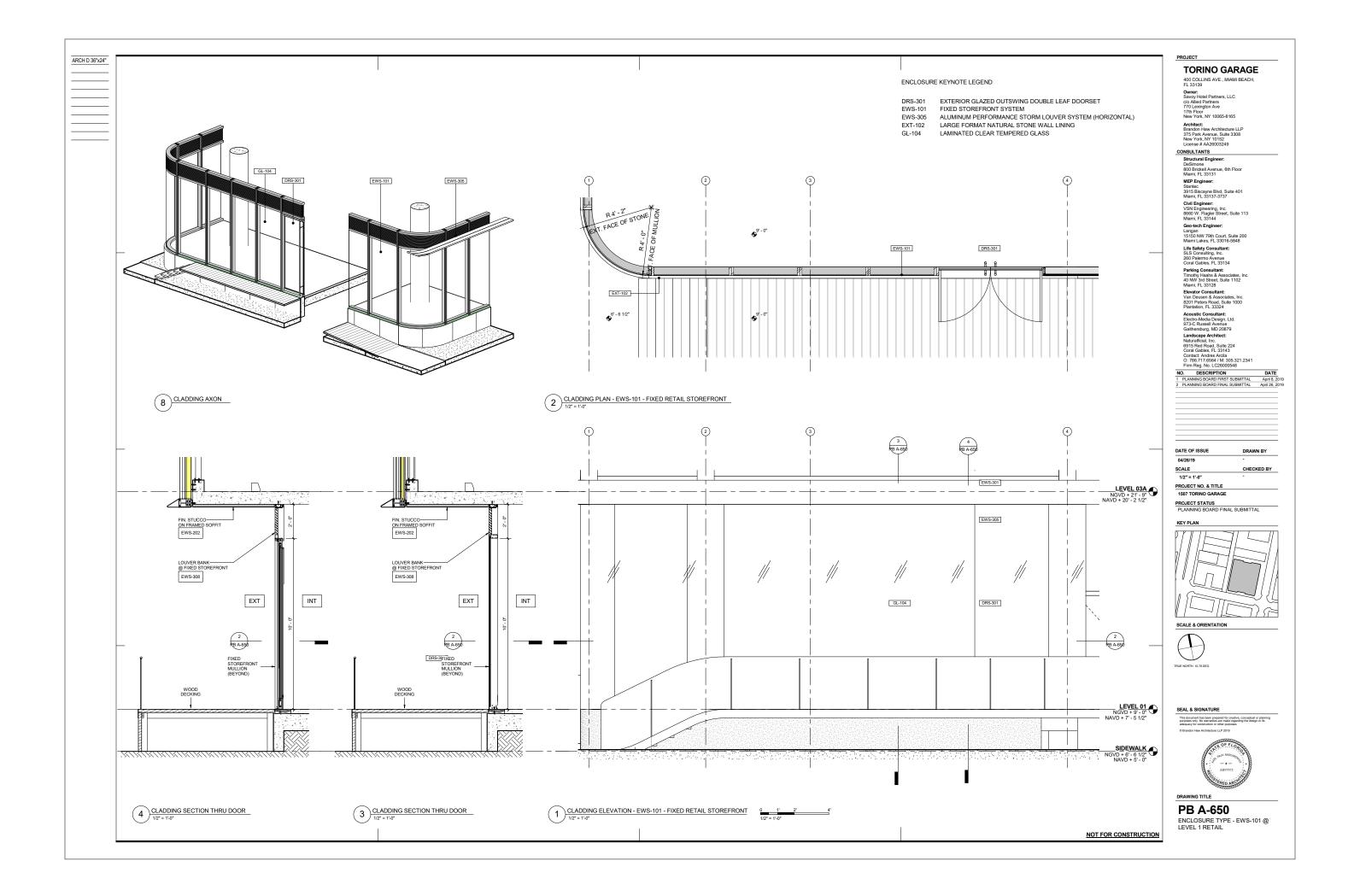
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| | Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 Miami, FL 33128 |
| | Elevator Consultant: |
| | Van Deusen & Associates, Inc. 8201 Peters Road, Suite 1000 Plantation, FL 33324 |
| | Acoustic Consultant: |
| | Electro-Media Design, Ltd. 973-C Russell Avenue |
| | Gaithersburg, MD 20879 Landscape Architect: |
| | Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143 |
| | Coral Gables, FL 33143 Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341 |
| | Firm Reg. No. LC26000548 |
| | NO. DESCRIPTION DATE 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019 |
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| NOTE: PRINT IN COLOUR | PB A-627 ENCLOSURE PLAN - UNIT LAYOUT - LEVEL 7 |



| | | 400 COLLINS AVE., MIAMI BEACH, |
|-----------------------|---|---|
| | | FL 33139 Owner: |
| | | Savoy Hotel Partners, LLC c/o Allied Partners |
| | | 770 Lexington Ave 17th Floor |
| | | New York, NY 10065-8165 Architect: |
| | | Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 New York, NY 10152 |
| | | New York, NY 10152 License # AA26003249 |
| | | CONSULTANTS Structural Engineer: |
| | | DeSimone 800 Brickell Avenue, 6th Floor |
| | | Miami, FL 33131 MEP Engineer: |
| | | Stantec |
| | | 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737 Civil Engineer: |
| | | VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113 |
| | | Miami, FL 33144 Geo-tech Engineer: |
| | | Langan 15150 NW 79th Court, Suite 200 |
| | | Miami Lakes, FL 33016-5848 |
| | _ | Life Safety Consultant: SLS Consulting, Inc. 260 Palermo Avenue |
| | | Coral Gables, FL 33134 Parking Consultant: |
| | | Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 |
| | | Miami, FL 33128 Elevator Consultant: |
| | | Van Deusen & Associates, Inc. 8201 Peters Road, Suite 1000 |
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| | | Acoustic Consultant: Electro-Media Design, Ltd. 973-C Russell Avenue |
| | | Gaithersburg, MD 20879 Landscape Architect: |
| | | Naturalficial, Inc. 6915 Red Road, Suite 224 |
| | | Coral Gables, FL 33143 Contact: Andres Arcila |
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| | 1 | ENCLOSURE PLAN - UNIT LAYOUT |
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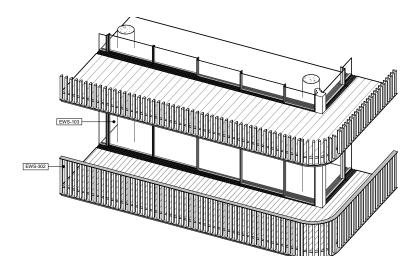
| | PROJECT |
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| | TORINO GARAGE |
| | 400 COLLINS AVE., MIAMI BEACH, FL 33139 |
| | Owner: Savoy Hotel Partners, LLC c/o Allied Partners |
| | 770 Lexington Ave |
| | 17th Floor New York, NY 10065-8165 |
| | Architect: Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 |
| | 375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249 |
| | CONSULTANTS |
| | Structural Engineer: DeSimone |
| \sim | 800 Brickell Avenue, 6th Floor Miami, FL 33131 |
| -(10) | MEP Engineer: Stantec |
| | 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737 |
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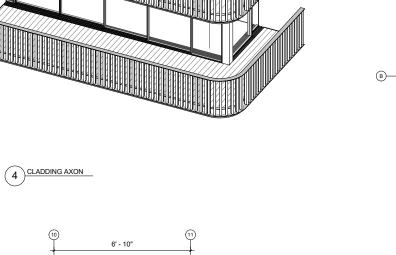


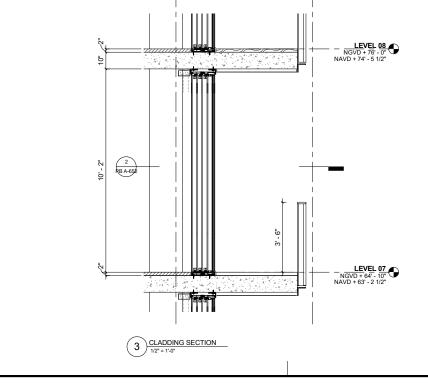


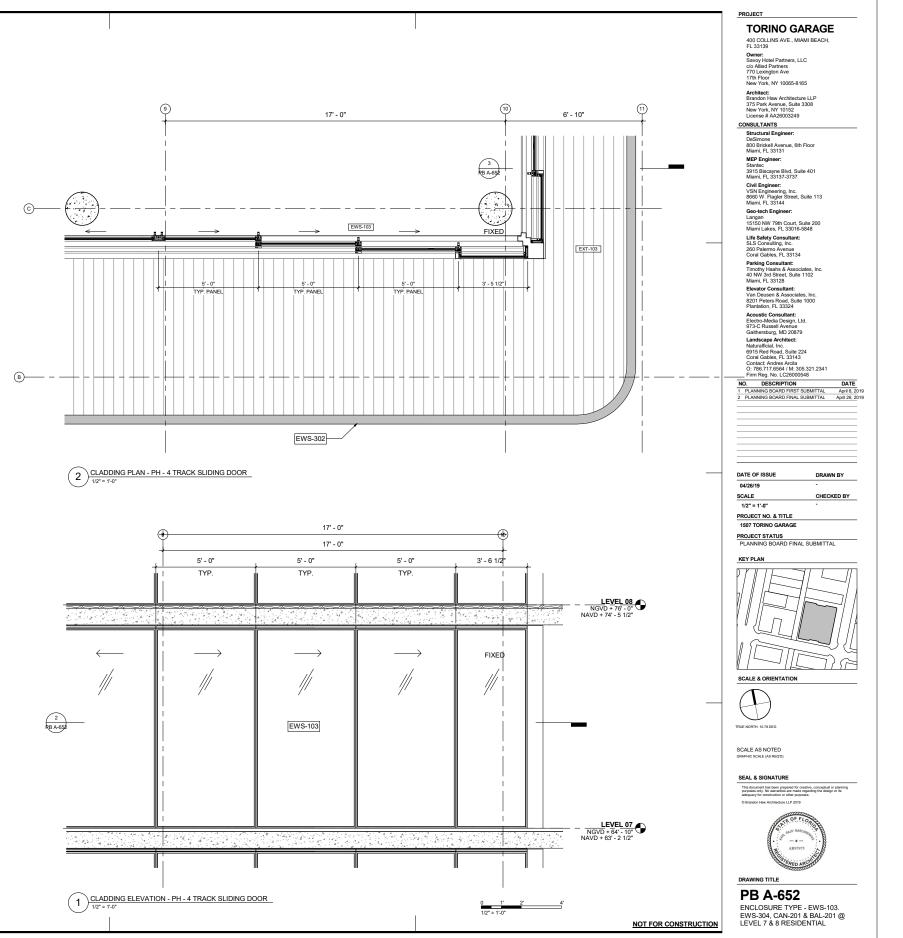
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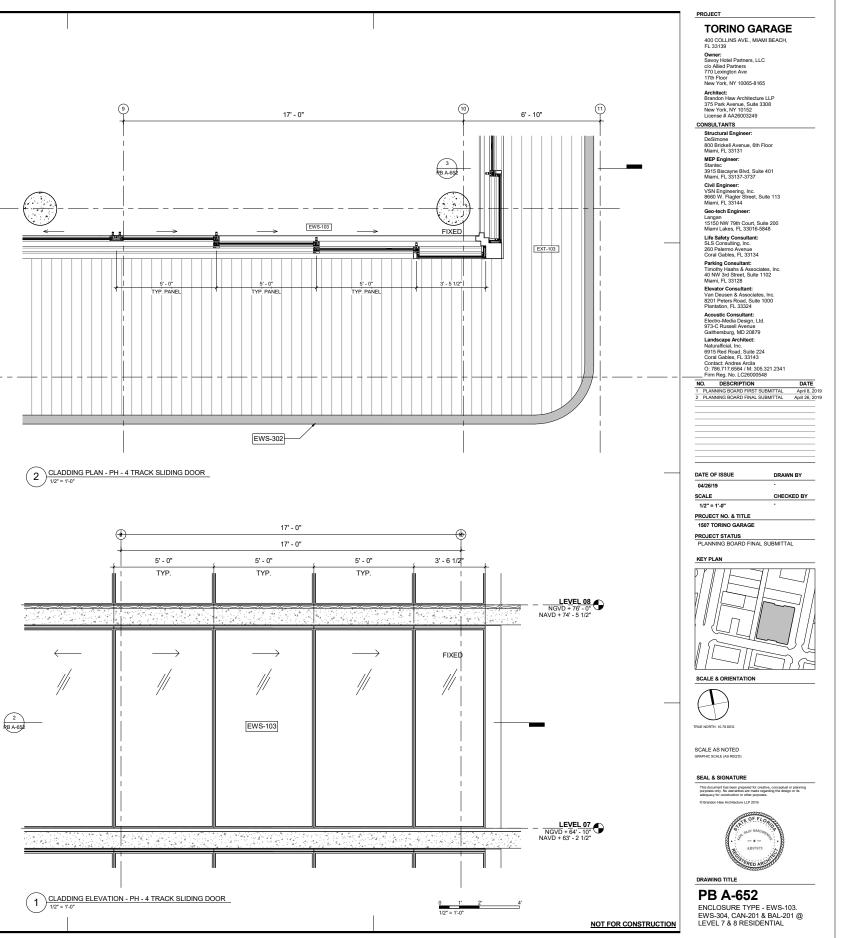


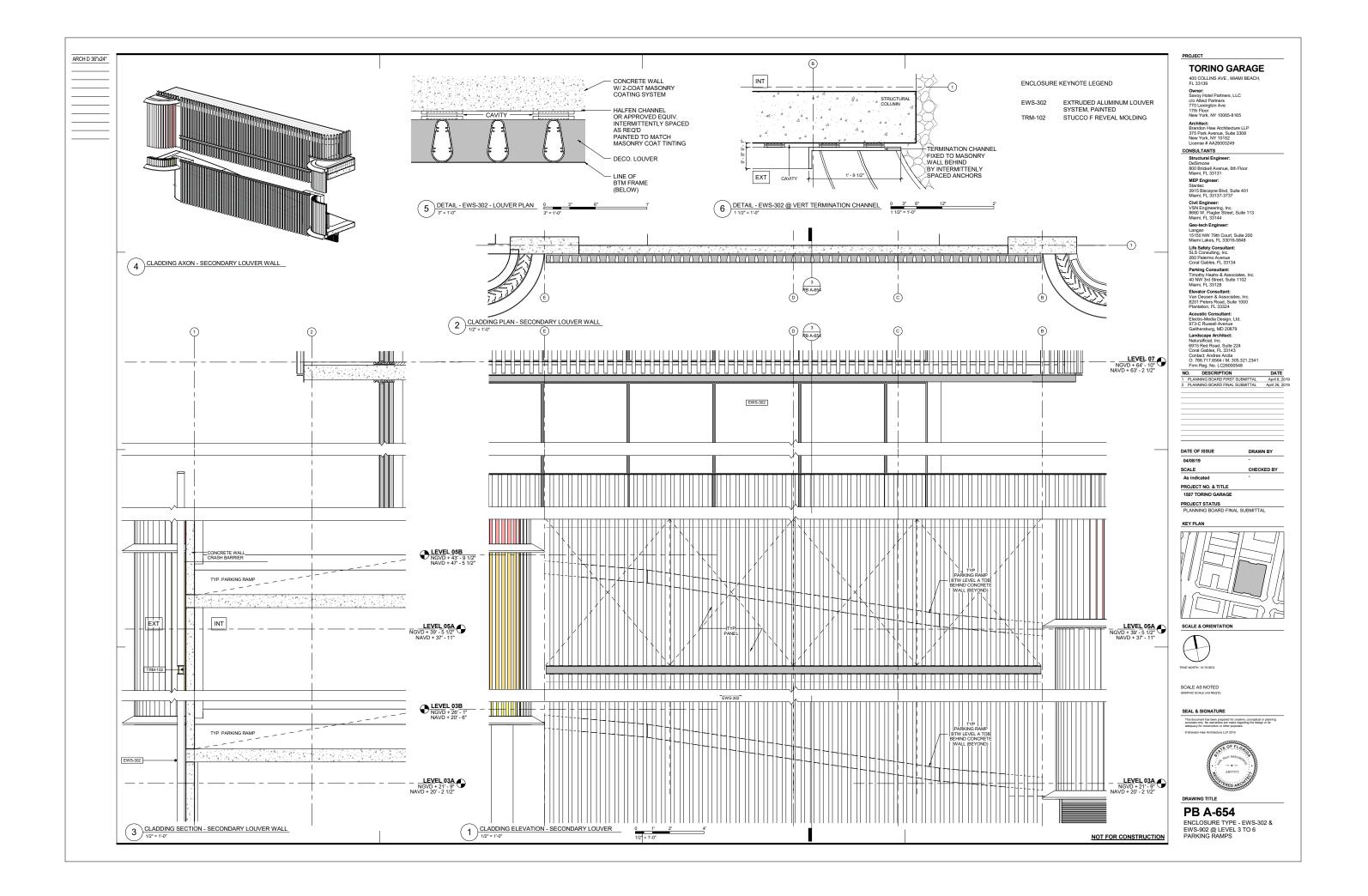














NOTE: CALCULATIONS AS PER FBC 406.3.3.1:Openings

For natural ventilation purposes, the exterior side of the structure shall have uniformly distributed openings on two or more sides. The area of such openings in exterior walls on a tier must be at least 20 percent of the total perimeter wall area of each tier. The aggregate length of the openings considered to be providing natural ventilation shall constitute a minimum of 40 percent of the perimeter of the tier. Interior walls shall be at least 20 percent open with uniformly distributed openings.

Exception: Openings are not required to be distributed over 40 percent of the building perimeter where the required openings are uniformly distributed over two opposing sides of the buildings.

LOUVER PANEL ARRANGEMENT SUMMARY*

| LEVEL 3 | Α | 67.52ft (16.86%) | COMBINED O.A.R. = 38.83% |
|---------|---|-------------------|--------------------------|
| | В | 178.50ft (44.58%) | |
| | С | 132.00ft (32.96%) | |
| | D | 13.33ft (3.33%) | |
| | Е | 4.51ft (1.13%) | |
| | F | 4.57ft (1.14%) | |
| LEVEL 4 | А | 62.02ft (15.49%) | COMBINED O.A.R. = 38.87% |
| | В | 184.00ft (45.95%) | |
| | Ĉ | 132.00ft (32.97%) | |
| | D | 13.61ft (3.40%) | |
| | Е | 4.42ft (1.10%) | |
| | F | 4.37ft (1.09%) | |
| LEVEL 5 | А | 67.52ft (16.85%) | COMBINED O.A.R. = 38.80% |
| | В | 173.00ft (43.18%) | |
| | С | 137.50ft (34.32%) | |
| | Ď | 4.60ft (1.15%) | |
| | Ē | 18.02ft (4.50%) | |
| | F | 0.00ft (0.00%) | |

*ONLY PANELS WITH NO BACKING WALLS ARE CONSIDERED IN THE CALCULATION. FOR CURVED PANELS, WORST-CASE OPEN AIR RATIOS ARE USED.

