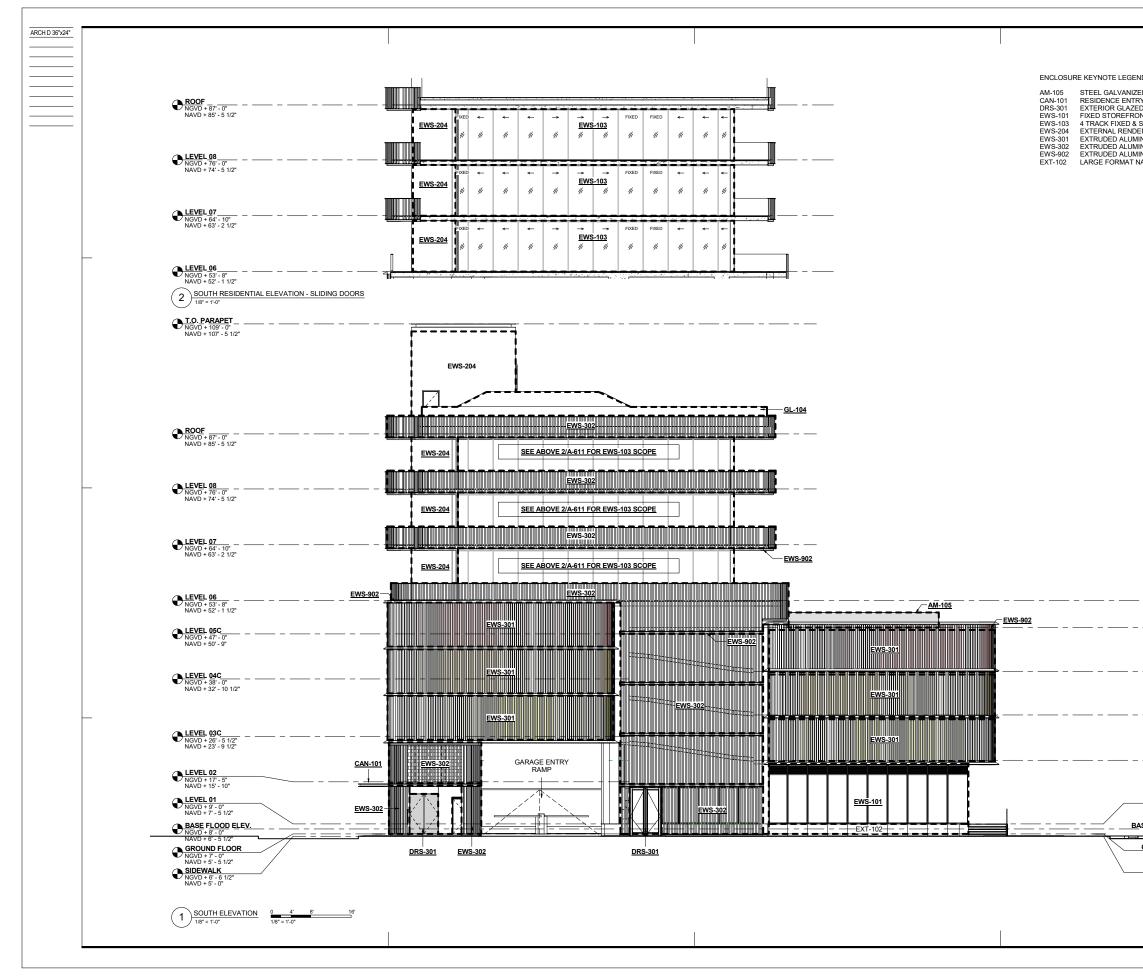
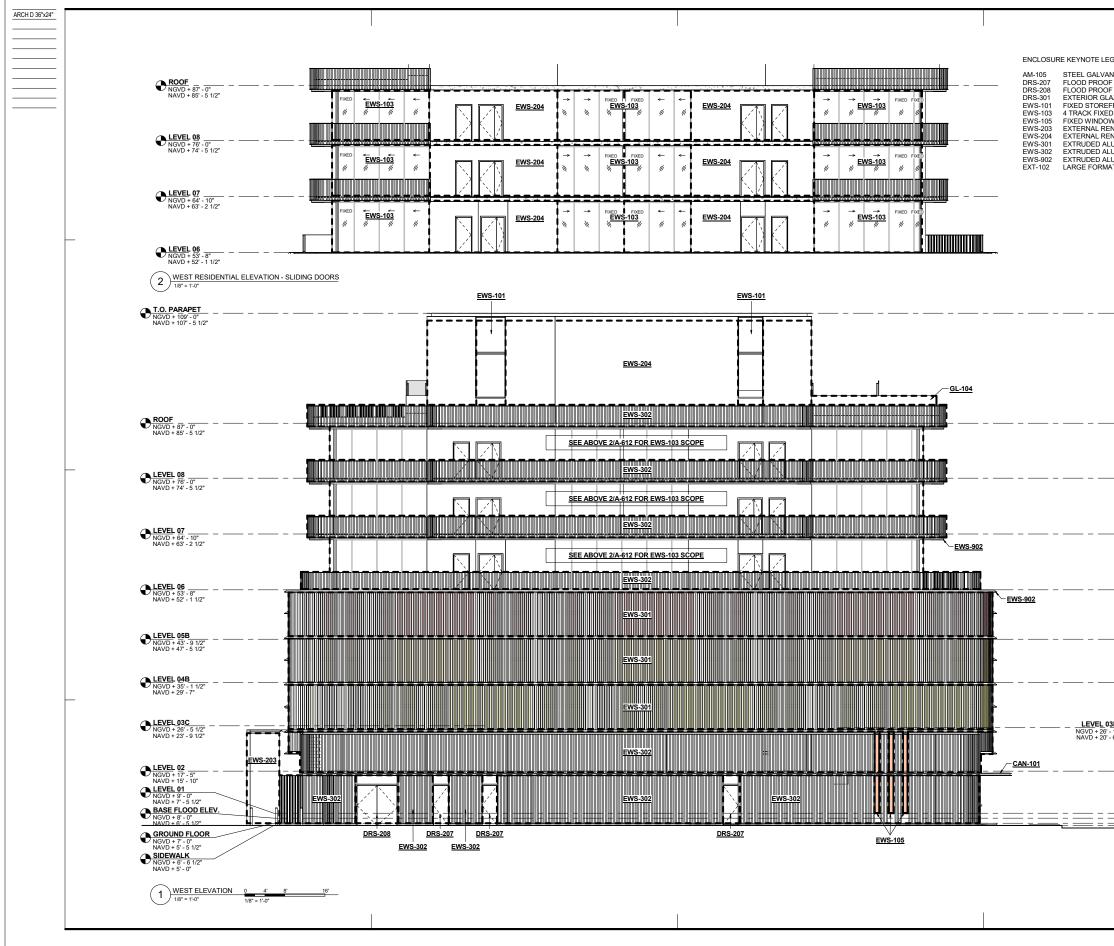


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	DATE OF ISSUE DRAWN BY 0408/19 - SCAL CHECKED BY 18* = 1*0* - PROJECT NO. A TITLE 1507 TORINO GARAGE PROJECT STATUS PROJECT STATUS PANNING BOARD FINAL SUBMITTAL - KEY PLAN - OUTOFIC STATUS - SCALE & ORIENTATION -
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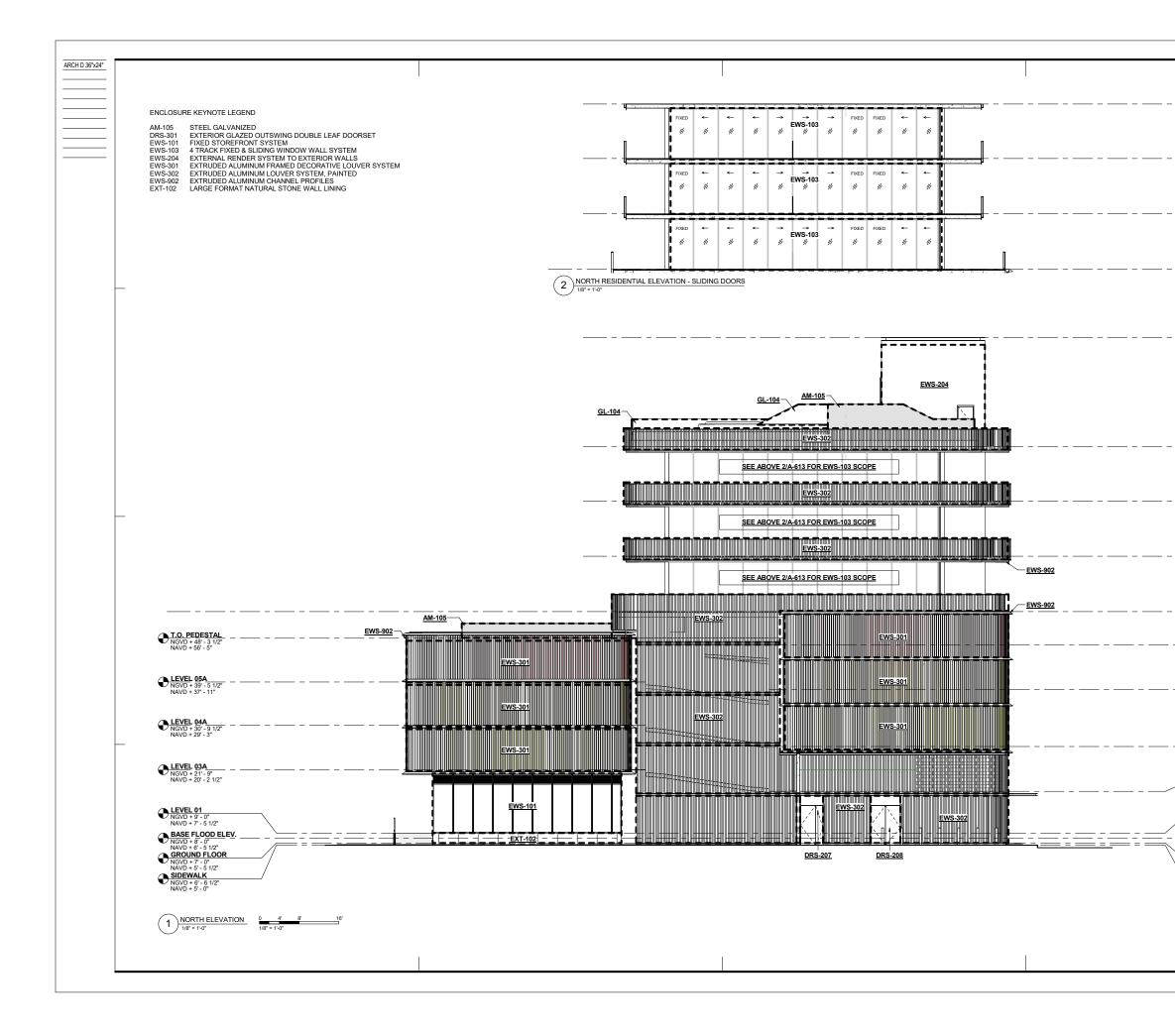


	PROJECT
	TORINO GARAGE 400 COLLINS AVE., MIAMI BEACH, FL 33139
	Owner: Savoy Hotel Partners, LLC
END	c/o Allide Partners 770 Lexington Ave
ZED 'RY CANOPY	17th Floor New York, NY 10065-8165
ED OUTSWING DOUBLE LEAF DOORSET	Architect: Brandon Haw Architecture LLP
ONT SYSTEM & SLIDING WINDOW WALL SYSTEM	375 Park Avenue, Suite 3308 New York, NY 10152
DER SYSTEM TO EXTERIOR WALLS MINUM FRAMED DECORATIVE LOUVER SYSTEM	License # AA26003249 CONSULTANTS
MINUM LOUVER SYSTEM, PAINTED	Structural Engineer:
MINUM CHANNEL PROFILES NATURAL STONE WALL LINING	DeSimone 800 Brickell Avenue, 6th Floor
	Miami, FL 33131 MEP Engineer:
	Stantec 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
	Miami, FL 33137-3737 Civil Engineer:
	VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113
	Miami, FL 33144
	Geo-tech Engineer: Langan 15150 NW 70th Court Suite 200
	15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
	Life Safety Consultant: SLS Consulting, Inc.
	260 Palermo Avenue Coral Gables, FL 33134
	Parking Consultant: Timothy Haahs & Associates, Inc.
	Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 Miami, FL 33128
	Elevator Consultant: Van Deusen & Associates, Inc.
	8201 Peters Road, Suite 1000 Plantation, FL 33324
	Acoustic Consultant: Electro-Media Design, Ltd.
	Electro-Media Design, Ltd. 973-C Russell Avenue Gaithersburg, MD 20879
	Landscape Architect:
	Naturalficial, Inc. 6915 Red Road, Suite 224 Cord Gables, El 33143
	Coral Gables, FL 33143 Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341
	Firm Reg. No. LC26000548
	NO. DESCRIPTION DATE 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019
	2 PLANNING BOARD FINAL SUBMITTAL April 26, 2019
	DATE OF ISSUE DRAWN BY
	04/08/19 -
	SCALE CHECKED BY
	1/8" = 1'-0" -
	PROJECT NO. & TITLE 1507 TORINO GARAGE
	PROJECT STATUS
	PLANNING BOARD FINAL SUBMITTAL
	KEY PLAN
	Drink The In
<u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2"	
NAVD + 52' - 1 1/2"	
T.O. PEDESTAL	
NGVD + 48' - 3 1/2" NAVD + 56' - 5"	
_ LEVEL 05A NGVD + 39' - 5 1/2"	
NAVD + 37'- 11"	
	SCALE & ORIENTATION
LEVEL 04A	\square
- LEVEL 04A NGVD + 30' - 9 1/2" NAVD + 29' - 3"	(+)
	TRUE NORTH: 10.78 DEG
- <u>LEVEL 03A</u> NGVD + 21' - 9" NAVD + 20' - 2 1/2"	SCALE AS NOTED GRAPHIC SCALE (AS REQD)
	SEAL & SIGNATURE
LEVEL 01 NGVD + 9' - 0" NAVD + 7' - 5 1/2"	This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
	ilo Brandon Haw Architecture LLP 2019
BASE FLOOD ELEV. NGVD + 8' - 0"	TE OF FLOA
	Water Control
AND + 0' - 5 1/2" GROUND FLOOD NGVD + 7' - 0" NAVD + 5' - 5 1/2"	8 · · · · · · · · · · · · · · · · · · ·
	AR97975
SIDEWALK NGVD + 6' - 6 1/2" NAVD + 5' - 0"	ENTERED ARCHIDA
HAVD T J T U	
	PB A-611
	ENCLOSURE SCOPE ELEVATION -
NOT FOR CONSTRUCTION	SOUTH
	I

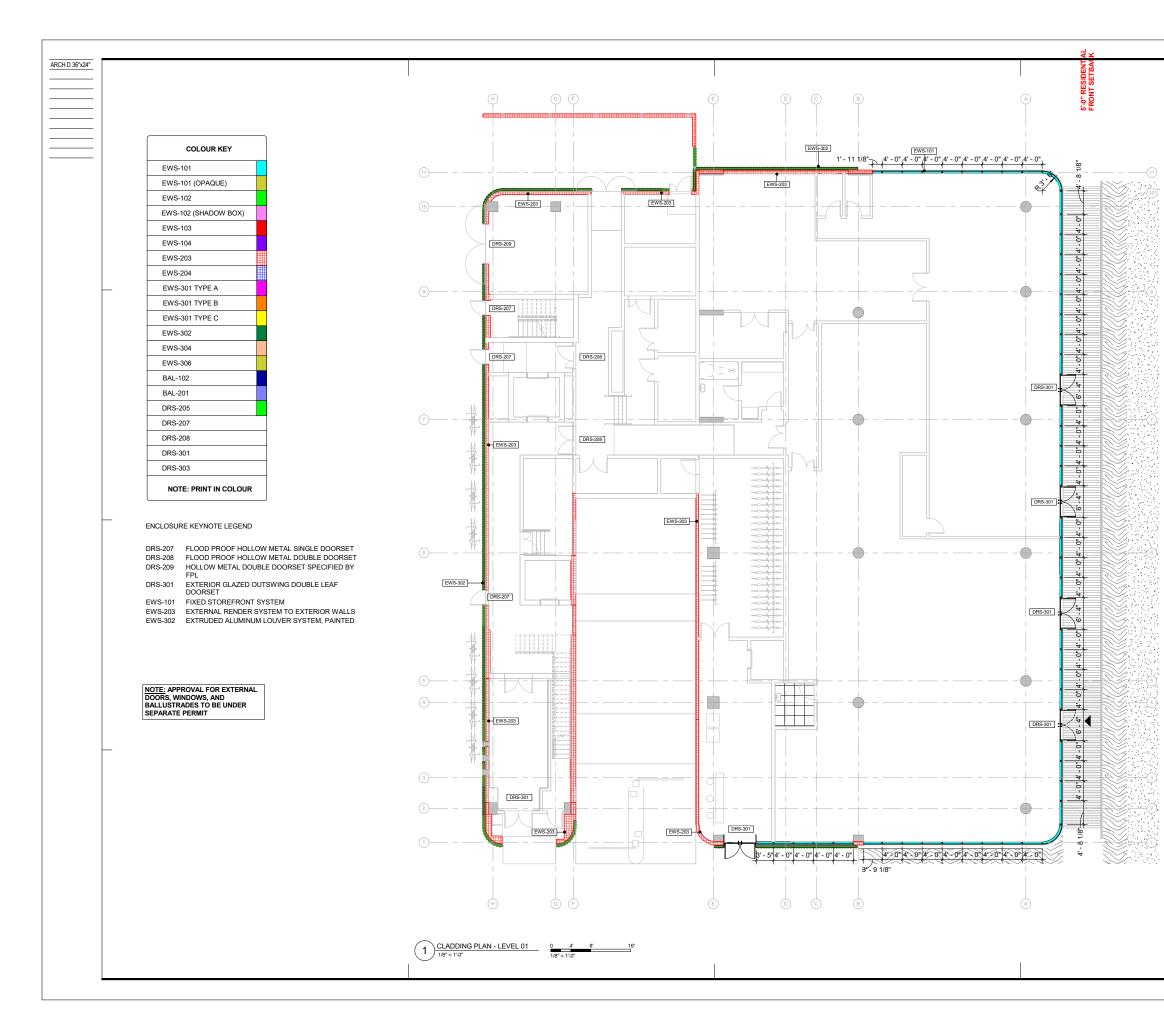
PROJECT



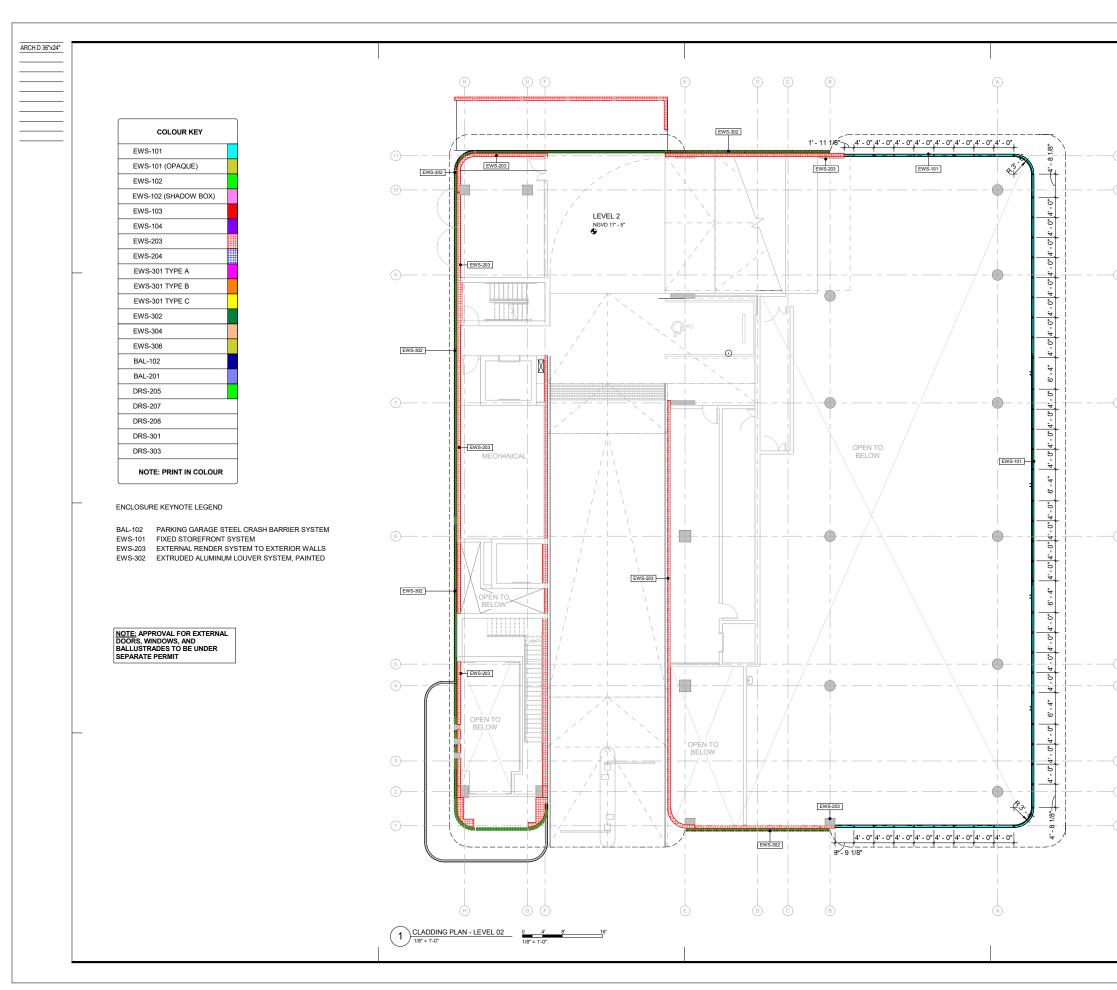
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GEND NIZED F HOLLOW METAL SINGLE DOORSET F HOLLOW METAL DOUBLE LOORSET AZED OUTSWING DOUBLE LEAF DOORSET FRONT SYSTEM D & SLIDING WINDOOW WALL SYSTEM W IN BLOCK WALL ENDER SYSTEM TO EXTERIOR WALLS UMINUM FRAMED DECORATIVE LOUVER SYSTEM JUMINUM FRAMED DECORATIVE LOUVER SYSTEM JUMINUM LOUVER SYSTEM, PAINTED JUMINUM CHANNEL PROFILES AT NATURAL STONE WALL LINING	COCLUNS AVE., MIAMI BEACH, FL 33139 Owne: Savoy Hotel Partners, LLC do Aldel Partners 70 Leavington Ave 770 Lea
	15150 NW 73th Court, Suite 200 Mami Lakes, FL 33016-5848 Life Safety Consultant: SLS Consulting, Inc. 260 Palermo Avenue Cora Cables, FL 33164 Parking Consultant: Thowfy Haths & Associates, Inc. Mami, FL 33128 Elevator Consultant: Van Deusen & Associates, Inc. 820 Peters Road, Suite 1000 Plantation, FL 33324 Acoustic Consultant: Electro-Media Design, Ltd. 973-C Russell Avenue Galibersburg, MD 20879 Landscape Architect: Not Becker FL 33143 Contact. Andres Arclia 0. 788, 717, 6564 / M: 305.521.2341 Firm Reg. No. LC26000548 To: DeSCRIPTION DATE
	1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019 2 PLANNING BOARD FIRAL SUBMITTAL April 8, 2019
	PROJECT NO. & ITILE 1907 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V
3 <u>B</u> - 1 ⁺ - 6 ⁺	SCALE & ORIENTATION
	SEAL & SIGNATURE
NOT FOR CONSTRUCTION	DRAWING TITLE PB A-612 ENCLOSURE SCOPE ELEVATION - WEST



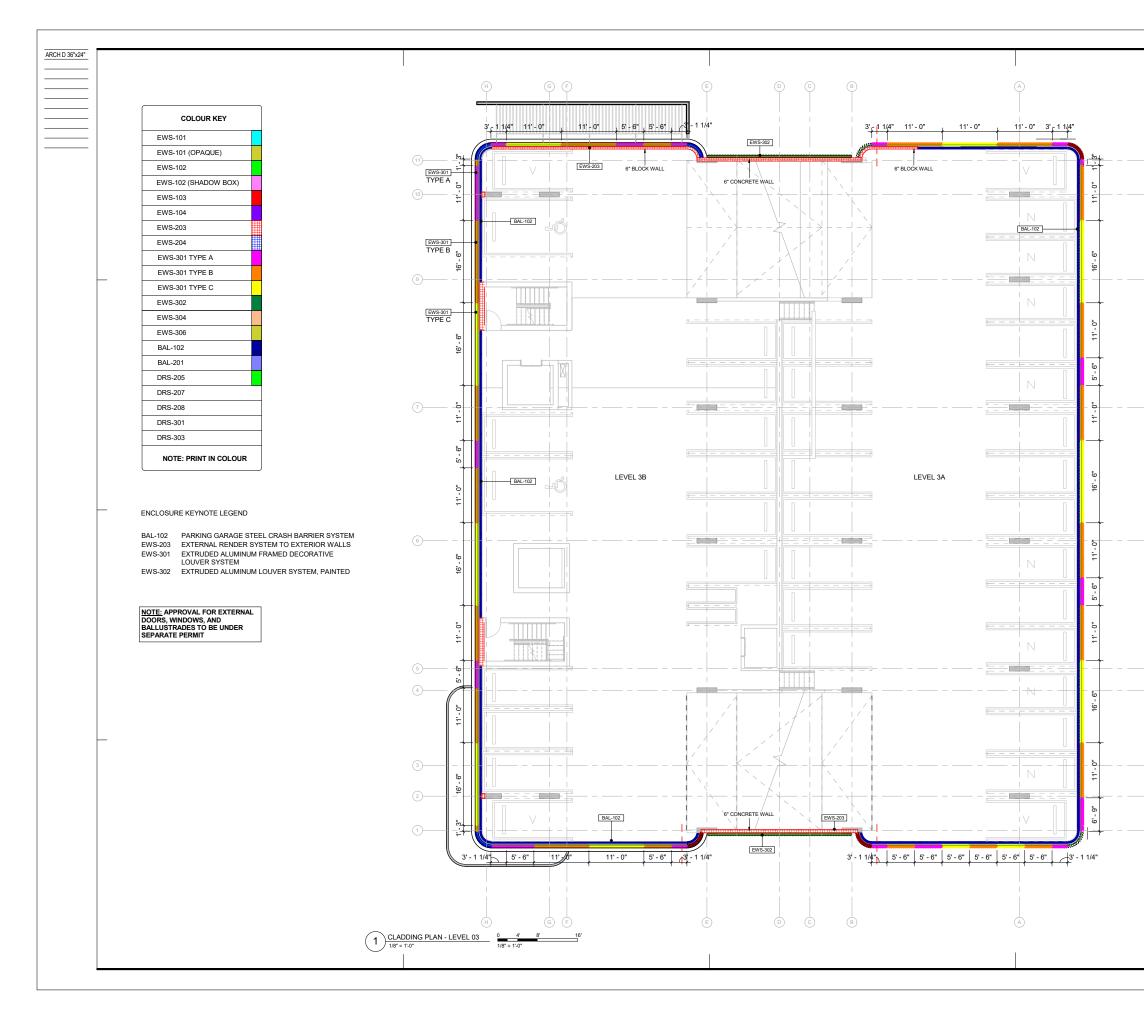
	PROJECT
	TORINO GARAGE
	400 COLLINS AVE., MIAMI BEACH, FL 33139
- <u>ROOF</u> NGVD + 87' - 0" NAVD + 85' - 5 1/2"	Owner: Savoy Hotel Partners, LLC
NAVD + 85' - 5 1/2"	c/o Allied Partners 770 Lexington Ave 17th Eloor
	New York, NY 10065-8165
	Brandon Haw Architecture LLP
- <u>LEVEL 08</u> NGVD + 76' - 0" NAVD + 74' - 5 1/2"	375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249
	CONSULTANTS Structural Engineer:
	DeSimone 800 Brickell Avenue, 6th Floor Miami, FL 33131
- <u>LEVEL 07</u> NGVD + 64' - 10"	MEP Engineer: Stantec
NGVD + 64' - 10" NAVD + 63' - 2 1/2"	3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
	Civil Engineer: VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113
	Miami, FL 33144 Geo-tech Engineer:
LEVEL 06 NGVD + 53' - 8"	Langan 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
NGVD + 53' - 8" NAVD + 52' - 1 1/2"	Life Safety Consultant: SLS Consulting, Inc.
	260 Palermo Ávenue Coral Gables, FL 33134
	Parking Consultant: Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102
T.O. PARAPET	40 NW 3rd Street, Suite 1102 Miami, FL 33128 Elevator Consultant:
	Van Deusen & Associates, Inc. 8201 Peters Road, Suite 1000
	Plantation, FL 33324 Acoustic Consultant:
	Electro-Media Design, Ltd. 973-C Russell Avenue Gaithersburg, MD 20879
	Landscape Architect: Naturalficial. Inc.
	6915 Red Road, Suite 224 Coral Gables, FL 33143 Contact: Andres Arcila
	O: 786.717.6564 / M: 305.321.2341 Firm Reg. No. LC26000548
	NO. DESCRIPTION DATE 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019
- <u></u>	2 PLANNING BOARD FINAL SUBMITTAL April 26, 2019
NAVD + 85' - 5 1/2"	
LEVEL 08	
NGVD + 76' - 0" NAVD + 74' - 5 1/2"	
	DATE OF ISSUE DRAWN BY 04/08/19 -
	04/08/19
	SCALE CHECKED BY
	1/8" = 1'-0"
- LEVEL 07 NGVD + 64' - 10" NAVD + 63' - 2 1/2"	
- LEVEL 07 NGVD + 64' - 10" NAVD + 63' - 2 1/2"	1/8" = 1'-0" - PROJECT NO. & TITLE
NAVD + 63' - 2 1/2"	1/8" = 1'-0" - PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS
NAVD + 63' - 2 1/2"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2" - <u>EVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 9" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2" - <u>EVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 5' NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2"	18" = 11-0" PROLECT NO. & TITLE 1507 TORINO GARAGE PROLECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V
NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 8' NAVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD - 38' - 0' NAVD + 32' - 10 1/2'	18" = 11-0" PROLECT NO. & TITLE 1507 TORINO GARAGE PROLECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 5' NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2"	18" = 11-0" PROLECT NO. & TITLE 1507 TORINO GARAGE PROLECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN V
NAVD + 63' - 2 1/2" - LEVEL 06 NOVD + 53' - 8" NAVD + 52' - 1 1/2" - LEVEL 05C NOVD + 47' - 0" NAVD + 50' - 9" - LEVEL 04C NOVD + 38' - 0" NAVD + 32' - 10 1/2" - LEVEL 03C NGVD + 26' - 5 1/2" NAVD + 26' - 5 1/2"	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN SCALE & ORIENTATION SCALE & ORIENTATION
NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 8' NAVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD - 38' - 0' NAVD + 32' - 10 1/2'	1/8" = 1-0" PROJECT NO. & TITLE 1507 TORINO GARAGE PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL KEY PLAN SCALE & ORIENTATION SCALE & ORIENTATION
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NOVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NOVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NOVD + 38' - 0" NAVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NAVD + 26' - 5 1/2" NAVD + 23' - 10 1/2" - <u>LEVEL 02</u> NAVD + 17' - 10" - <u>LEVEL 01</u>	Iβ# = 1·β* PREVENTION ARRAGE PARTONIC ADRAGE PARTONIC BOARD FINAL SUBMITTAL EXPLAN OUTPOINT OUTPOINT <t< td=""></t<>
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NGVD + 26' - 5 1/2" NGVD + 23' - 9 1/2" - <u>LEVEL 02</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10"	1β" = 1-φ" PORECT NO. & TITLE 197 TORINO GARAGE PORECT STATUE PAINNING BOARD FINAL SUBMITTAL KEY PLAN Image: Comparison of the compariso
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 8" NAVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NGVD + 38' - 0" NGVD + 38' - 0" NGVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NGVD + 28' - 5 1/2" NGVD + 28' - 5 1/2" NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>NGVD + 15' - 10"</u> - <u>NGVD + 15' - 10"</u>	Iβ# = 1·β* PREVENTION ARRAGE PARTONIC ADRAGE PARTONIC BOARD FINAL SUBMITTAL EXPLAN OUTPOINT OUTPOINT <t< td=""></t<>
NAVD + 63' - 2 1/2" - <u>LEVEL 06</u> NGVD + 53' - 6" NGVD + 52' - 1 1/2" - <u>LEVEL 05C</u> NGVD + 47' - 0" NAVD + 50' - 9" - <u>LEVEL 04C</u> NGVD + 38' - 0" NAVD + 32' - 10 1/2" - <u>LEVEL 03C</u> NGVD + 26' - 5 1/2" NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>LEVEL 01</u> NGVD + 15' - 10" - <u>NGVD + 15' - 10"</u> - <u></u>	<text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text>
NAVD + 63' - 2 1/2' - LEVEL 06 NGVD + 53' - 8' NAVD + 52' - 1 1/2' - LEVEL 05C NGVD + 47' - 0' NAVD + 50' - 9' - LEVEL 03C NGVD + 38' - 0' NAVD + 32' - 10 1/2' - LEVEL 03C NGVD + 28' - 5 1/2' NGVD + 15' - 10' NGVD + 15' - 10' LEVEL 01 NGVD + 15' - 10' NGVD + 8' - 0' NAVD + 5' - 5 1/2' BASE FLOOD ELEV: NGVD + 8' - 0' NGVD + 5' - 10'	<section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header>
NAVD + 63' - 2 1/2' = <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' = <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' = <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' = <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' EVEL 02 NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 10' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' NGVD +	<text><text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text></text>
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NAVD + 63' - 2 1/2' = <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' = <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' = <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' = <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' EVEL 02 NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 10' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' NGVD +	<text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text>
NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' - <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' - <u>LEVEL 02</u> NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' N	<text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text>
NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' - <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' - <u>LEVEL 02</u> NGVD + 15' - 5 1/2' NGVD + 15' - 10' - <u>LEVEL 02</u> NGVD + 15' - 10' - <u>NGVD + 9' - 0'</u> NGVD + 9' - 0' NAVD + 5' - 5 1/2' - <u>SASE FLOOD ELEV</u> NGVD + 7' - 5 1/2' - <u>SASE FLOOD ELEV</u> NGVD + 7' - 5 1/2' - <u>NAVD + 5' - 0'</u> NAVD + 5' - 0'	<text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text>
NAVD + 63' - 2 1/2' - <u>LEVEL 06</u> NGVD + 53' - 6' NGVD + 52' - 1 1/2' - <u>LEVEL 05C</u> NGVD + 47' - 0' NAVD + 50' - 9' - <u>LEVEL 04C</u> NGVD + 38' - 0' NAVD + 32' - 10 1/2' - <u>LEVEL 03C</u> NGVD + 32' - 10 1/2' - <u>LEVEL 02</u> NGVD + 15' - 5 1/2' NGVD + 15' - 10' NGVD + 15' - 10' NGVD + 9' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 8' - 0' NGVD + 7' - 0' N	<text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text>



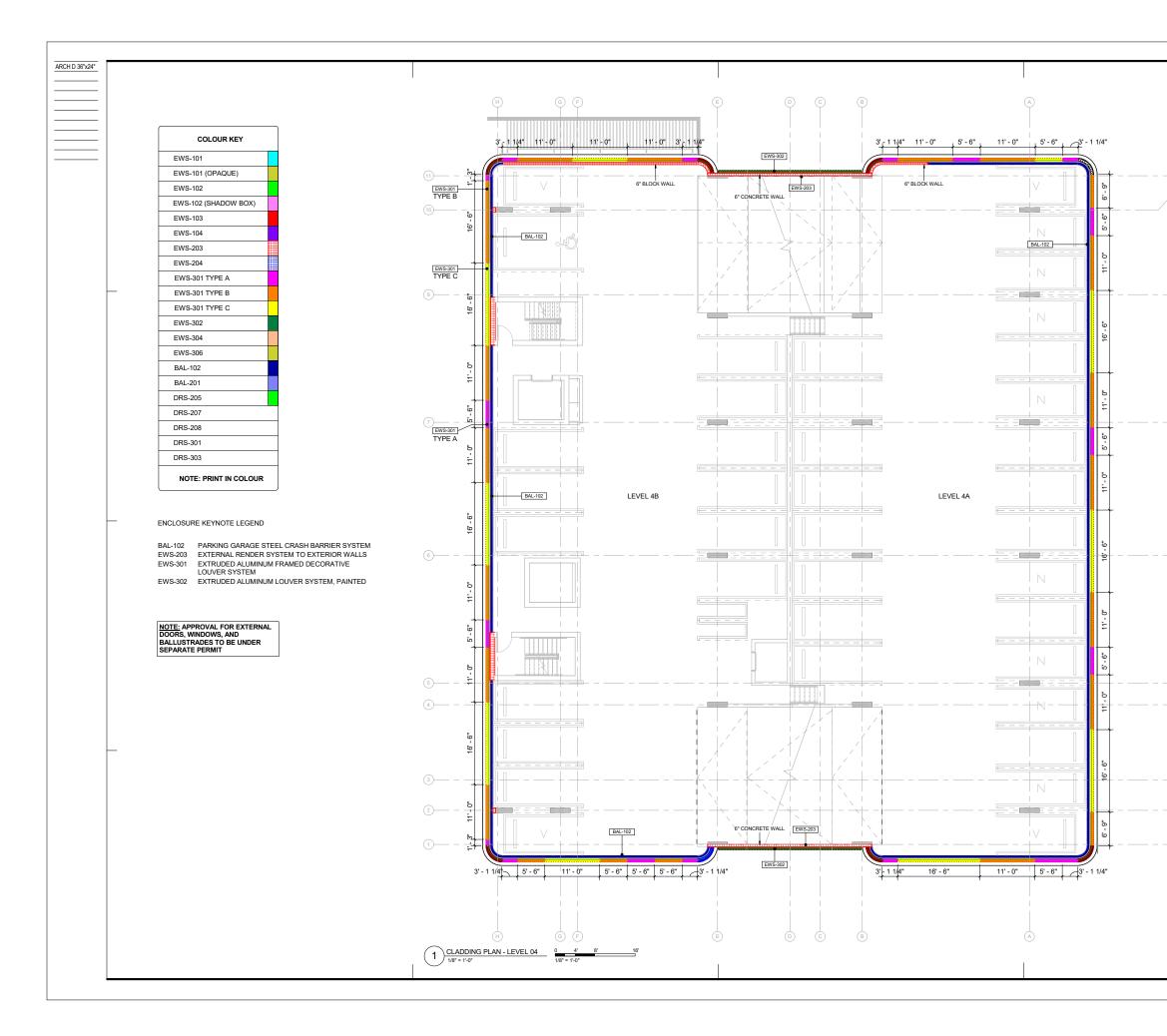
	PROJECT
	TORINO GARAGE
	400 COLLINS AVE MIAMI BEACH
	FL 33139 Owner:
	Savoy Hotel Partners, LLC c/o Allied Partners
	770 Lexington Ave 17th Floor
	New York, NY 10065-8165 Architect:
- 1	Brandon Haw Architecture LLP
	375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249
TT	CONSULTANTS
	Structural Engineer: DeSimone 800 Brickell Avenue, 6th Floor
	Miami, FL 33131
	MEP Engineer: Stantec
1	3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
P T 1.4	Civil Engineer: VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113
т <u>г</u>	Miami, FL 33144
	Geo-tech Engineer: Langan
	15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
	Life Safety Consultant: SLS Consulting, Inc.
	260 Palermo Avenue Coral Gables, FL 33134
	Parking Consultant: Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102
	Miami, FL 33128
TT LL	Elevator Consultant: Van Deusen & Associates, Inc.
	8201 Peters Road, Suite 1000 Plantation, FL 33324
	Acoustic Consultant: Electro-Media Design, Ltd.
11	973-C Russell Avenue Gaithersburg, MD 20879
	Landscape Architect: Naturalficial, Inc.
	6915 Red Road, Suite 224 Coral Gables, FL 33143
	Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341 Eim Reg No. I C 2000548
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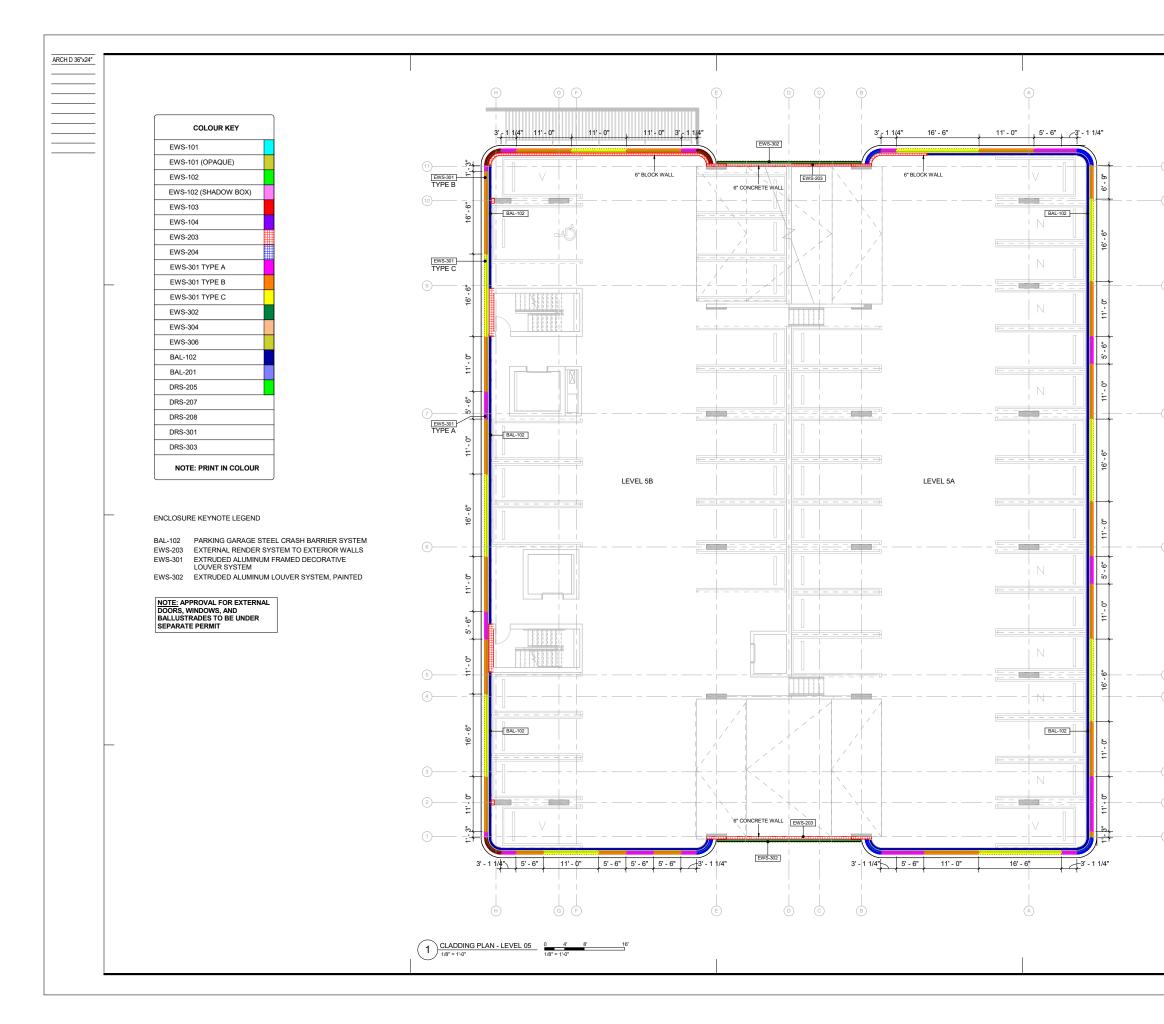
1	PROJECT
	TORINO GARAGE
	400 COLLINS AVE., MIAMI BEACH, FL 33139
	Owner: Savoy Hotel Partners, LLC
	c/o Allied Partners 770 Lexington Ave
	17th Floor New York, NY 10065-8165
	Architect: Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308
	375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249
1	CONSULTANTS
	Structural Engineer: DeSimone 800 Brickell Avenue, 6th Floor
0)	Miami, FL 33131 MEP Engineer:
ン 	MEP Engineer: Stantec 3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
	Civil Engineer:
	VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113
	Miami, FL 33144 Geo-tech Engineer:
	Langan 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
	Life Safety Consultant: SLS Consulting, Inc.
	260 Palermo Avenue Coral Gables, FL 33134
	Parking Consultant: Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102
	Miami, FL 33128
	Elevator Consultant: Van Deusen & Associates, Inc. 8201 Peters Road, Suite 1000
	8201 Peters Road, Suite 1000 Plantation, FL 33324 Acoustic Consultant:
	Electro-Media Design, Ltd. 973-C Russell Avenue
	Gaithersburg, MD 20879 Landscape Architect:
	Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143
	Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341
	Firm Reg. No. LC26000548 NO. DESCRIPTION DATE
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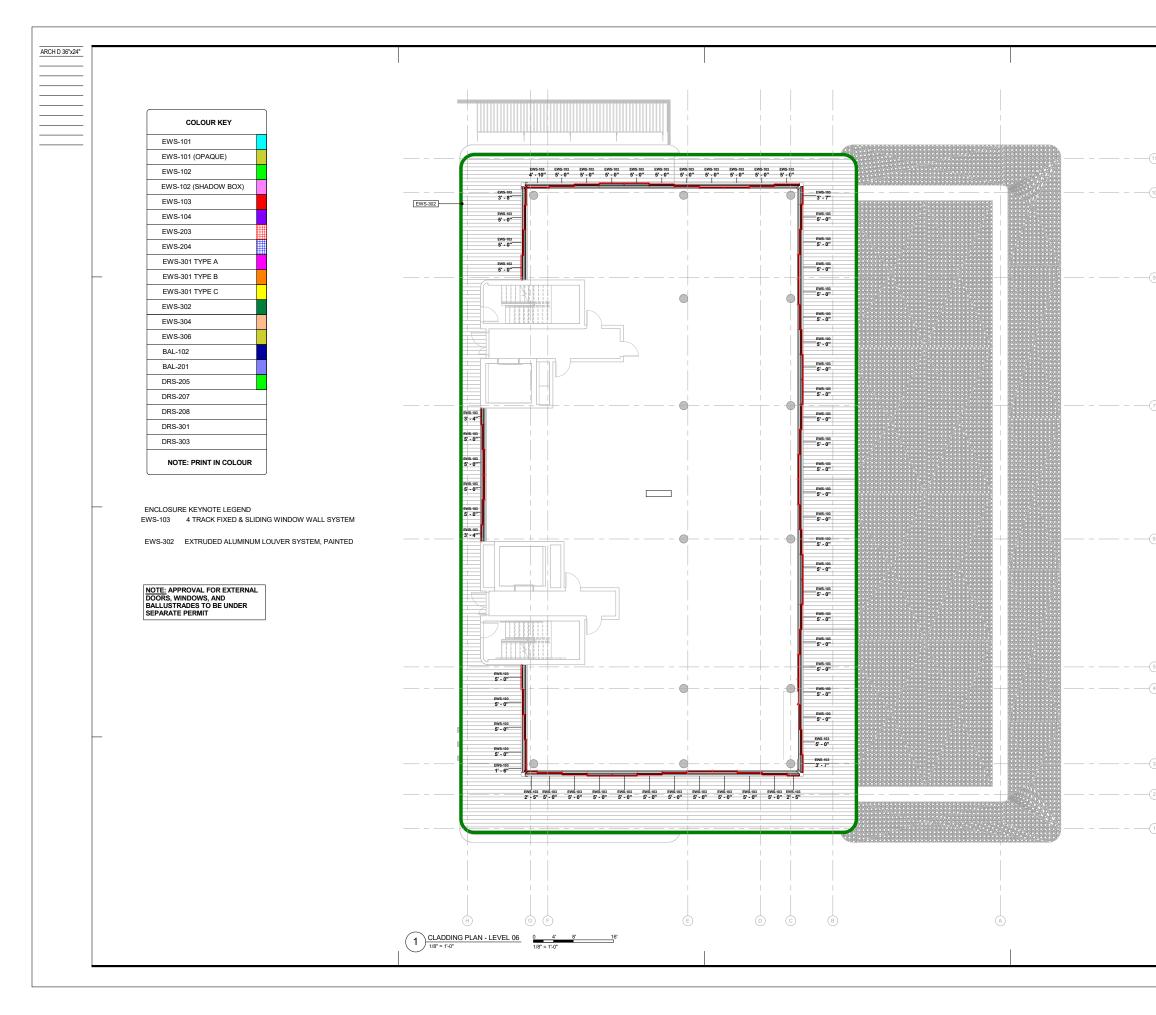
	PROJECT
	TORINO GARAGE
	400 COLLINS AVE., MIAMI BEACH, FL 33139
	Owner:
	Savoy Hotel Partners, LLC c/o Allied Partners 770 Lexington Ave
	170 Lexington Ave 17th Floor New York, NY 10065-8165
	Architect:
	Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 New York NV 10152
	New York, NY 10152 License # AA26003249
-(11)	CONSULTANTS Structural Engineer:
	DeSimone
(10)	800 Brickell Avenue, 6th Floor Miami, FL 33131
\bigcirc	MEP Engineer: Stantec 3915 Biccaune Blud, Suite 401
	3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
	Civil Engineer: VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113
	Miami, FL 33144
	Geo-tech Engineer: Langan
	15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
-(9)	Life Safety Consultant: SLS Consulting, Inc.
č	260 Palerno Avenue Coral Gables, FL 33134
	Parking Consultant:
	Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 Miami, FL 33128
	Elevator Consultant: Van Deusen & Associates, Inc.
	8201 Peters Road, Suite 1000 Plantation, FL 33324
	Acoustic Consultant: Electro-Media Design, Ltd.
	973-C Russell Avenue Gaithersburg, MD 20879
	Landscape Architect: Naturalficial, Inc.
	6915 Red Road, Suite 224 Coral Gables, FL 33143
-(7)	Contact: Andres Arcila O: 786 717 6564 / M: 305 321 2341
\bigcirc	Firm Reg. No. LC26000548 NO. DESCRIPTION DATE
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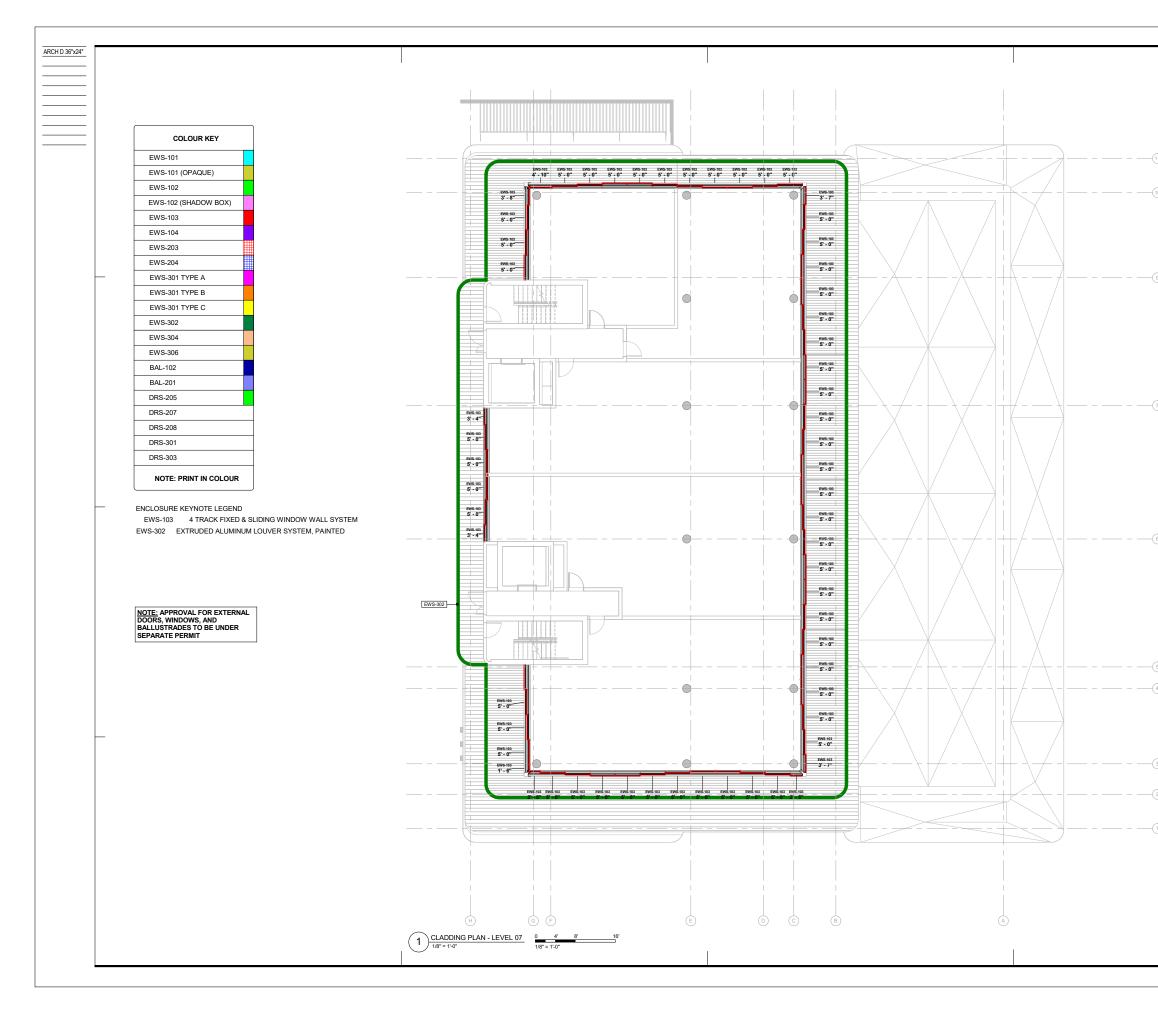
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<form></form>		770 Lexington Ave
<form></form>		Architect:
		375 Park Avenue, Suite 3308 New York, NY 10152
<form></form>	(11)	CONSULTANTS
	©	DeSimone
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 C. E. E.		Stantec
		Civil Engineer:
		VSN Engineering, Inc. 8660 W. Flagter Street, Suite 113 Miami Fl 33144
		Geo-tech Engineer:
 A Constitution in the constitution in		15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
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	$\widetilde{}$	Coral Gables, FL 33134
		Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102
		Elevator Consultant:
		8201 Peters Road, Suite 1000
		Acoustic Consultant: Electro-Media Design, Ltd.
		Gaithersburg, MD 20879
		Naturalficial, Inc. 6915 Red Road, Suite 224
		Coral Gables, FL 33143 Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341
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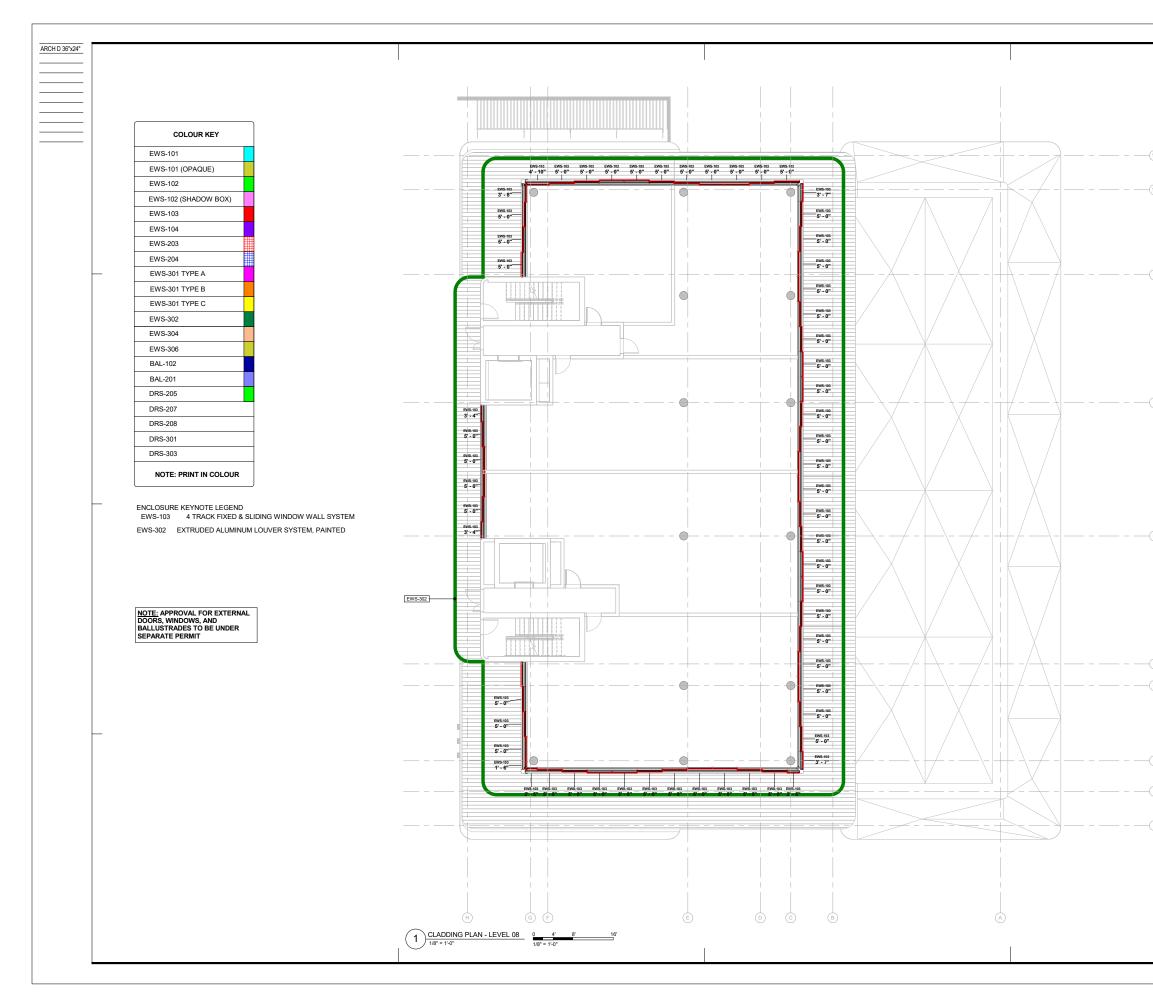
	j	PROJECT
		TORINO GARAGE
		400 COLLINS AVE., MIAMI BEACH, FL 33139
		Owner: Savoy Hotel Partners, LLC
		c/o Allied Partners 770 Lexington Ave
		17th Floor New York, NY 10065-8165
		Architect: Brandon Haw Architecture LLP
		375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249
11)		CONSULTANTS
		Structural Engineer: DeSimone
10)		800 Brickell Avenue, 6th Floor Miami, FL 33131
		MEP Engineer: Stantec 3915 Biscaune Blvd, Suite 401
		3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737 Civil Engineer:
		VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113
		Miami, FL 33144 Geo-tech Engineer:
		Langan 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
<u>_</u>		Life Safety Consultant:
9)		SLS Consulting, Inc. 260 Palermo Avenue Coral Gables, FL 33134
		Parking Consultant:
		Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102 Miami, FL 33128
		Elevator Consultant: Van Deusen & Associates, Inc.
		8201 Peters Road, Suite 1000 Plantation, FL 33324
		Acoustic Consultant: Electro-Media Design, Ltd.
		973-C Russell Avenue Galthersburg, MD 20879
		Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224
		Coral Gables, FL 33143 Contact: Andres Arcila O: 786.717.6564 / M: 305.321.2341
7		Firm Reg. No. LC26000548
		NO. DESCRIPTION DATE 1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019
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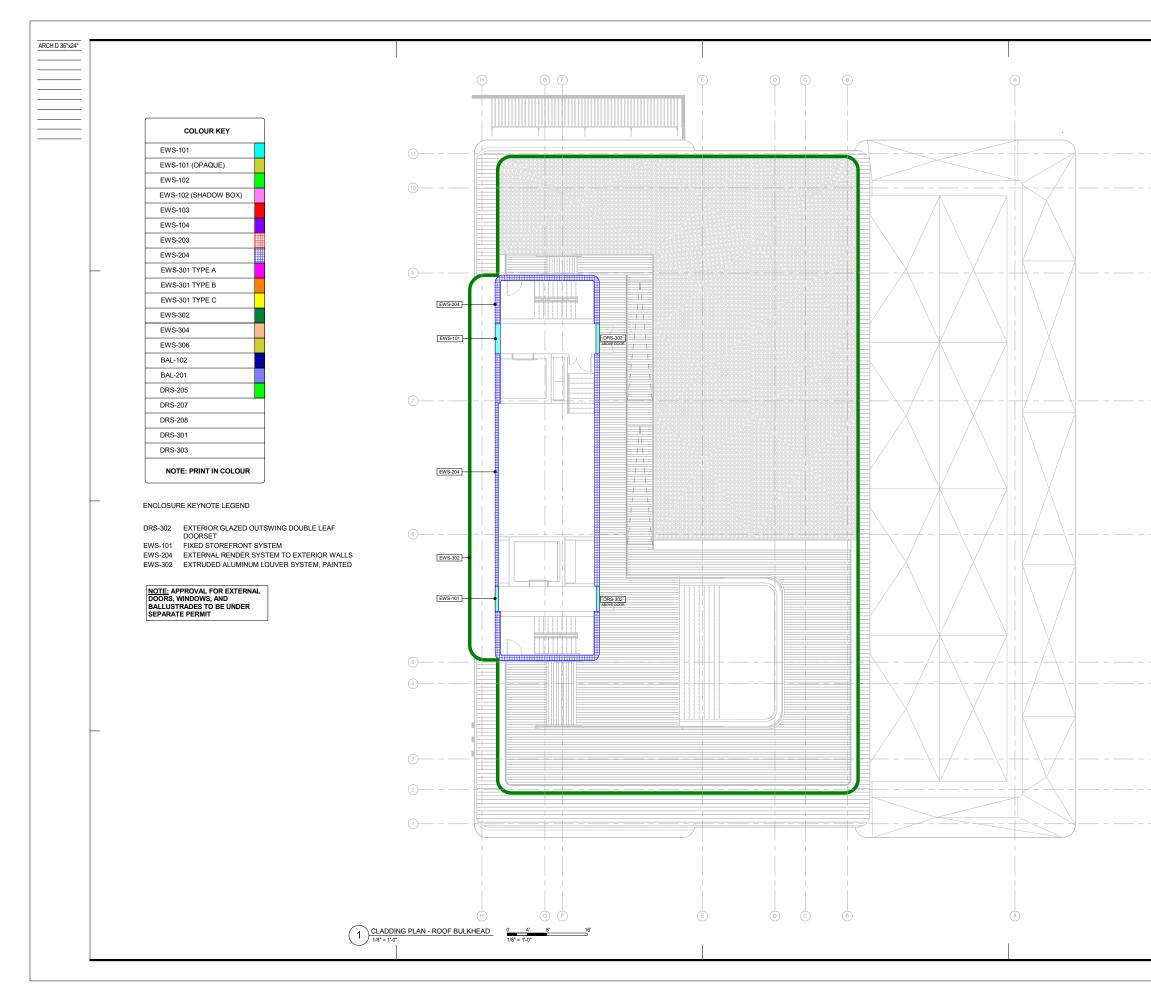
	PROJECT
	TORINO GARAGE
	400 COLLINS AVE., MIAMI BEACH, FL 33139
	Owner:
	Savoy Hotel Partners, LLC c/o Allied Partners 770 Lexington Ave
	17th Floor New York, NY 10065-8165
	Architect: Brandon Haw Architecture LLP
	375 Park Avenue, Suite 3308 New York, NY 10152
	License # AA26003249 CONSULTANTS
	Structural Engineer: DeSimone
	800 Brickell Avenue, 6th Floor Miami, FL 33131
	MEP Engineer: Stantec
	3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
	Civil Engineer:
	VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113 Miami, FL 33144
	Geo-tech Engineer: Langan
	15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5848
	Life Safety Consultant: SLS Consulting, Inc.
	260 Palermo Avenue Coral Gables, FL 33134
	Parking Consultant: Timothy Haahs & Associates, Inc. 40 NW 3rd Street, Suite 1102
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	973-C Russell Avenue Gaithersburg, MD 20879
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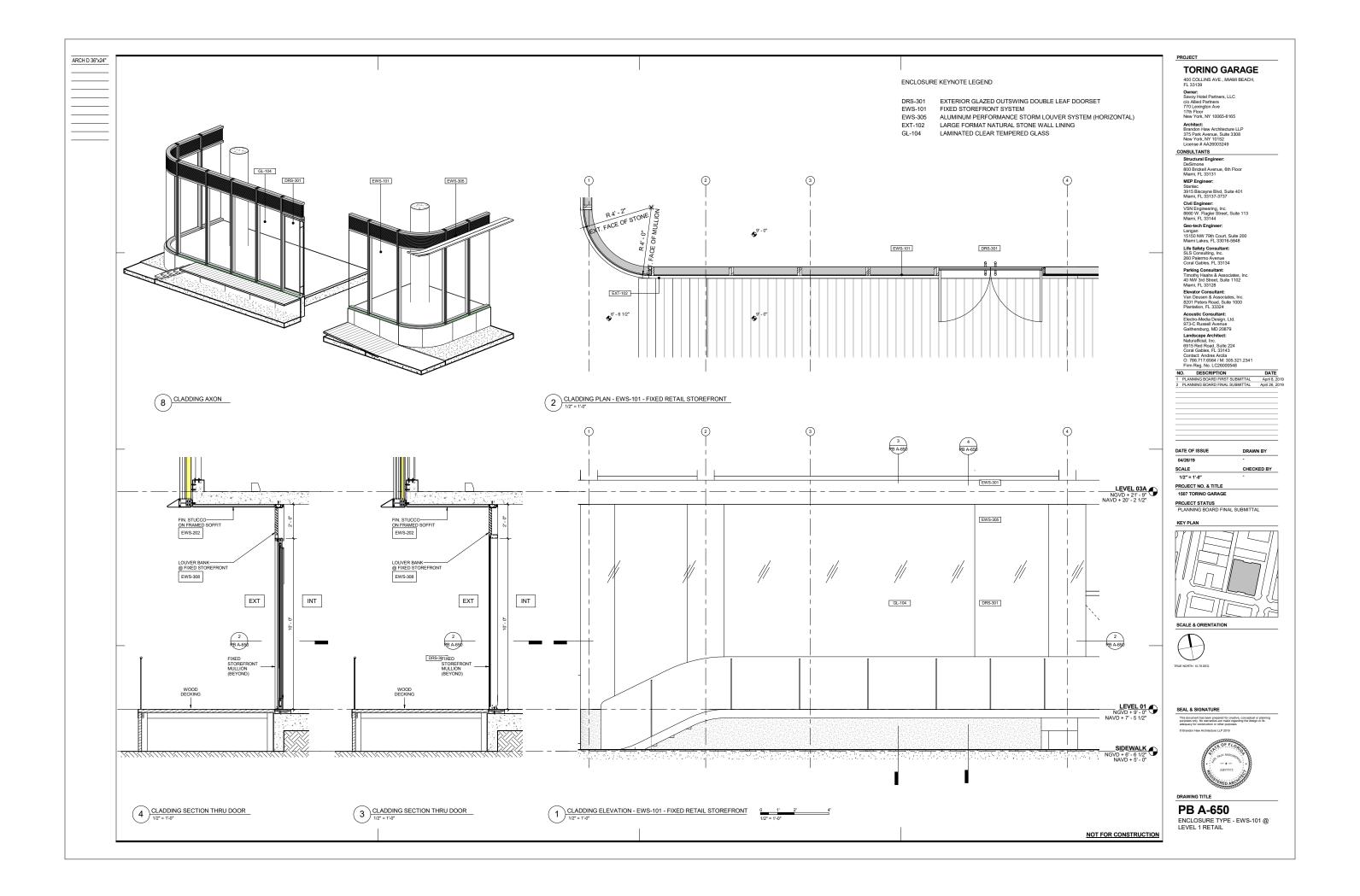
	PROJECT
	TORINO GARAGE
	400 COLLINS AVE., MIAMI BEACH,
	FL 33139 Owner:
	Savoy Hotel Partners, LLC c/o Allied Partners 770 Lexington Ave
	17th Floor
	New York, NY 10065-8165 Architect:
	Brandon Haw Architecture LLP
	375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249
	CONSULTANTS Structural Engineer:
	Structural Engineer: DeSimone 800 Brickell Avenue, 6th Floor
	Miami, FL 33131
	MEP Engineer: Stantec
	3915 Biscayne Blvd, Suite 401 Miami, FL 33137-3737
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	Life Safety Consultant: SLS Consulting, Inc.
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	Gaithersburg, MD 20879 Landscape Architect:
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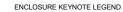


		400 COLLINS AVE., MIAMI BEACH,
		FL 33139 Owner:
		Savoy Hotel Partners, LLC c/o Allied Partners
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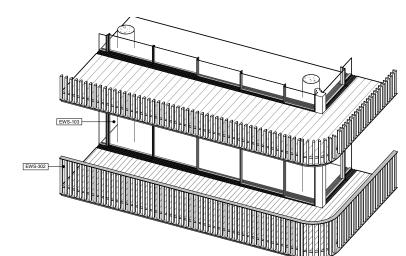
	PROJECT
	TORINO GARAGE
	400 COLLINS AVE., MIAMI BEACH, FL 33139
	Owner: Savoy Hotel Partners, LLC c/o Allied Partners
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	Structural Engineer: DeSimone
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 NOTE: PRINT IN COLOUR	DRAWING TITLE

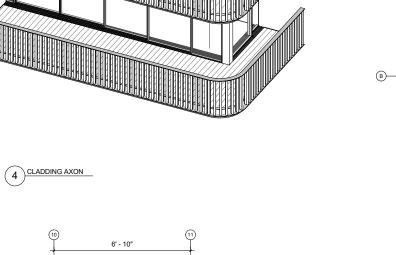


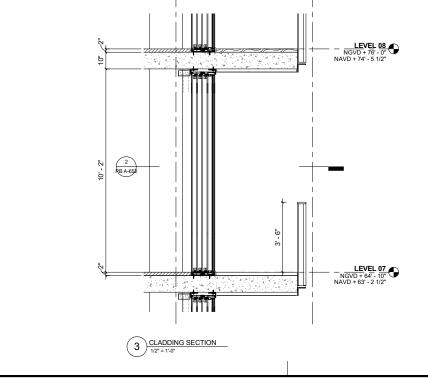


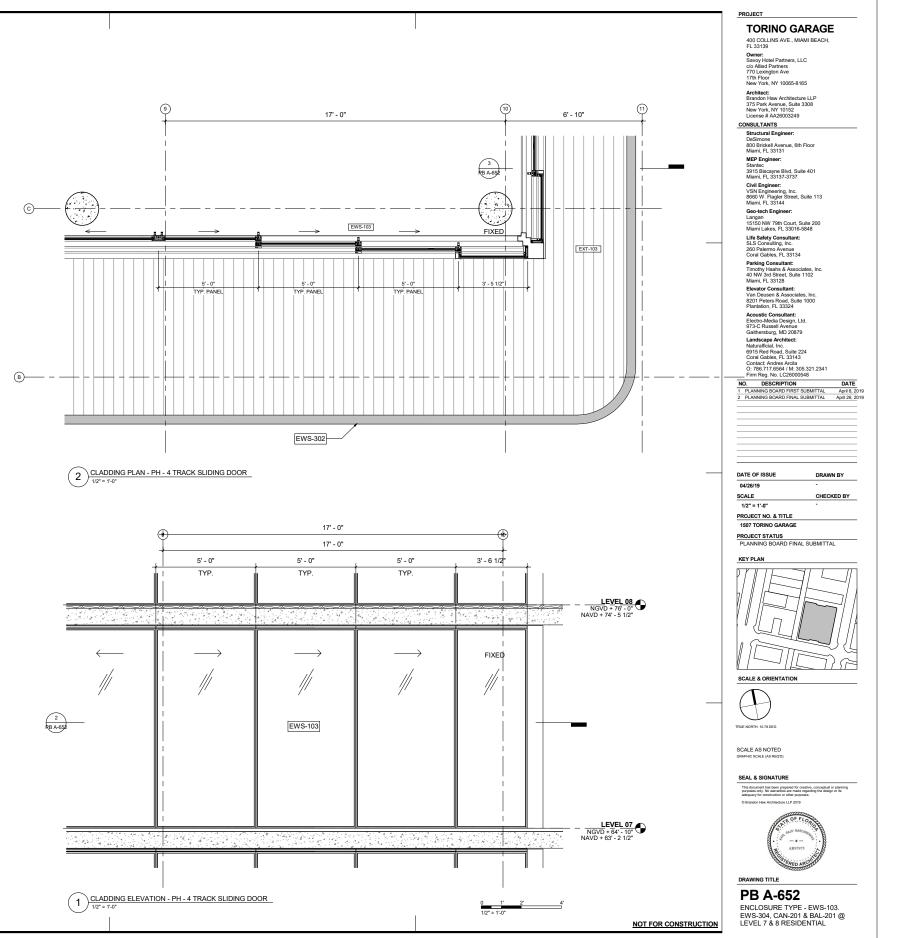
ARCH D 36"x24"

EWS-103 4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM EWS-302 EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

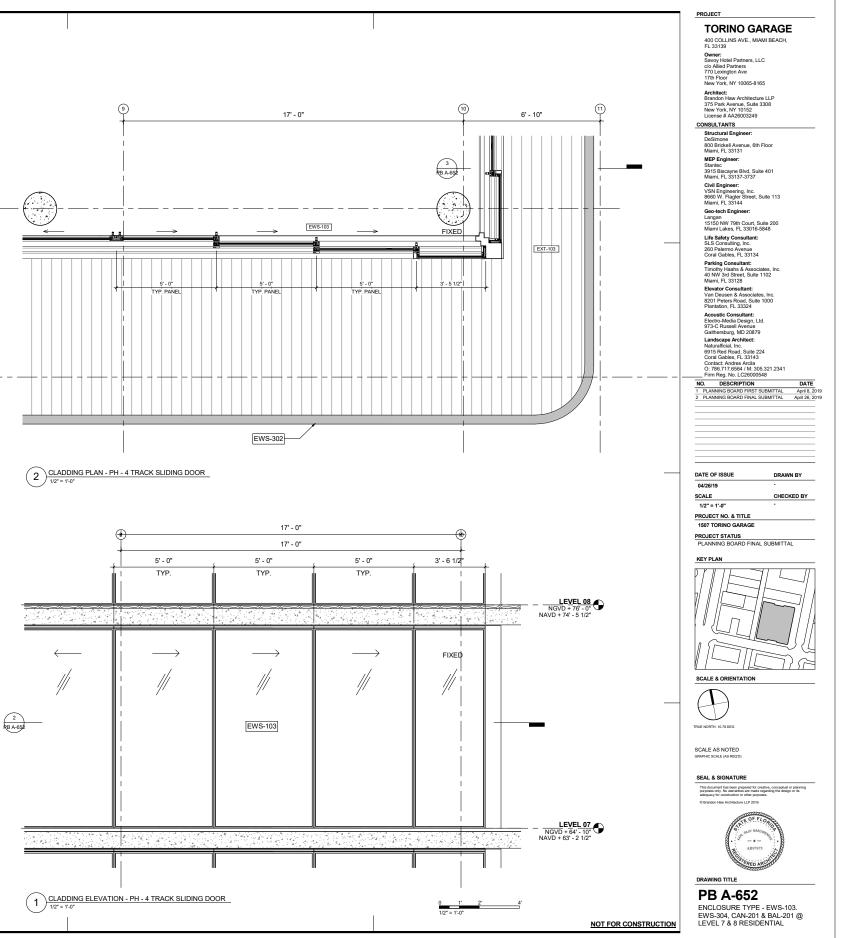


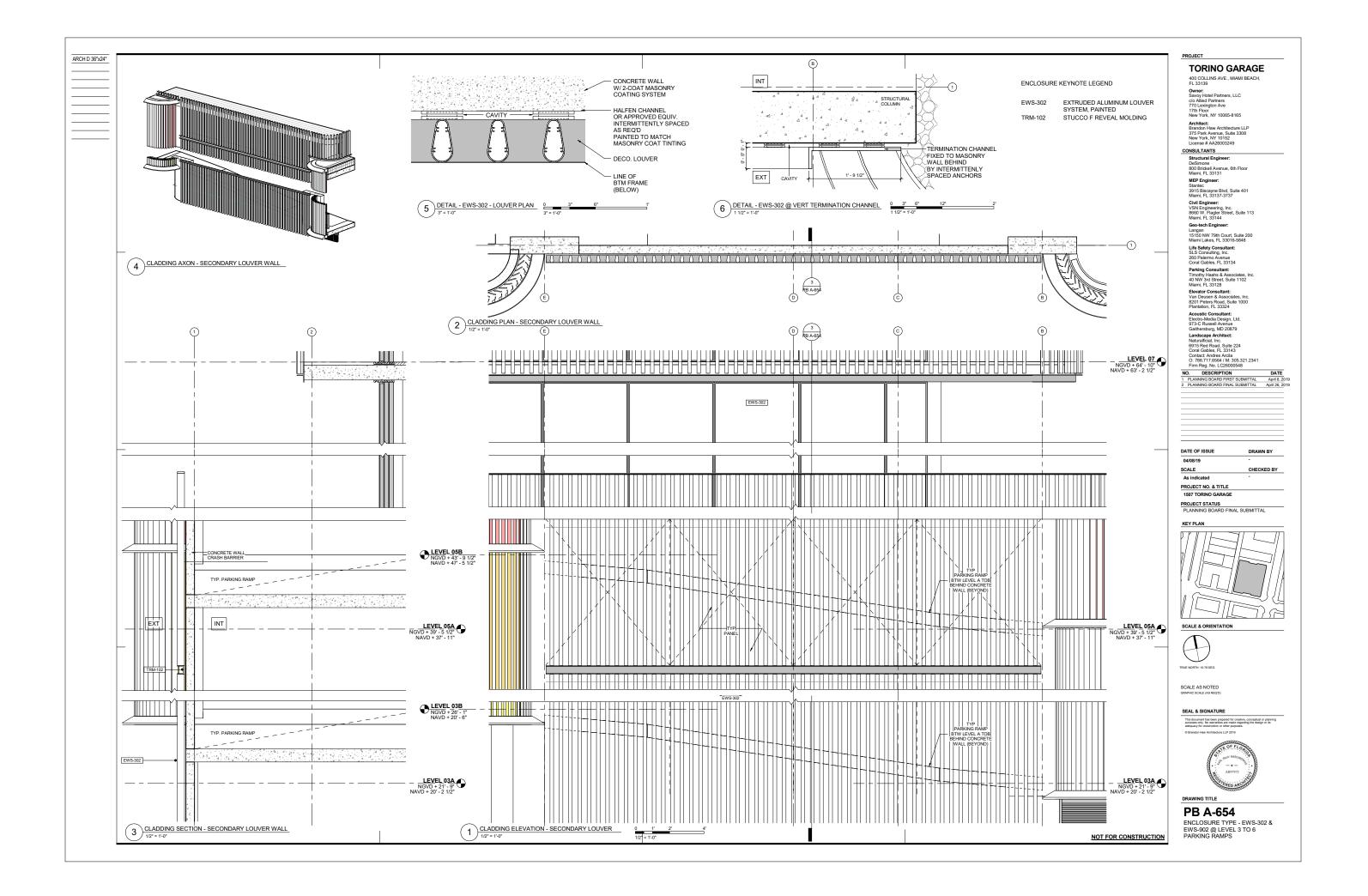














NOTE: CALCULATIONS AS PER FBC 406.3.3.1:Openings

For natural ventilation purposes, the exterior side of the structure shall have uniformly distributed openings on two or more sides. The area of such openings in exterior walls on a tier must be at least 20 percent of the total perimeter wall area of each tier. The aggregate length of the openings considered to be providing natural ventilation shall constitute a minimum of 40 percent of the perimeter of the tier. Interior walls shall be at least 20 percent open with uniformly distributed openings.

Exception: Openings are not required to be distributed over 40 percent of the building perimeter where the required openings are uniformly distributed over two opposing sides of the buildings.

LOUVER PANEL ARRANGEMENT SUMMARY*

LEVEL 3	Α	67.52ft (16.86%)	COMBINED O.A.R. = 38.83%
	В	178.50ft (44.58%)	
	С	132.00ft (32.96%)	
	D	13.33ft (3.33%)	
	Е	4.51ft (1.13%)	
	F	4.57ft (1.14%)	
LEVEL 4	А	62.02ft (15.49%)	COMBINED O.A.R. = 38.87%
	В	184.00ft (45.95%)	
	Ĉ	132.00ft (32.97%)	
	D	13.61ft (3.40%)	
	Е	4.42ft (1.10%)	
	F	4.37ft (1.09%)	
LEVEL 5	А	67.52ft (16.85%)	COMBINED O.A.R. = 38.80%
	В	173.00ft (43.18%)	
	С	137.50ft (34.32%)	
	Ď	4.60ft (1.15%)	
	Ē	18.02ft (4.50%)	
	F	0.00ft (0.00%)	

*ONLY PANELS WITH NO BACKING WALLS ARE CONSIDERED IN THE CALCULATION. FOR CURVED PANELS, WORST-CASE OPEN AIR RATIOS ARE USED.

