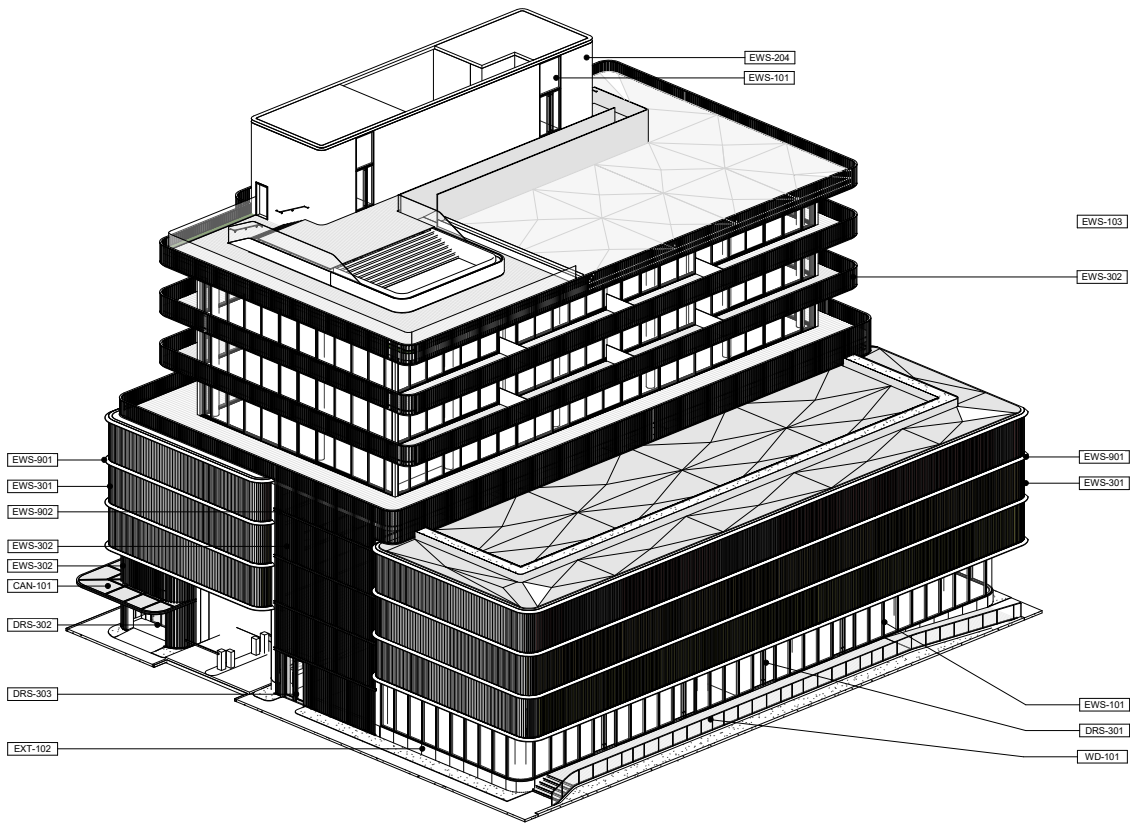
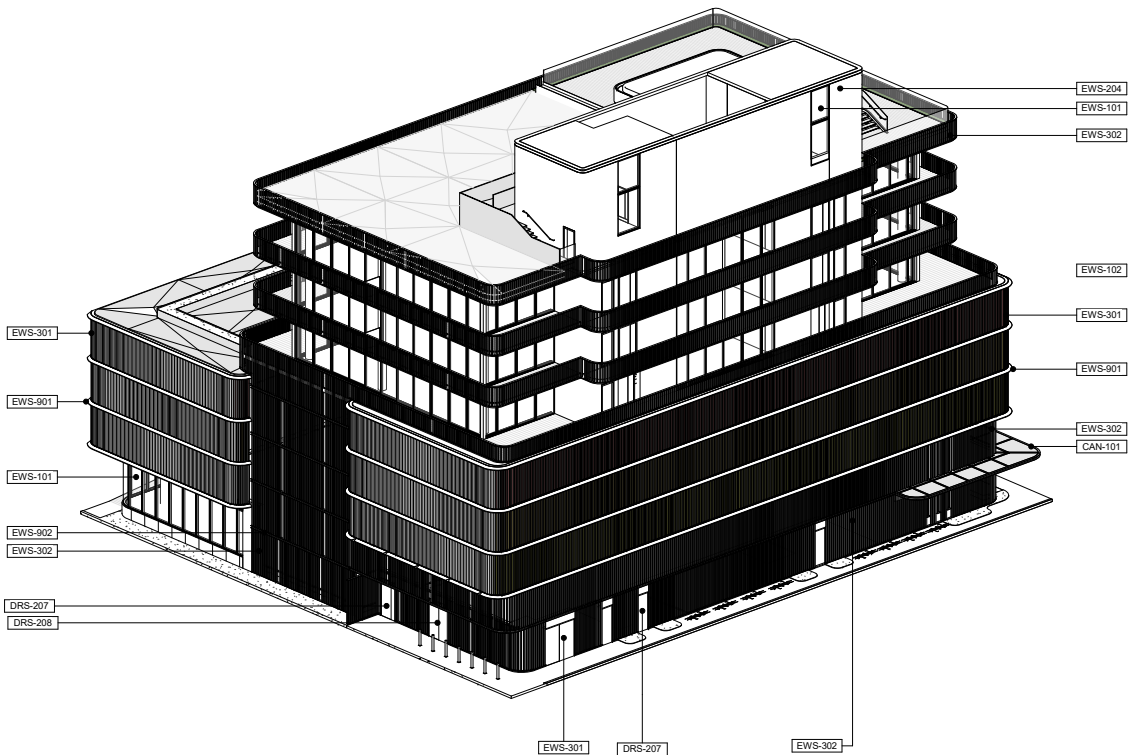


ENCLOSURE KEYNOTE LEGEND

CAN-101	RESIDENCE ENTRY CANOPY
DRS-207	FLOOD PROOF HOLLOW METAL SINGLE DOORSET
DRS-208	FLOOD PROOF HOLLOW METAL DOUBLE DOORSET
DRS-301	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
DRS-302	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
DRS-303	EXTERIOR GLAZED OUTSWING SINGLE LEAF DOORSET
EWS-101	FIXED STOREFRONT SYSTEM
EWS-204	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED
EWS-901	EXTRUDED ALUMINUM SLAB EDGE PROFILE
EWS-902	EXTRUDED ALUMINUM CHANNEL PROFILES
EXT-102	LARGE FORMAT NATURAL STONE WALL LINING
WD-101	WOOD DECKING



2 AXON 01 - ENCLOSURE



1 AXON 02 - ENCLOSURE

0 8' 16' 32'
1/16" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8800 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE DRAWN BY

04/08/19 -

SCALE CHECKED BY

-

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-600.1

ENCLOSURE TYPE - AXON
DIAGRAM

NOT FOR CONSTRUCTION

ARCH D 36"x24"

ROOF
NGVD + 87' - 0"
NAVD + 85' - 5 1/2"

LEVEL 08
NGVD + 76' - 0"
NAVD + 74' - 5 1/2"

LEVEL 07
NGVD + 64' - 10"
NAVD + 63' - 2 1/2"

LEVEL 06
NGVD + 53' - 8"
NAVD + 52' - 1 1/2"

2 EAST RESIDENTIAL ELEVATION - SLIDING DOORS
1/8" = 1'-0"

T.O. PARAPET
NGVD + 109' - 0"
NAVD + 107' - 5 1/2"

ROOF
NGVD + 87' - 0"
NAVD + 85' - 5 1/2"

LEVEL 08
NGVD + 76' - 0"
NAVD + 74' - 5 1/2"

LEVEL 07
NGVD + 64' - 10"
NAVD + 63' - 2 1/2"

LEVEL 06
NGVD + 53' - 8"
NAVD + 52' - 1 1/2"

T.O. PEDESTAL
NGVD + 48' - 3 1/2"
NAVD + 56' - 5"

LEVEL 05A
NGVD + 39' - 5 1/2"
NAVD + 37' - 11"

LEVEL 04A
NGVD + 30' - 9 1/2"
NAVD + 29' - 3"

LEVEL 03A
NGVD + 21' - 9"
NAVD + 20' - 2 1/2"

LEVEL 01
NGVD + 9' - 0"
NAVD + 7' - 5 1/2"

BASE FLOOD ELEV.
NGVD + 8' - 0"
NAVD + 6' - 5 1/2"

GROUND FLOOR
NGVD + 7' - 0"
NAVD + 5' - 5 1/2"

SIDEWALK
NGVD + 6' - 6 1/2"
NAVD + 5' - 0"

1 EAST ELEVATION
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

ENCLOSURE KEYNOTE LEGEND

AM-105 STEEL GALVANIZED
DRS-301 EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101 FIXED STOREFRONT SYSTEM
EWS-103 4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM
EWS-203 EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-204 EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301 EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302 EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED
EWS-902 EXTRUDED ALUMINUM CHANNEL PROFILES
EXT-102 LARGE FORMAT NATURAL STONE WALL LINING

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deussen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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04/08/19

SCALE CHECKED BY

1/8" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-610

ENCLOSURE SCOPE ELEVATION - EAST

NOT FOR CONSTRUCTION

ARCH D 36"x24"

ROOF
NGVD + 87' - 0"
NAVD + 85' - 5 1/2"

LEVEL 08
NGVD + 76' - 0"
NAVD + 74' - 5 1/2"

LEVEL 07
NGVD + 64' - 10"
NAVD + 63' - 2 1/2"

LEVEL 06
NGVD + 53' - 8"
NAVD + 52' - 1 1/2"

2 SOUTH RESIDENTIAL ELEVATION - SLIDING DOORS
1/8" = 1'-0"

T.O. PARAPET
NGVD + 109' - 0"
NAVD + 107' - 5 1/2"

ROOF
NGVD + 87' - 0"
NAVD + 85' - 5 1/2"

LEVEL 08
NGVD + 76' - 0"
NAVD + 74' - 5 1/2"

LEVEL 07
NGVD + 64' - 10"
NAVD + 63' - 2 1/2"

LEVEL 06
NGVD + 53' - 8"
NAVD + 52' - 1 1/2"

LEVEL 05C
NGVD + 47' - 0"
NAVD + 50' - 9"

LEVEL 04C
NGVD + 38' - 0"
NAVD + 32' - 10 1/2"

LEVEL 03C
NGVD + 26' - 5 1/2"
NAVD + 23' - 9 1/2"

LEVEL 02
NGVD + 17' - 5"
NAVD + 15' - 10"

LEVEL 01
NGVD + 9' - 0"
NAVD + 7' - 5 1/2"

BASE FLOOD ELEV.
NGVD + 8' - 0"
NAVD + 6' - 5 1/2"

GROUND FLOOR
NGVD + 7' - 0"
NAVD + 5' - 5 1/2"

SIDEWALK
NGVD + 6' - 6 1/2"
NAVD + 5' - 0"

1 SOUTH ELEVATION
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

ENCLOSURE KEYNOTE LEGEND

AM-105	STEEL GALVANIZED
CAN-101	RESIDENCE ENTRY CANOPY
DRS-301	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101	FIXED STOREFRONT SYSTEM
EWS-103	4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM
EWS-204	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED
EWS-902	EXTRUDED ALUMINUM CHANNEL PROFILES
EXT-102	LARGE FORMAT NATURAL STONE WALL LINING

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haahs & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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04/08/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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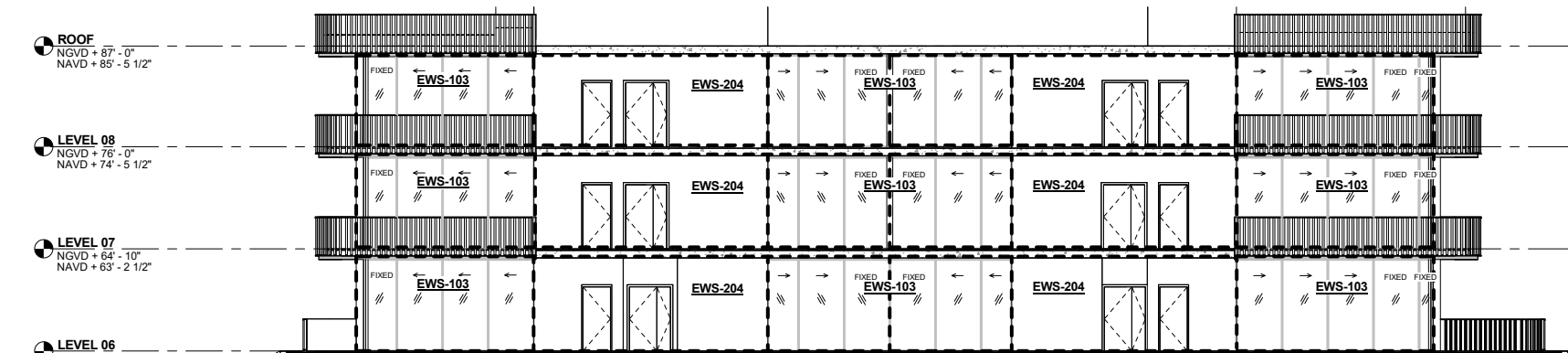


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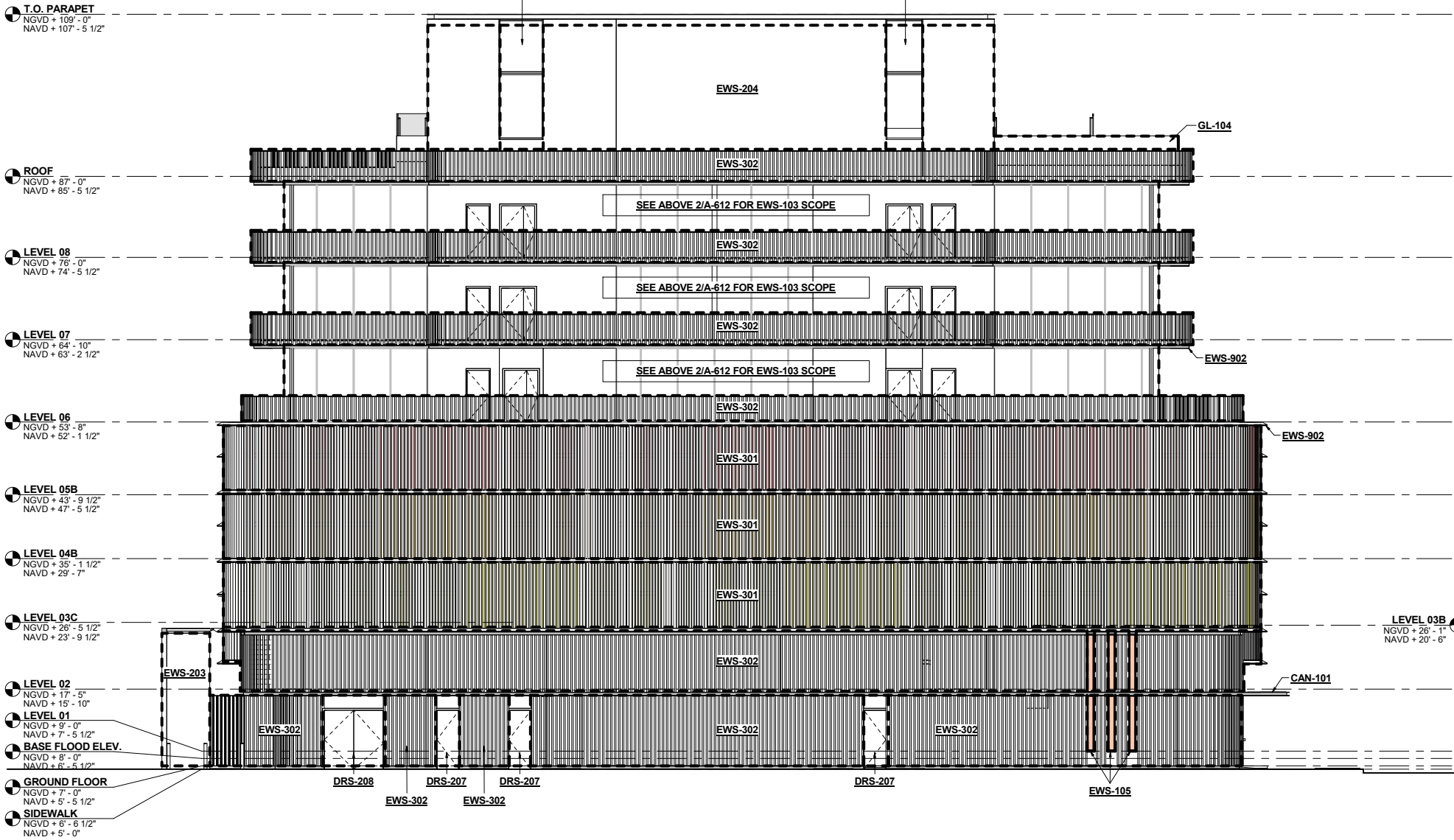
PB A-611

ENCLOSURE SCOPE ELEVATION -
SOUTH

NOT FOR CONSTRUCTION



2 WEST RESIDENTIAL ELEVATION - SLIDING DOORS
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

ENCLOSURE KEYNOTE LEGEND

AM-105	STEEL GALVANIZED
DRS-207	FLOOD PROOF HOLLOW METAL SINGLE DOORSET
DRS-208	FLOOD PROOF HOLLOW METAL DOUBLE DOORSET
DRS-301	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101	FIXED STOREFRONT SYSTEM
EWS-103	4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM
EWS-105	FIXED WINDOW IN BLOCK WALL
EWS-203	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-204	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED
EWS-902	EXTRUDED ALUMINUM CHANNEL PROFILES
EXT-102	LARGE FORMAT NATURAL STONE WALL LINING

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

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c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8800 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

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6915 Red Road, Suite 224
Coral Gables, FL 33143
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1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

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KEY PLAN



SCALE & ORIENTATION



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DRAWING TITLE

PB A-612

ENCLOSURE SCOPE ELEVATION - WEST

NOT FOR CONSTRUCTION

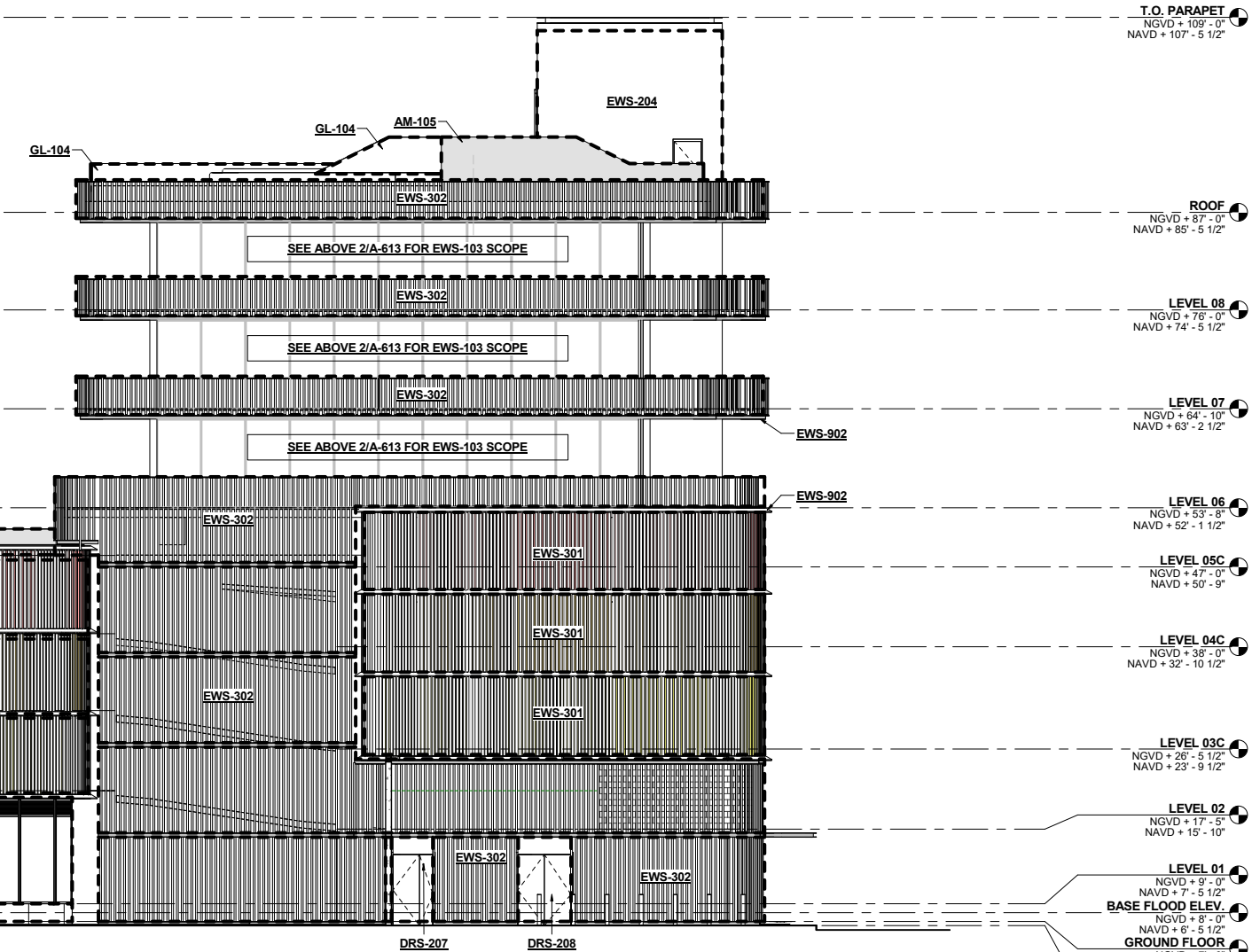
ARCH D 36"x24"

ENCLOSURE KEYNOTE LEGEND

AM-105	STEEL GALVANIZED
DRS-301	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101	FIXED STOREFRONT SYSTEM
EWS-103	4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM
EWS-204	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED
EWS-902	EXTRUDED ALUMINUM CHANNEL PROFILES
EXT-102	LARGE FORMAT NATURAL STONE WALL LINING



2 NORTH RESIDENTIAL ELEVATION - SLIDING DOORS
1/8" = 1'-0"



T.O. PEDESTAL
NGVD + 48' - 3 1/2"
NAVD + 56' - 5"

LEVEL 05A
NGVD + 39' - 5 1/2"
NAVD + 37' - 11"

LEVEL 04A
NGVD + 30' - 9 1/2"
NAVD + 29' - 3"

LEVEL 03A
NGVD + 21' - 9"
NAVD + 20' - 2 1/2"

LEVEL 01
NGVD + 9' - 0"
NAVD + 7' - 5 1/2"

BASE FLOOD ELEV.
NGVD + 8' - 0"
NAVD + 6' - 5 1/2"

GROUND FLOOR
NGVD + 7' - 0"
NAVD + 5' - 5 1/2"

SIDEWALK
NGVD + 6' - 6 1/2"
NAVD + 5' - 0"

1 NORTH ELEVATION
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:
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Miami, FL 33131

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Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

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8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
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Miami, FL 33128

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

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DRAWING TITLE

PB A-613

ENCLOSURE SCOPE ELEVATION -
NORTH

NOT FOR CONSTRUCTION

ARCH D 36"x24"

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND

DRS-207	FLOOD PROOF HOLLOW METAL SINGLE DOORSET
DRS-208	FLOOD PROOF HOLLOW METAL DOUBLE DOORSET
DRS-209	HOLLOW METAL DOUBLE DOORSET SPECIFIED BY FPL
DRS-301	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101	FIXED STOREFRONT SYSTEM
EWS-203	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL DOORS, WINDOWS, AND BALUSTRADES TO BE UNDER SEPARATE PERMIT

1 CLADDING PLAN - LEVEL 01

1/8" = 1'-0"

0 4' 8' 16'

1/8" = 1'-0"

5'-0" RESIDENTIAL FRONT SETBACK

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
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CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

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Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
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SCALE

As indicated

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

0 4' 8' 16'

1/8" = 1'-0"

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DRAWING TITLE

PB A-621

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 1 GROUND

NOTE: PRINT IN COLOUR

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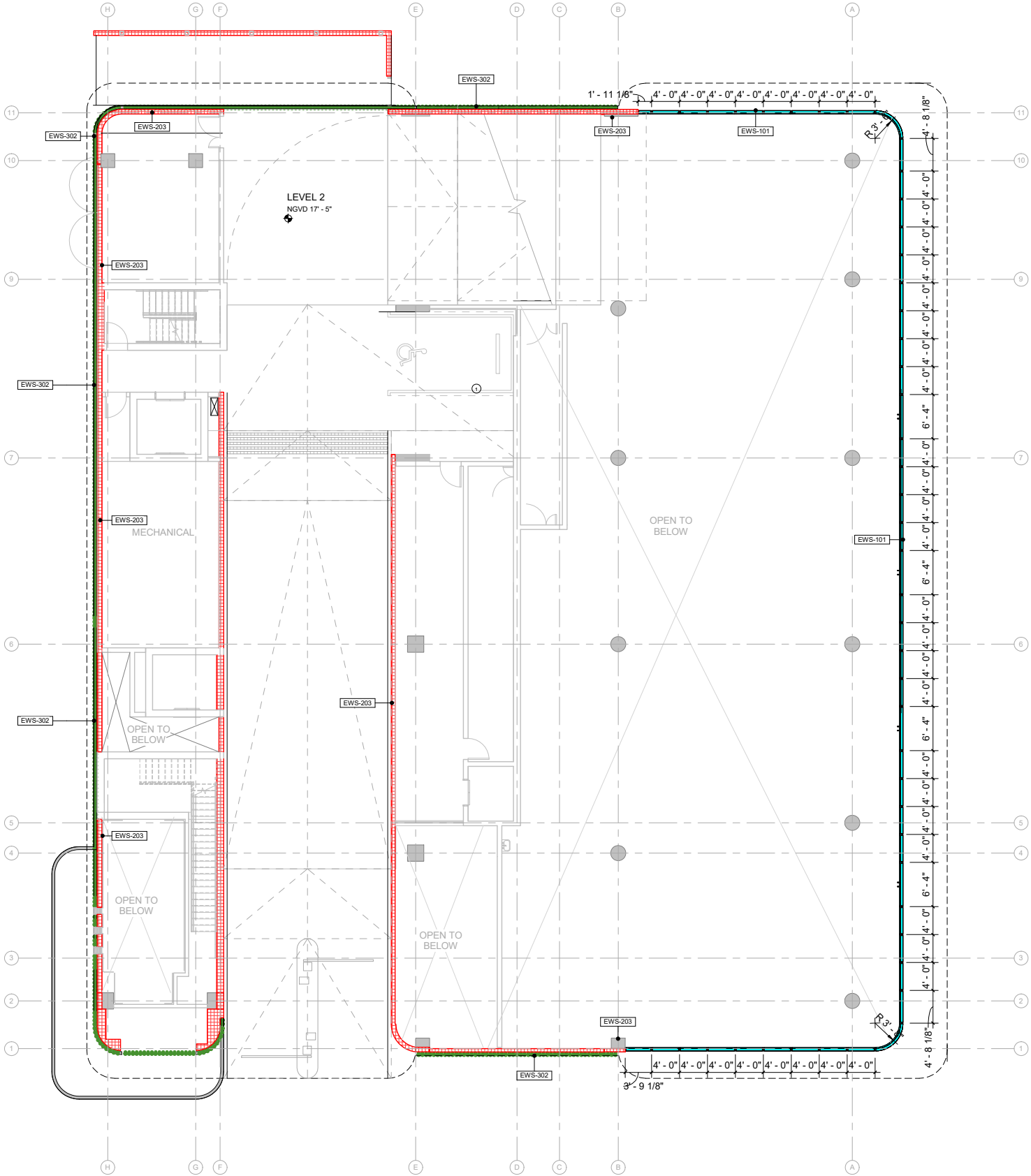
ARCH D 36"x24"

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND

BAL-102	PARKING GARAGE STEEL CRASH BARRIER SYSTEM
EWS-101	FIXED STOREFRONT SYSTEM
EWS-203	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL
DOORS, WINDOWS, AND
BALLUSTRADES TO BE UNDER
SEPARATE PERMIT



1

CLADDING PLAN - LEVEL 02

1/8" = 1'-0"

0 4' 8' 16'

1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE	DRAWN BY
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04/08/19

SCALE	CHECKED BY
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As indicated

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

0 4' 8' 16'

1/8" = 1'-0"

SEAL & SIGNATURE

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DRAWING TITLE

PB A-622

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 2

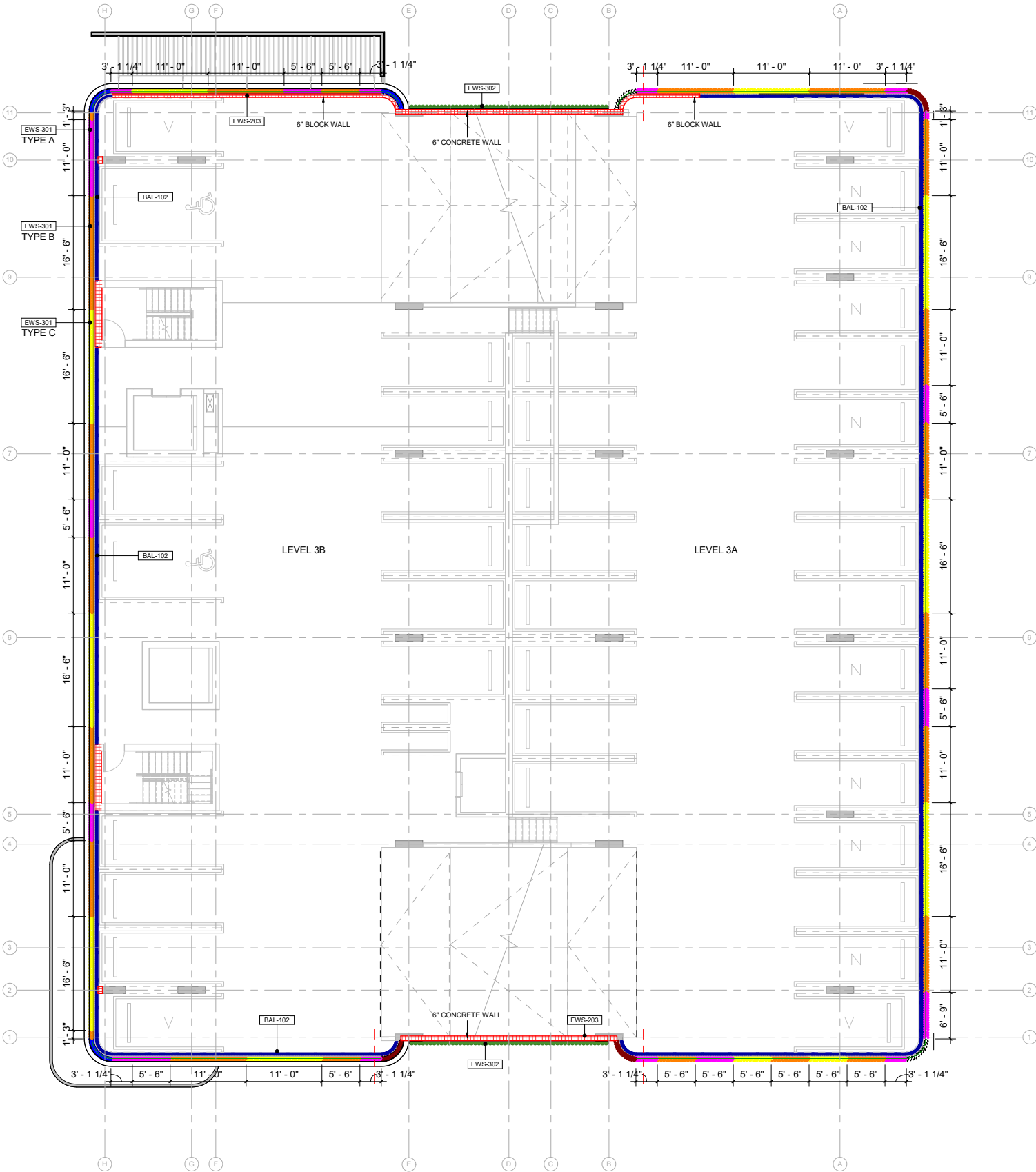
ARCH D 36"x24"

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND

BAL-102	PARKING GARAGE STEEL CRASH BARRIER SYSTEM
EWS-203	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL DOORS, WINDOWS, AND BALLUSTRADES TO BE UNDER SEPARATE PERMIT



1 CLADDING PLAN - LEVEL 03
1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd. Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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DATE OF ISSUE	DRAWN BY
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04/08/19 -

SCALE	CHECKED BY
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PROJECT NO. & TITLE

1507 TORINO GARAGE

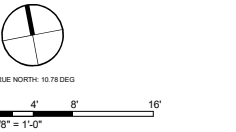
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

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PB A-623

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 3

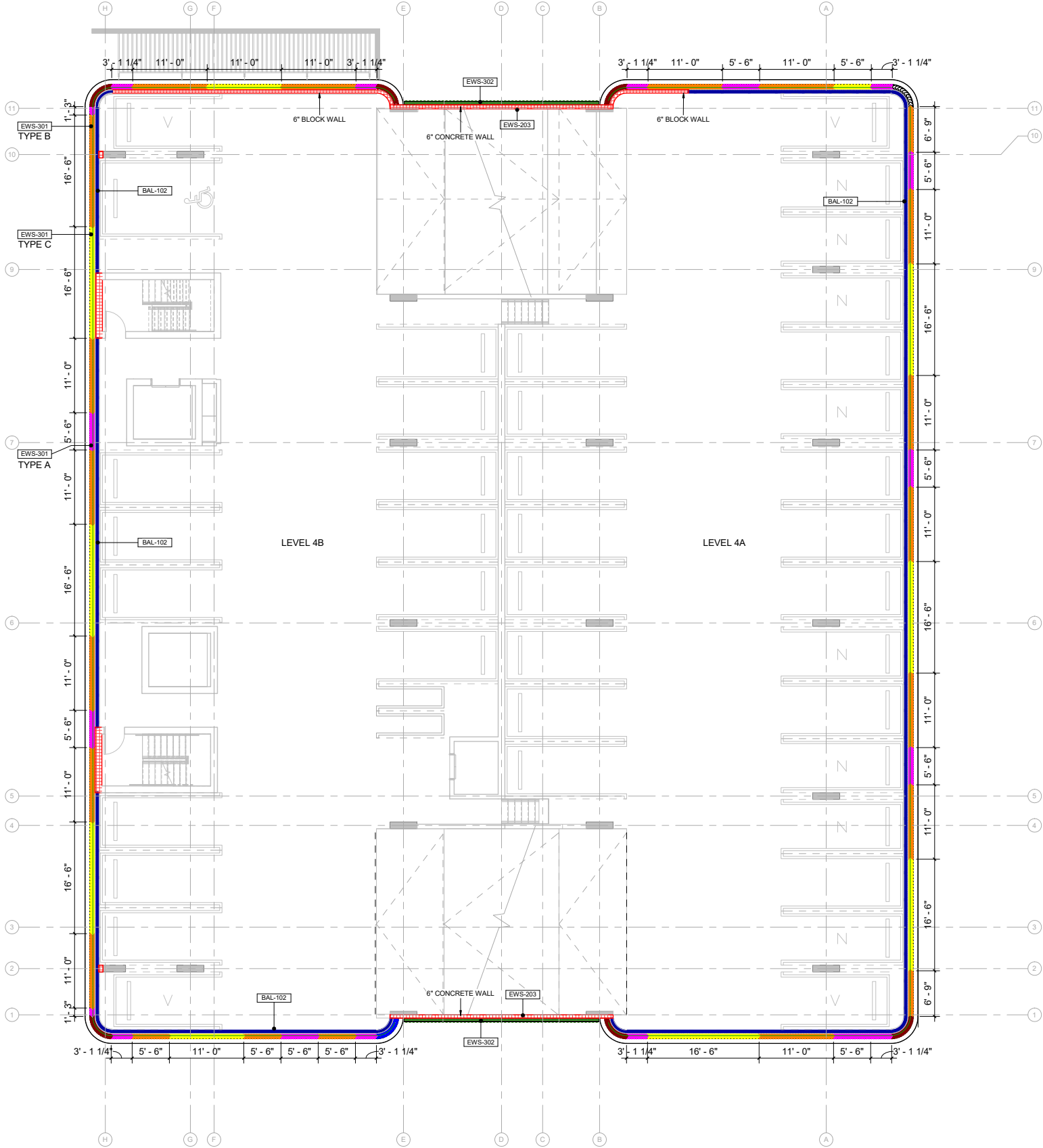
ARCH D 36"x24"

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND

BAL-102	PARKING GARAGE STEEL CRASH BARRIER SYSTEM
EWS-203	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL DOORS, WINDOWS, AND BALLUSTRADES TO BE UNDER SEPARATE PERMIT



1 CLADDING PLAN - LEVEL 04

1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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SCALE	CHECKED BY
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As indicated

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

0 4' 8' 16'
1/8" = 1'-0"

SEAL & SIGNATURE

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DRAWING TITLE

PB A-624

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 4

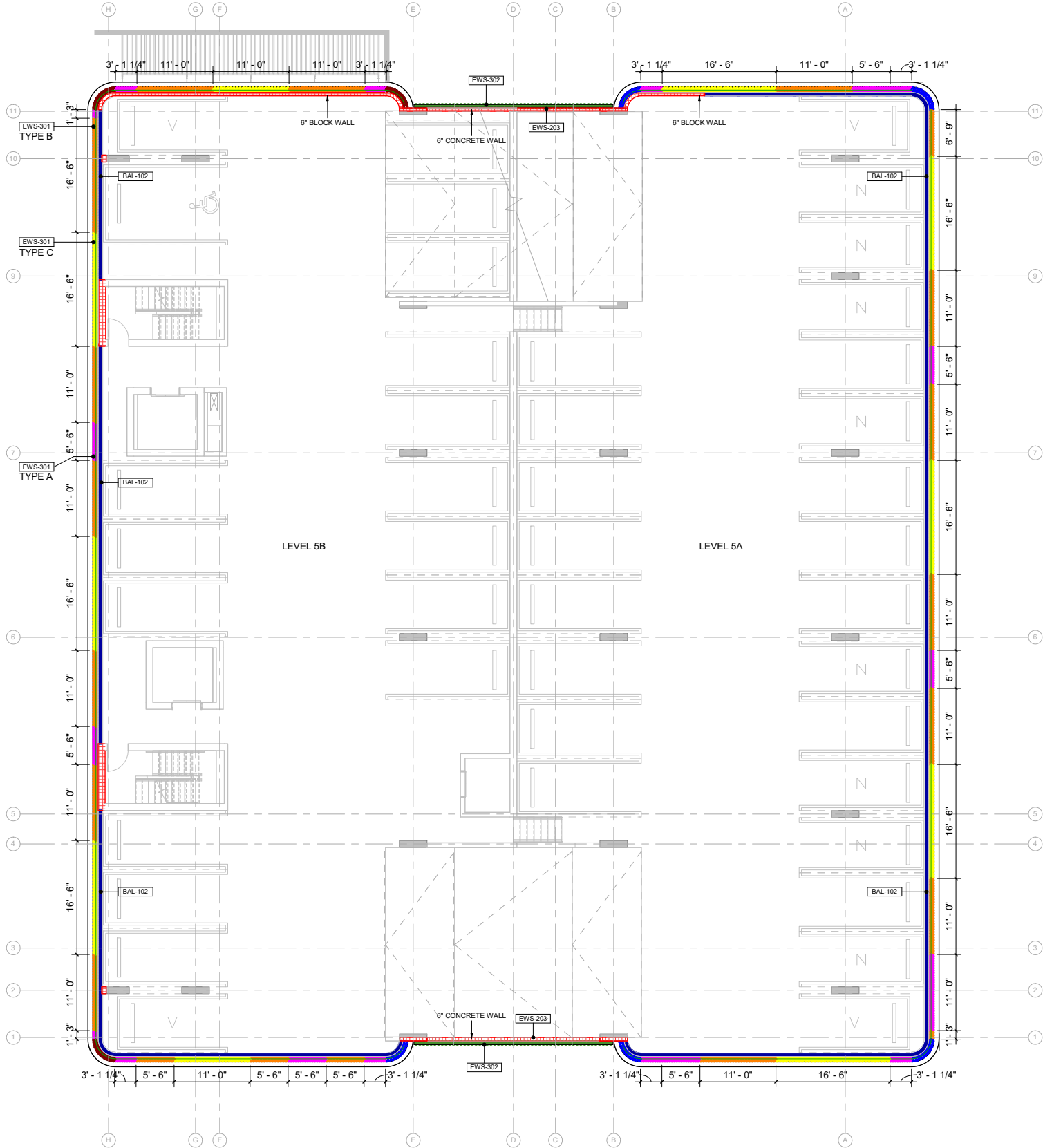
ARCH D 36"x24"

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND

BAL-102	PARKING GARAGE STEEL CRASH BARRIER SYSTEM
EWS-203	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-301	EXTRUDED ALUMINUM FRAMED DECORATIVE LOUVER SYSTEM
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL DOORS, WINDOWS, AND BALLUSTRADES TO BE UNDER SEPARATE PERMIT



1 CLADDING PLAN - LEVEL 05
1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturaliffical, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
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2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE	DRAWN BY
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SCALE	CHECKED BY
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As indicated -

PROJECT NO. & TITLE

1507 TORINO GARAGE

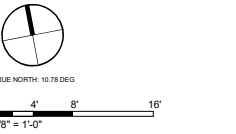
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

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PB A-625

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 5

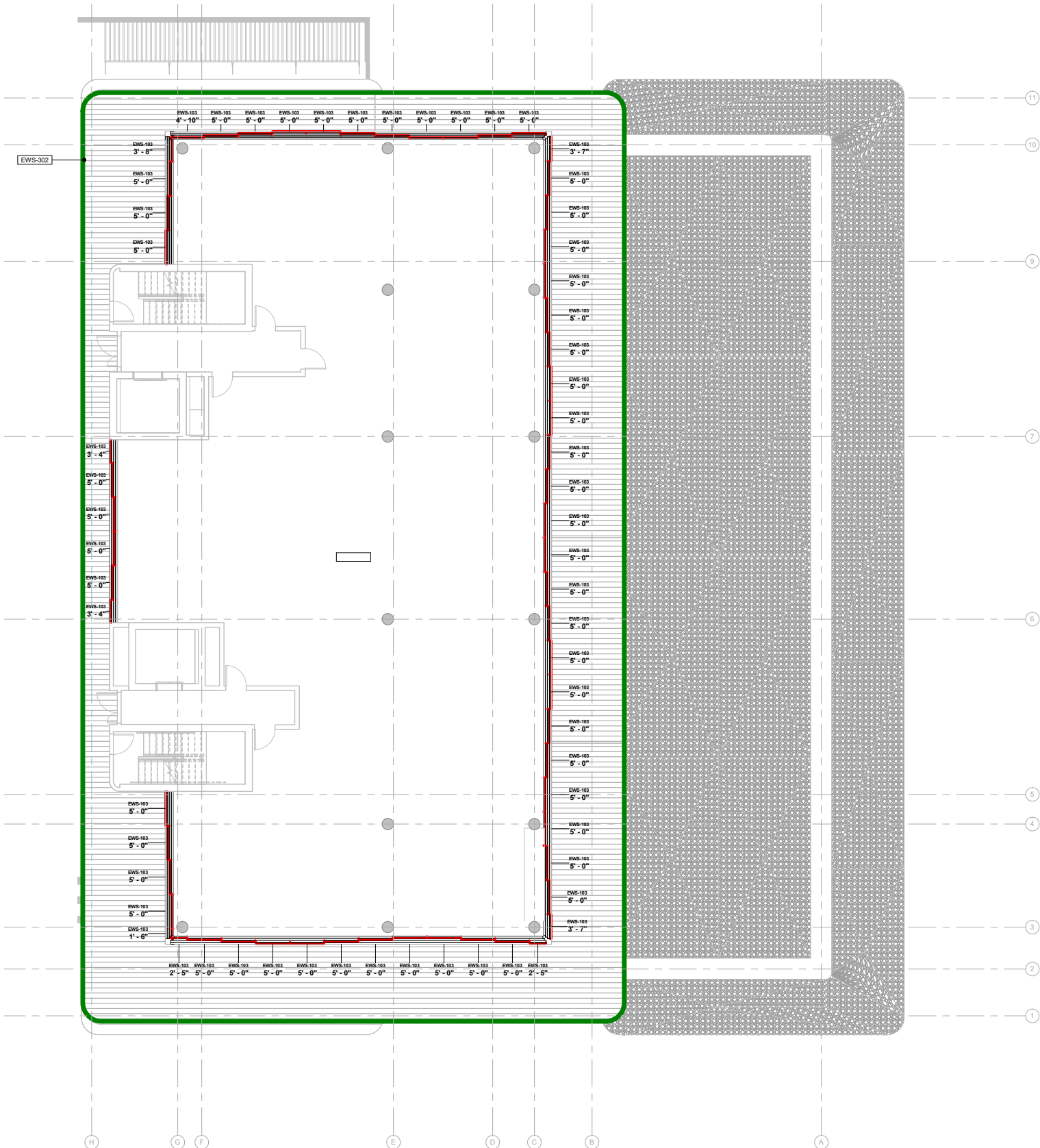
ARCH D 36"x24"

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND
EWS-103 4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM

EWS-302 EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL
DOORS, WINDOWS, AND
BALLUSTRADES TO BE UNDER
SEPARATE PERMIT



1 CLADDING PLAN - LEVEL 06
1/8" = 1'-0"

0 4 8 16
1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE DRAWN BY

04/08/19 -

SCALE CHECKED BY

As indicated -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS REQ'D)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-626

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 6

ARCH D 36"x24"

COLOUR KEY

EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	

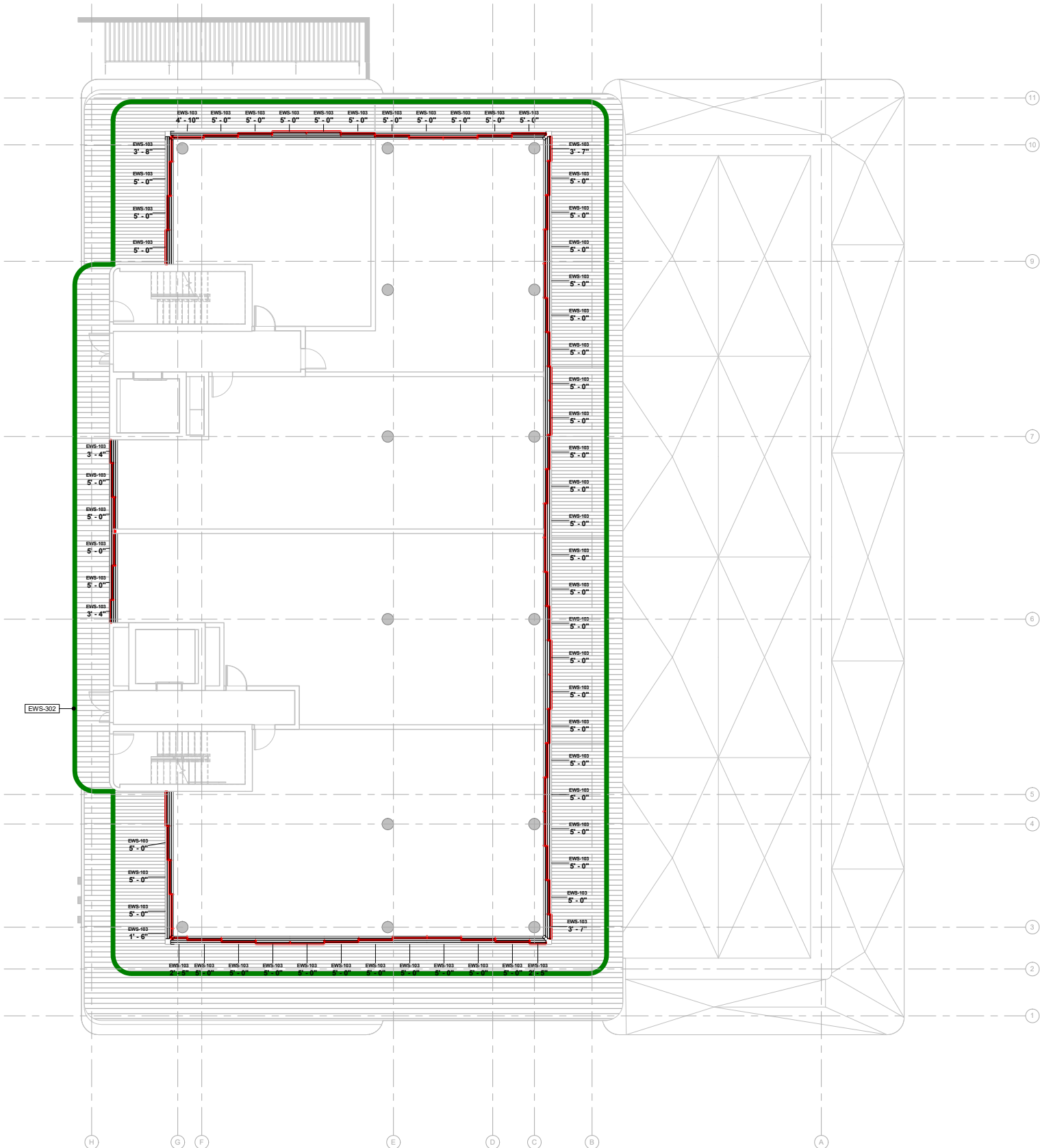
NOTE: PRINT IN COLOUR

ENCLOSURE KEYNOTE LEGEND

EWS-103 4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM

EWS-302 EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL
DOORS, WINDOWS, AND
BALLUSTRADES TO BE UNDER
SEPARATE PERMIT



1 CLADDING PLAN - LEVEL 07

1/8" = 1'-0"

0 4' 8' 16'

1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

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8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

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Timothy Haas & Associates, Inc.
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Miami, FL 33128

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8201 Peters Road, Suite 1000
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Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

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Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
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DATE OF ISSUE	DRAWN BY
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SCALE	CHECKED BY
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As indicated -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-627

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 7

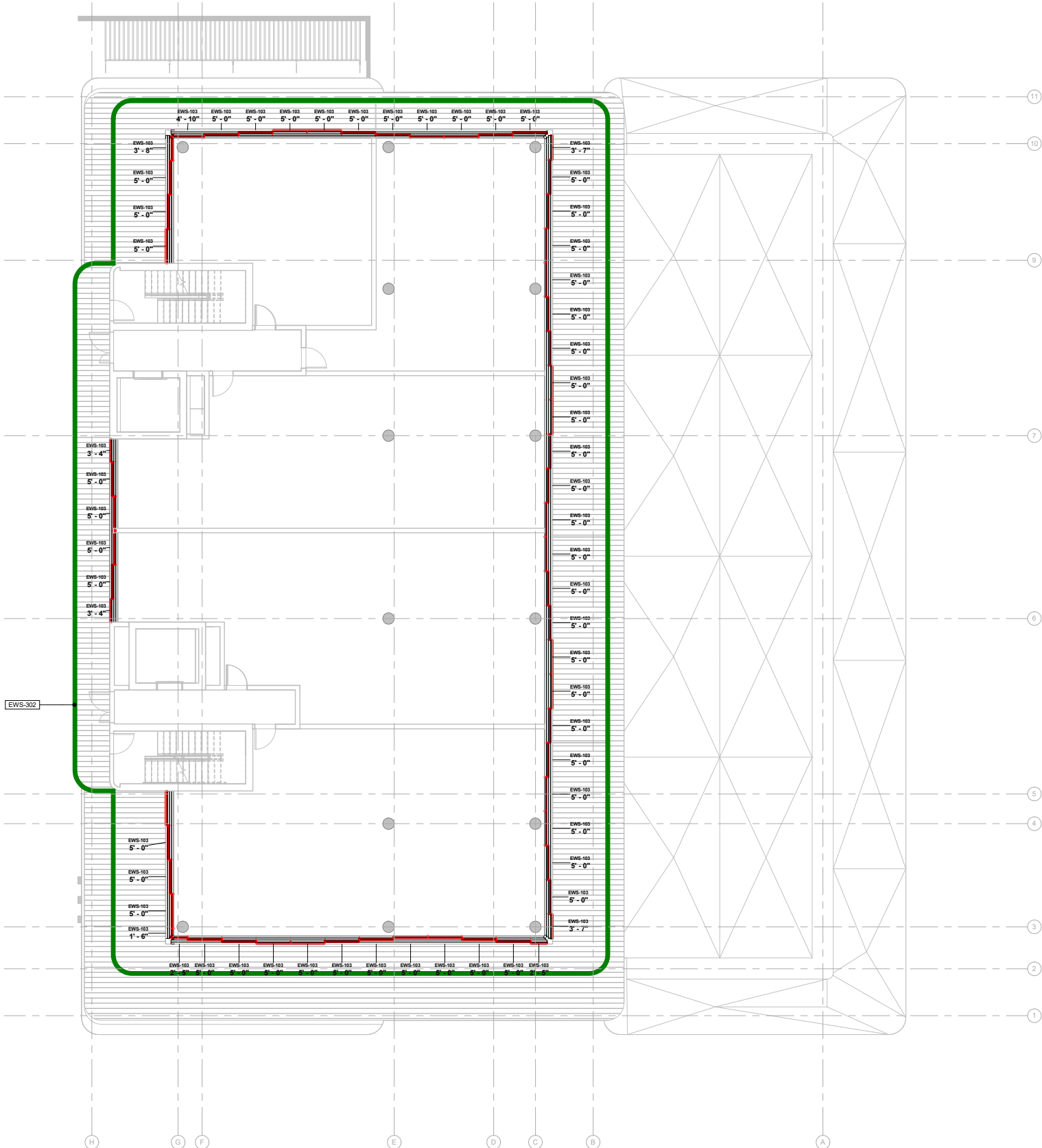
ARCH D 36"x24"

COLOUR KEY

EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND
EWS-103 4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM
EWS-302 EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL
DOORS, WINDOWS, AND
BALLUSTRADES TO BE UNDER
SEPARATE PERMIT



1 CLADDING PLAN - LEVEL 08
1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
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Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

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DATE OF ISSUE DRAWN BY

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SCALE CHECKED BY

As indicated -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-628

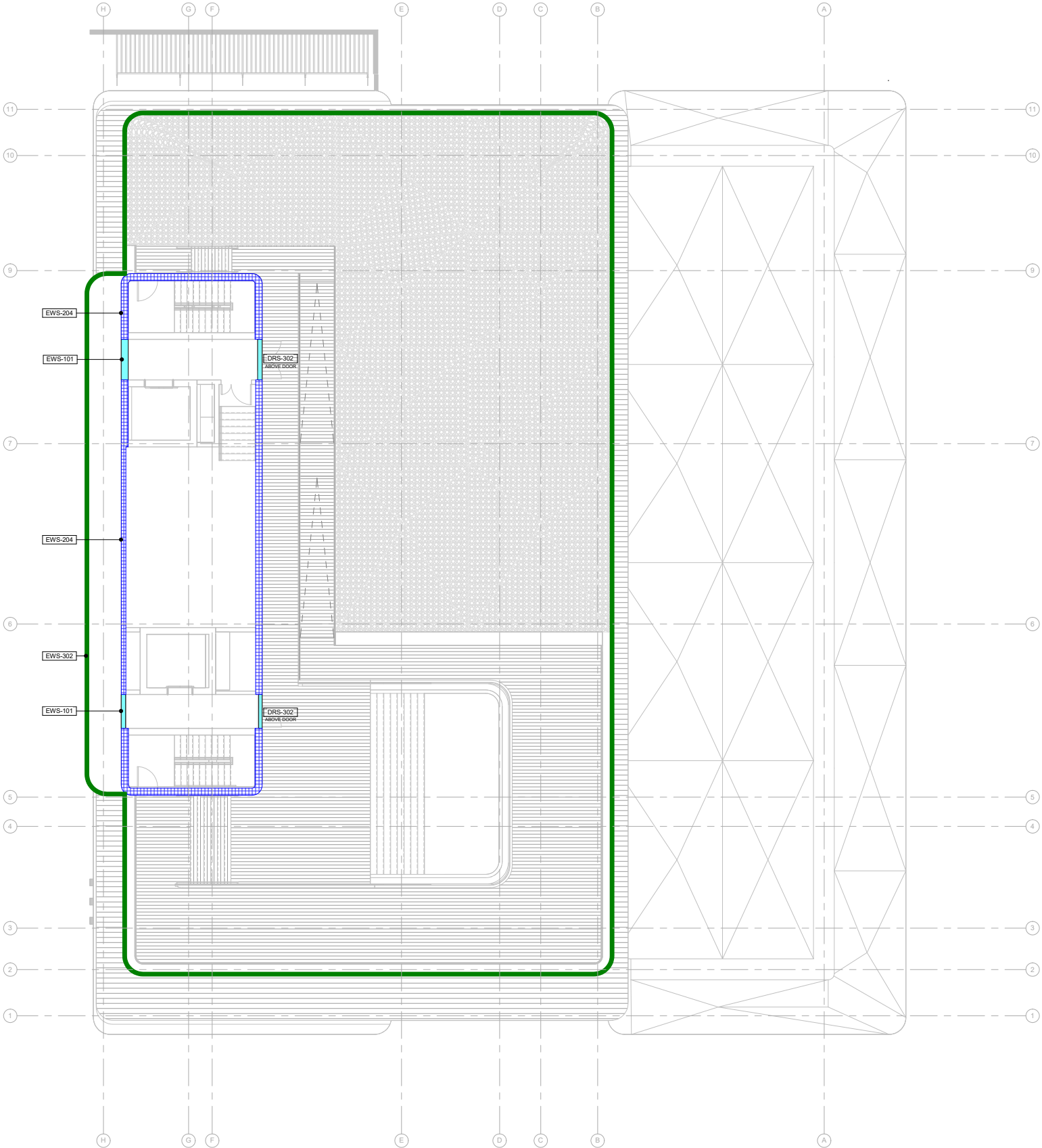
ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 8

COLOUR KEY	
EWS-101	
EWS-101 (OPAQUE)	
EWS-102	
EWS-102 (SHADOW BOX)	
EWS-103	
EWS-104	
EWS-203	
EWS-204	
EWS-301 TYPE A	
EWS-301 TYPE B	
EWS-301 TYPE C	
EWS-302	
EWS-304	
EWS-306	
BAL-102	
BAL-201	
DRS-205	
DRS-207	
DRS-208	
DRS-301	
DRS-303	
NOTE: PRINT IN COLOUR	

ENCLOSURE KEYNOTE LEGEND

DRS-302	EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101	FIXED STOREFRONT SYSTEM
EWS-204	EXTERNAL RENDER SYSTEM TO EXTERIOR WALLS
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED

NOTE: APPROVAL FOR EXTERNAL DOORS, WINDOWS, AND BALLUSTRADES TO BE UNDER SEPARATE PERMIT



1

CLADDING PLAN - ROOF BULKHEAD
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

NOTE: PRINT IN COLOUR

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8800 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
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Acoustic Consultant:

Electro-Media Design, Ltd.
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Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE	DRAWN BY
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04/08/19 -

SCALE	CHECKED BY
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As indicated -

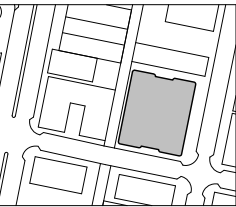
PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-629

ENCLOSURE PLAN - UNIT LAYOUT
- LEVEL 9 ROOF DECK

ARCH D 36"x24"

ENCLOSURE KEYNOTE LEGEND

- DRS-301 EXTERIOR GLAZED OUTSWING DOUBLE LEAF DOORSET
EWS-101 FIXED STOREFRONT SYSTEM
EWS-305 ALUMINUM PERFORMANCE STORM LOUVER SYSTEM (HORIZONTAL)
EXT-102 LARGE FORMAT NATURAL STONE WALL LINING
GL-104 LAMINATED CLEAR TEMPERED GLASS

PROJECT

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Gaithersburg, MD 20879
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1/2" = 1'-0"	-

PROJECT NO. & TITLE
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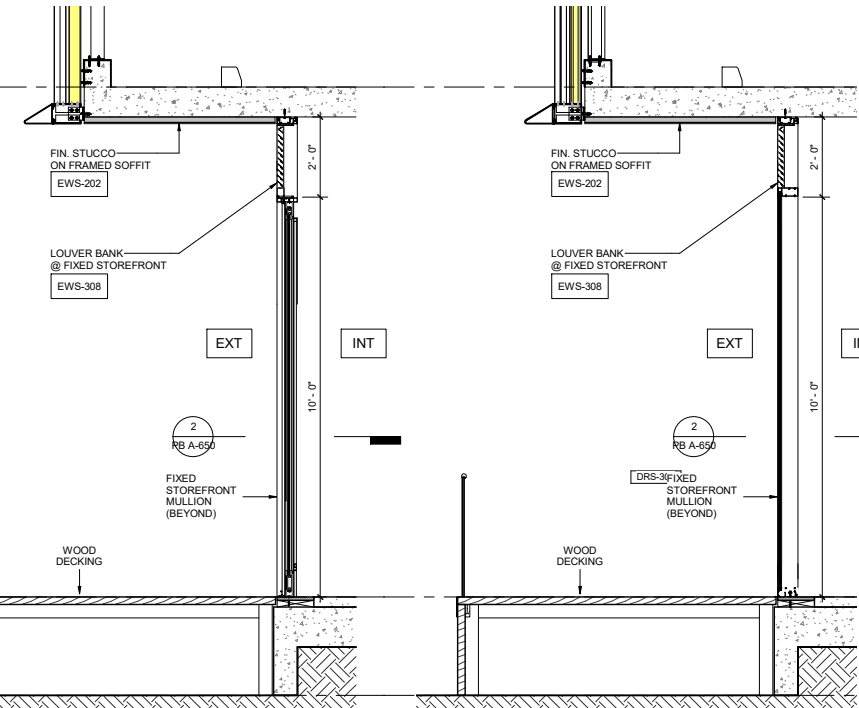


DRAWING TITLE

PB A-650
ENCLOSURE TYPE - EWS-101 @
LEVEL 1 RETAIL

NOT FOR CONSTRUCTION

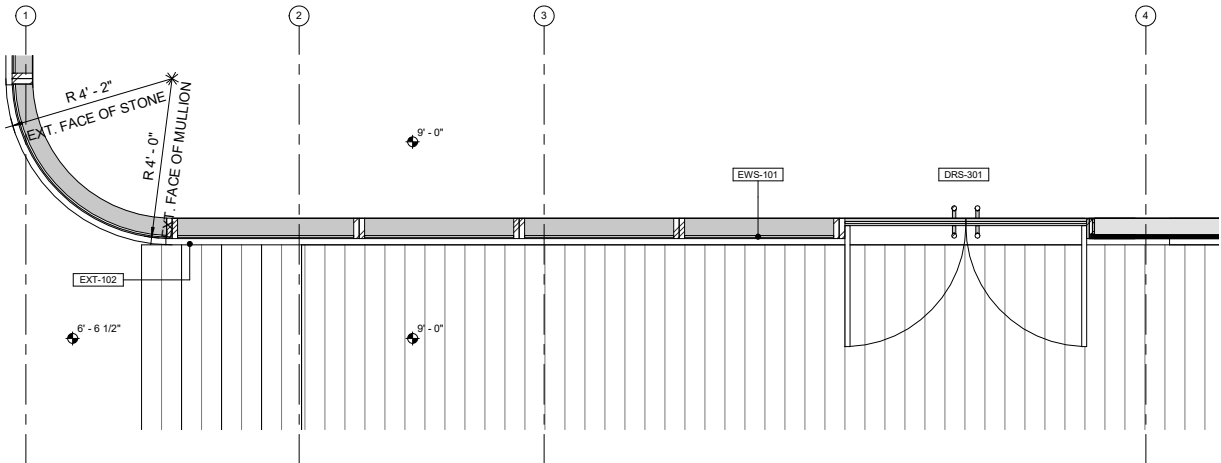
8 CLADDING AXON



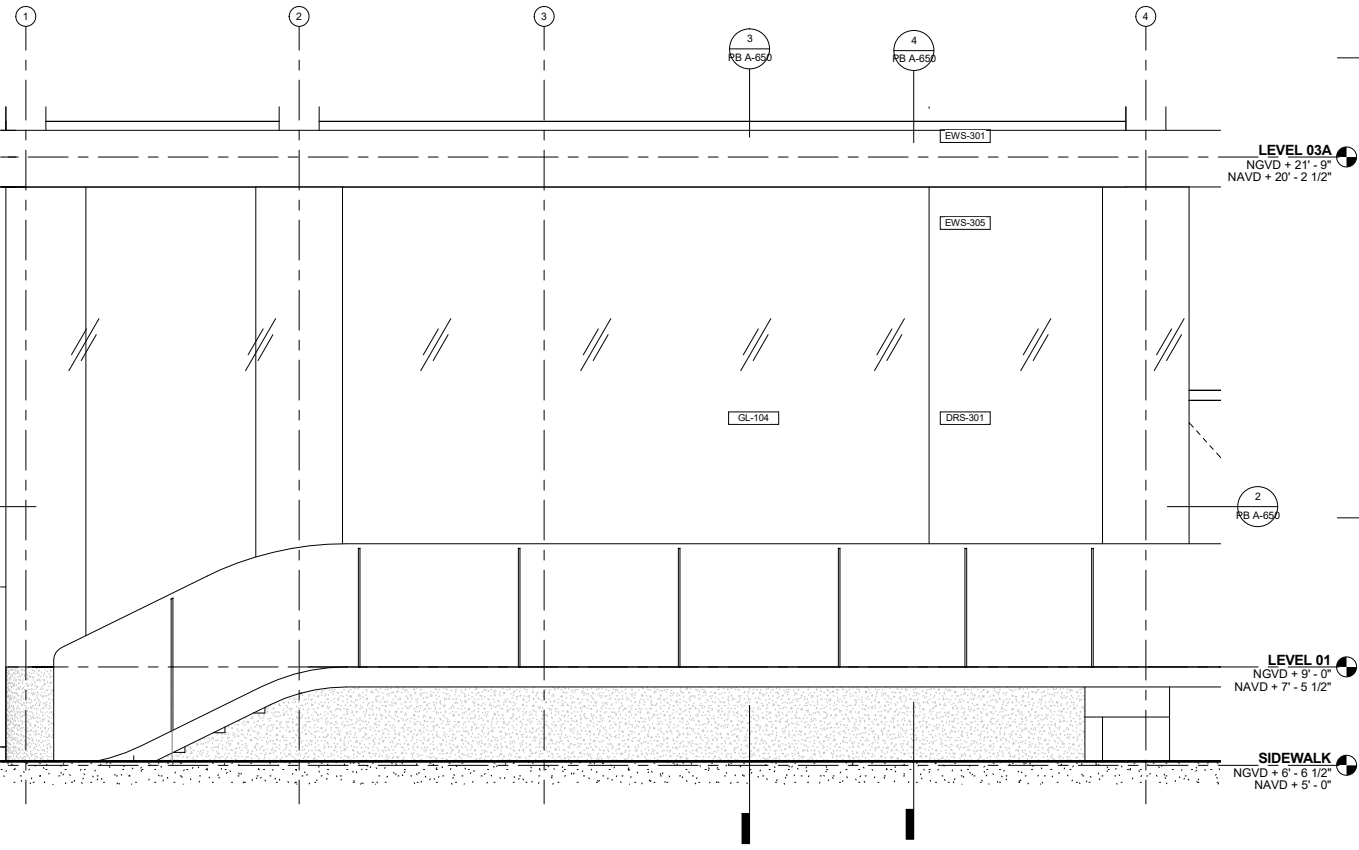
4 CLADDING SECTION THRU DOOR
1/2" = 1'-0"

3 CLADDING SECTION THRU DOOR
1/2" = 1'-0"

2 CLADDING PLAN - EWS-101 - FIXED RETAIL STOREFRONT
1/2" = 1'-0"



1 CLADDING ELEVATION - EWS-101 - FIXED RETAIL STOREFRONT
1/2" = 1'-0"

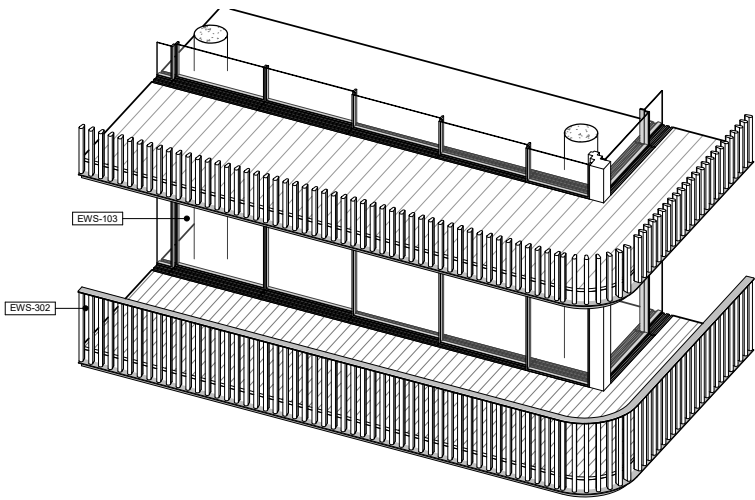


0 1' 2' 4'
1/2" = 1'-0"

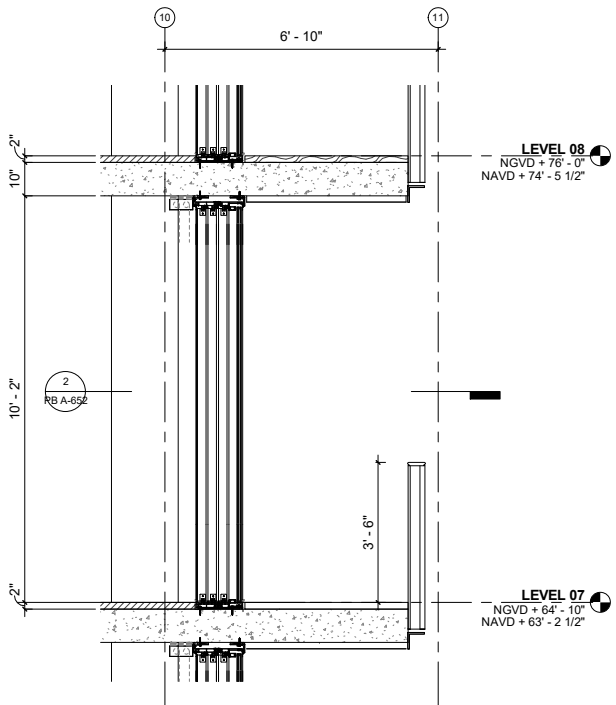
ARCH D 36"x24"

ENCLOSURE KEYNOTE LEGEND

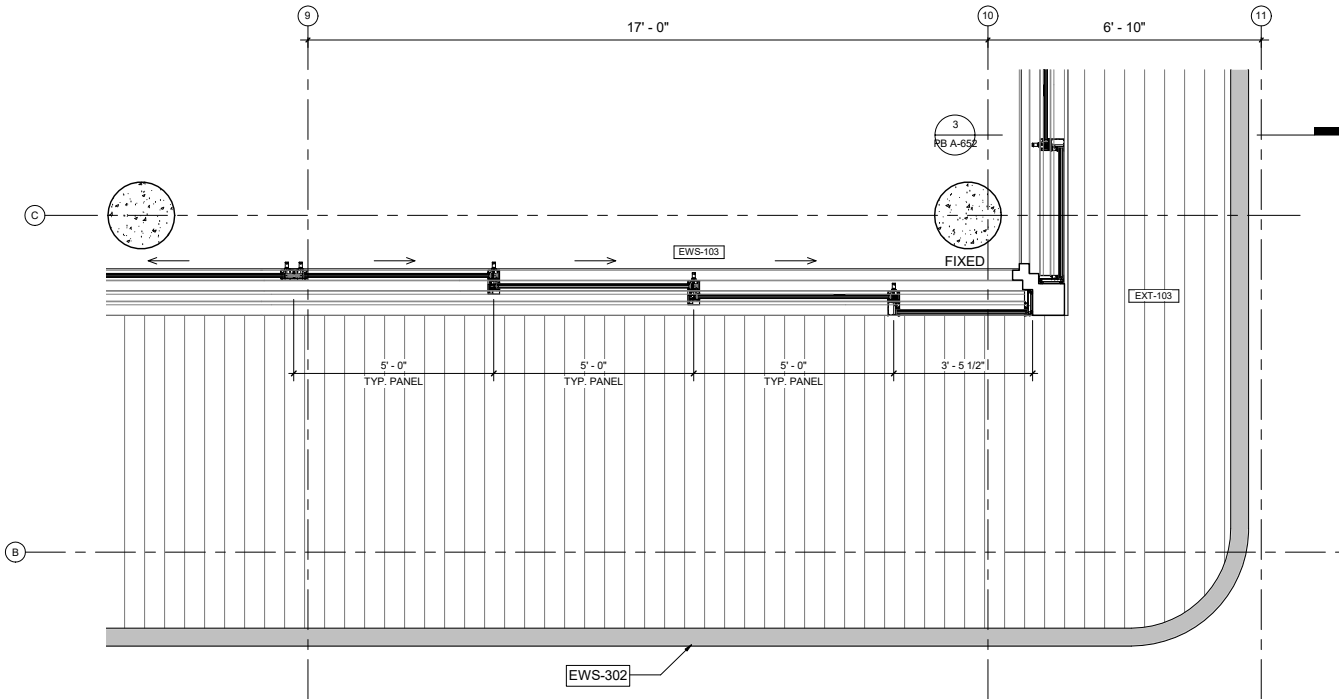
EWS-103 4 TRACK FIXED & SLIDING WINDOW WALL SYSTEM
EWS-302 EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED



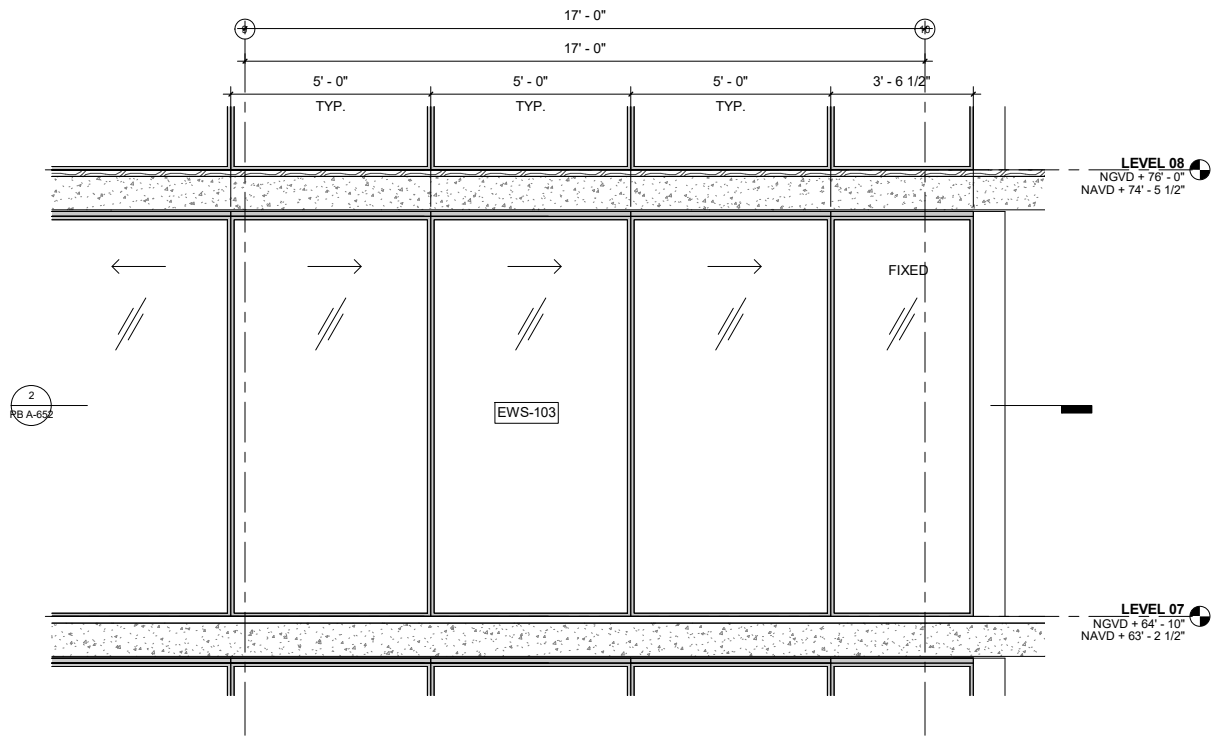
4 CLADDING AXON
1/2" = 1'-0"



3 CLADDING SECTION
1/2" = 1'-0"



2 CLADDING PLAN - PH - 4 TRACK SLIDING DOOR
1/2" = 1'-0"



1 CLADDING ELEVATION - PH - 4 TRACK SLIDING DOOR
1/2" = 1'-0"

0 1' 2' 4'
1/2" = 1'-0"

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15150 NW 79th Court, Suite 200
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KEY PLAN



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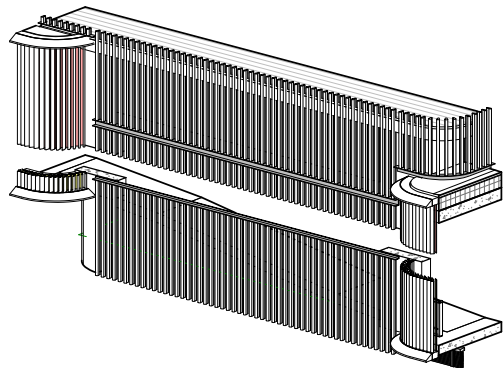
DRAWING TITLE

PB A-652

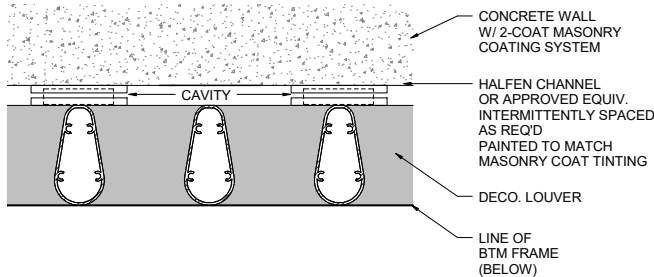
ENCLOSURE TYPE - EWS-103.
EWS-304, CAN-201 & BAL-201 @
LEVEL 7 & 8 RESIDENTIAL

NOT FOR CONSTRUCTION

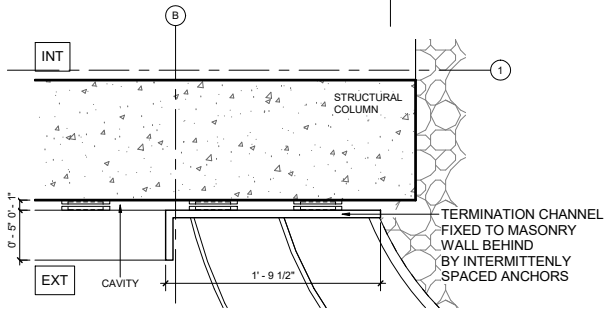
ARCH D 36"x24"



4 CLADDING AXON - SECONDARY LOUVER WALL



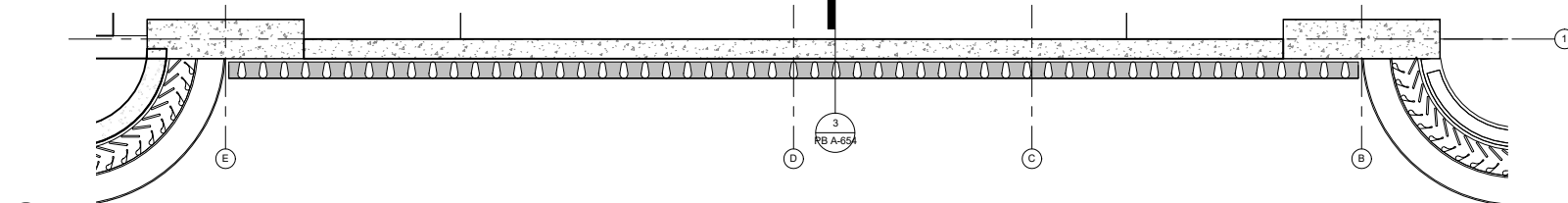
5 DETAIL - EWS-302 - LOUVER PLAN
3" = 1'-0"



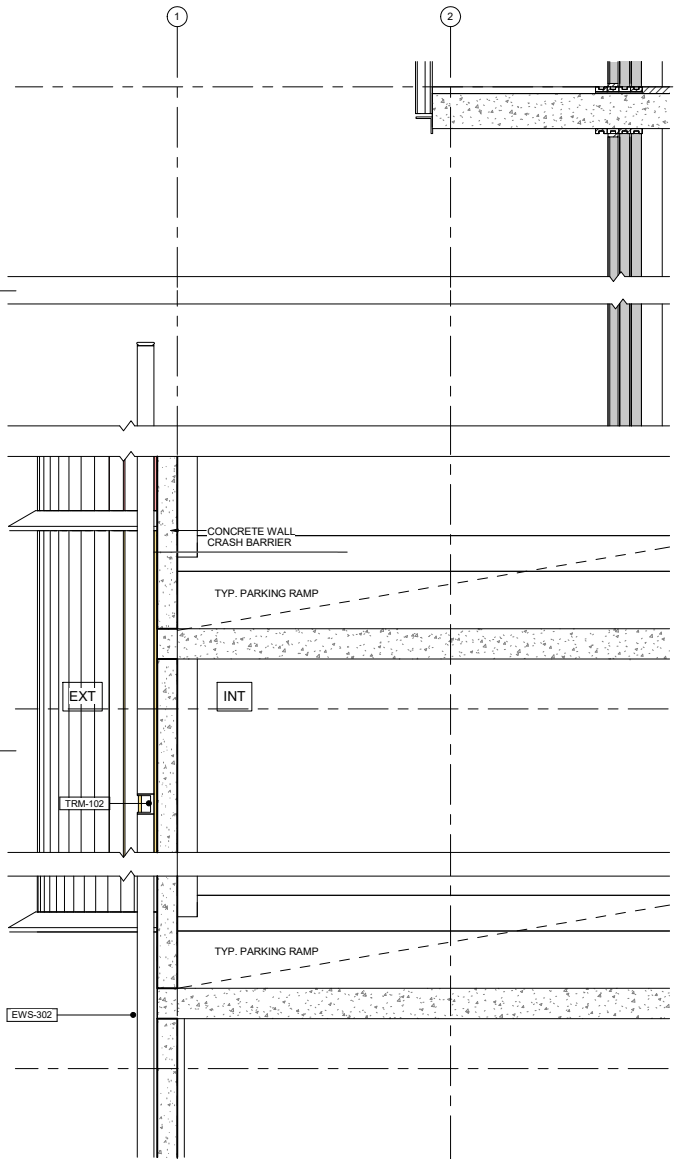
6 DETAIL - EWS-302 @ VERT TERMINATION CHANNEL
1 1/2" = 1'-0"

ENCLOSURE KEYNOTE LEGEND

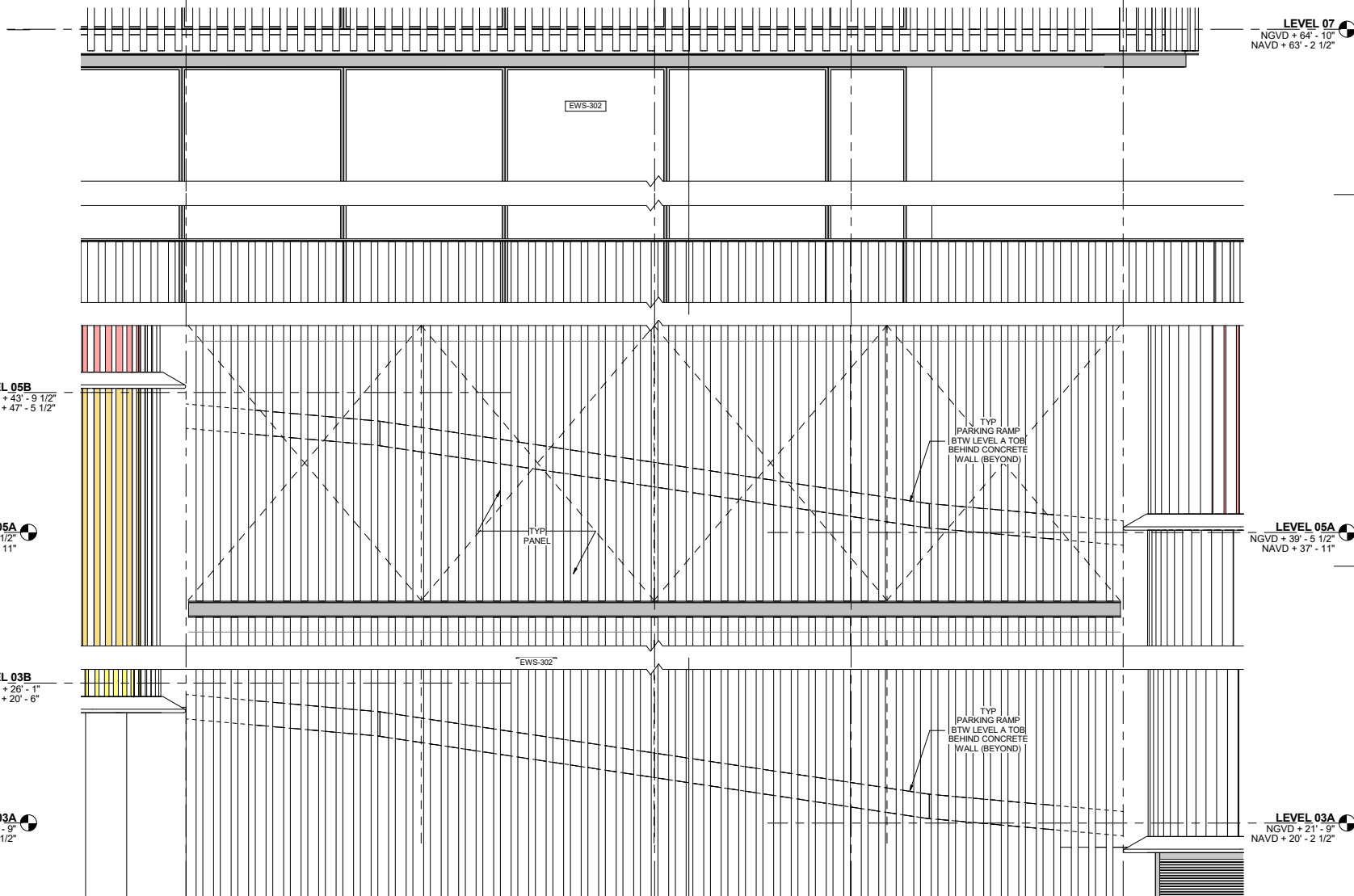
EWS-302	EXTRUDED ALUMINUM LOUVER SYSTEM, PAINTED
TRM-102	STUCCO F REVEAL MOLDING



2 CLADDING PLAN - SECONDARY LOUVER WALL
1/2" = 1'-0"



3 CLADDING SECTION - SECONDARY LOUVER WALL
1/2" = 1'-0"



1 CLADDING ELEVATION - SECONDARY LOUVER
1/2" = 1'-0"

LEVEL 07
NGVD + 64' - 10"
NAVD + 63' - 2 1/2"

LEVEL 05A
NGVD + 39' - 5 1/2"
NAVD + 37' - 11"

LEVEL 03A
NGVD + 21' - 9"
NAVD + 20' - 2 1/2"

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

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c/o Allied Partners
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New York, NY 10065-8165

Architect:
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New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
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Miami, FL 33137-3737

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Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

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Gaithersburg, MD 20879

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6915 Red Road, Suite 224
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PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS REQ'D)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-654

ENCLOSURE TYPE - EWS-302 &
EWS-902 @ LEVEL 3 TO 6
PARKING RAMPS

NOTE: CALCULATIONS AS PER FBC 406.3.3.1:Openings

For natural ventilation purposes, the exterior side of the structure shall have uniformly distributed openings on two or more sides. The area of such openings in exterior walls on a tier must be at least 20 percent of the total perimeter wall area of each tier. The aggregate length of the openings considered to be providing natural ventilation shall constitute a minimum of 40 percent of the perimeter of the tier. Interior walls shall be at least 20 percent open with uniformly distributed openings.

Exception: Openings are not required to be distributed over 40 percent of the building perimeter where the required openings are uniformly distributed over two opposing sides of the buildings.

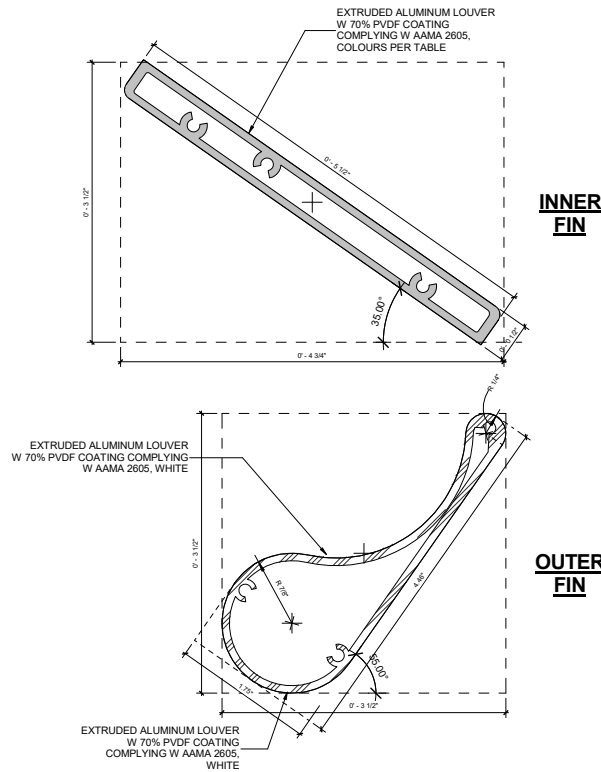
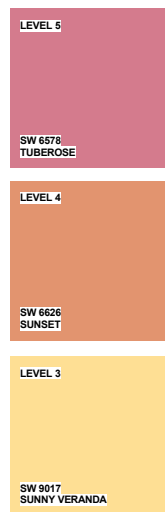
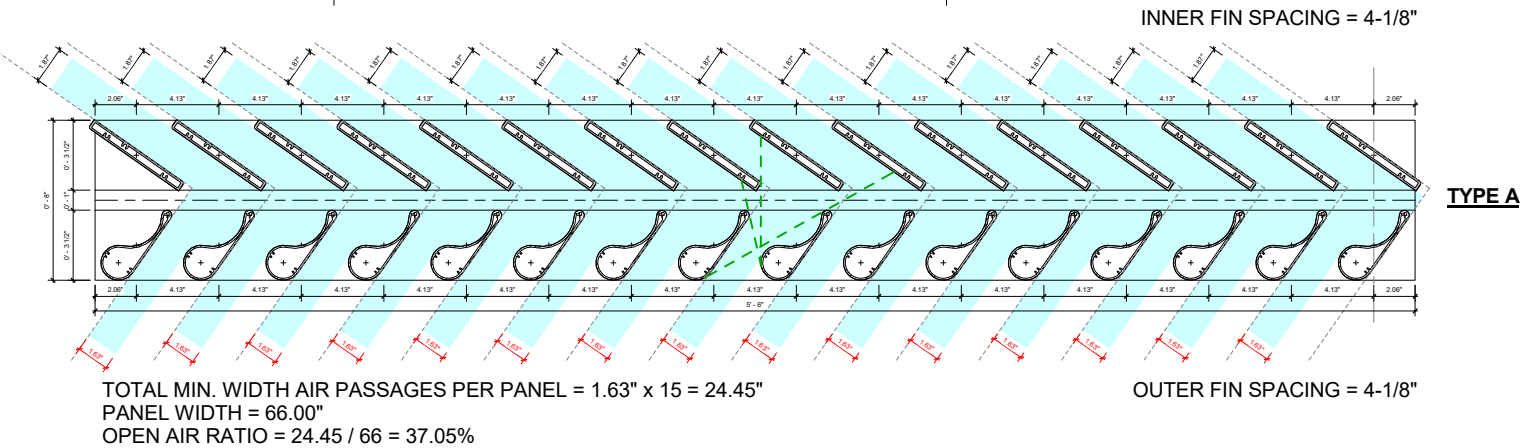
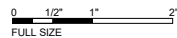
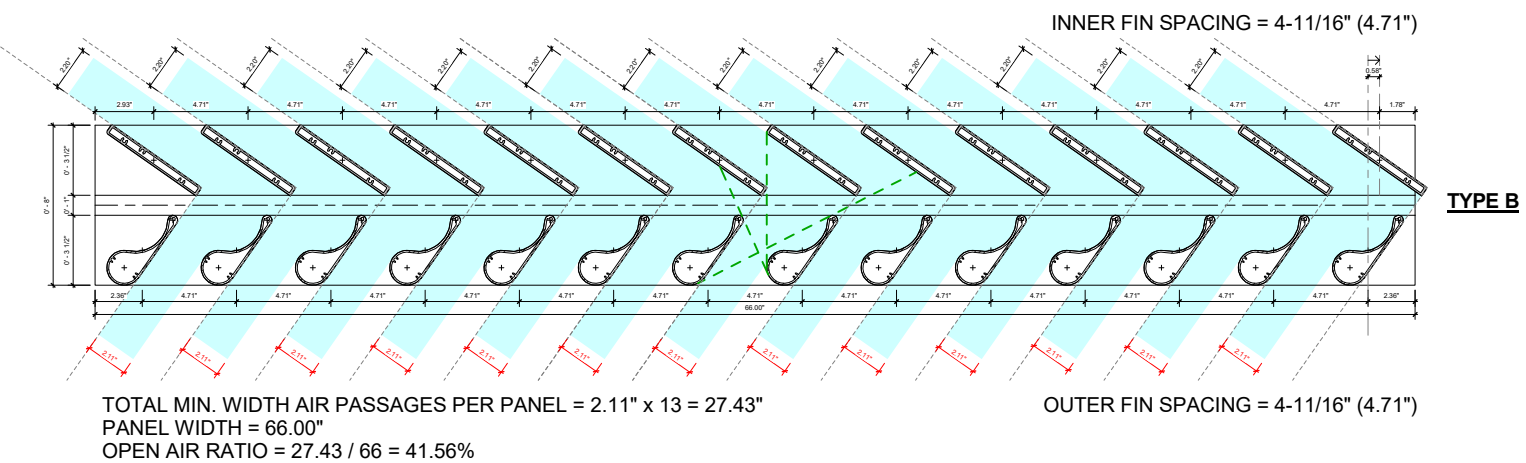
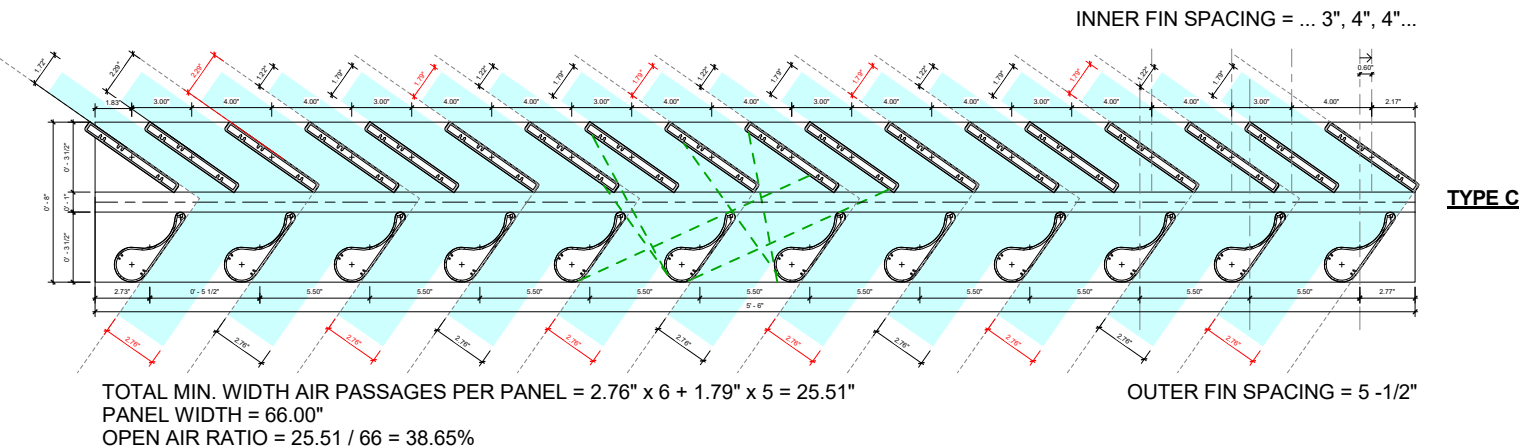
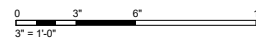
LOUVER PANEL ARRANGEMENT SUMMARY*

LEVEL 3	A	67.52ft (16.86%)	COMBINED O.A.R. = 38.83%
	B	178.50ft (44.58%)	
	C	132.00ft (32.96%)	
	D	13.33ft (3.33%)	
	E	4.51ft (1.13%)	
	F	4.57ft (1.14%)	

LEVEL 4	A	62.02ft (15.49%)	COMBINED O.A.R. = 38.87%
	B	184.00ft (45.95%)	
	C	132.00ft (32.97%)	
	D	13.61ft (3.40%)	
	E	4.42ft (1.10%)	
	F	4.37ft (1.09%)	

LEVEL 5	A	67.52ft (16.85%)	COMBINED O.A.R. = 38.80%
	B	173.00ft (43.18%)	
	C	137.50ft (34.32%)	
	D	4.60ft (1.15%)	
	E	18.02ft (4.50%)	
	F	0.00ft (0.00%)	

*ONLY PANELS WITH NO BACKING WALLS ARE CONSIDERED IN THE CALCULATION. FOR CURVED PANELS, WORST-CASE OPEN AIR RATIOS ARE USED.

**4 FIN PROFILE - DETAILS**
12" = 1'-0"**1 FIN PANEL - TYPE A - DETAIL PLAN**
3" = 1'-0"**2 FIN PANEL - TYPE B - DETAIL PLAN**
3" = 1'-0"**3 FIN PANEL - TYPE C - DETAIL PLAN**
3" = 1'-0"

LINE OF SIGHT

AIR PASSAGE

MINIMUM AIR PASSAGE WIDTH PER FIN MODULE DIMENSIONED IN RED.

NOT FOR CONSTRUCTION

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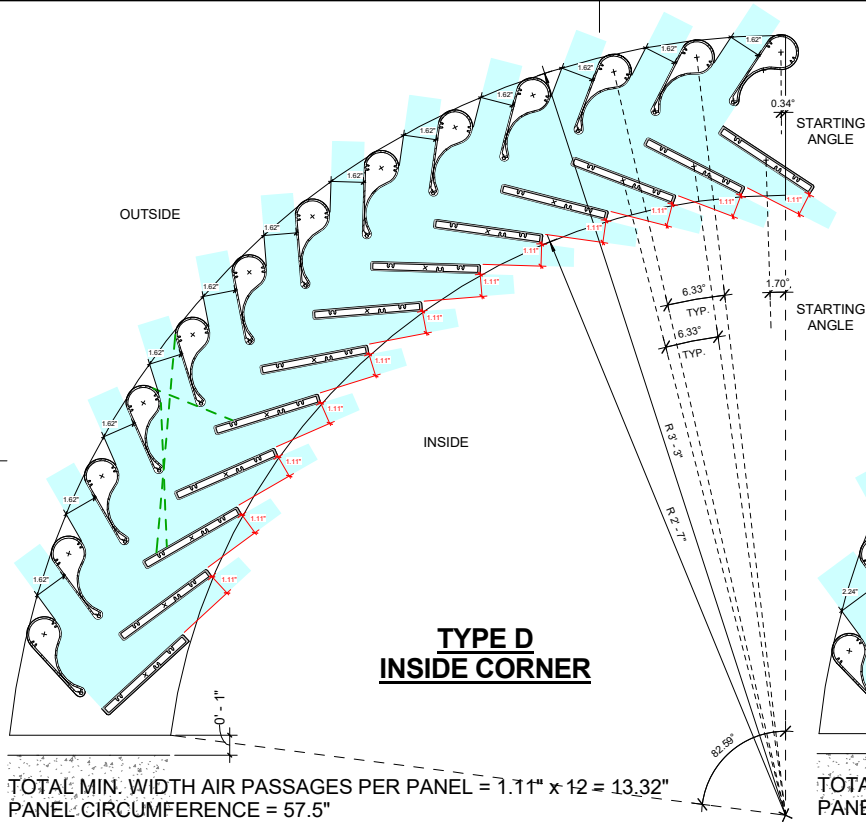
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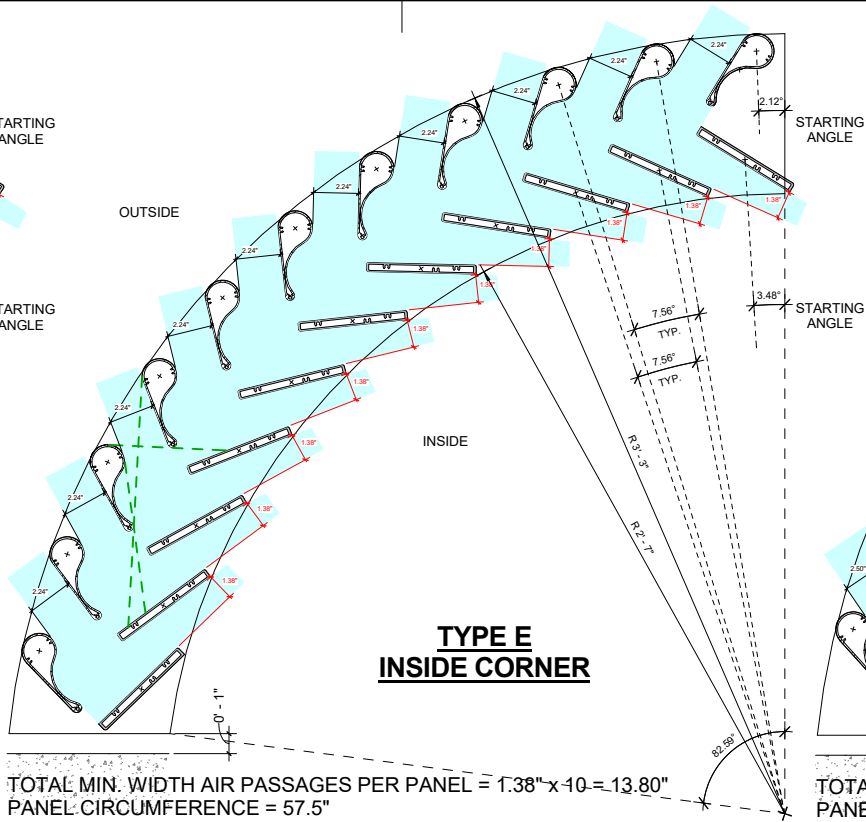
**DRAWING TITLE**

PB A-670
ENCLOSURE DETAILS - FINS

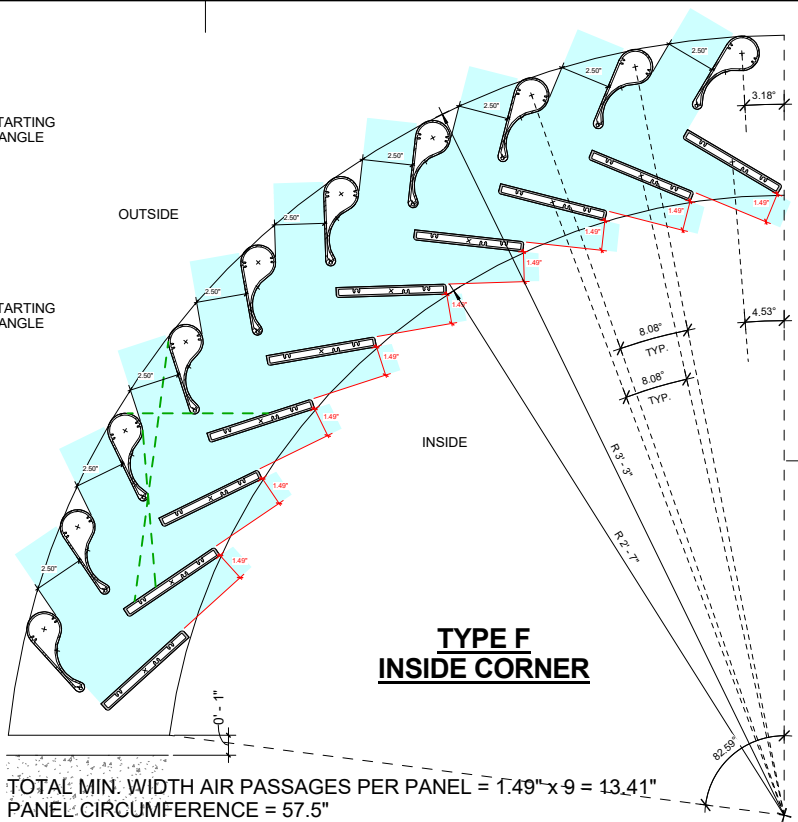
ARCH D 36"x24"



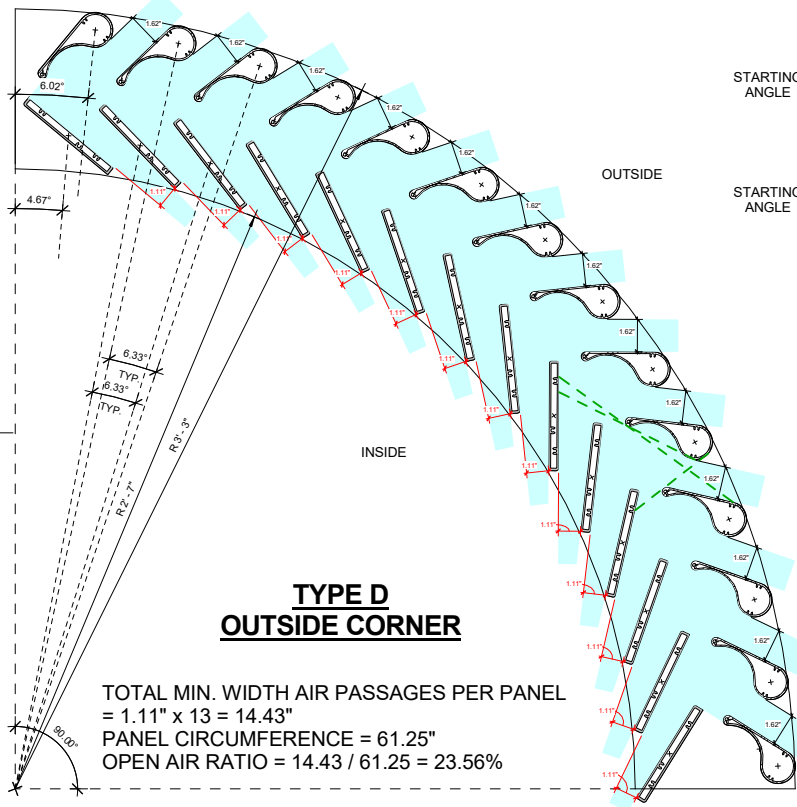
1 CURVED FIN PANEL (INSIDE CORNER) - TYPE A - DETAIL PLAN
3" = 1'-0"



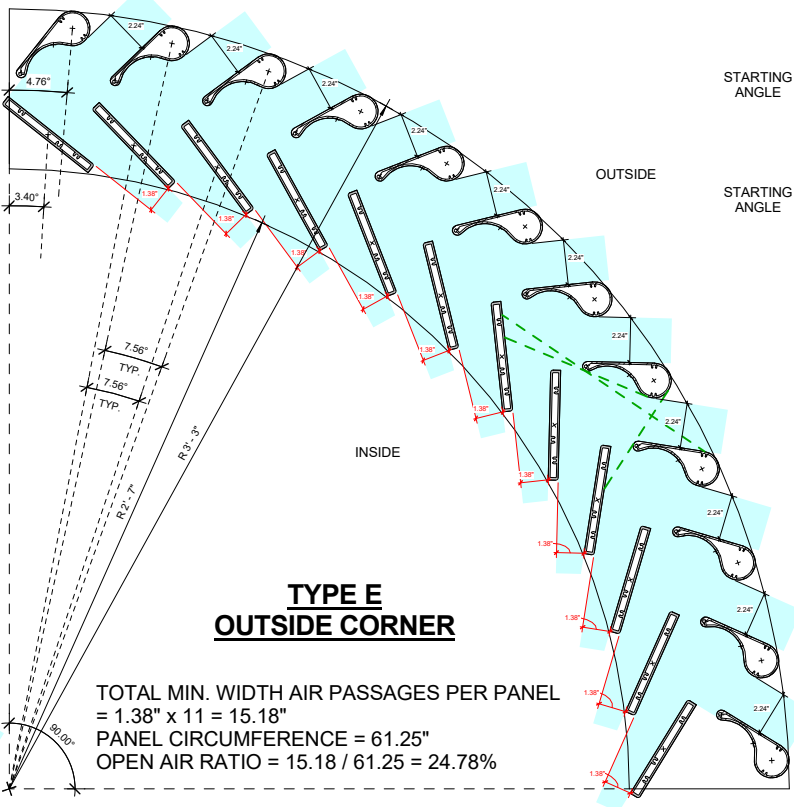
3 CURVED FIN PANEL (INSIDE CORNER) - TYPE B - DETAIL PLAN
3" = 1'-0"



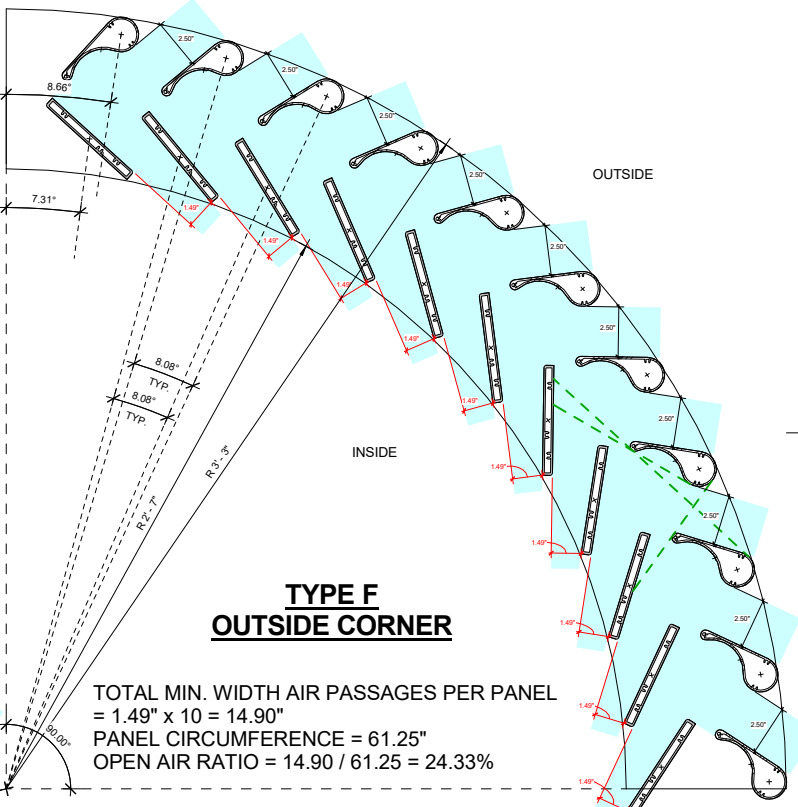
5 CURVED FIN PANEL (INSIDE CORNER) - TYPE C - DETAIL PLAN
3" = 1'-0"



2 CURVED FIN PANEL (OUTSIDE CORNER) - TYPE A - DETAIL PLAN
3" = 1'-0"



4 CURVED FIN PANEL (OUTSIDE CORNER) - TYPE B - DETAIL PLAN
3" = 1'-0"



6 CURVED FIN PANEL (OUTSIDE CORNER) - TYPE C - DETAIL PLAN
3" = 1'-0"

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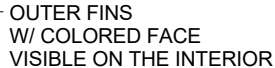
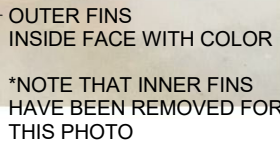
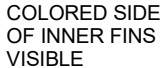
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DRAWING TITLE

PB A-671

ENCLOSURE DETAILS - FINS

NOT FOR CONSTRUCTION

[illegible]

4 MOCK-UP MODEL PHOTO - FROM TOP OF MODEL

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stantec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Specialist:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Hughes & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Dusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Specialist:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 E. Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andrea Arcari
C. 708.171.1144 M. 305.321.2341
Firm Reg. No. LC26000548

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

TRUE NORTH: 10.78 DEG

SEAL & SIGNATURE

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