



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

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8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

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15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

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8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

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973-C Russell Avenue
Gaithersburg, MD 20879

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Contact: Andre Acila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE

04/08/19

DRAWN BY

-

SCALE

CHECKED BY

-

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-072

HISTORICAL CONTEXT - COLOR

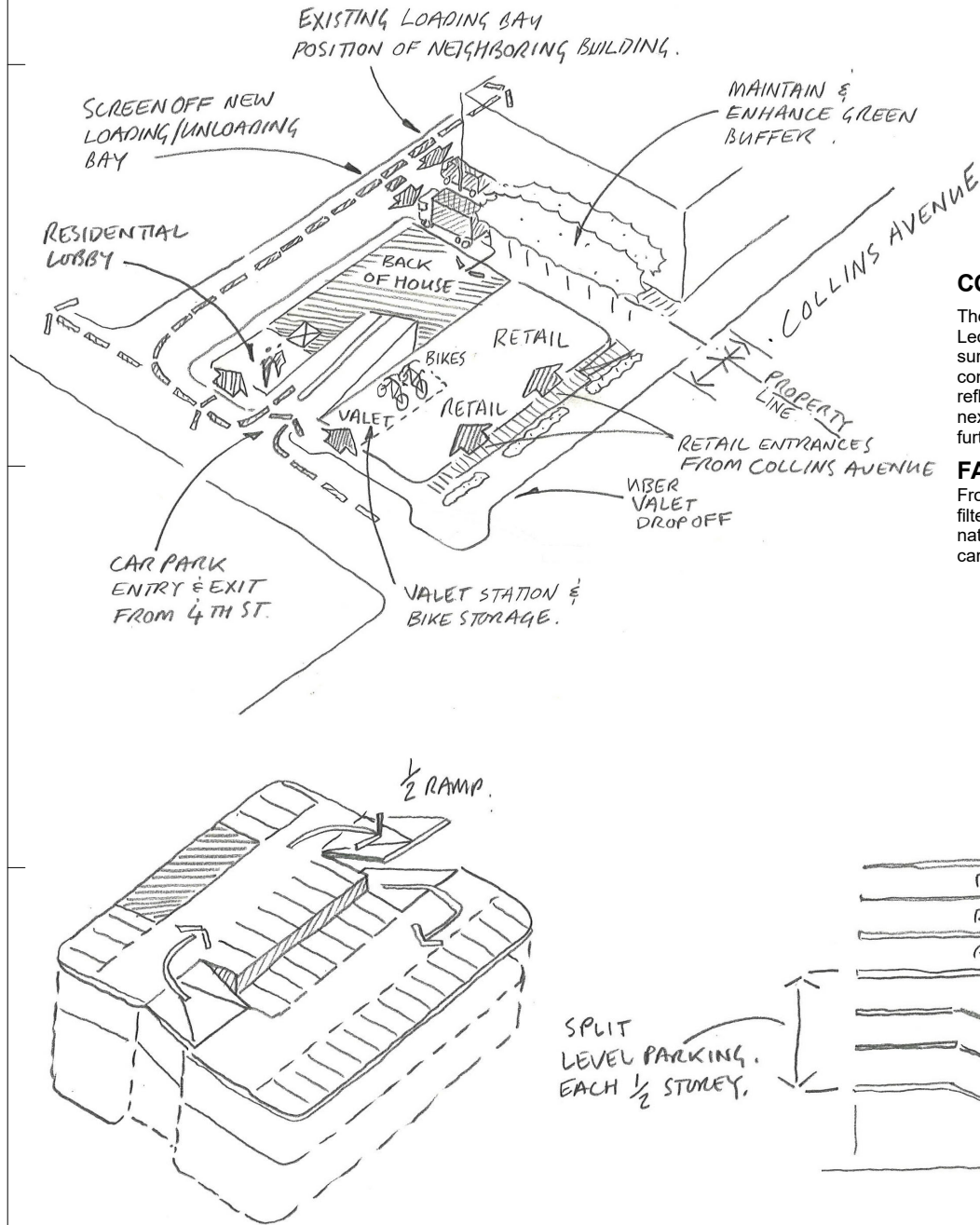
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SITE & BUILDING DIAGRAM

The project is situated on the North West corner of Collins Avenue and 4th Street in Miami Beach. The lot area is 19,500 sq ft and is currently used as a primary purpose parking lot. The site is zoned as "mixed-use commercial" and is adjacent to residential zoning districts. The site is surrounded by ostensibly residential buildings- both single family homes and condominium buildings.

The project comprises 8,142 sq ft of ground floor retail including a 60-seat restaurant and 4,500 sq ft of retail; 3-levels of primary use public parking with 27 designated residential spaces, valet and self-parking for the restaurant and retail, along with other non-designated spaces, in all totaling 120 parking spaces (A full traffic impact report has been undertaken).

Above the 4-level parking structure, set back from each lot line and set within generously landscaped terraced gardens, there are a further 3-levels of prime residential development comprising of 15-condominium family apartments between 746 NSF - 1,643 NSF per dwelling.

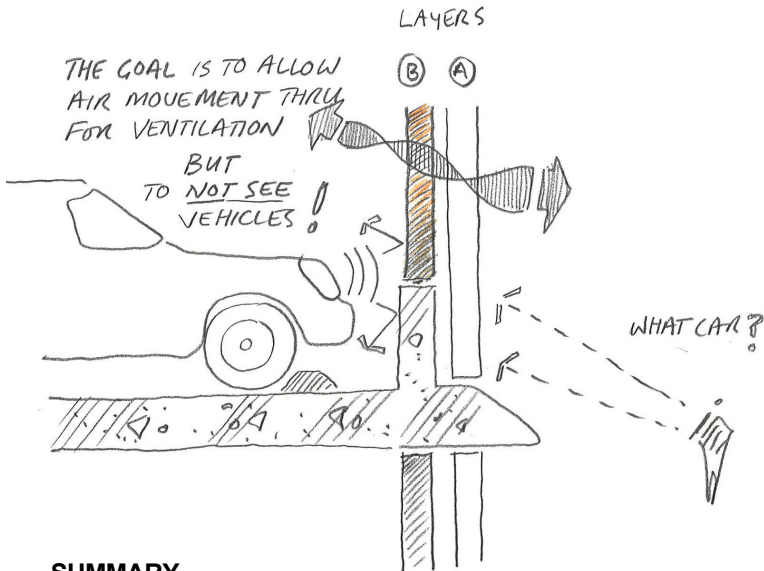
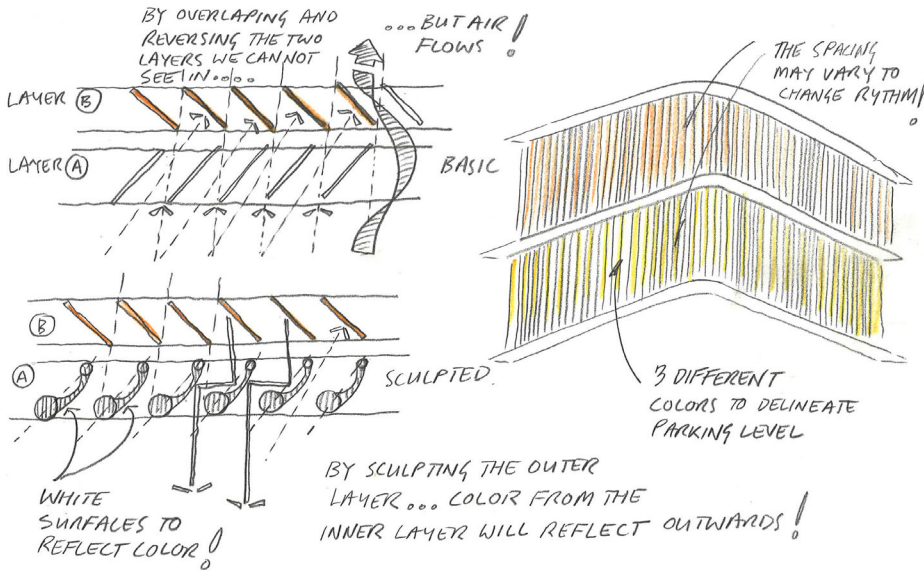


CONTEXT & DESIGN CONCEPT

The OCEAN BEACH PRESERVATION DISTRICT is known for its deco residential buildings and the use of a curated color palette championed by Leonard Horowitz and Barbara Capitman in the late 1970's. Taking cues from the surrounding deco architectural language, featuring both white surfaces and pastel colors, "eyebrow" horizontal features and curvilinear forms, the Torino Car Park project creates a subtle and delicate contemporary architectural response, where the scale of each parking level has been broken down to form a changing color wave of direct, reflected and obscured shades from white to magenta. The eye of the observer is drawn to an ever-varied mix of color, each floor different from the next and the intensity of color changing according to vantage point. The custom vertical white rods at times are spaced close apart and at others further apart, creating an abstract and interactive experience depending upon the viewpoint, the time of day or with seasonal weather fluctuations.

FAÇADE

From the inside, the inner wall of the façade design has been designated a different color according to each level. The play of filtered light from outside to inside will create a unique user experience setting the project apart from the usual perfunctory nature of parking structures. The façade design has also been ingeniously designed to shield the penetration of direct light from car headlamps to the exterior, as well as to mitigate against noise from automobiles emanating from within.



SUMMARY

In summary, the aims of the project are to respect the character, scale and spirit of the OCEAN BEACH PRESERVATION DISTRICT, whilst creating an uplifting and joyous piece of contemporary architecture that appears as a welcome and appropriate addition to the district from now and into the future. The changing nature of the façade with its subtle and sophisticated play of light and color will interact with passersby and residents of the neighborhood, providing an engaging connection to the built environment.

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SCALE & ORIENTATION



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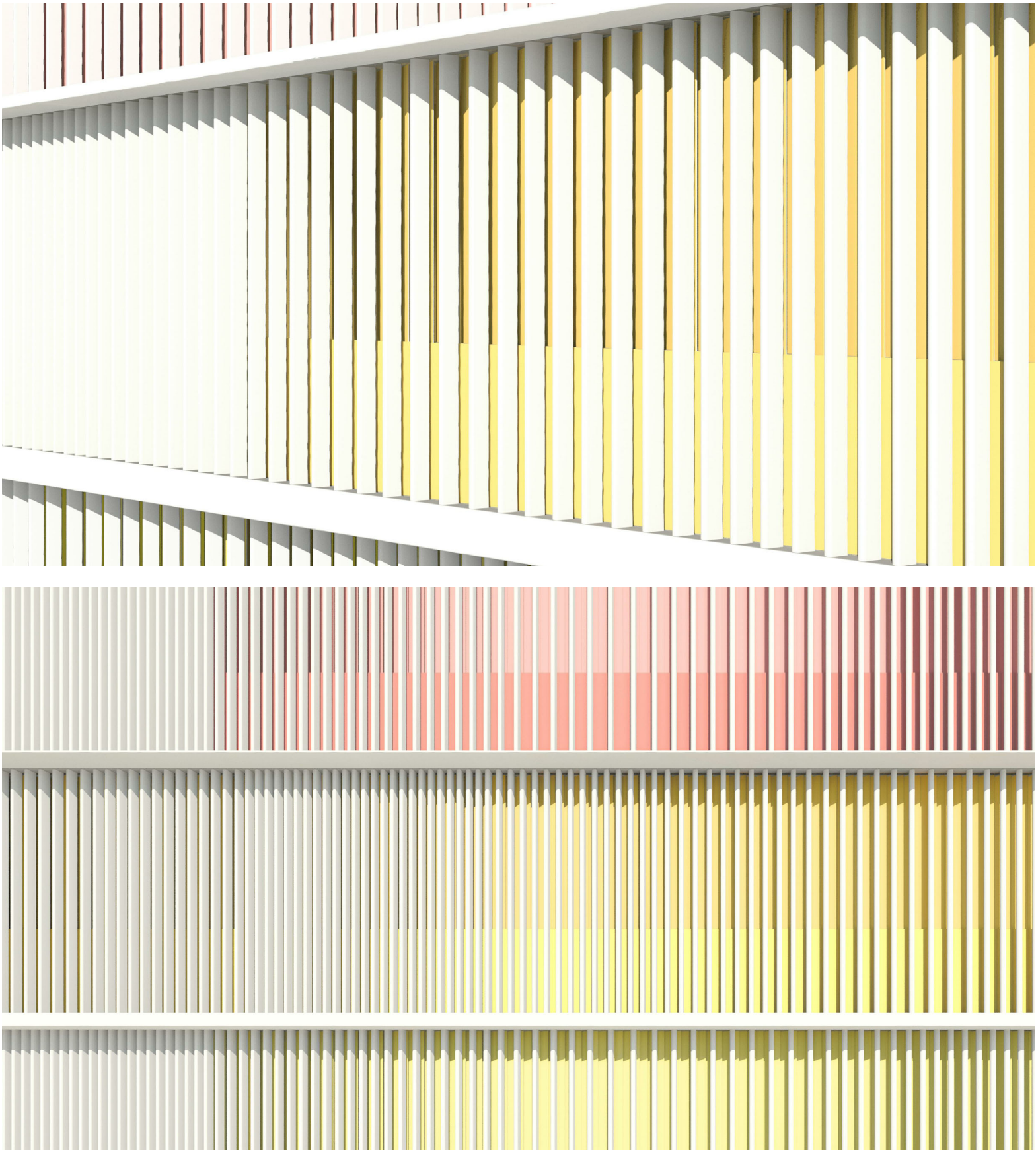
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DRAWING TITLE

PB A-073
PROPOSED BUILDING -
NARRATIVE

ARCH D 36"x24"



PERSPECTIVE - CLOSE-UP OF FACADE FIN SYSTEM

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DRAWING TITLE
PB A-074
PROPOSED BUILDING - PERSPECTIVES

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ARCH D 36"x24"



PERSPECTIVE - CLOSE-UP - LOOKING UP AT THE FACADE FROM STREET LEVEL

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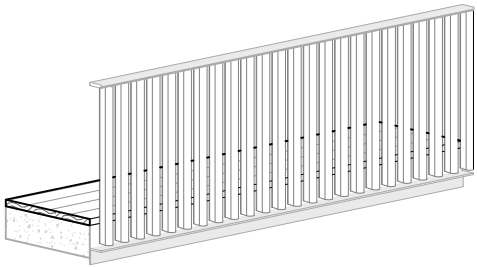
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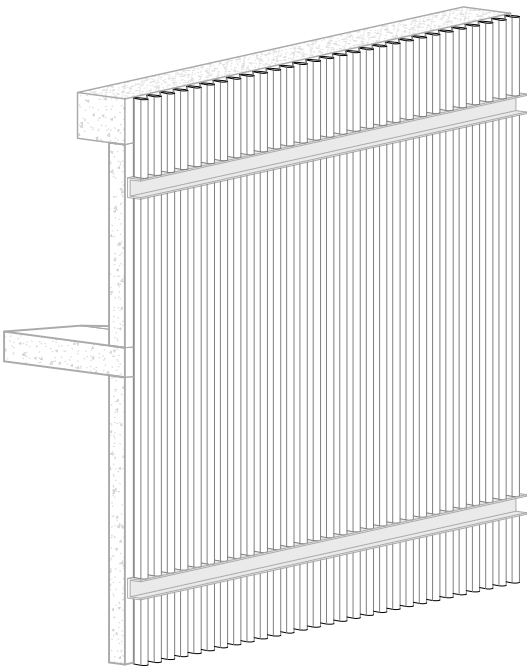
PB A-075

PROPOSED BUILDING - PERSPECTIVES

NOT FOR CONSTRUCTION



ALUMINUM EXTRUSION BALUSTRADE



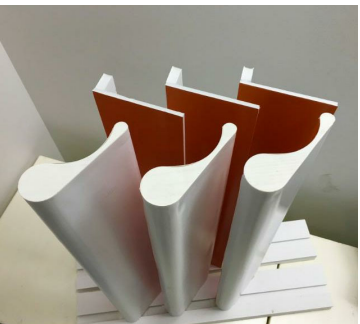
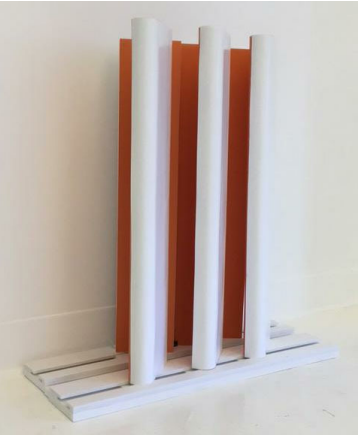
ALUMINUM EXTRUSION SCREEN



EXTERIOR & INTERIOR
TERRAZZO FLOORING



SATIN WHITE &
MULTI-COLORED ALUMINUM
FIN FACADE



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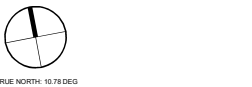
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DRAWING TITLE

PB A-076
PROPOSED BUILDING -
MATERIALS

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

--- BOUNDARY OF 2'-5 1/2" TALL CONTINUOUS CONCRETE FLOOD PROOF CURB WALL (ALL DOORS AT WALL OPENINGS ARE EITHER FIT WITH DEMOUNTABLE FLOOD BARRIER PANELS OR ARE FLOOD PROOF.)

--- DEMOUNTABLE FLOOD BARRIER PANELS

1 BP - LEVEL 01

0 4' 8' 16'

1/8" = 1'-0"

PROJECT

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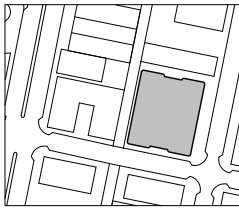
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PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG
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DRAWING TITLE

PB A-111

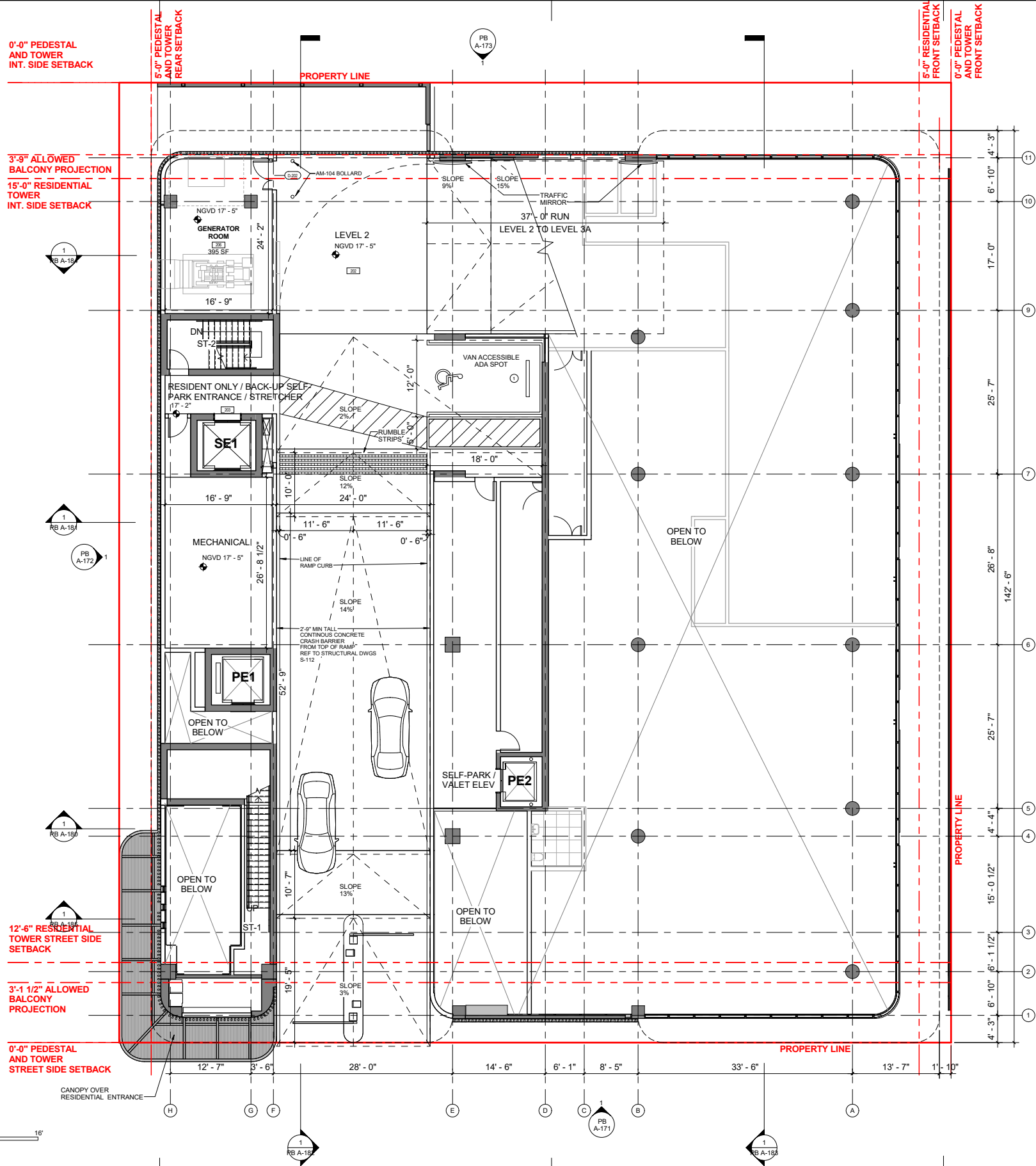
BUILDING PLAN - LEVEL 1
GROUND

NOT FOR CONSTRUCTION

ARCH D 36"x24"

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DRAWING TITLE
PB A-112
BUILDING PLAN - LEVEL 2

NOT FOR CONSTRUCTION

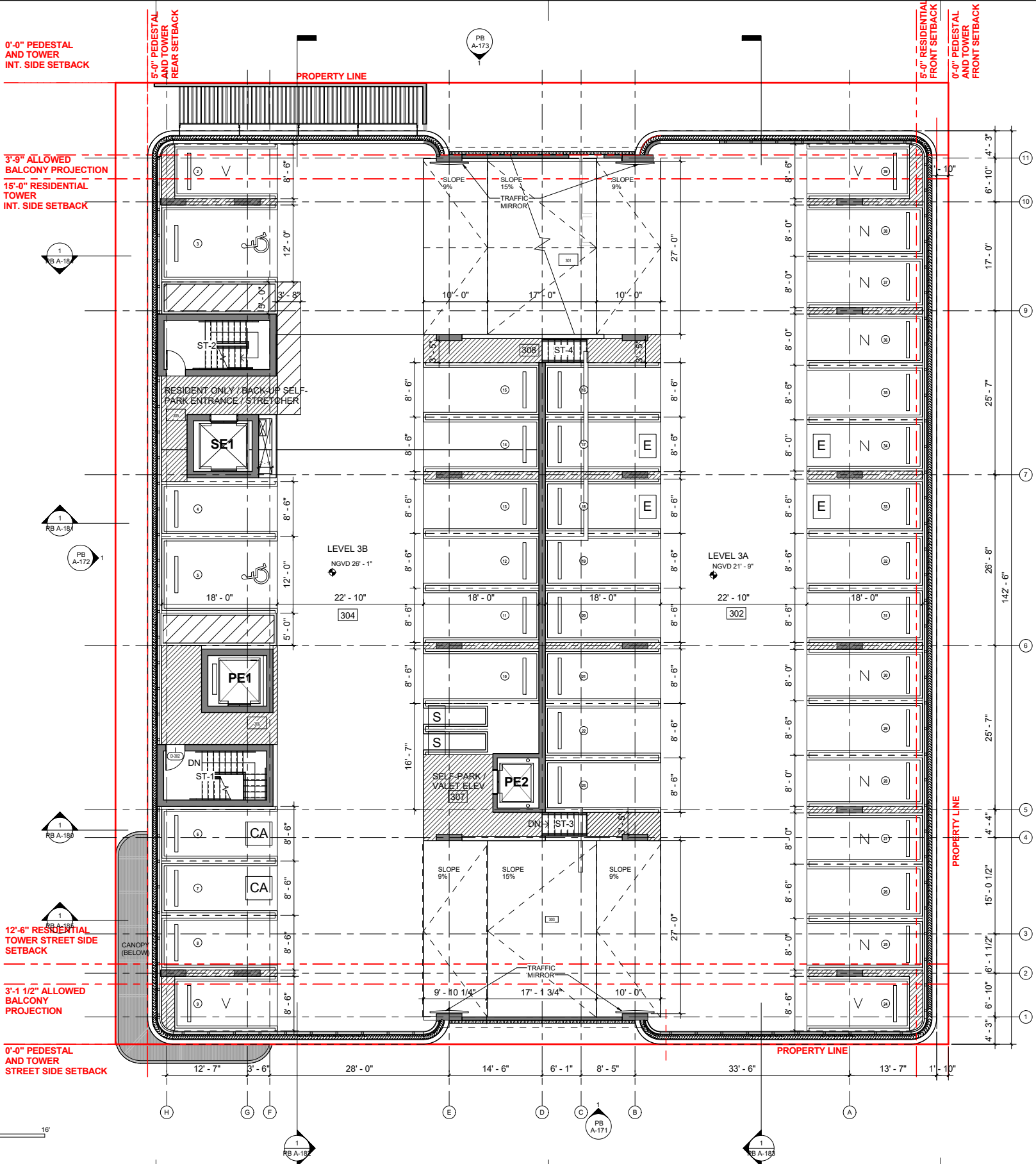
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	RESIDENT ONLY SPOT
	CARPOOL SPOT
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	SCOOTER PARKING 4'-0" x 10'-10"



1 BP - LEVEL 03
1/8" = 1'-0"

0 4' 8' 16'
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1507 TORINO GARAGE

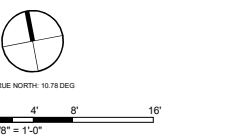
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

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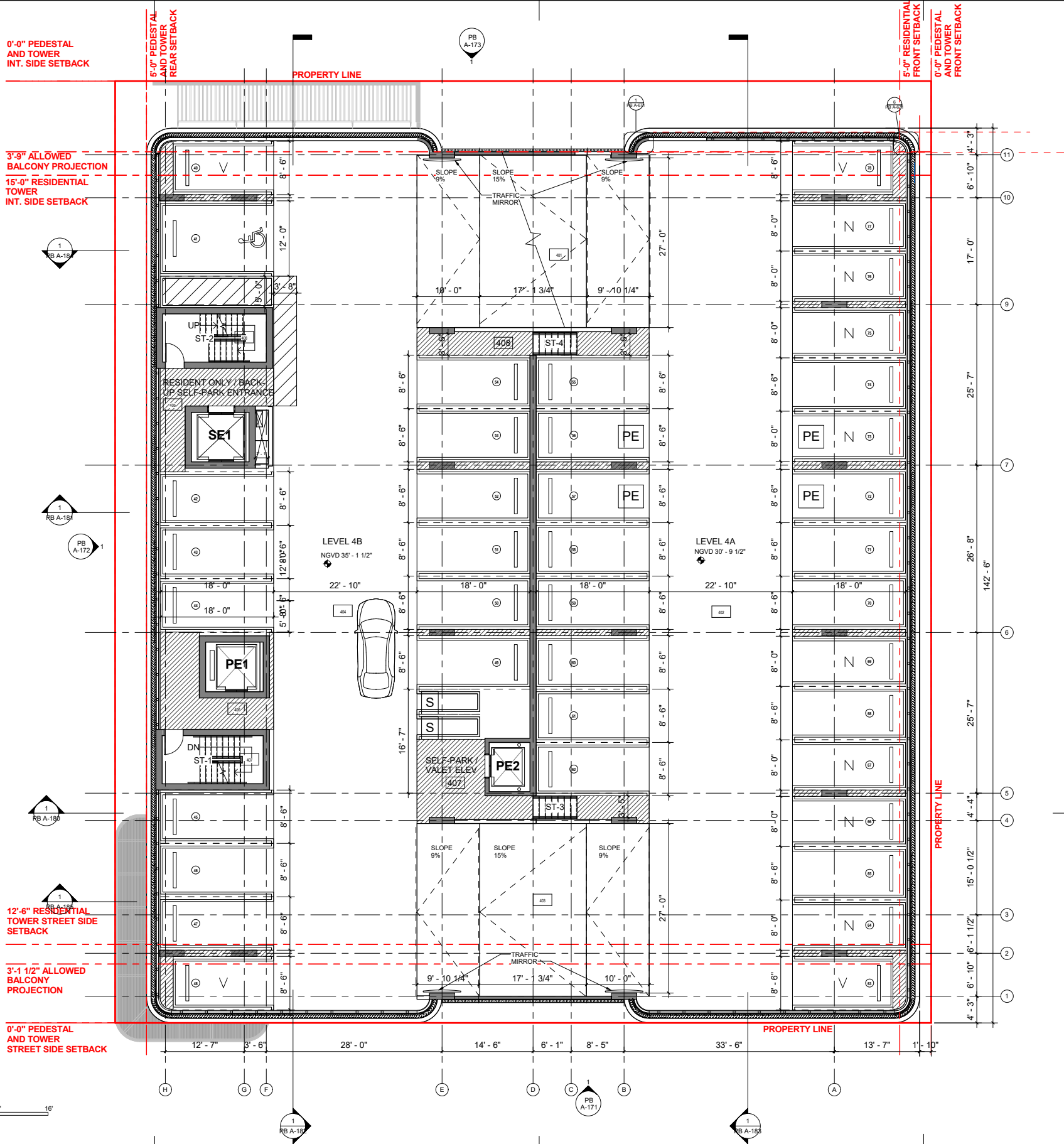
PB A-113
BUILDING PLAN - LEVEL 3

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PARKING COUNT			
LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND	
	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0"
	ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"



PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
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17th Floor
New York, NY 10065-8165

Architect:
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Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE 04/08/19 **DRAWN BY** -

SCALE As indicated **CHECKED BY** -

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

0 4' 8' 16'

1/8" = 1'-0"

SEAL & SIGNATURE

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DRAWING TITLE

PB A-114
BUILDING PLAN - LEVEL 4

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0"
	ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK

3'-9" ALLOWED BALCONY PROJECTION
15'-0" RESIDENTIAL TOWER INT. SIDE SETBACK

12'-6" RESIDENTIAL TOWER STREET SIDE SETBACK

3'-1 1/2" ALLOWED BALCONY PROJECTION

0'-0" PEDESTAL AND TOWER STREET SIDE SETBACK

PROPERTY LINE

PROPERTY LINE

5'-0" RESIDENTIAL FRONT SETBACK
0'-0" PEDESTAL AND TOWER FRONT SETBACK

1 BP - LEVEL 05
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

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As indicated -

PROJECT NO. & TITLE

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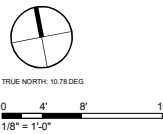
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



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DRAWING TITLE

PB A-115

BUILDING PLAN - LEVEL 5

NOT FOR CONSTRUCTION

ARCH D 36"x24"

ROOFING NOTES

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE, THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4"-.12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMP IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. O.S. = OVERFLOW SCUPPER.
9. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKIN PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

KEY

- 1. ROOF DRAIN
- 2. DECK DRAIN
- 3. PLANTER DRAIN
- 4. TRENCH DRAIN RAIN WATER LEADER
- 5. SIDE OUTLET SCUPPER DRAIN
- 6. TRENCH DRAIN

LEVEL 6 UNITS

LEVEL	INTERIOR	EXTERIOR	TOTAL
6A	738 NSF	465 NSF	1,203 NSF
6B	955 NSF	567 NSF	1,522 NSF
6C	1,290 NSF	238 NSF	1,528 NSF
6D	1,478 NSF	297 NSF	1,775 NSF
6E	1,641 NSF	1,473 NSF	3,127 NSF
TOTAL	6,102 NSF	3,040 NSF	9,142 NSF

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.
LINE OF 42" TALL BALUSTRADE

2 BP - LEVEL 06 - RESIDENTIAL
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK

3'-9" ALLOWED BALCONY PROJECTION
15'-0" RESIDENTIAL TOWER INT. SIDE SETBACK

12'-6" RESIDENTIAL TOWER STREET SIDE SETBACK

3'-1 1/2" ALLOWED BALCONY PROJECTION

0'-0" PEDESTAL AND TOWER STREET SIDE SETBACK

PROPERTY LINE

PROPERTY LINE

5'-0" RESIDENTIAL FRONT SETBACK

0'-0" PEDESTAL AND TOWER FRONT SETBACK

PROPERTY LINE

PLANTERS TO BE ANCHORED TO STRUCTURAL SLAB

FUTURE INTENSIVE LANDSCAPING (INACCESSIBLE)

RIVER ROCK EMBEDDED IN MESH INSET

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.

LEVEL 06 ROOF EDGE

PROJECT

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NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE DRAWN BY

04/08/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG
0 4' 8' 16'
1/8" = 1'-0"

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PB A-116

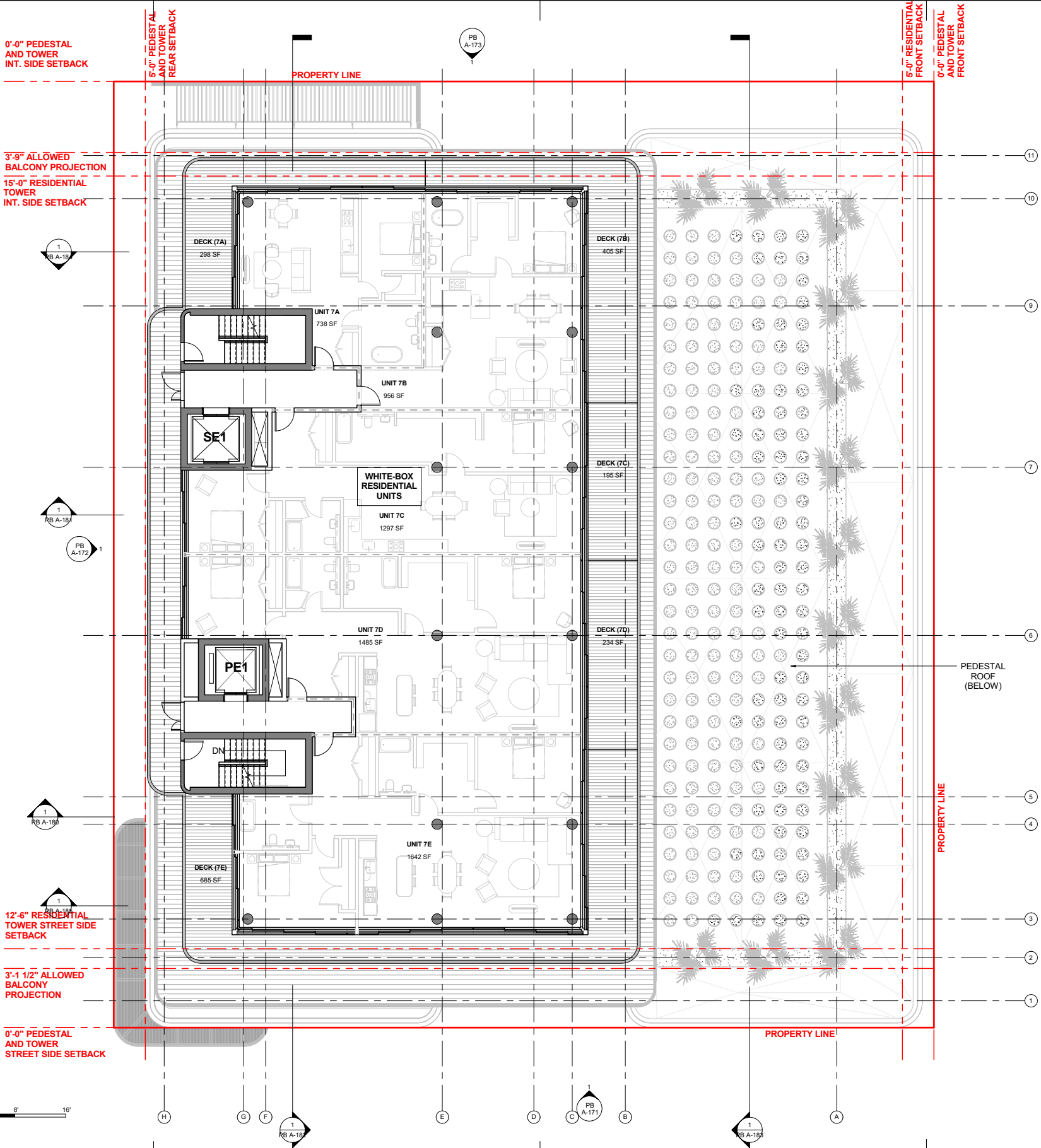
BUILDING PLAN - LEVEL 6 - RESIDENTIAL 01

NOT FOR CONSTRUCTION

ARCH D 36"x24"

LEVEL 7 UNITS

LEVEL	INTERIOR	EXTERIOR	TOTAL
7A	738 NSF	297 NSF	1,035 NSF
7B	956 NSF	415 NSF	1,371 NSF
7C	1,297 NSF	179 NSF	1,488 NSF
7D	1,485 NSF	223 NSF	1,708 NSF
7E	1,642 NSF	704 NSF	2,346 NSF
TOTAL	6,118 NSF	1,818 NSF	7,936 NSF



PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

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NO. DESCRIPTION DATE

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2 PLANNING BOARD FINAL SUBMITTAL April 26, 2019

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

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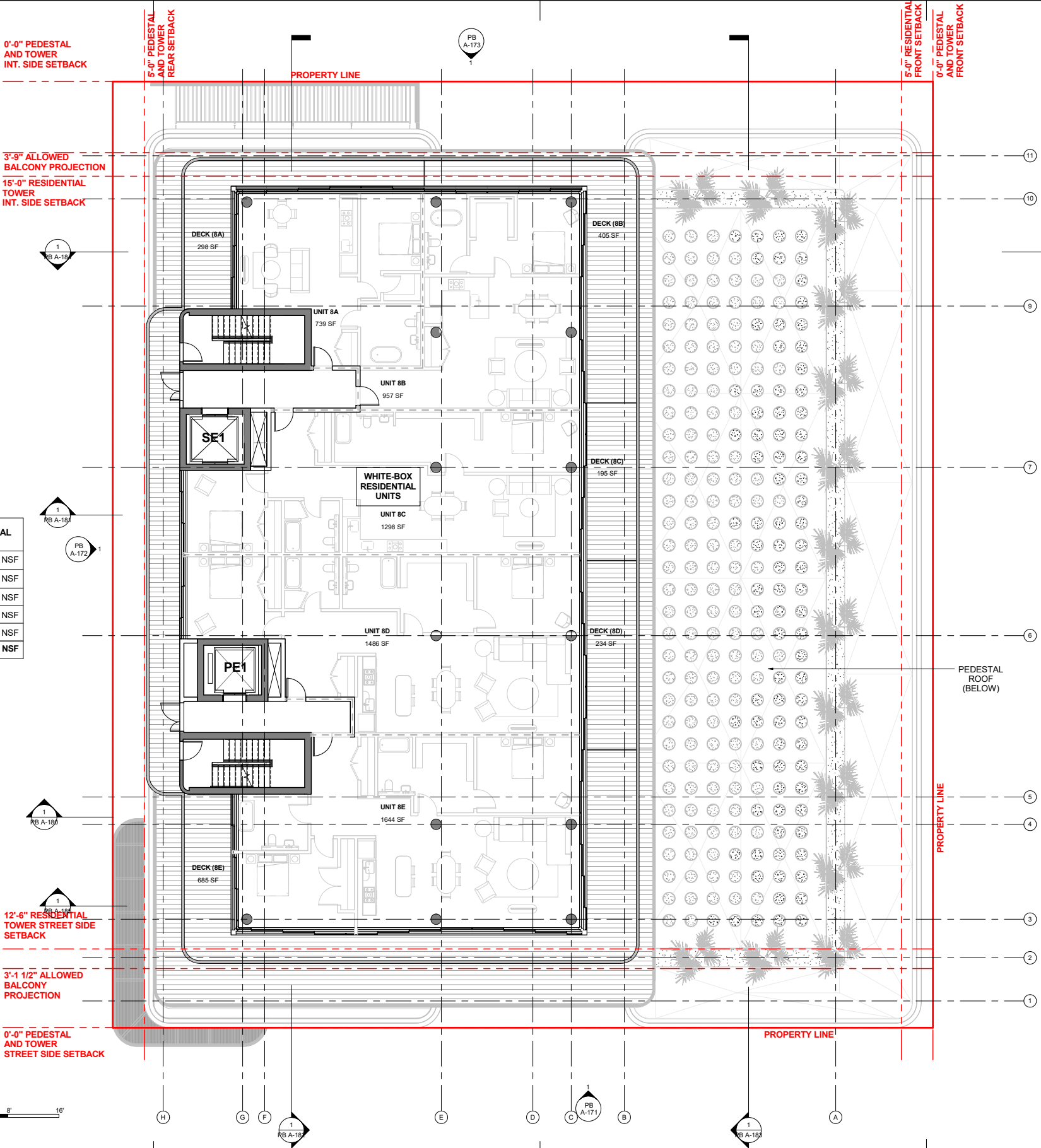
PB A-117
BUILDING PLAN - LEVEL 7 -
RESIDENTIAL 02

NOT FOR CONSTRUCTION

ARCH D 36"x24"

LEVEL 8 UNITS

LEVEL	INTERIOR	EXTERIOR	TOTAL
8A	739 NSF	297 NSF	1,036 NSF
8B	957 NSF	415 NSF	1,372 NSF
8C	1,298 NSF	179 NSF	1,477 NSF
8D	1,486 NSF	223 NSF	1,709 NSF
8E	1,644 NSF	704 NSF	2,348 NSF
TOTAL	6,124 NSF	1,818 NSF	7,942 NSF



PROJECT

TORINO GARAGE

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2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE 04/08/19 **DRAWN BY** -

SCALE 1/8" = 1'-0" **CHECKED BY** -

PROJECT NO. & TITLE 1507 TORINO GARAGE

PROJECT STATUS PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

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DRAWING TITLE

PB A-118
BUILDING PLAN - LEVEL 8 - RESIDENTIAL 03









NOT FOR CONSTRUCTION

[illegible]

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.

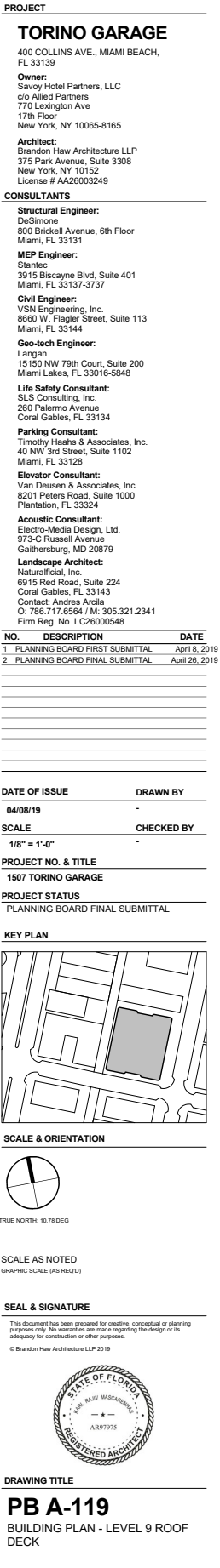
0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK

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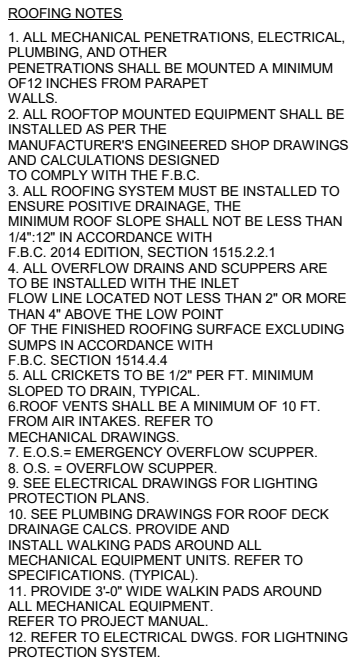
- KEY**
-  ROOF DRAIN
 -  DECK DRAIN
 -  PLANTER DRAIN
 -  TRENCH DRAIN RAIN WATER LEADER
 -  SIDE OUTLET SCUPPER DRAIN
 -  TRENCH DRAIN
-  1
RB A-154
-  1
PB A-172







1. TOTAL GROSS ENCLOSED FLOOR AREA
IMMEDIATELY ONE FLOOR BELOW MAIN ROOFLINE
LEVEL 8 = **7,168 SF**
2. 50% OF 1a. = $7,168 / 2 =$ **3,584 SF**
3. TOTAL ROOF DECK AREA PROVIDED = **1,562 SF**

7,168 SF



NOT FOR CONSTRUCTION

[illegible]

-  ROOF DRAIN
-  DECK DRAIN
-  PLANTER DRAIN
-  TRENCH DRAIN RAIN WATER LEADER
-  SIDE OUTLET SCUPPER DRAIN
-  TRENCH DRAIN

TORINO GARAGE
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$$1/8'' = 1'-0''$$

PROJECT NO. & TITLE

REGULATORY CHALLENGES

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS REQ'D)

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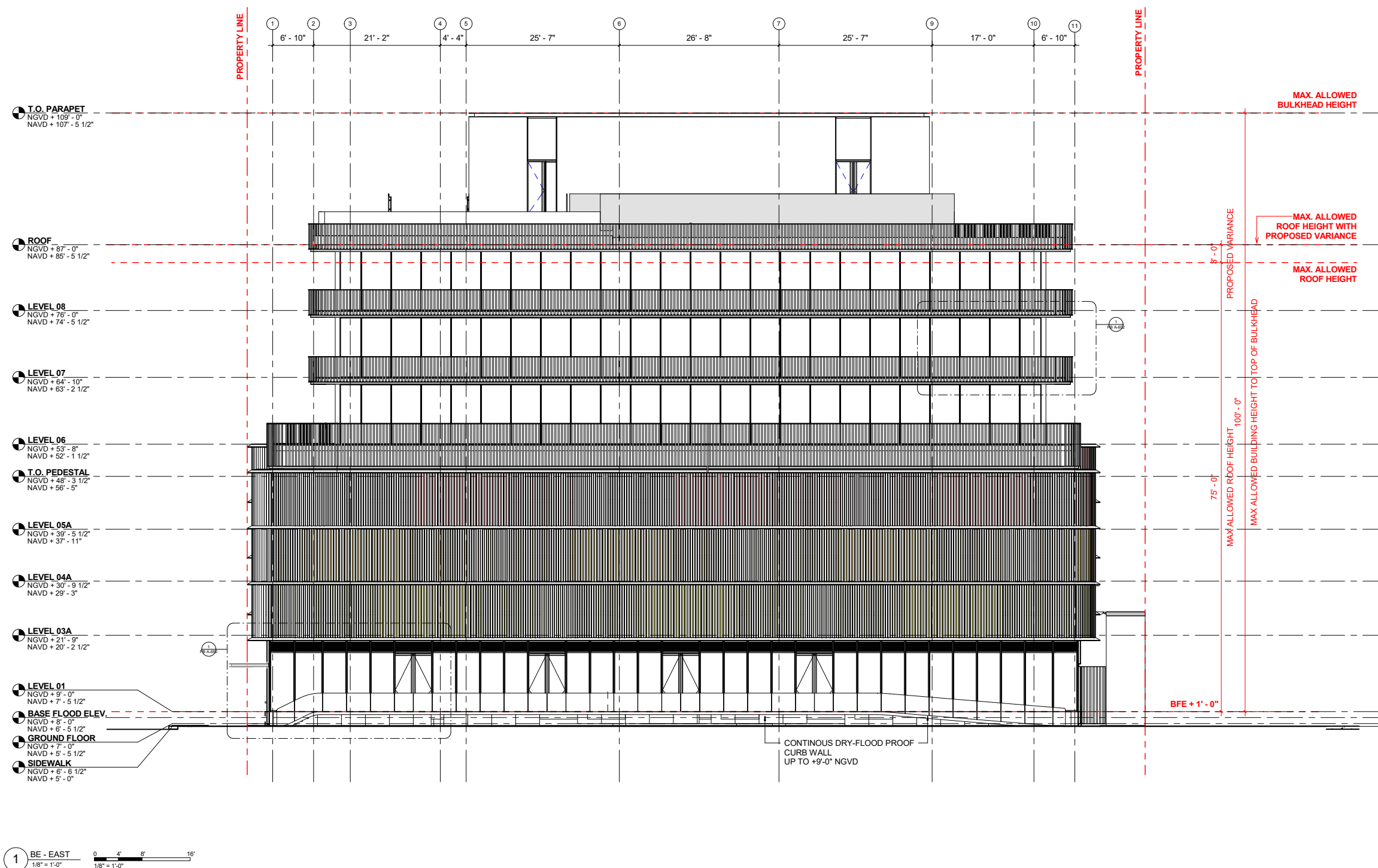
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DRAWING TITLE

PB A-120
BUILDING PLAN - ROOF PLAN

NOT FOR CONSTRUCTION



PROJECT

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SCALE

1/8" = 1'-0"

CHECKED BY

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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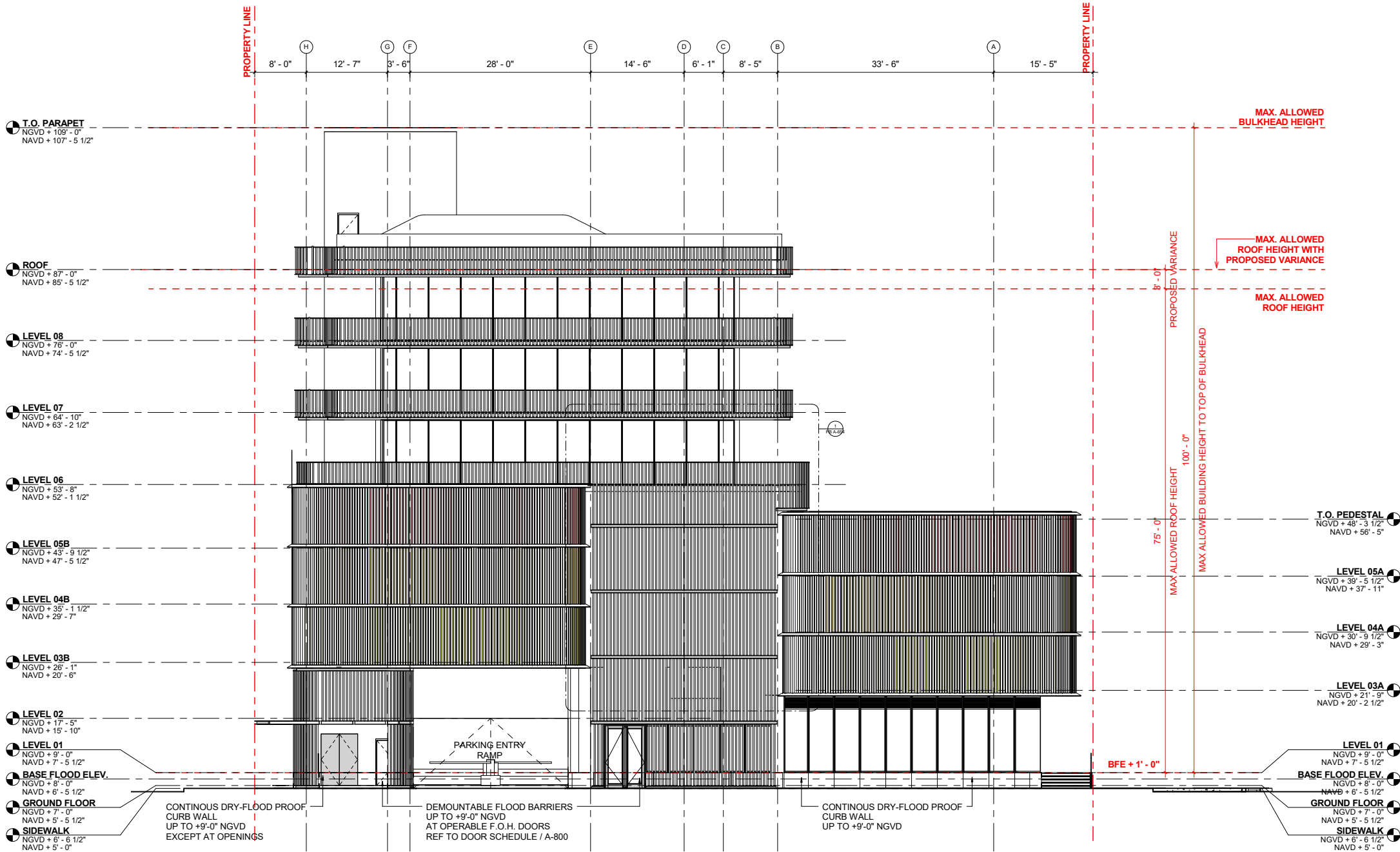


DRAWING TITLE

PB A-171

PROPOSED BUILDING ELEVATION
- SOUTH

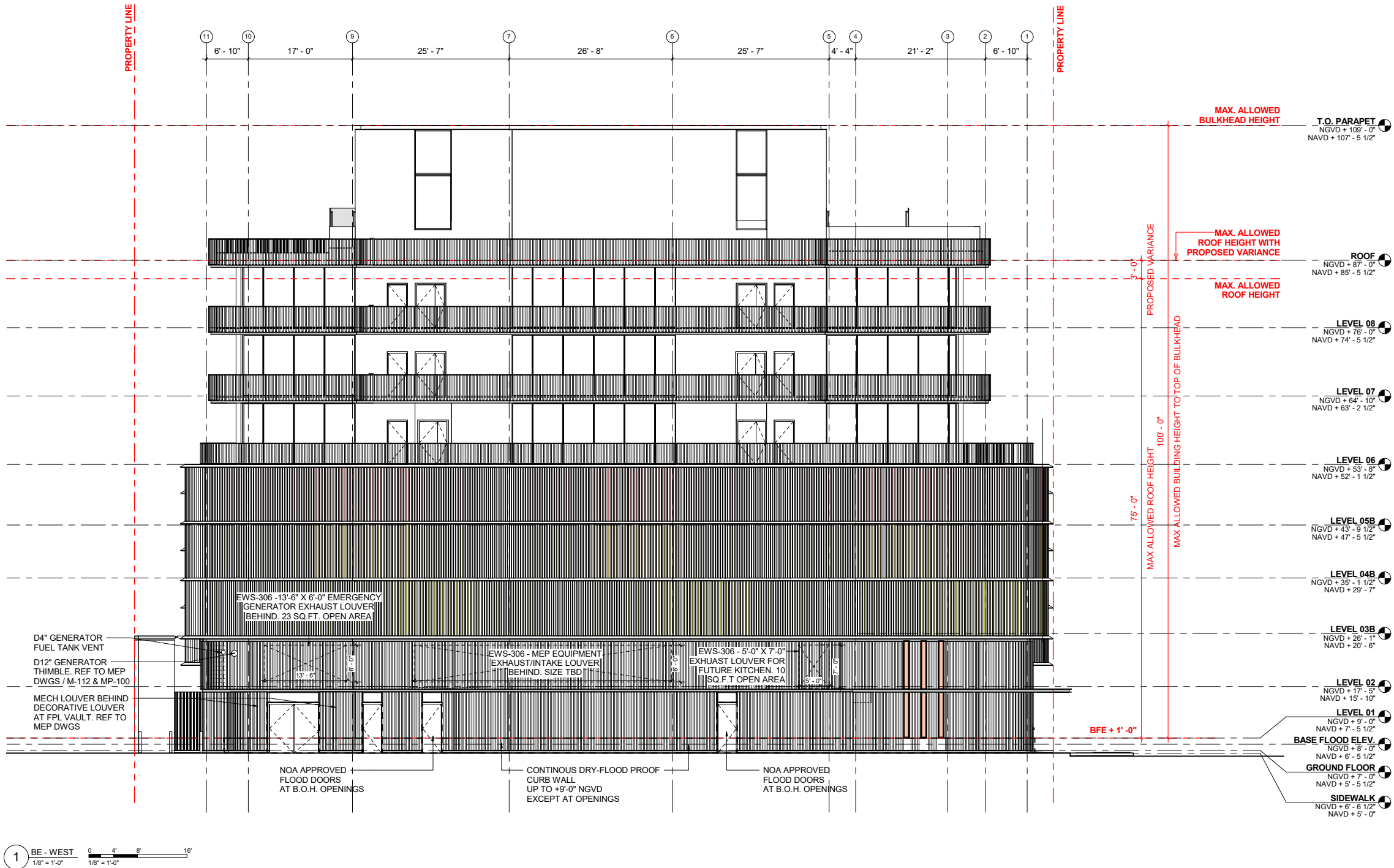
NOT FOR CONSTRUCTION



1 BE - SOUTH
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

ARCH D 36"x24"



PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
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375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

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MEP Engineer:
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Miami, FL 33137-3737

Civil Engineer:
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Geo-tech Engineer:
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Contact: Andres Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE 04/08/19 **DRAWN BY** -

SCALE 1/8" = 1'-0" **CHECKED BY** -

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

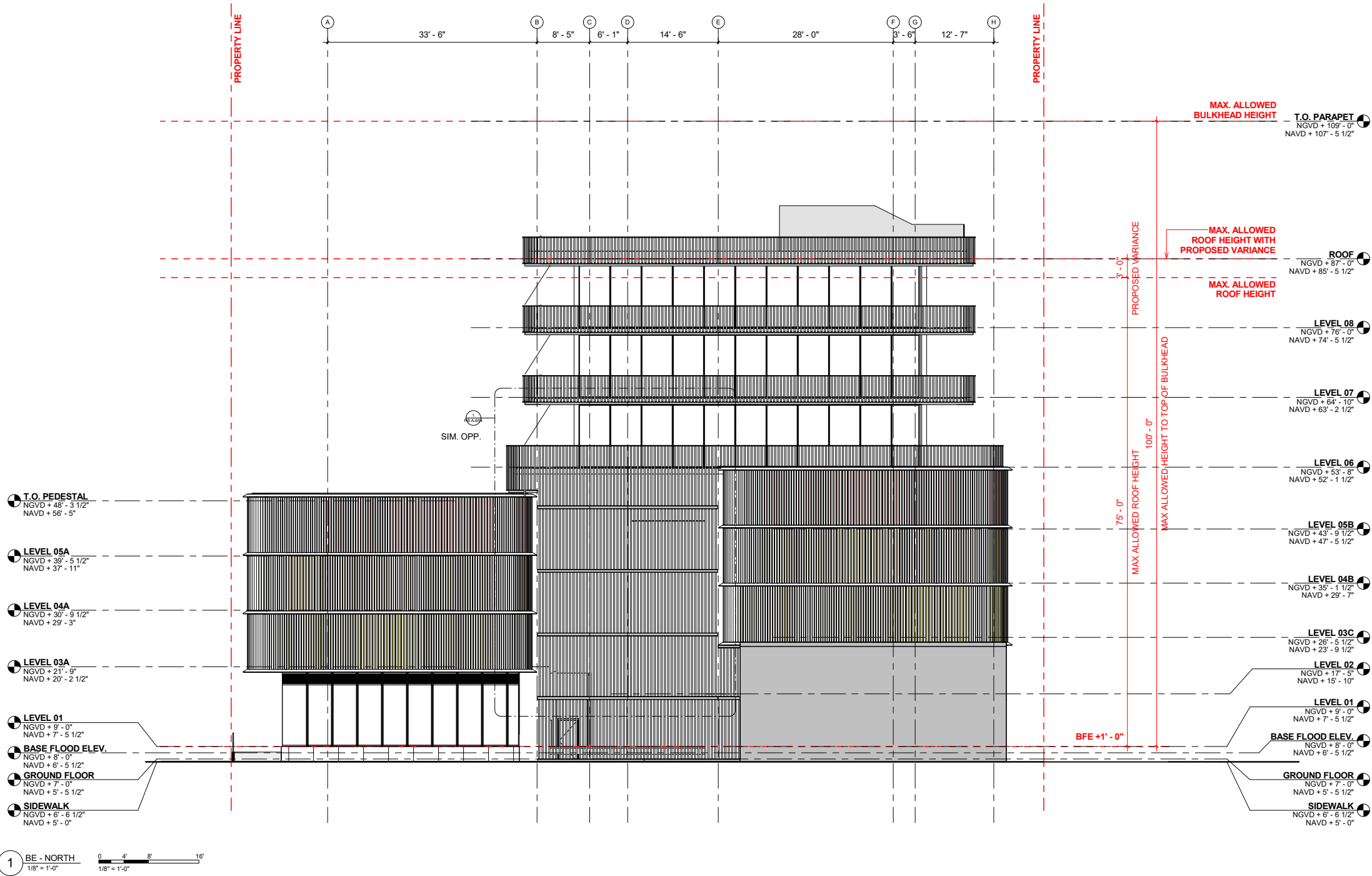
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DRAWING TITLE
PB A-172
PROPOSED BUILDING ELEVATION - WEST

NOT FOR CONSTRUCTION

ARCH D 36"x24"



PROJECT

TORINO GARAGE

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1507 TORINO GARAGE

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KEY PLAN



SCALE & ORIENTATION



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DRAWING TITLE

PB A-173

PROPOSED BUILDING ELEVATION
- NORTH

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

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KEY PLAN



SCALE & ORIENTATION



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GRAPHIC SCALE (AS NOTED)

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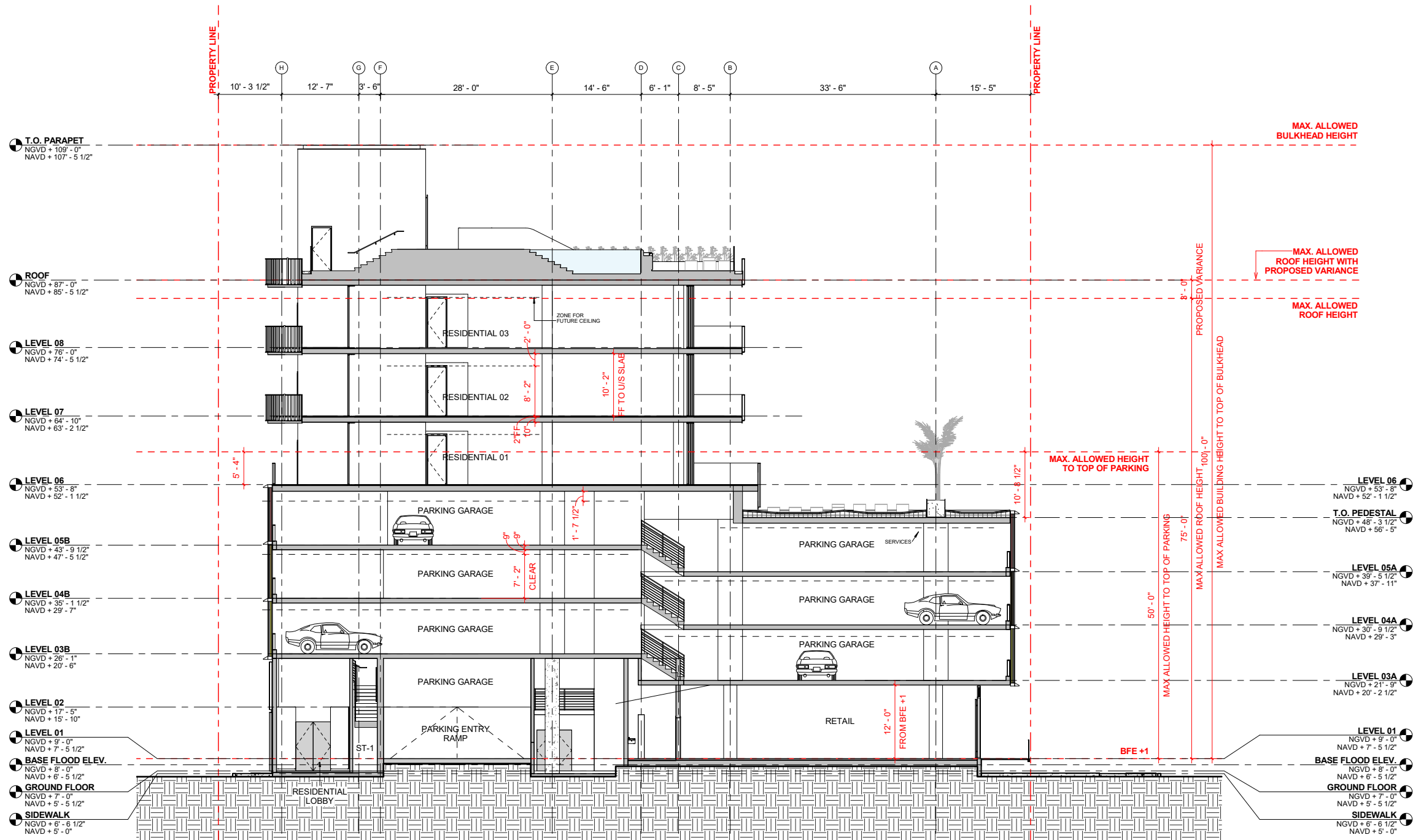


DRAWING TITLE

PB A-180

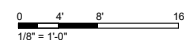
BUILDING SECTION 01

NOT FOR CONSTRUCTION



1 BUILDING SECTION - EW - THRU PARKING LEVEL C AND D
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

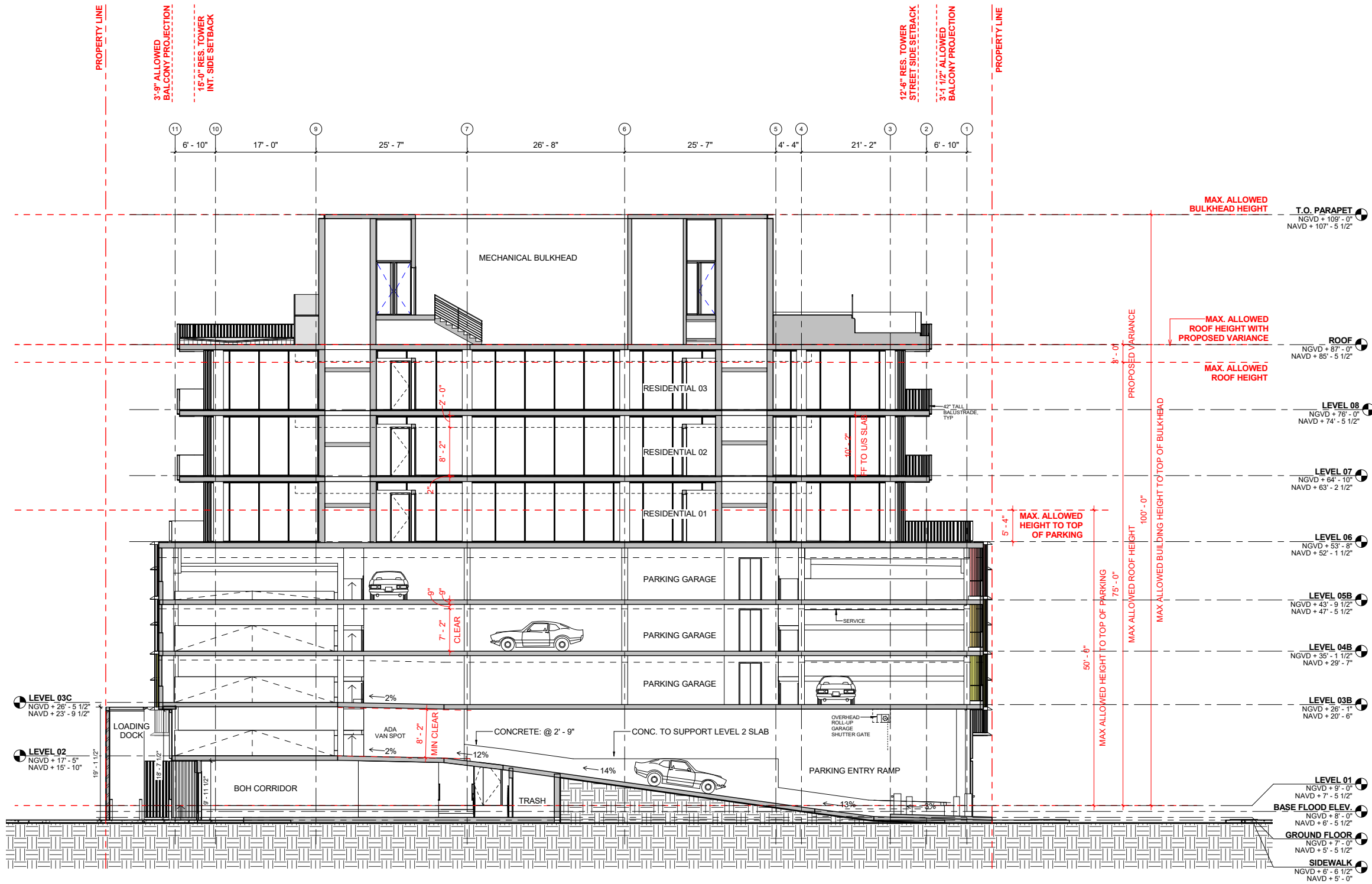


DRAWING TITLE

PB A-181

BUILDING SECTION 02

ARCH D 36"x24"



1 BUILDING SECTION - NS - THRU PARKING ENTRY RAMP
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

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04/08/19 -

SCALE CHECKED BY

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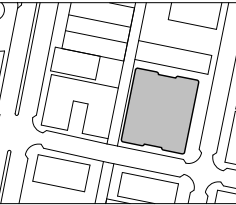
PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

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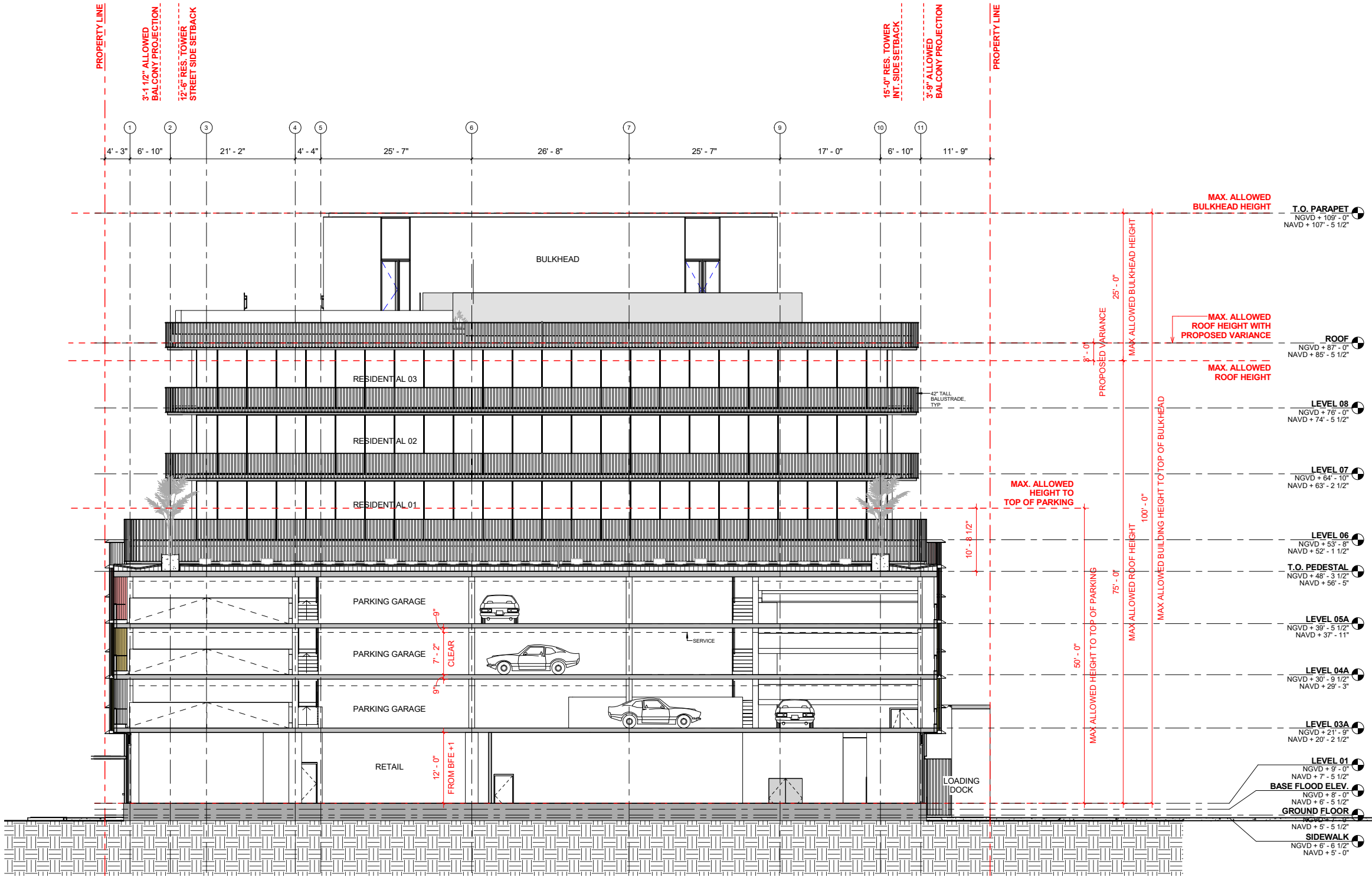
DRAWING TITLE

PB A-182

BUILDING SECTION 03

NOT FOR CONSTRUCTION

ARCH D 36"x24"



1 BUILDING SECTION - NS - THRU PARKING LEVEL A AND B

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

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Firm Reg. No. LC26000548

NO. DESCRIPTION DATE

1 PLANNING BOARD FIRST SUBMITTAL April 8, 2019

2 PLANNING BOARD FINAL SUBMITTAL April 26, 2019

DATE OF ISSUE **DRAWN BY**

04/08/19 -

SCALE **CHECKED BY**

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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DRAWING TITLE

PB A-183
BUILDING SECTION 04

NOT FOR CONSTRUCTION

[illegible]

BUILDING SECTION 05



NOT FOR CONSTRUCTION

400 COLLINS AVE., MIAMI BEACH,
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[illegible]

04/08/19 -

SCALE	DRAWN BY
1/8" = 1'-0"	-

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

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TRUE NORTH: 10.78 DEG

SCALE AS NOTED

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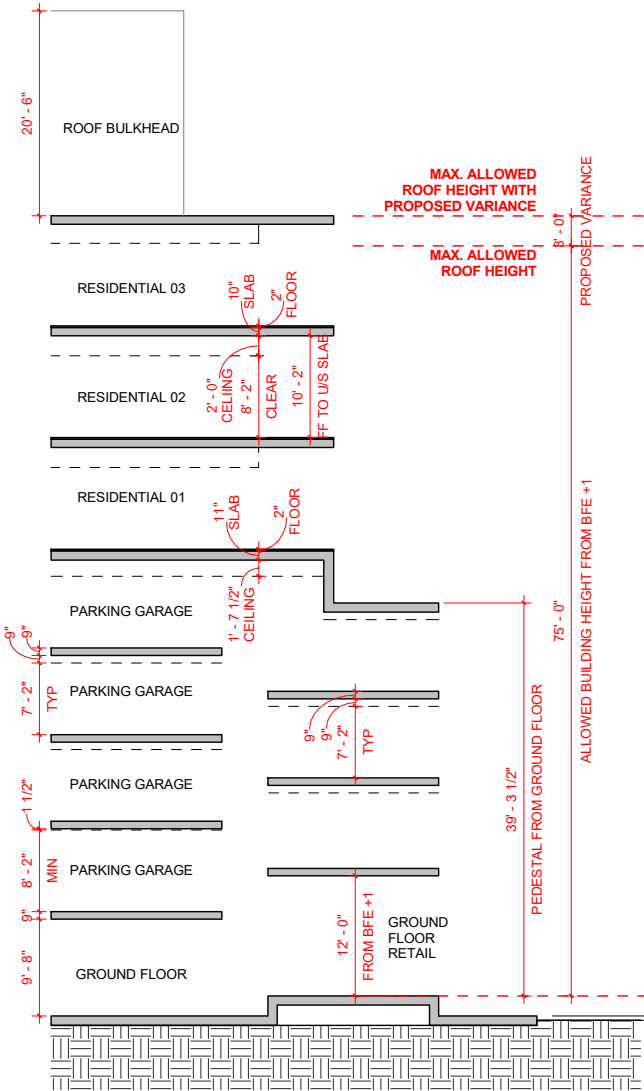


DRAWING TITLE

FD A-105
BUILDING SECTION 22

NOT FOR CONSTRUCTION

ARCH D 36"x24"



**PROPOSED AMENDMENT SCHEME (3 LVLS RESIDENTIAL)
PROPOSING 3' - 0" HEIGHT VARIANCE**

0 4' 8' 16'
1/8" = 1'-0"

T.O. PARAPET
NGVD 107' - 0"

ROOF
NGVD 87' - 0"

LEVEL 08
NGVD 76' - 0"

LEVEL 07
NGVD 64' - 10"

LEVEL 06
NGVD 53' - 0"

T.O. PEDESTAL
NGVD 48' - 3 1/2"

LEVEL 05A
NGVD 39' - 5 1/2"

LEVEL 04A
NGVD 37' - 9 1/2"

LEVEL 03A
NGVD 21' - 0"

BFE +1
NGVD 9' - 0"

BASE FLOOD ELEV
NGVD 8' - 0"

LEVEL 01
NGVD 7' - 0"

SIDEWALK
NGVD 6' - 6 1/2"

ROOF
BULKHEAD

RESIDENTIAL

PARKING GARAGE

GROUND FLOOR

GROUND FLOOR
RETAIL

0 2' 4' 8'
1/4" = 1'-0"

**PROPOSED AMENDMENT SCHEME (3 LVLS RESIDENTIAL)
PROPOSING 3' - 0" HEIGHT VARIANCE**

2' - 0" SERVICES

0' - 11" SLAB
0' - 2" FLOOR
10' - 2" FF TO U/S SLAB
1' - 7 1/2" CEILING

MAX. ALLOWED
ROOF HEIGHT WITH
PROPOSED VARIANCE
MAX. ALLOWED
ROOF HEIGHT

12' - 0" FROM BFE +1

39' - 3 1/2" PEDESTAL FROM GROUND FLOOR

3' - 0" PROPOSED VARIANCE

75' - 0" ALLOWED BUILDING HEIGHT FROM BFE +1

T.O. PARAPET
NGVD 107' - 0"

ROOF
NGVD 87' - 0"

T.O. PEDESTAL
NGVD 48' - 3 1/2"

LEVEL 03A
NGVD 21' - 0"

BFE +1
NGVD 9' - 0"

BASE FLOOD ELEV
NGVD 8' - 0"

LEVEL 01
NGVD 7' - 0"

SIDEWALK
NGVD 6' - 6 1/2"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

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NO.	DESCRIPTION	DATE
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE

04/26/19

SCALE

As Indicated

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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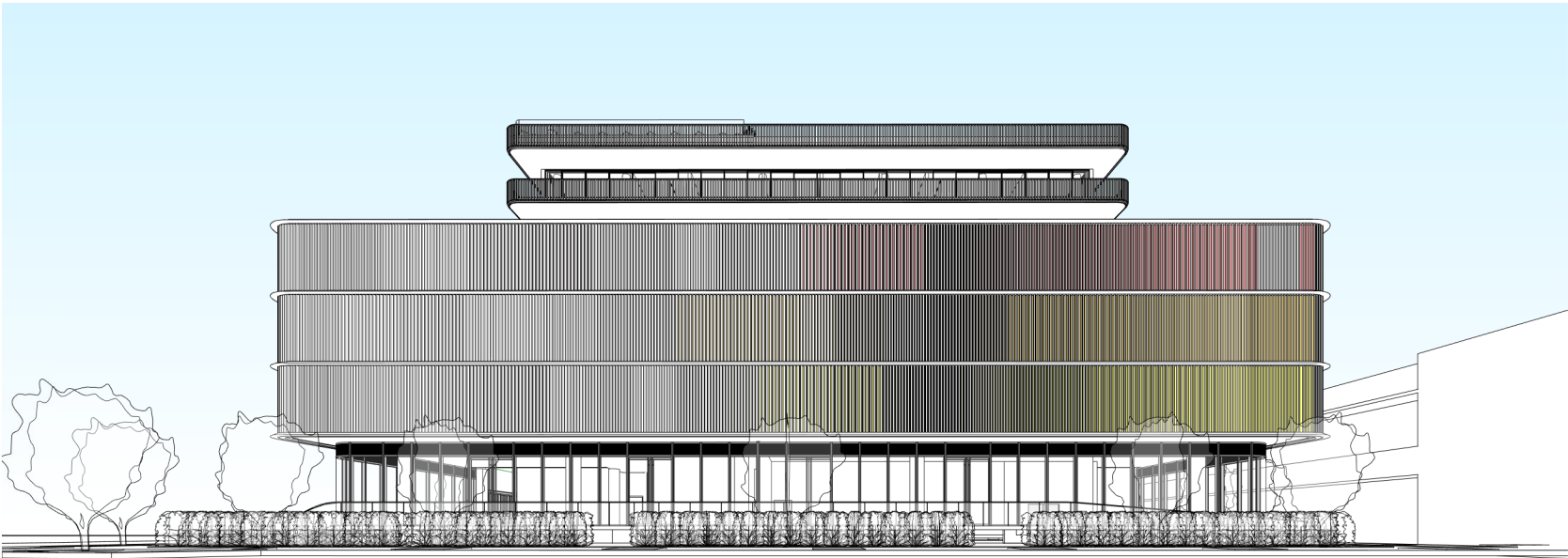
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PB A-190

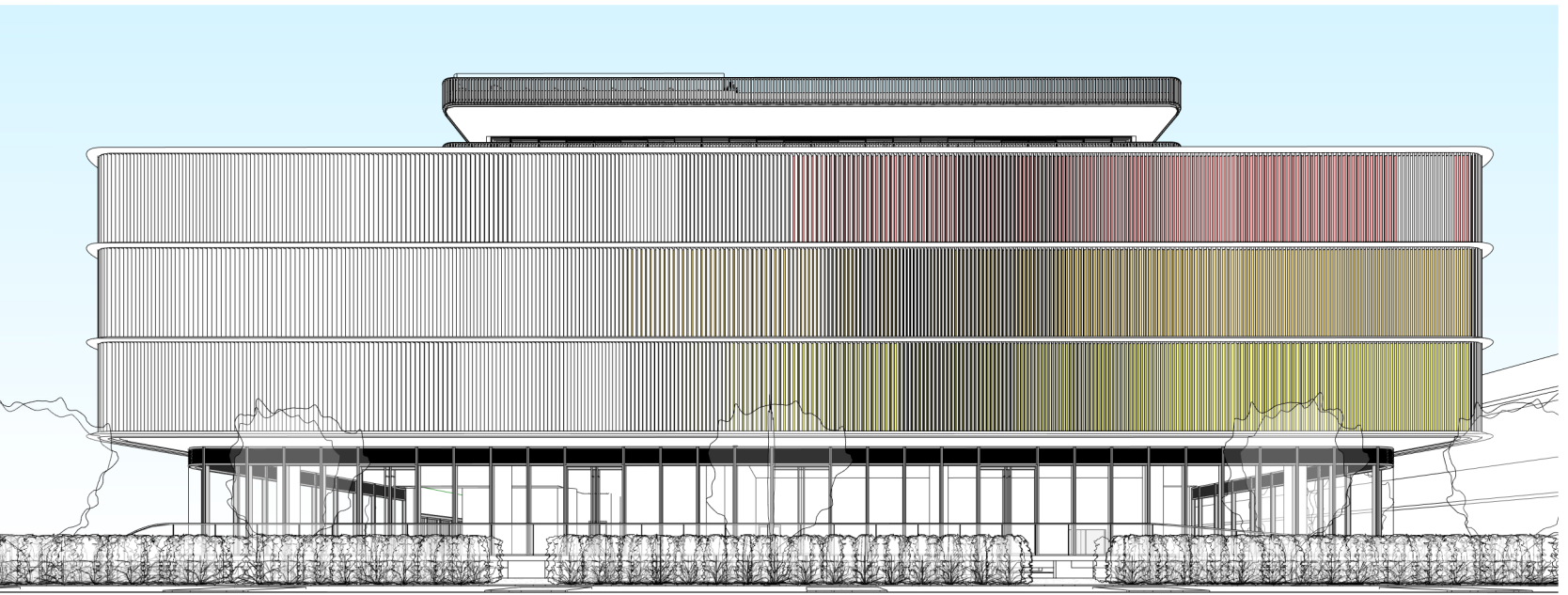
VARIANCE DIAGRAMS

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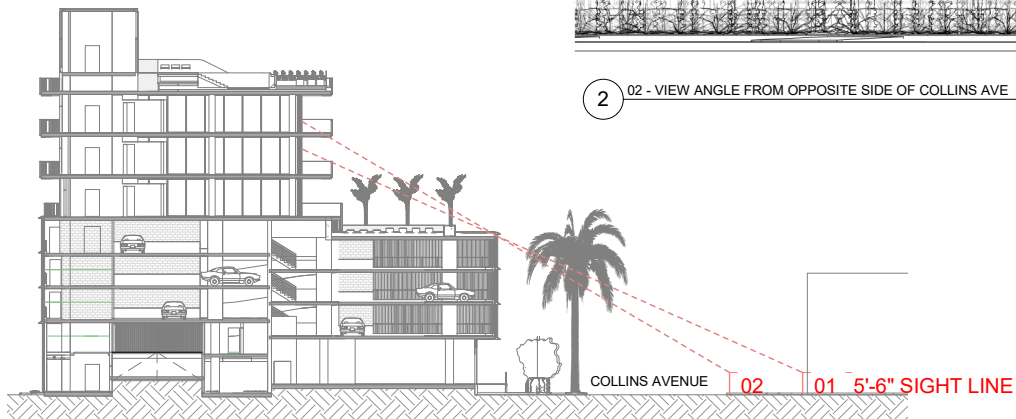
ARCH D 36"x24"



01 - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



02 - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



1 DIAGRAM - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE
3/64" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

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c/o Allied Partners
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3/64" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

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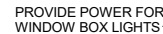


DRAWING TITLE

PB A-403

VIEW ANGLE FROM OPPOSITE
SIDE OF COLLINS AVE

NOT FOR CONSTRUCTION

[illegible]

GENERAL NOTES:

NOT FOR CONSTRUCTION

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[illegible]

04/08/19	-
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$$1/8'' = 1'-0''$$

1507 TORINO GARAGE

PLANNING BOARD FINAL SUBMITTAL

DP // / / / / / / / / / /



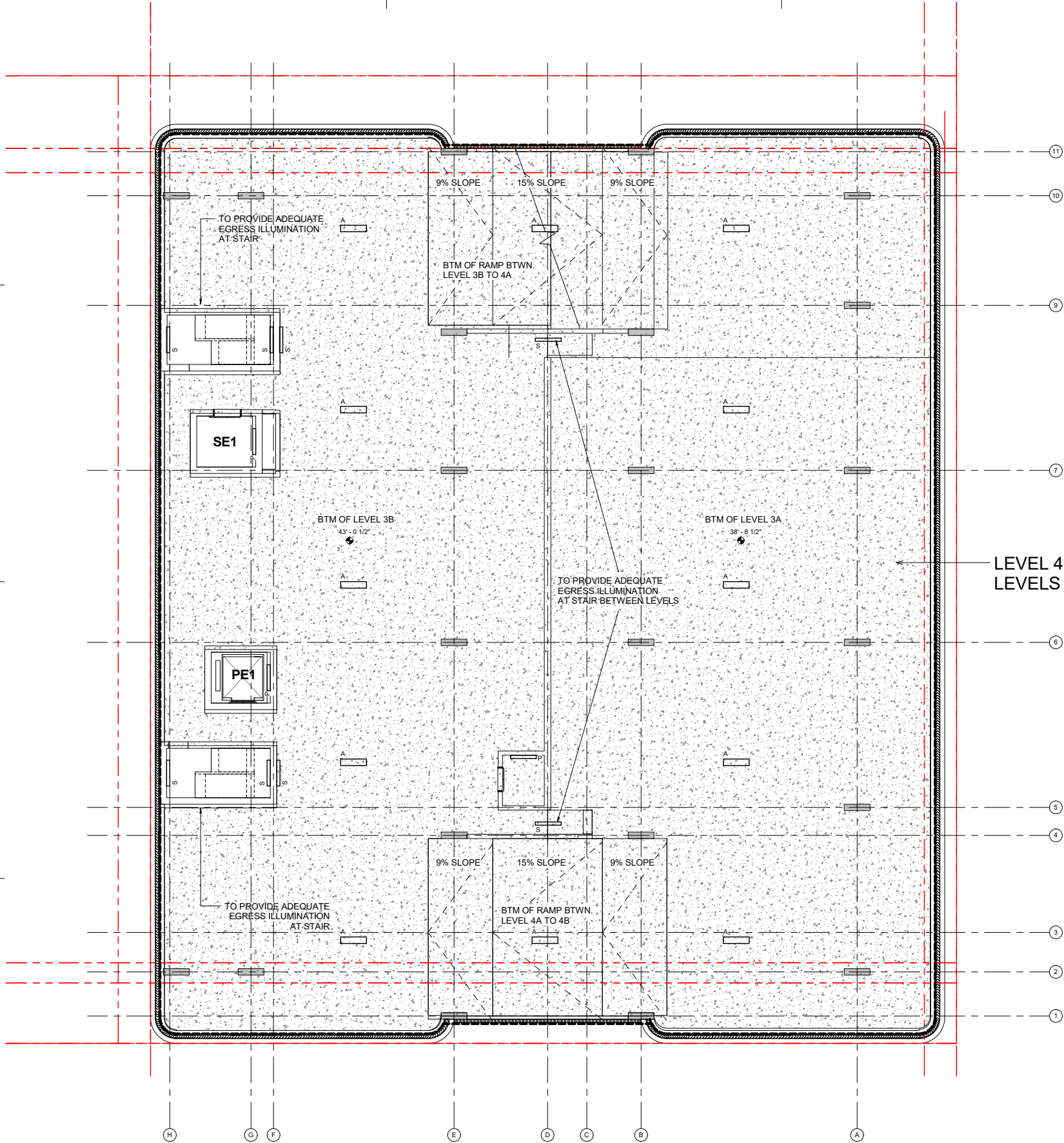
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PB A-501
GROUND LVL INTERIOR LIGHTING
PLAN

ARCH D 36"x24"



LEVEL 4 SHOWN
LEVELS 3 AND 5 ARE SIMILAR

LIGHTING LEGEND		
Symbol	Fixture Type	Fixture Description
A 	Typ. Parking Illumination	1'x4' T-8 Surface Strip Fixture (2 Lamp), Fluorescent
S 	Egress Illumination	6"x4' T-12 Surface Strip Fixture (2 Lamp), Fluorescent
P 	Service / Elev. Shaft Illumination	1'x6" T-8 Surface Strip Fixture (2 Lamp), Fluorescent
F 	Facade Illumination	Continuous Strip L.E.D Facade Uplighting with Radial Corners

GENERAL NOTES:
THE LIGHTING DESIGN INDICATED IS FOR CONCEPT / DESIGN INTENT PURPOSES ONLY. LOCATIONS OF FIXTURES AND FIXTURE TYPES ARE SHOWN DIAGRAMMATICALLY TO PROVIDE MINIMUM ILLUMINATION TO THE COMMERCIAL CAR PARK ACCORDING TO INDUSTRY STANDARDS. FACADE ILLUMINATION IS INTENDED TO BE SUBTLE AND APPROPRIATE TO THE RESIDENTIAL CONTEXT. PRIOR TO PERMITTING, THE ARCHIECT WILL COLLABORATE WITH A QUALIFIED ELECTRICAL ENGINEER / LIGHTING CONSULTANT, WHO WILL PROVIDE PHOTOMETRIC ANALYSIS, FIXTURE SPECIFICATIONS AND CODE COMPLIANCE.

PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
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375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
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800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

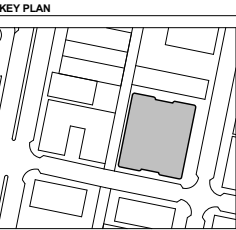
Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
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Landscape Architect:
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Coral Gables, FL 33143
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Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	PLANNING BOARD FIRST SUBMITTAL	April 8, 2019
2	PLANNING BOARD FINAL SUBMITTAL	April 26, 2019

DATE OF ISSUE	DRAWN BY
04/08/19	-
SCALE	CHECKED BY
1/8" = 1'-0"	-
PROJECT NO. & TITLE	
1507 TORINO GARAGE	
PROJECT STATUS	
PLANNING BOARD FINAL SUBMITTAL	



SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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DRAWING TITLE

PB A-502
TYP. PARKING LVL INTERIOR
LIGHTING PLAN

NOT FOR CONSTRUCTION