



**8204 HARDING AVE., Miami Beach, FL**

PROPOSED NEW 3 & 4 STORIES TOWNHOUSE PROJECT WITH 7 UNITS  
FINAL SUBMITTAL | HISTORIC PRESERVATION BOARD | FILE NUMBER (HPB - 19 - 0297)  
04.08.19

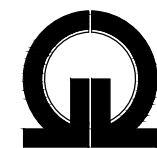
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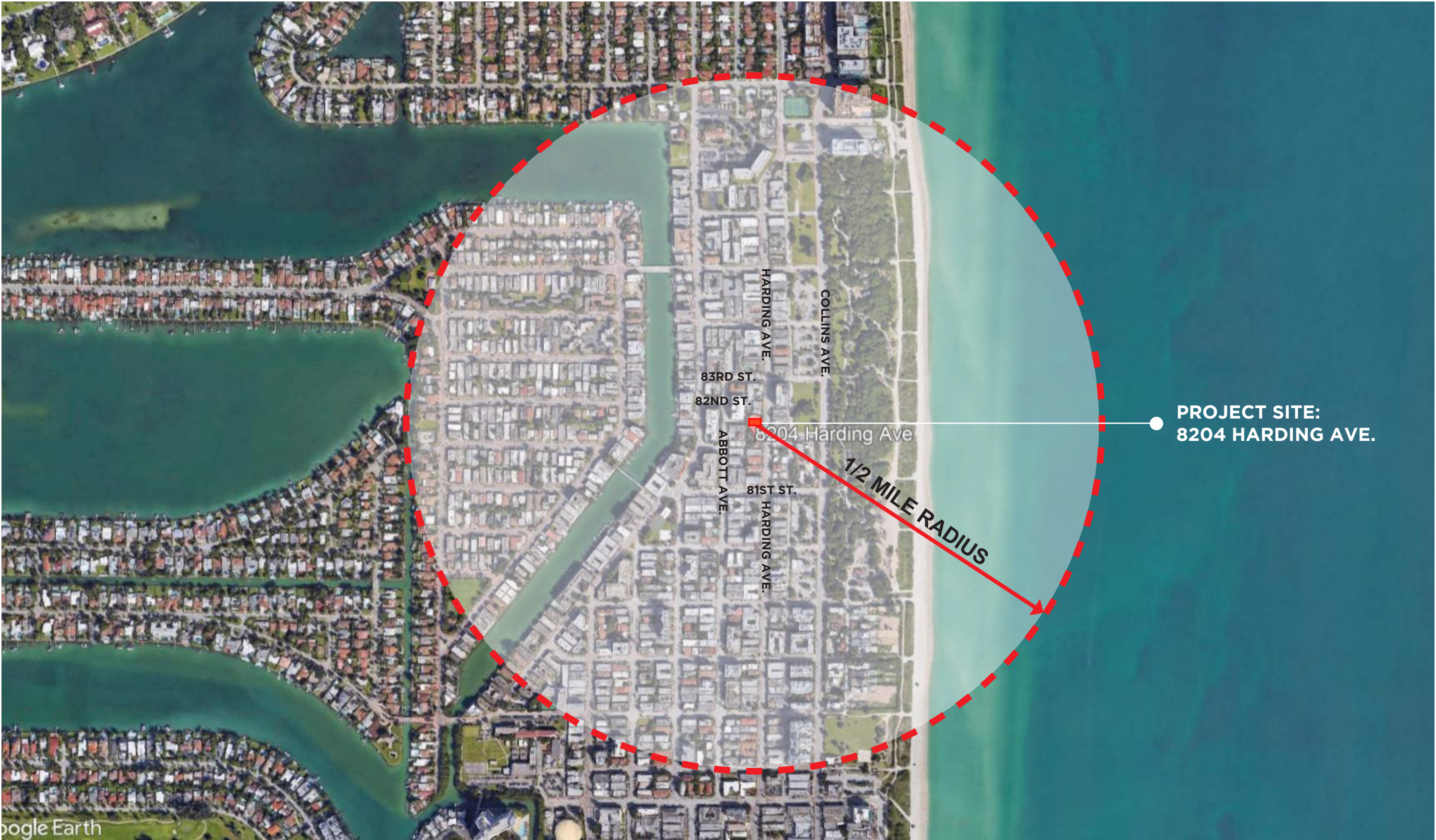


























**LEGEND**

	1 Story		± 5' Rear Setback
	2 Story		± 10' Plus Front Setback
	3 Story		± 10' or Less Front Setback
	4 Story		± 7'5' Front Setback
	5 Story		
	7 Story		





**EMPTY LOT WITH ADJACENT PROPERTIES**



**FRONT APPROACH (EAST SIDE)**



**SIDE APPROACH CLOSE-UP (EAST OF LOT)**

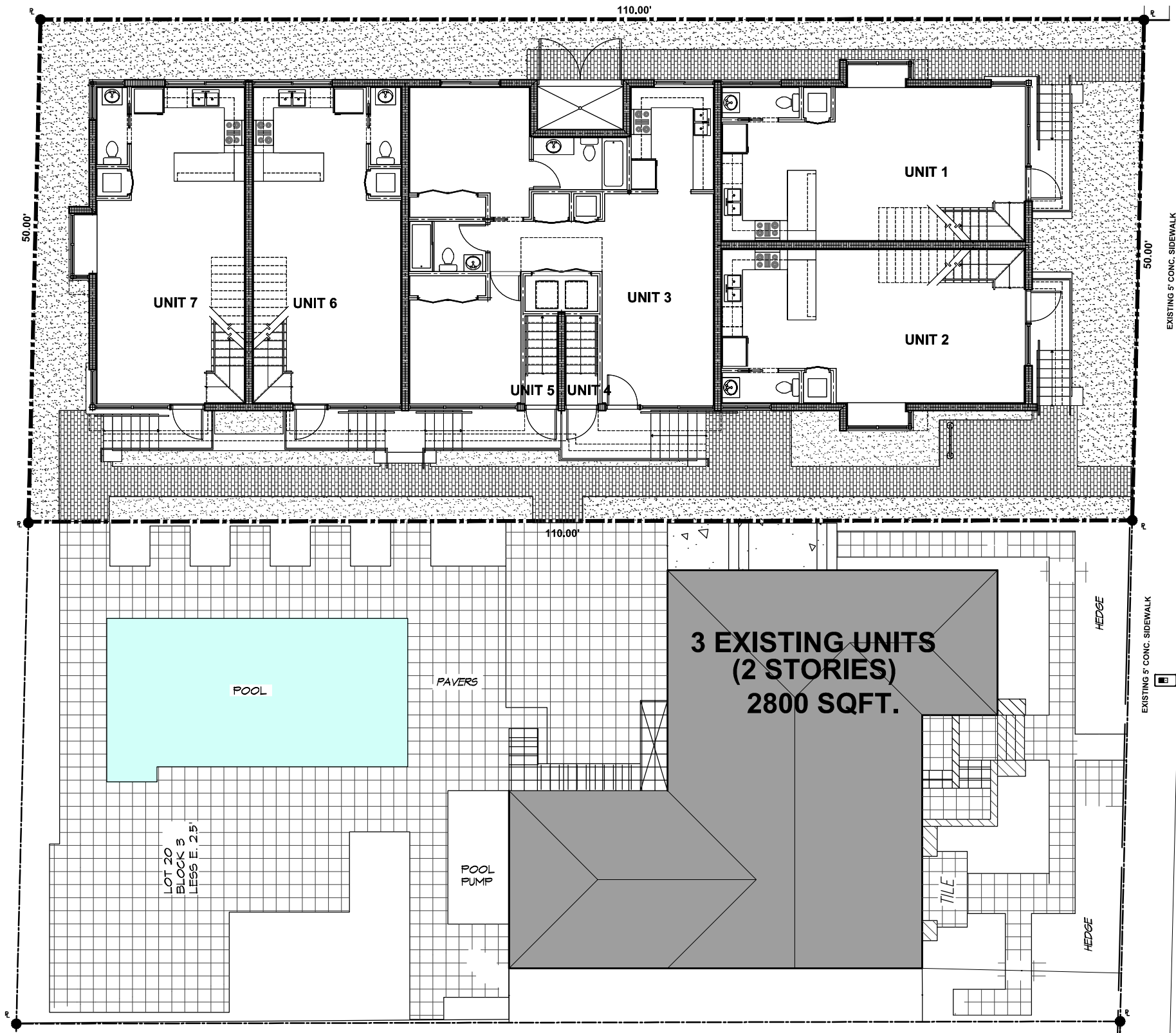


**EXISTING PROPERTY (SOUTH OF LOT)**



**EXISTING PROPERTY (NORTH OF LOT)**





HARDING AVENUE

ABBOT AVE.

HARDING AVE.

83rd ST.

82nd ST.

81st ST.



**LOCATION MAP**

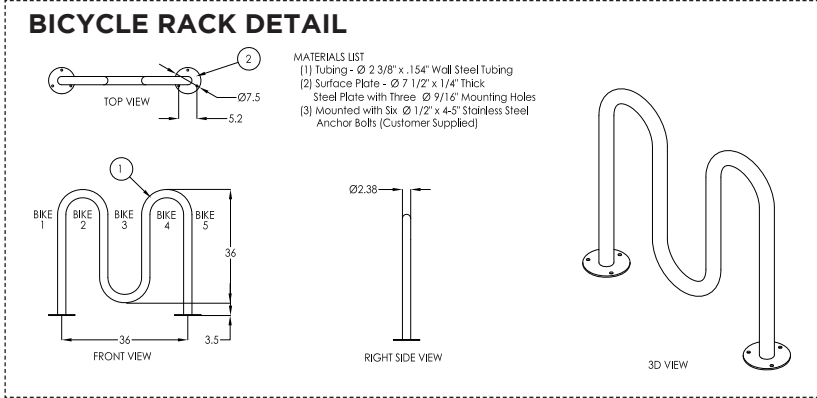
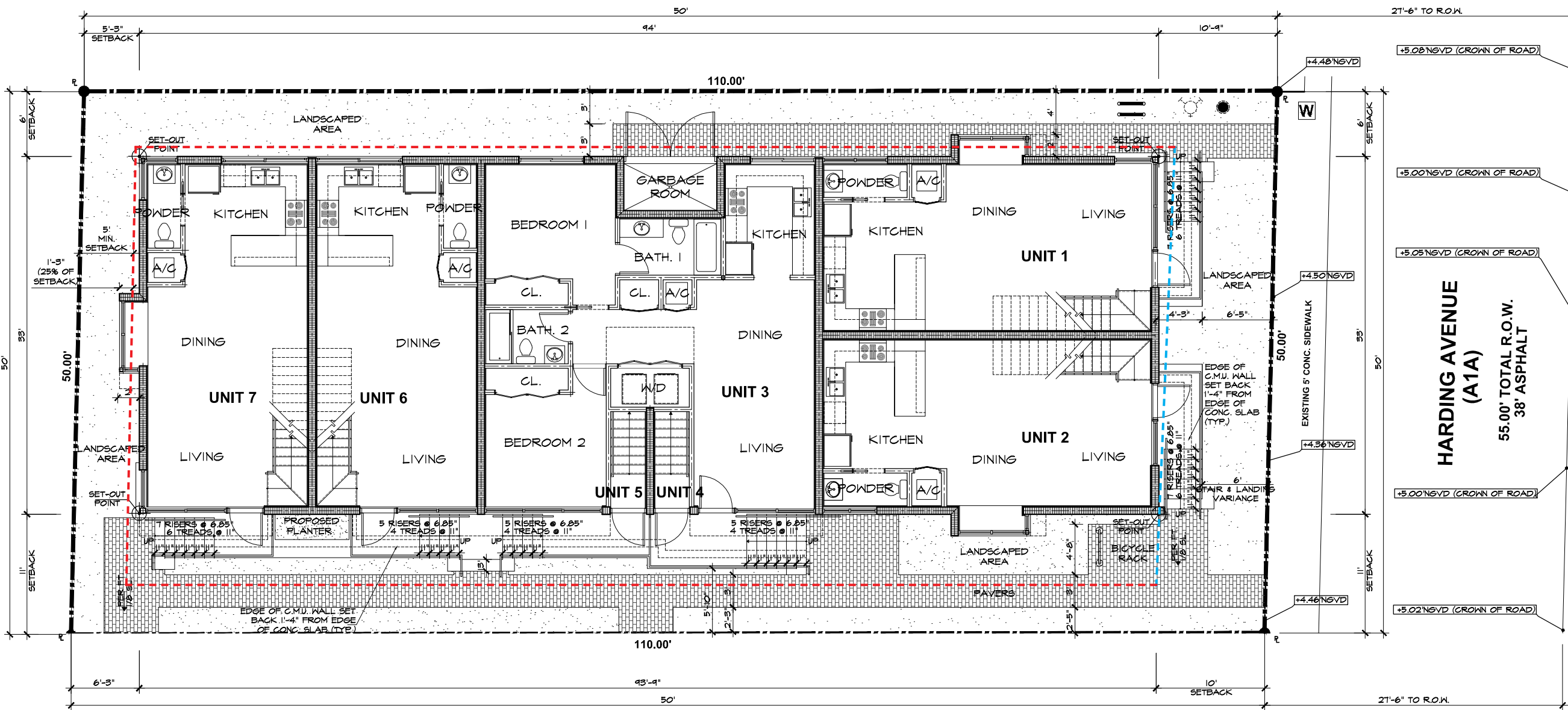
FINAL SUBMITTAL / 04.08.19 N.T.S.



**CONTEXT PLAN**

N.T.S.





## SITE PLAN

SCALE  $\frac{3}{32}" = 1'-0"$   
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### REQUIRED SETBACK

----- 10' MIN.  
----- 5' MIN.

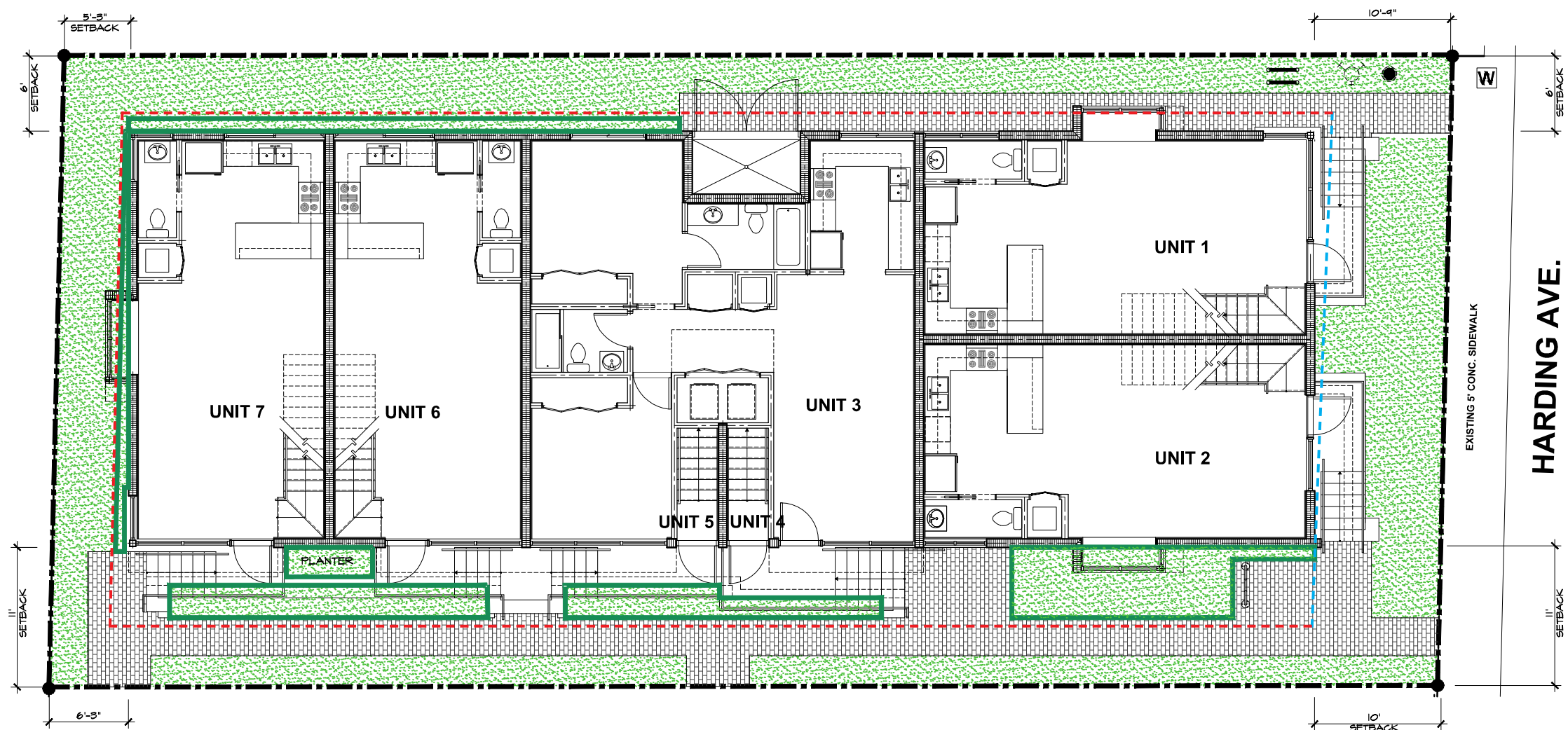
LEGAL DESCRIPTION		
LOT 19, LESS E2.5FT BLOCK 3, HAYNSWORTH BEACH SUB PB 41-2 OR 18675-1409 05 1999 1		
ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	7	
LOT AREA	5,500 SQFT.	
F.A.R.	1.25	
TOTAL ALLOWABLE AREA	ALLOWED	PROVIDED
	6,875 SQFT. MAX.	6,854 SQFT. (TOTAL BUILDING AREA)
No. OF STORIES	5 STORIES MAX.	4 STORIES
BUILDING HEIGHT	45'-0" MAX.	40'-9½" TOP OF ROOF EDGE TO B.F.E. +1'
SET BACKS		
	REQUIRED	PROVIDED
FRONT	10'-0"	10'-0"
SIDE	5'-0"	6'-0"
SIDE	5'-0"	11'-0"
REAR	5'-0"	5'-3"
PARKING	NONE REQUIRED	














**TOTAL LANDSCAPED AREA: 1,420 SQ.FT.**  
**TOTAL HARDSCAPED AREA: 674 SQ.FT.**

**NATURALLY LANDSCAPED AREAS:**

AS PER SECTION 142-884(d):  
5% MIN. LANDSCAPED AREA REQUIRED WITHIN SETBACK: 275 SQ.FT.  
(TOTAL LOT AREA: 5,500 SQ.FT.)  
- LANDSCAPED AREA PROVIDED WITHIN SETBACK: 300 SQ.FT. (5%)  
- TOTAL LANDSCAPED AREA PROVIDED: 1,420 SQ.FT. (26%)

**HARDSCAPED AREA:**

(TOTAL LOT AREA: 5,500 SQ.FT.)  
- HARDSCAPED AREA PROVIDED: 674 SQ.FT. (12.25%)

-  ALL NATURALLY LANDSCAPED AREAS
-  NATURALLY LANDSCAPED AREAS IN ADDITION TO REQUIRED SETBACK
-  HARDSCAPED AREAS

**REQUIRED SETBACK**

-  10' MIN.
-  5' MIN.

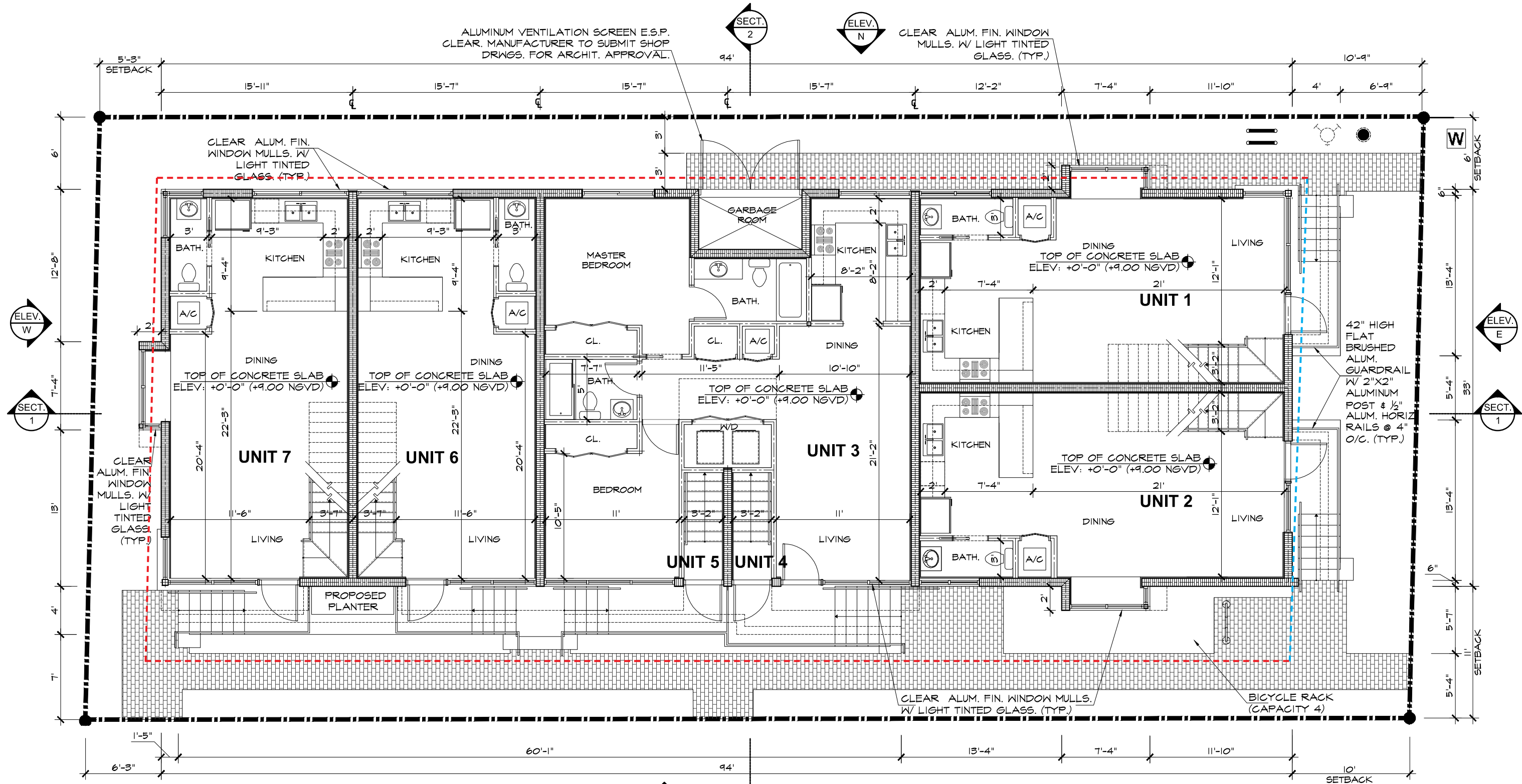
**LANDSCAPED AND  
HARDSCAPED  
AREAS DIAGRAM**



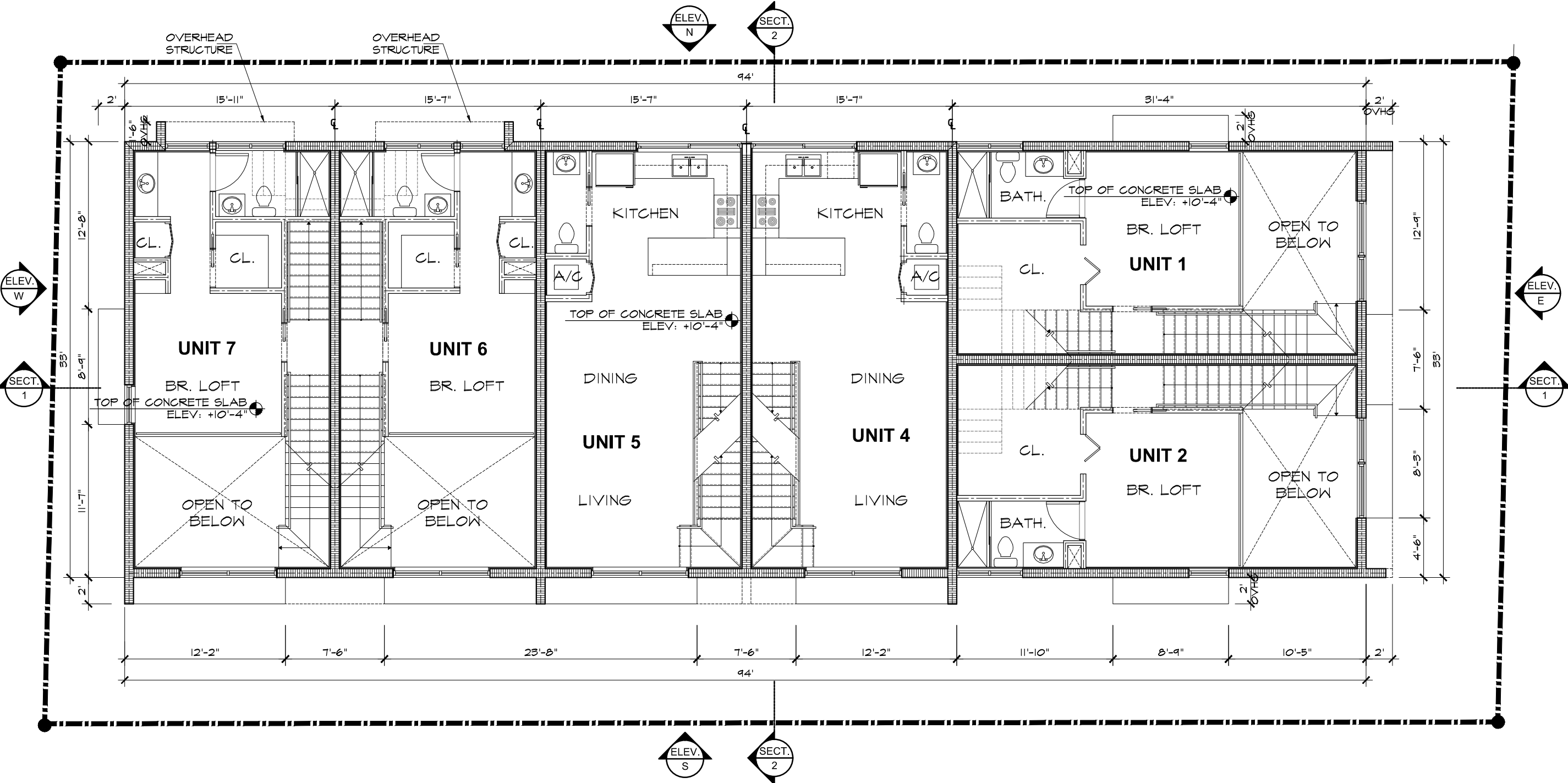
N. SCALE  $\frac{3}{32}$ " = 1'-0"



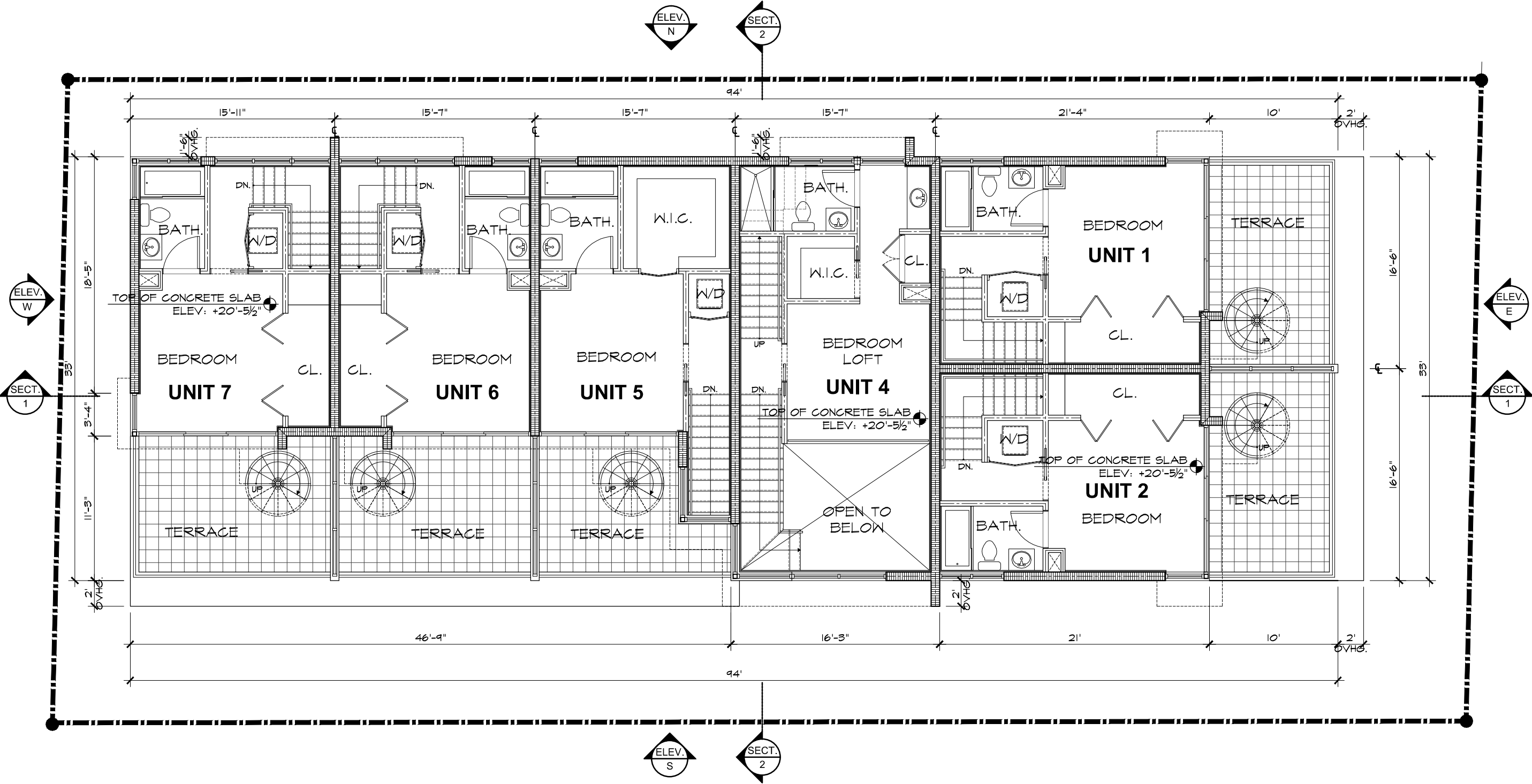




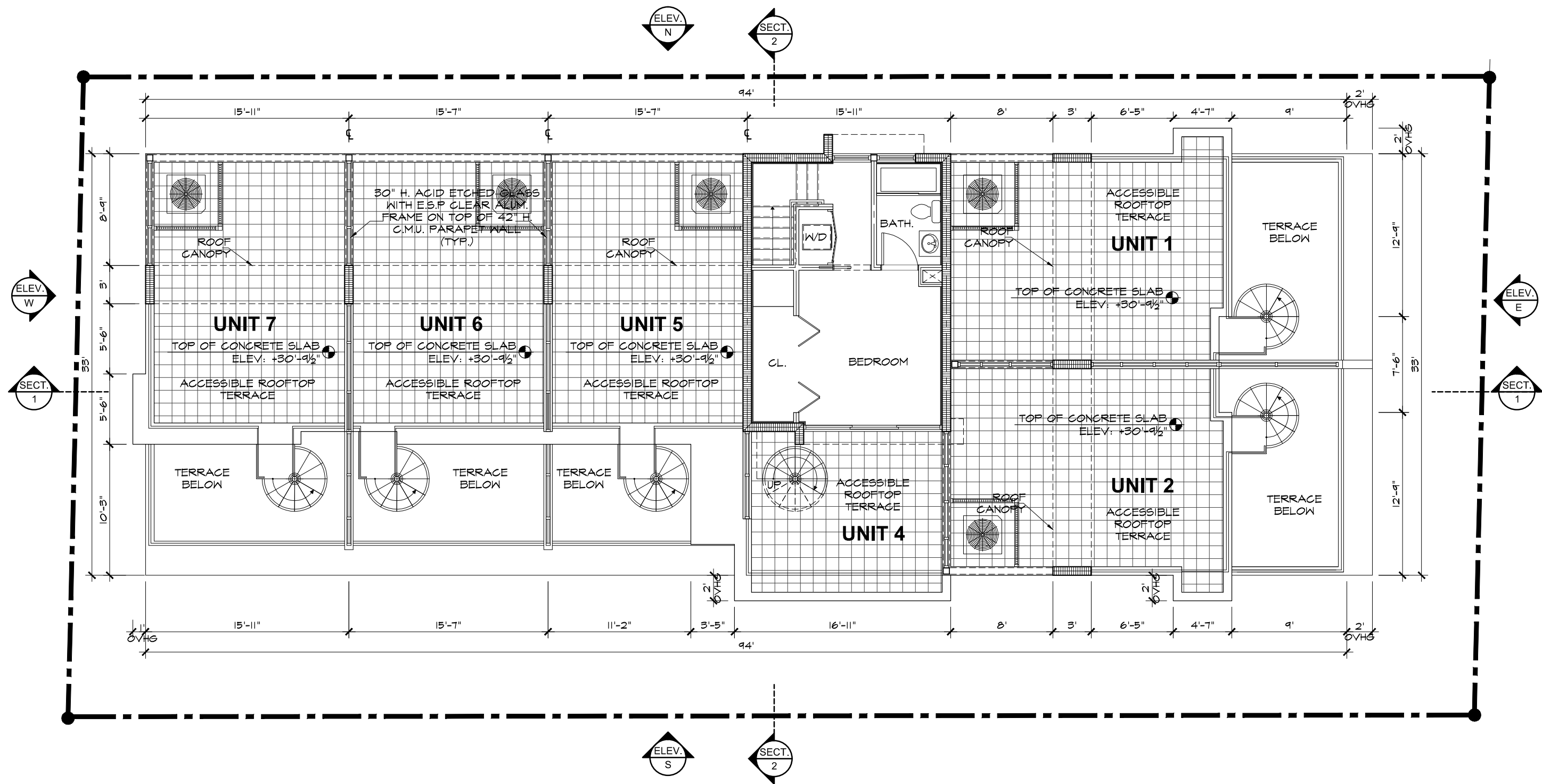




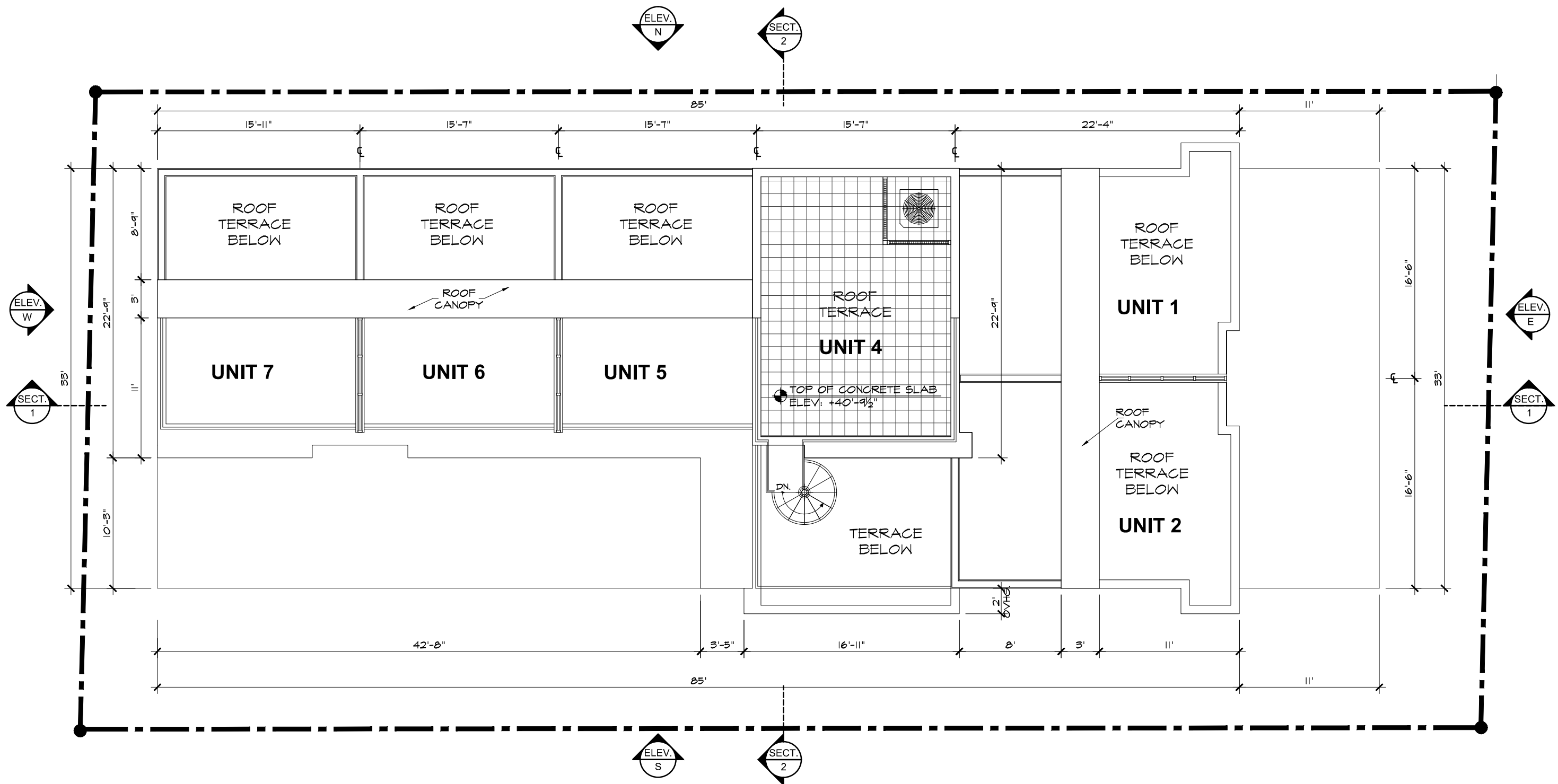




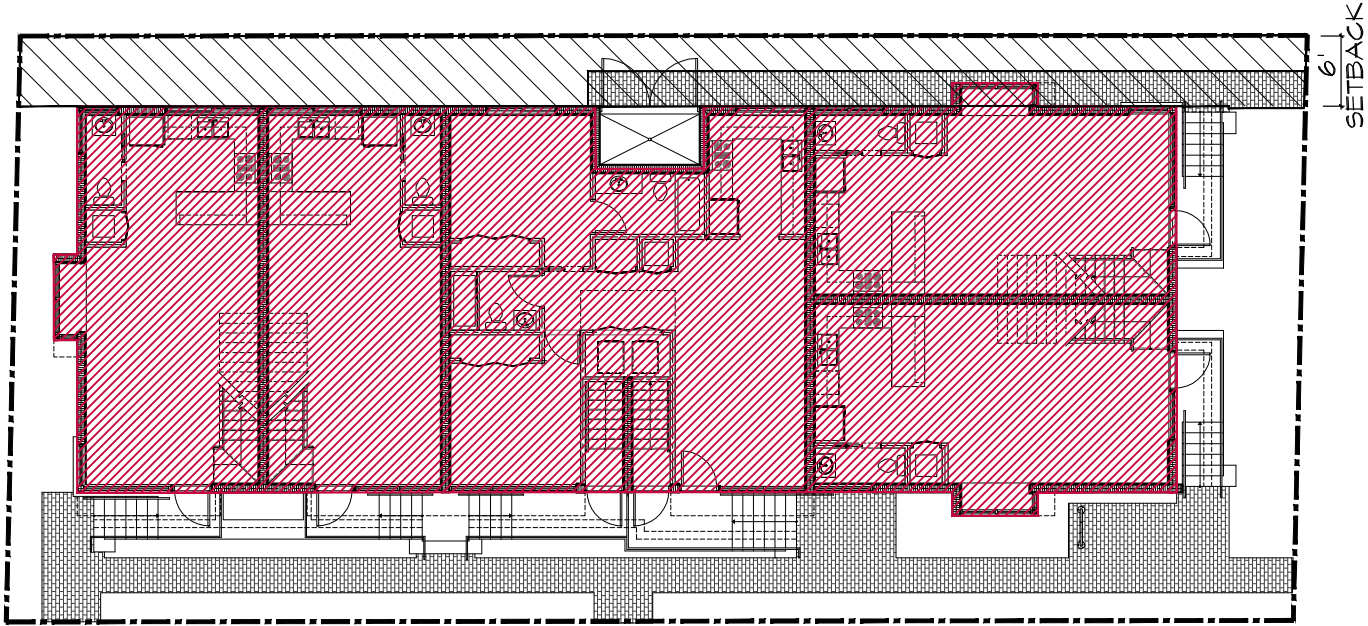












GROUND FLOOR AREA: 3,052 SQFT.

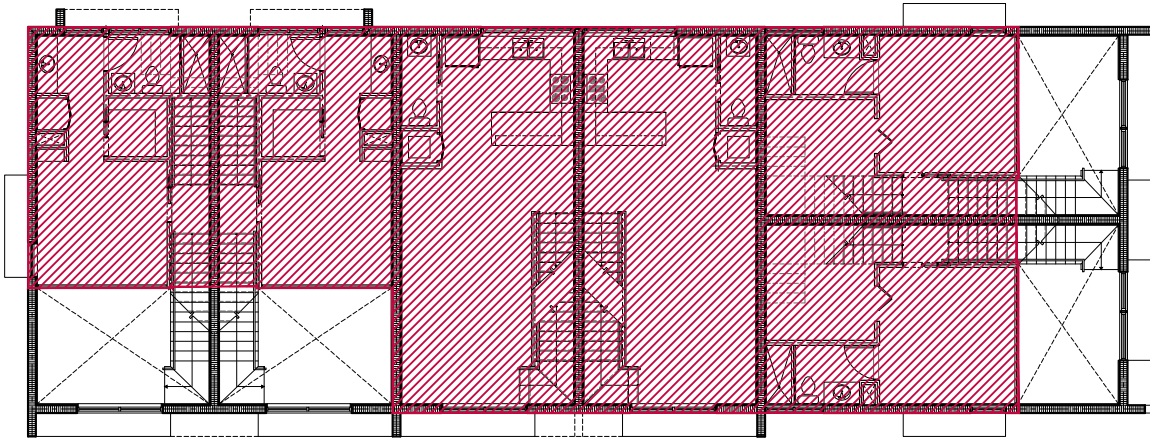
- SIDE YARD AREA: 686 SQFT.  
- 5' SETBACK (REQUIRED)  
- 6' SETBACK (PROVIDED)
- TOTAL CONCRETE DECK : 172 SQFT.  
(25%)

ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	7	
LOT AREA	5,500 SQFT.	
F.A.R.	1.25	
	REQUIRED	PROVIDED
TOTAL AREA	6,875 SQFT. MAX. ALLOWED	6,854 SQFT. (TOTAL AREA OF BUILDING)
No. OF STORIES	5 STORIES MAX.	3 & 4 STORIES
BUILDING HEIGHT	45'-0" MAX.	40'-9½" TOP OF ROOF SLAB TO B.F.E. +1'

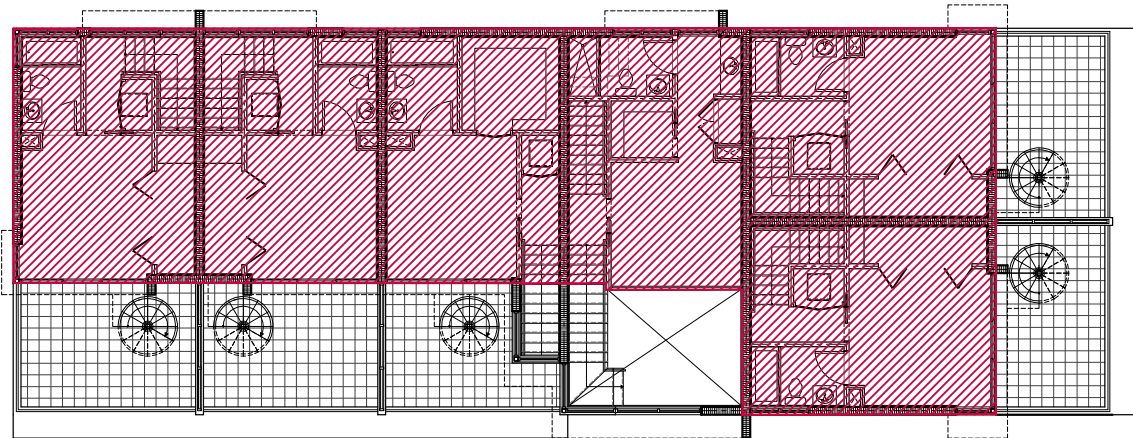
BUILDING AREA   PER FLOOR	
FLOOR	SURFACE (SQ. FT.)
GROUND	3,052
SECOND	2,041
THIRD	1,414
FOURTH	348
TOTAL BUILDING AREA	6,854
TOTAL GROSS AREA	6,935
F.A.R.	1.25
TOTAL ALLOWABLE AREA (S.F.)	6,875

\*GROSS AREA calculation definition as per FBC-B 2017, Chapter 2.

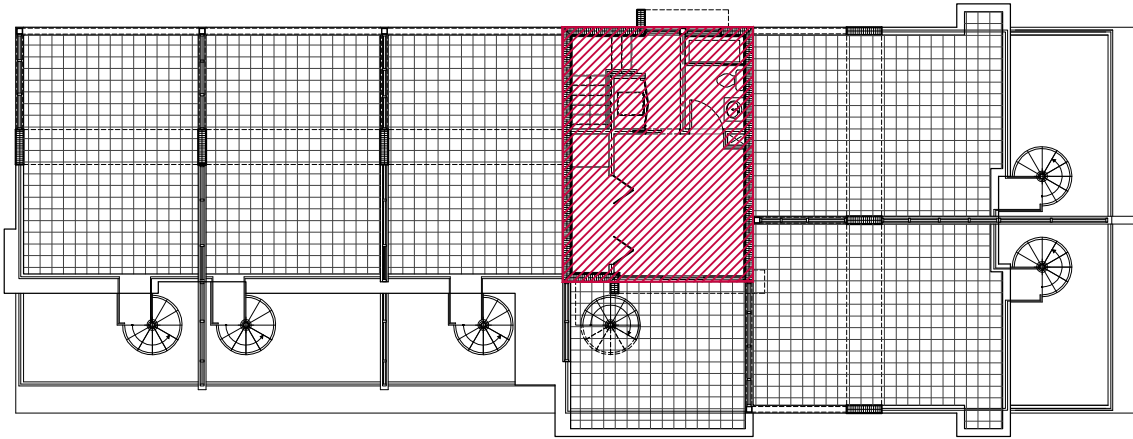
UNITS AREA AVERAGE	
UNIT	SURFACE (SQ. FT.)
1	1,030
2	1,030
3	1,005
4	1,000
5	780
6	1,080
7	923
UNITS AVERAGE	979



SECOND FLOOR AREA: 2,041 SQFT.



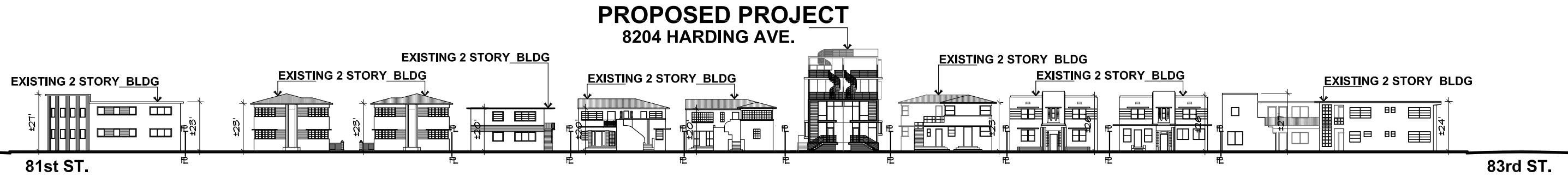
THIRD FLOOR AREA: 1,414 SQFT.



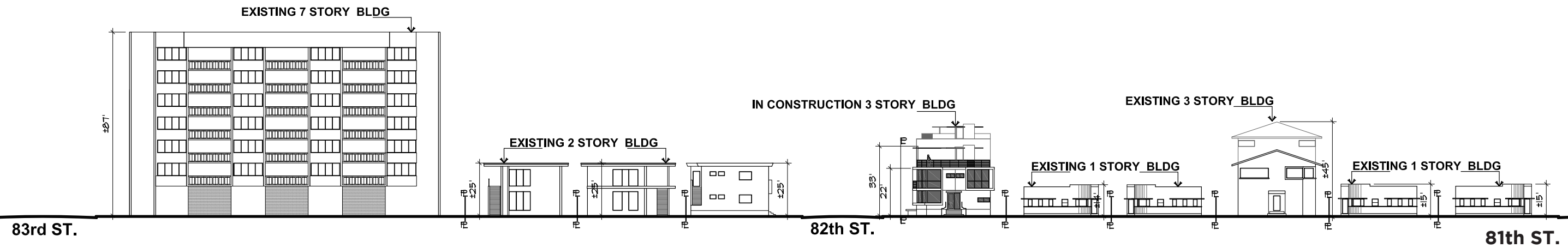
FOURTH FLOOR AREA: 348 SQFT.



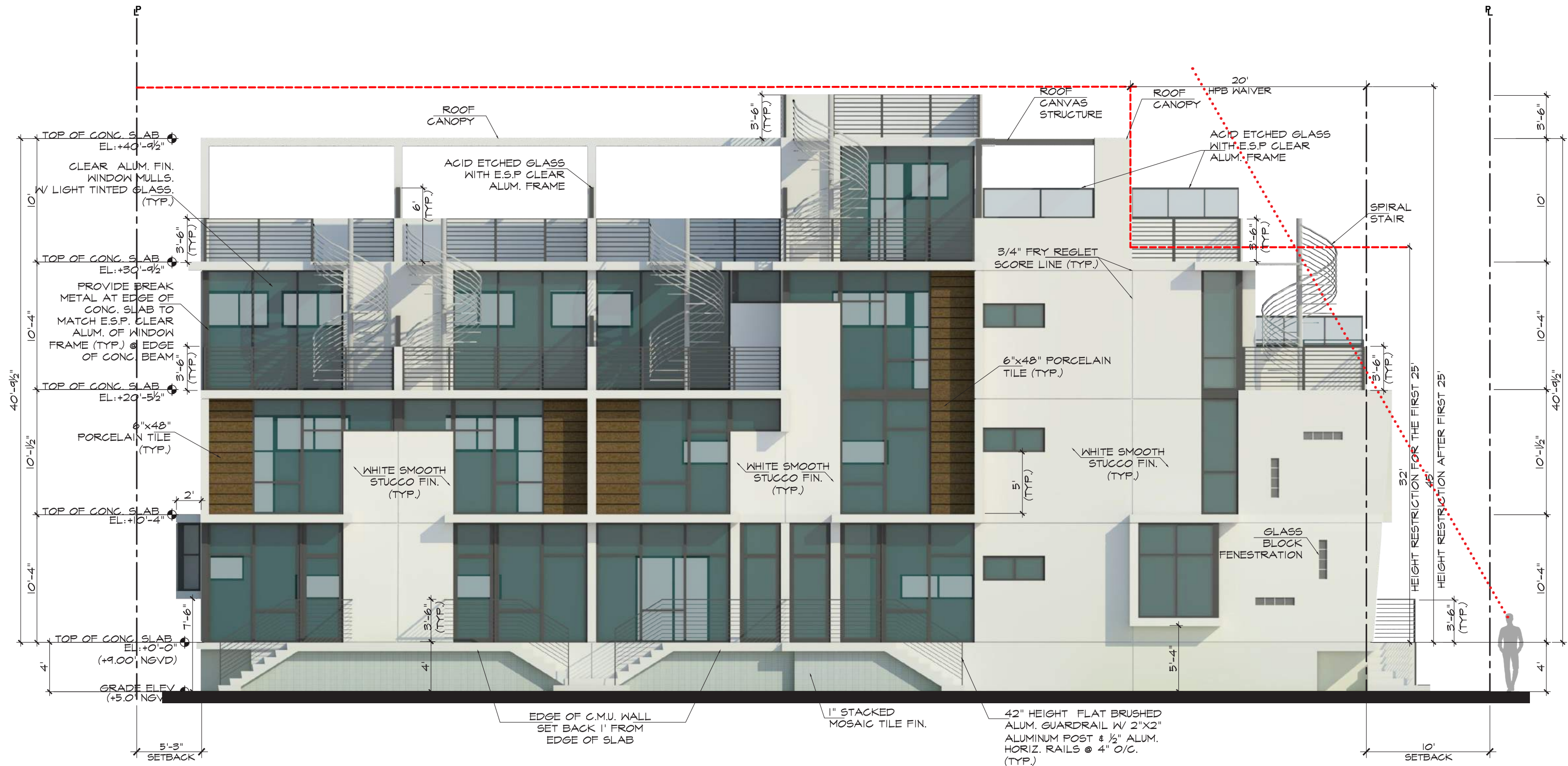
**HARDING AVE. WEST ELEVATION**



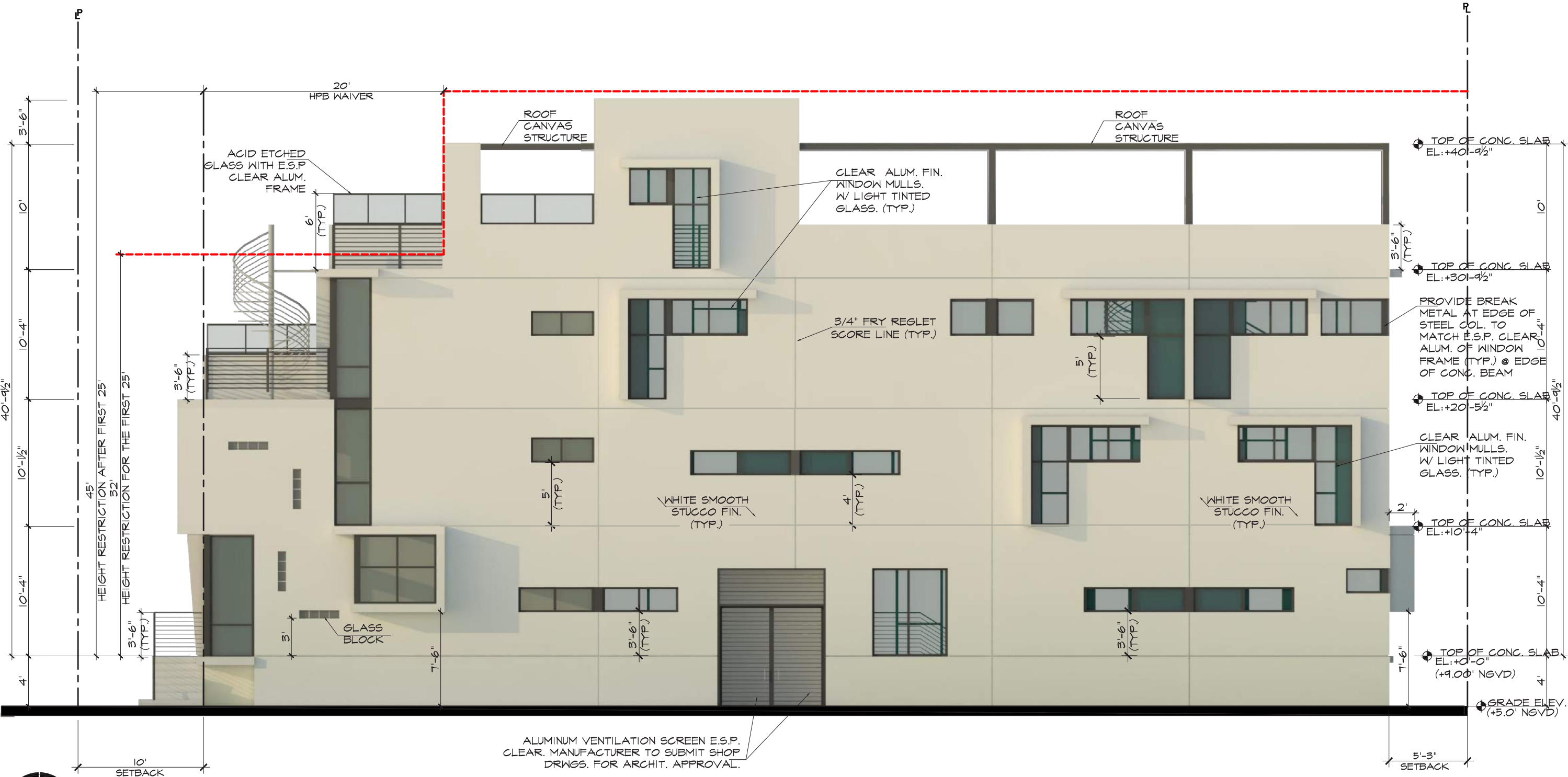
**HARDING AVE. EAST ELEVATION**



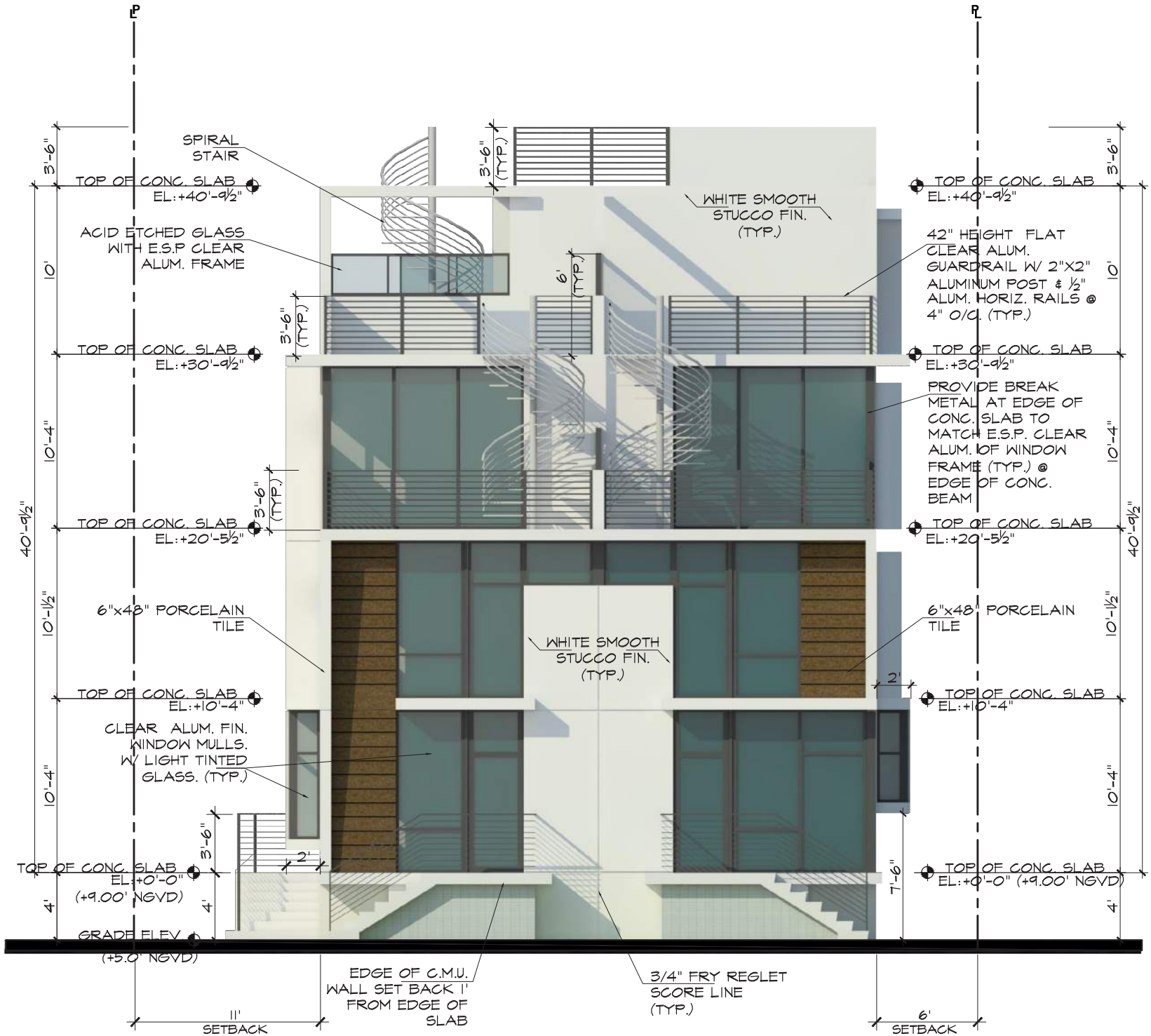












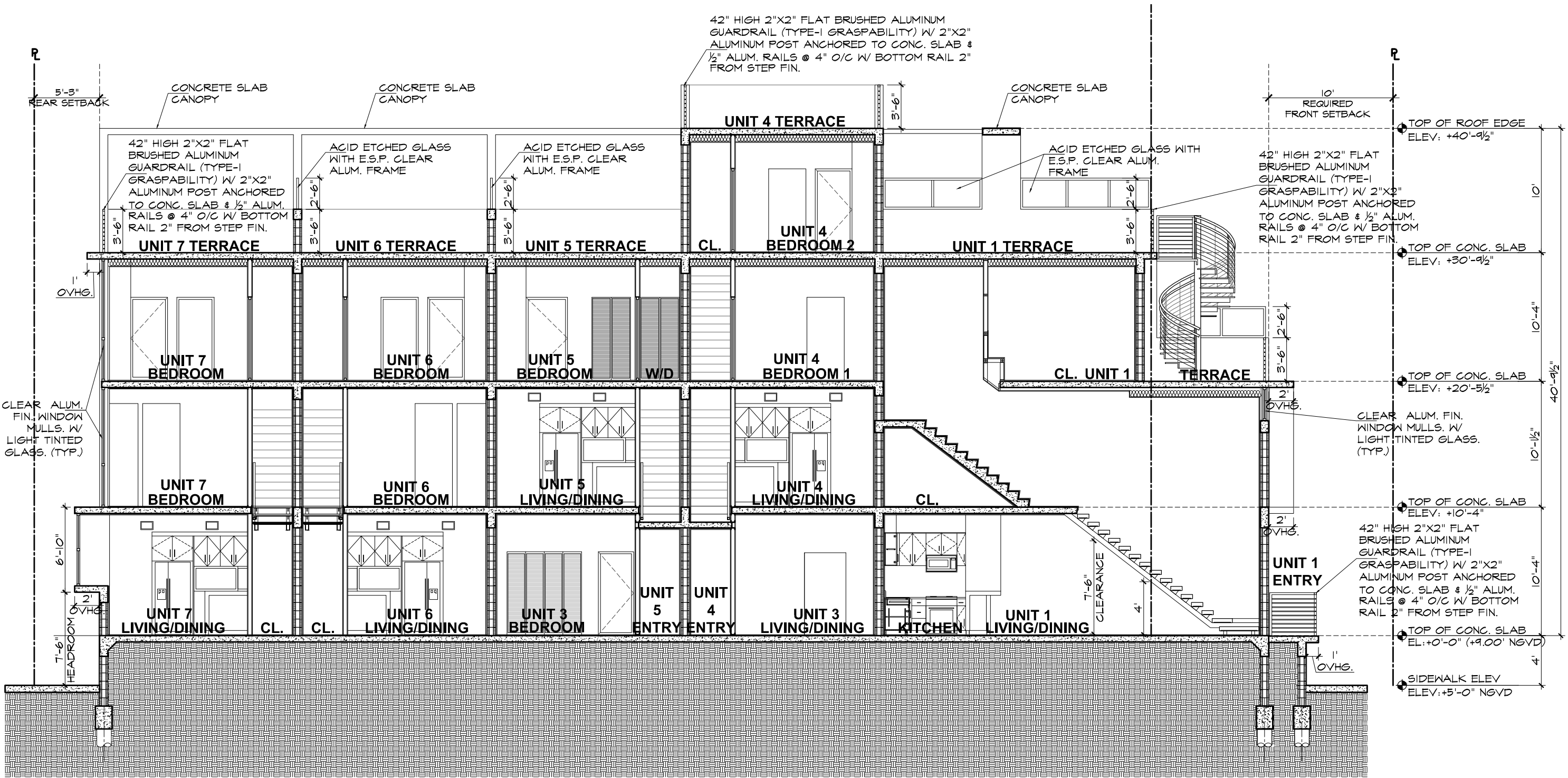




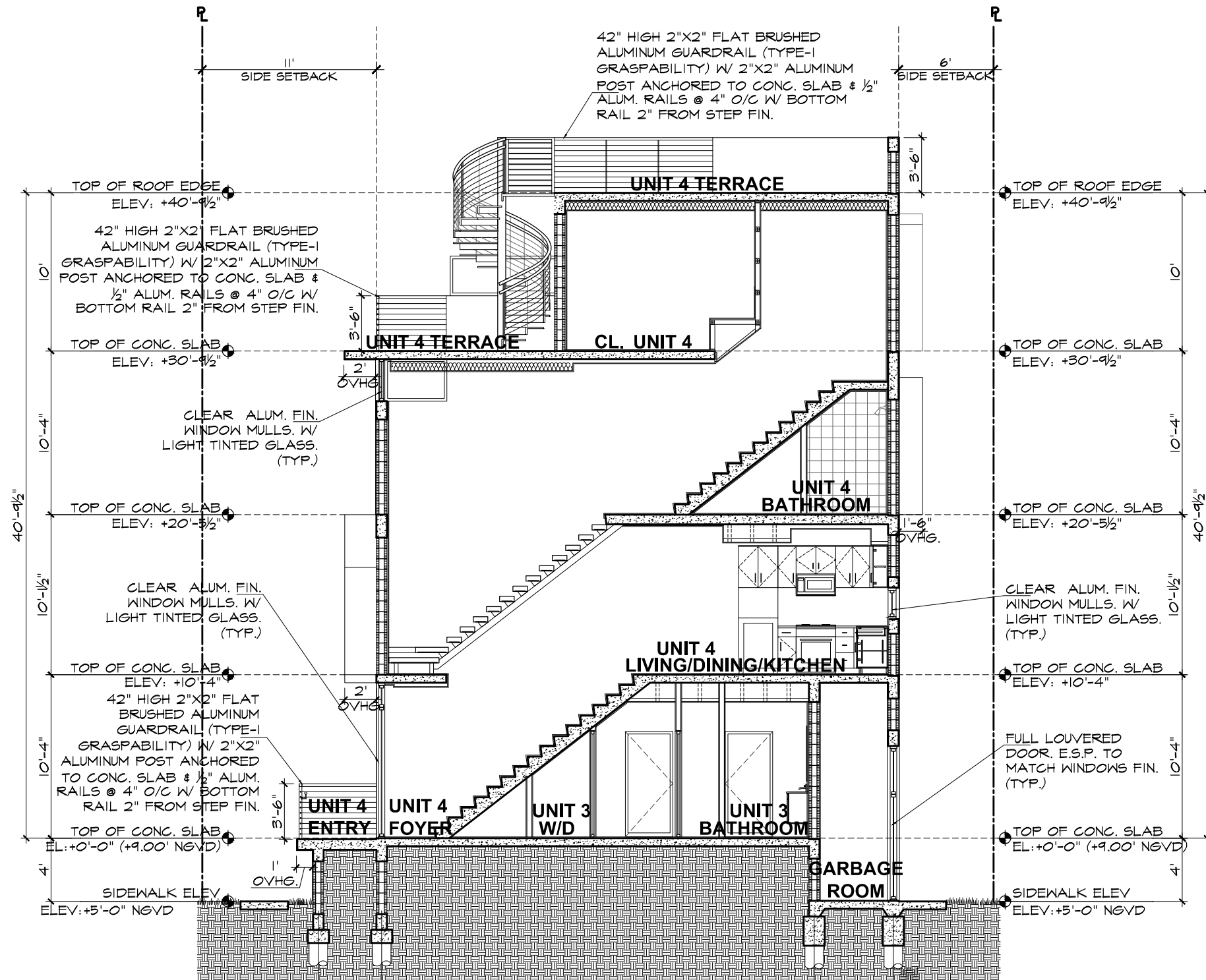
WEST ELEVATION

SCALE 1/8" = 1'-0"  
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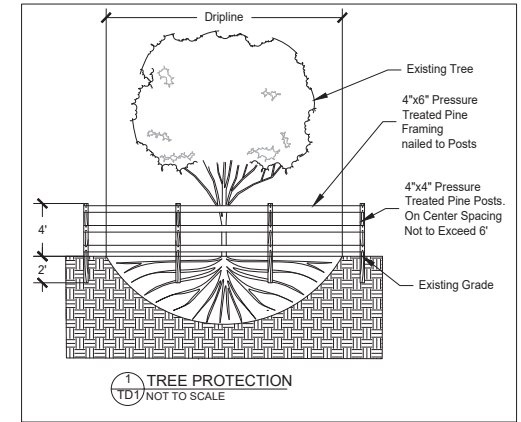
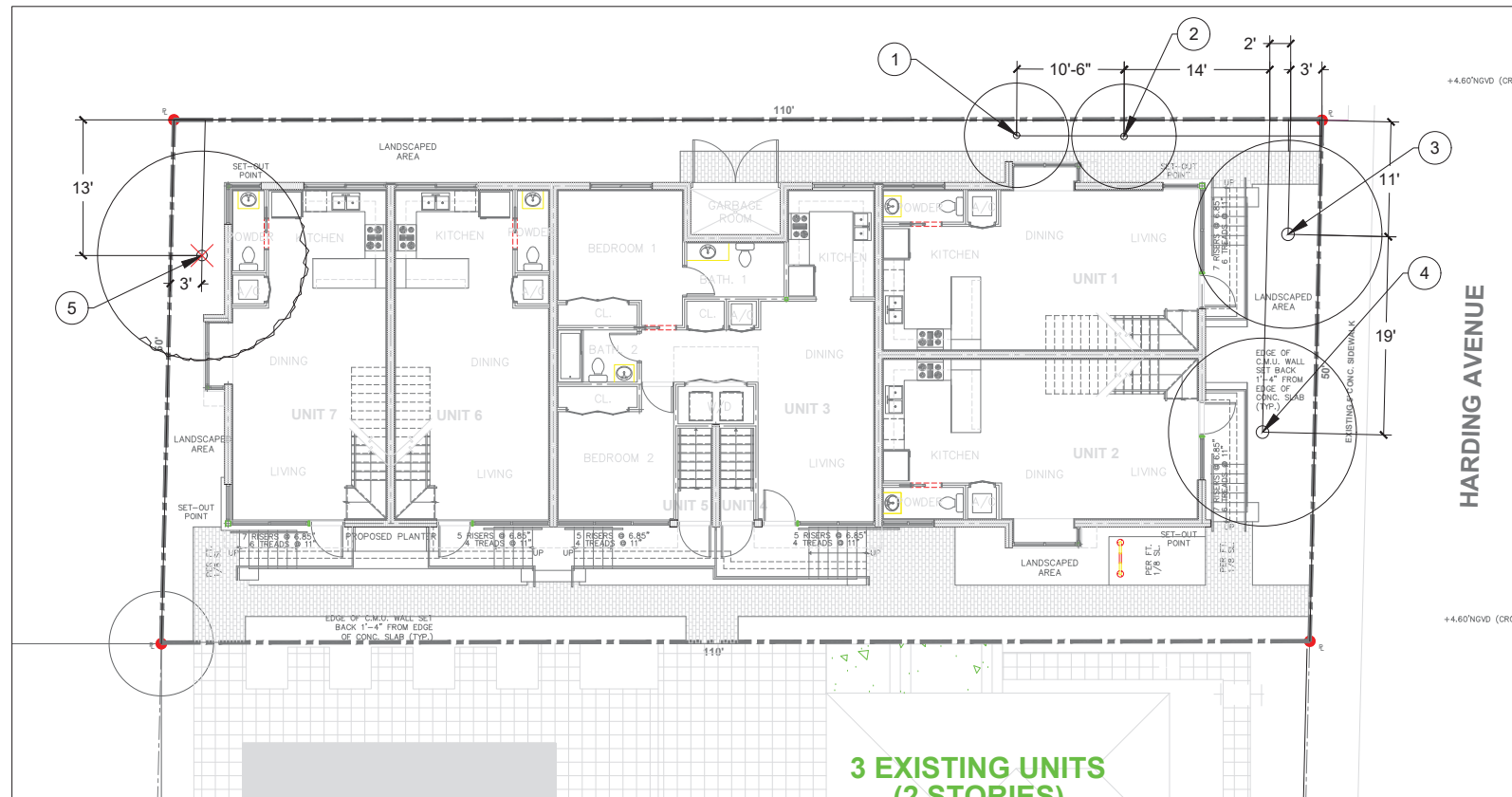
## SECTION 2

SCALE  $\frac{1}{8}" = 1'-0"$

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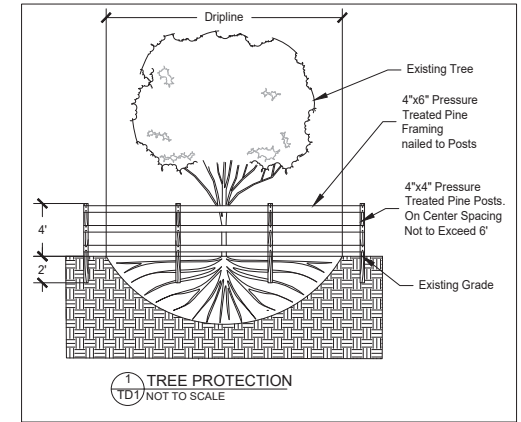






TREE DISPOSITION SCHEDULE										
EKEY	BOTANICAL	COMMON	HEIGHTINFEET	CANOPYINFEET	DBHININ	CONDITION	FORM	NATIVE/EXOTIC/INVASIVE	REMOVE/RELOCATE/PROTECT	REASONFORREMOVAL
1	Veitchia merrillii	Christmas Palm	24	12	5	Good	Good	Exotic	Protect	N/A
2	Veitchia merrillii	Christmas Palm	24	12	5	Good	Good	Exotic	Protect	N/A
3	Cocos nucifera	Coconut Palm	38	18	12	Good	Good	Exotic	Protect	N/A
4	Cocos nucifera	Coconut Palm	42	18	12	Good	Good	Exotic	Protect	N/A
5	Ficus benjamina	Weeping Fig	24	24	12	Fair	Fair	Invasive	Remove	Invasive

TREE DISPOSITION PLAN  
SCALE: 1" = 8'

[illegible]





















