

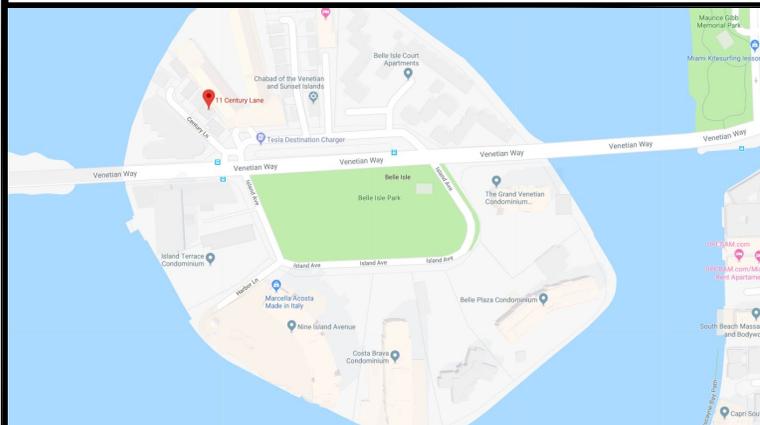
JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

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LOCATION SKETCH

SCALE = N.T.S.

VIEW OF SUBJECT PROPERTY

11 CENTURY LANE, MIAMI BEACH, FLORIDA 33139

ABBREVIATIONS

<p>A = ARC A/C = AIR CONDITIONER PAD A.E. = ANCHOR EASEMENT A.R. = ALUMINUM ROOF A.S. = ALUMINUM SHED ASPH. = ASPHALT B.C. = BLOCK CORNER BLDG. = BUILDING B.M. = BENCH MARK B.C.R. = BROWARD COUNTY RECORDS B.O.B. = BASIS OF BEARING B.S.L. = BUILDING SETBACK LINE (C) = CALCULATED C.B. = CATCH BASIN C.B.S. = CONCRETE BLOCK STRUCTURE C.B.W. = CONCRETE BLOCK WALL CH. = CHORD CH.B. = CHORD BEARING CH.L. = CHORD LENGTH CL. = CLEAR C.O. = CLEAN OUT C.L.F. = CHAIN LINK FENCE C.M.E. = CANAL MAINTENANCE EASEMENT CONC. = CONCRETE C.U.P. = CONCRETE UTILITY POLE C.P. = CONCRETE PORCH C.S. = CONCRETE SLAB C.W. = CONCRETE WALK D.E. = DRAINAGE EASEMENT D.M.E. = DRAINAGE MAINTENANCE EASEMENT DRIVE = DRIVEWAY ° = DEGREES EB = ELECTRIC BOX</p>	<p>E.T.P. = ELECTRIC TRANSFORMER PAD ELEV. = ELEVATION ENCR. = ENCROACHMENT F.H. = FIRE HYDRANT F.I.P. = FOUND IRON PIPE F.I.R. = FOUND IRON ROD F.F.E. = FINISHED FLOOR ELEVATION F.N.D. = FOUND NAIL & DISK FT. = FEET FNIP. = FEDERAL NATIONAL INSURANCE PROGRAM F.N. = FOUND NAIL H. = HIGH OR (HEIGHT) IN.&EG. = INGRESS AND EGRESS EASEMENT I.C.V. = IRRIGATION CONTROL VALVE I.F. = IRON FENCE L.B. = LICENSED BUSINESS L.P. = LIGHT POLE L.F.E. = LOWEST FLOOR ELEVATION L.M.E. = LAKE MAINTENANCE EASEMENT ' = MINUTES (M) = MEASURED DISTANCE M.B. = MAIL BOX M.D.C.R. = MIAMI DADE COUNTY RECORDS M.E. = MAINTENANCE EASEMENT M.H. = MANHOLE N.A.P. = NOT A PART OF NGVD = NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE # OR NO. = NUMBER OS = OFFSET O.H. = OVERHEAD O.H.L. = OVERHEAD UTILITY LINES</p>	<p>O.R.B. = OFFICIAL RECORDS BOOK O.V.H. = OVERHANG P.V.M.T. = PAVEMENT PL. = PLANTER P.L. = PROPERTY LINE P.C.C. = POINT OF COMPOUND CURVATURE P.C. = POINT OF CURVATURE P.O.T. = POINT OF TANGENCY P.O.C. = POINT OF COMMENCEMENT P.O.B. = POINT OF BEGINNING P.R.C. = POINT OF REVERSE CURVATURE PWY. = PARKWAY P.R.M. = PERMANENT REFERENCE MONUMENT P.L.S. = PROFESSIONAL LAND SURVEYOR P.P. = POWER POLE P.P.S. = POOL PUMP SLAB P.U.E. = PUBLIC UTILITY EASEMENT (R) = RECORD DISTANCE R.R. = RAIL ROAD RES. = RESIDENCE R/W. = RIGHT-OF-WAY RAD. = RADIUS OR RADIAL RGE. = RANGE R.O.E. = ROOF OVERHANG EASEMENT SEC. = SECTION STY. = STORY SWK. = SIDEWALK S.I.P. = SET IRON PIPE S. = SOUTH S.P. = SCREENED PORCH S.V. = SEWER VALVE " = SECONDS</p>	<p>T = TANGENT TB = TELEPHONE BOOTH T.B.M. = TEMPORARY BENCHMARK T.U.E. = TECHNOLOGY UTILITY EASEMENT TSB = TRAFFIC SIGNAL BOX T.S.P. = TRAFFIC SIGNAL POLE TWP. = TOWNSHIP UTIL. = UTILITY U.E. = UTILITY EASEMENT U.P. = UTILITY POLE W.M. = WATER METER W.F. = WOOD FENCE W.P. = WOOD PORCH W.R. = WOOD ROOF W.V. = WATER VALVE M = MONUMENT LINE C = CENTER LINE Δ = DELTA</p>
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LEGEND

	= OVERHEAD UTILITY LINES
	= CONCRETE BLOCK WALL
	= CHAIN LINK FENCE
	= IRON FENCE
	= WOOD FENCE
	= BUILDING SETBACK LINE
	= UTILITY EASEMENT
	= LIMITED ACCESS R/W
	= NON-VEHICULAR ACCESS R/W
	= EXISTING ELEVATIONS

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSHAC/OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 9FT). THIS PROPERTY WAS FOUND IN CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/09.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:

03/05/19

JOHN IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO. 5204 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____

REVISED ON: _____

DRAWN BY: L.L.

FIELD DATE: 3/5/2019

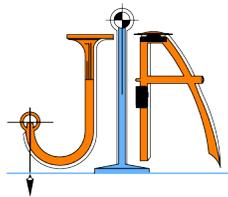
SURVEY NO: 19-000972

SHEET: 1 OF 2

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.





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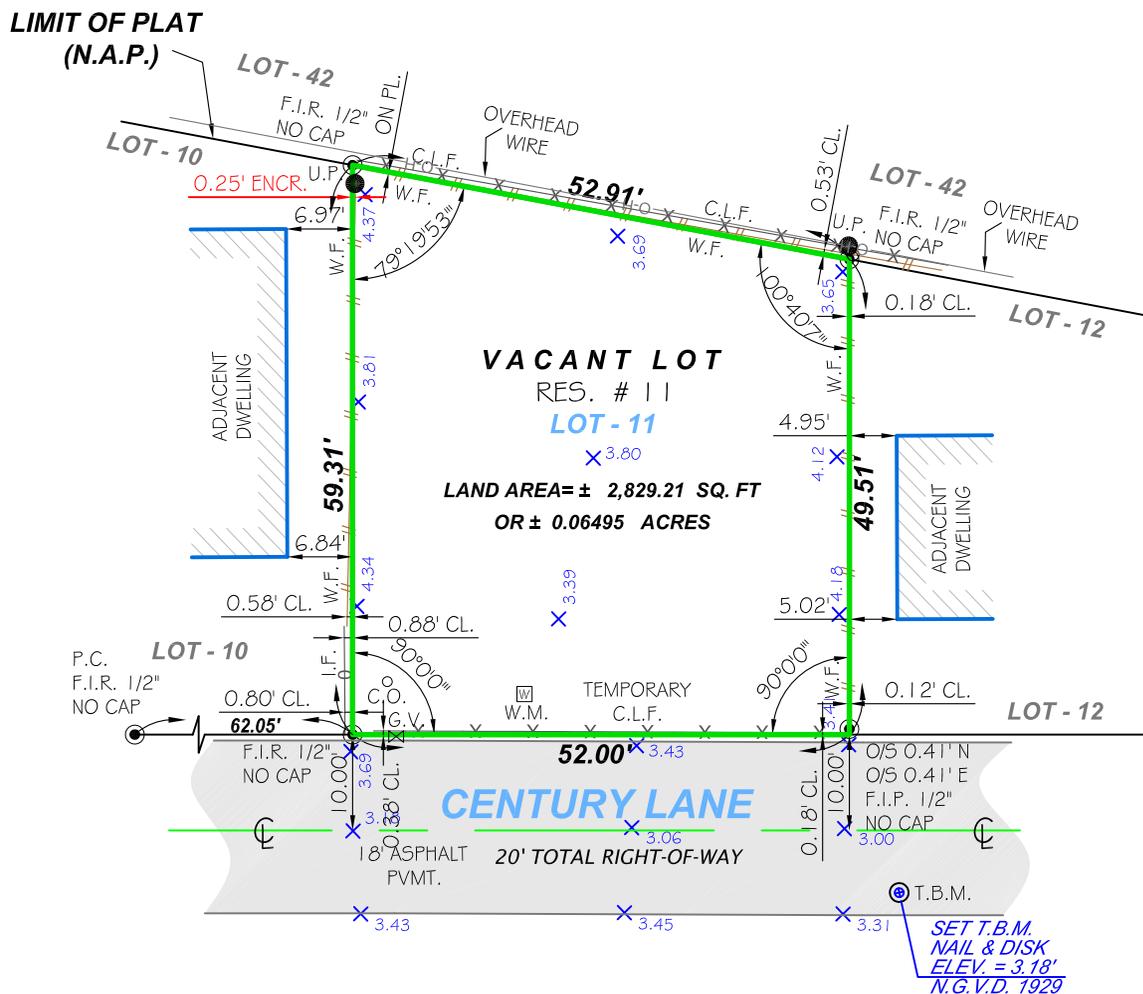
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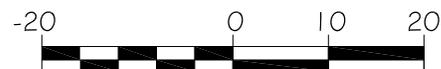
MAP OF BOUNDARY SURVEY 11 CENTURY LANE, MIAMI BEACH, FLORIDA 33139 (REV.1 3/7/2019)



ADDITIONAL NOTES:

- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929; MIAMI-DADE COUNTY BENCHMARK # D-168, LOCATOR NO. 3235 SW @ VENETIAN CSWY & BELLE ISLE; ELEVATION IS 7.75 FEET OF N.G.V.D. OF 1929.
- THERE ARE NOT TREES ON SUBJECT PROPERTY.

GRAPHIC SCALE



(IN FEET)
1 INCH = 20 FEET



LB#7806

LEGAL DESCRIPTION:

LOT 11, BELLE ISLE VILLAS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

BRIGITTE EVA ALFRED LLC

DRAWN BY: L.L.

FIELD DATE: 3/5/2019

SURVEY NO: 19-000972

SHEET: 2 OF 2