

Rey

1351 Lenox Avenue
Miami Beach, Fl 33139

Residential Renovation

Construction Documents
April 24, 2018



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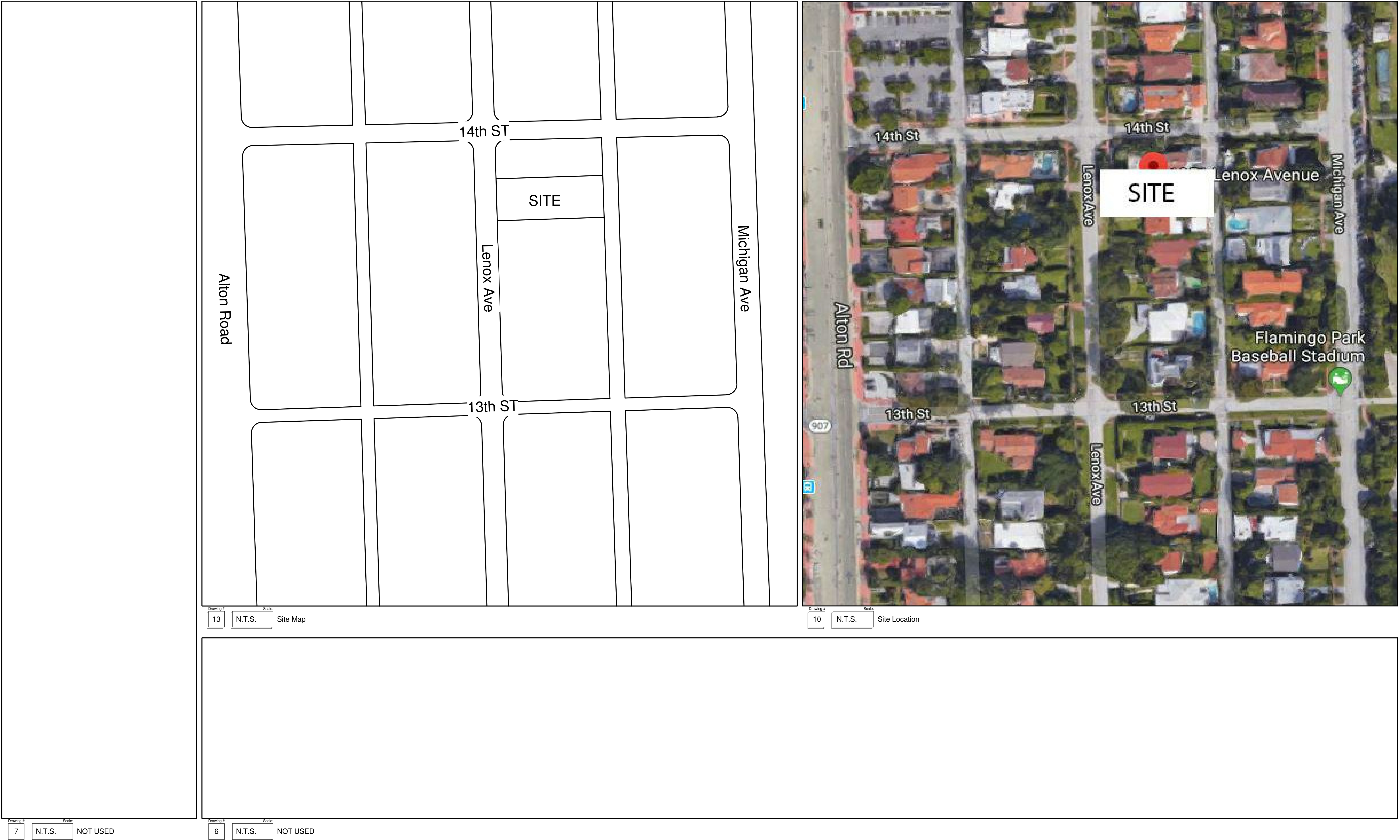
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No.	Description	Date
1	Revision 1	Date 1



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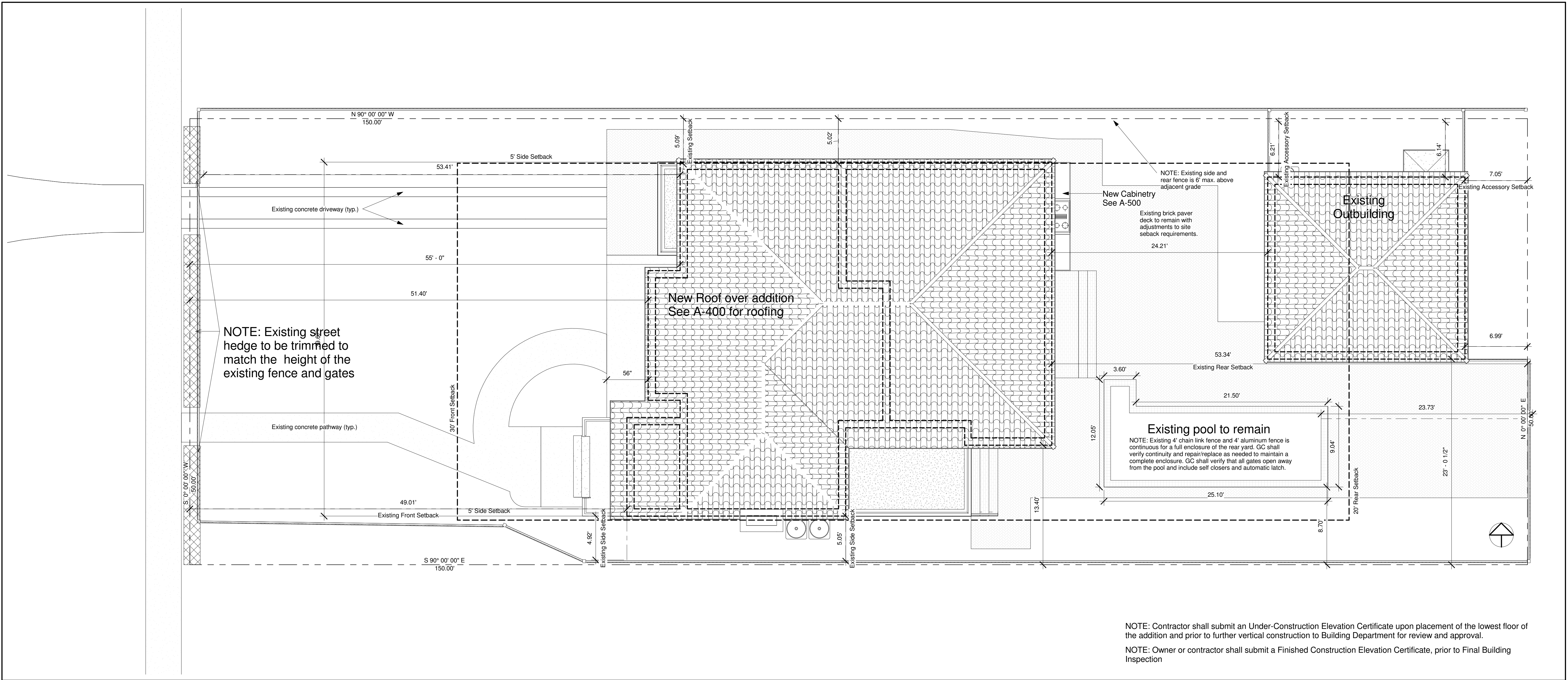
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1351 Lenox Avenue
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Site Context Plan

A-100-H
Project number 035 Rey 13
Date April 24, 2018

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NOTE: Contractor shall submit an Under-Construction Elevation Certificate upon placement of the lowest floor of the addition and prior to further vertical construction to Building Department for review and approval.

NOTE: Owner or contractor shall submit a Finished Construction Elevation Certificate, prior to Final Building Inspection

Drawing # 14 Scale: 3/16" = 1'-0" Site Plan

Setbacks		Lot Size -	7,500 ft²	UNIT SIZE
Front		Lot Coverage		7,500 ft² * 0.50 = 3750 ft² max. allowable
Required	- 30.00'	Ground Floor -	1,674 ft²	
Existing	- 48.87'	<u>Outbuilding</u> -	451 ft²	
Side		Total Unit Size -	2,125 ft²	
Required	- Total =25% of lot width =12.5'	Total Percentage -	28.3%	
Existing	- 5' (West), 5' (East) =10'			
Back				
Required	-15% of lot depth = 22.5' or 20ft min, 50ft max	Total Percentage -	43.5 %	
Existing	- 53.34'			NOTE: Unit size calculated from finish face of exterior walls.

Flood Zone: AE
Base Flood Elevation: 8.0' NGVD
NGVD FIRM Map: 120651C0317L
Highest Crown of Road Elevation: 4.46' NGVD
NGVD Design Flood Elevation (DFE): 9.0' NGVD
Proposed Top of bottom floor: 5.92' NGVD (existing)
NGVD Proposed Top of next higher floor: 15.92' NGVD (existing)

NGVD Classification of Structure for Flood-Resistant Design and Construction (ASCE 24-05 table 1-1): Flood Design Class II

NOTE: Erosion and Sediment Controls:

- Install erosion and sediment control measures, if possible before construction commences.
- Identify drainage lines and install control measures to handle predicted stormwater and sediment loads generated in the mini-catchments.
- Design and install appropriate erosion and sediment run-off control measures for specific siteconditions.
- Establish an adequate inspection, maintenance and cleaning program for sediment run-off control structures.

Drawing # 3 Scale: 1/4" = 1'-0" FLOOD NOTES

Drawing # 1 Scale: N.T.S. NOTES

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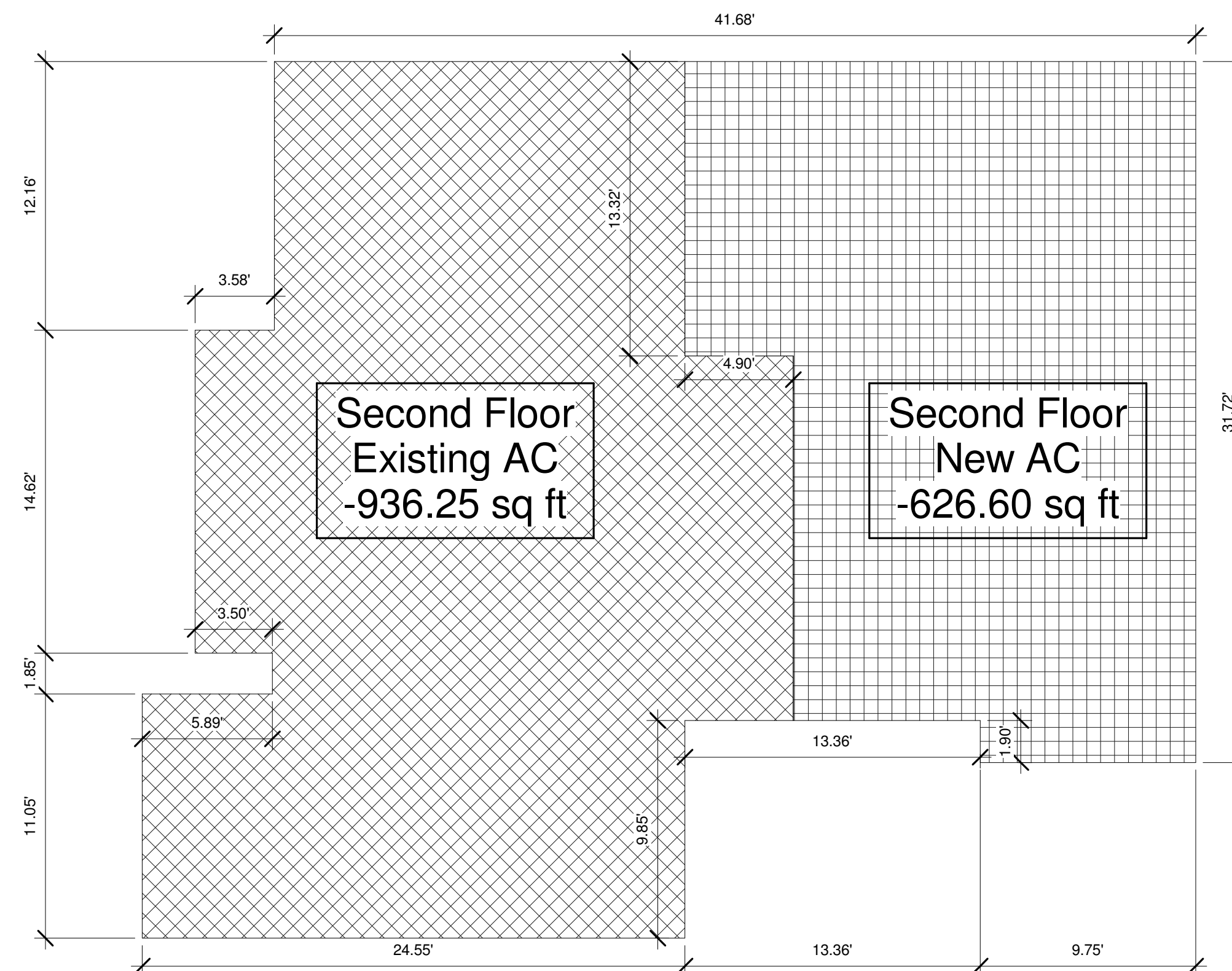
Site Plan

A-101

Project number 035 Rey 13
Date April 24, 2018

No.	Description	Date
1	Revision 1	Date 1

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LOT SIZE 7,500 ft²

UNIT SIZE
7,500 ft² x 0.50 = 3750 ft² max. allowable

First Floor (existing+new) - (1401.5+272)ft²
1,673.5 ft²

Second Floor (existing+new) - (936.25+626.6)ft²
1,562.8 ft²

Total Unit Size (First+Second)- (1673.5+1562.8)ft²
3,236.3 ft²

Total Percentage - 3,236.3 ft² / 7500ft²
= 43.5 %

Lot Coverage
30% * 7500 = 225,000 ft² max. allowable.

Outbuilding – 451 ft²
Ground Floor – 1,674 ft²
Total Footprint at Grade 2,125 ft²

Total Percentage - 28.3%

Green Space Total
(Landscape + pool/2) -
(3,223+237/2) ft² = 3,341 ft²

Percentage - 3,223 ft²/ 7500 ft² = 44.5%

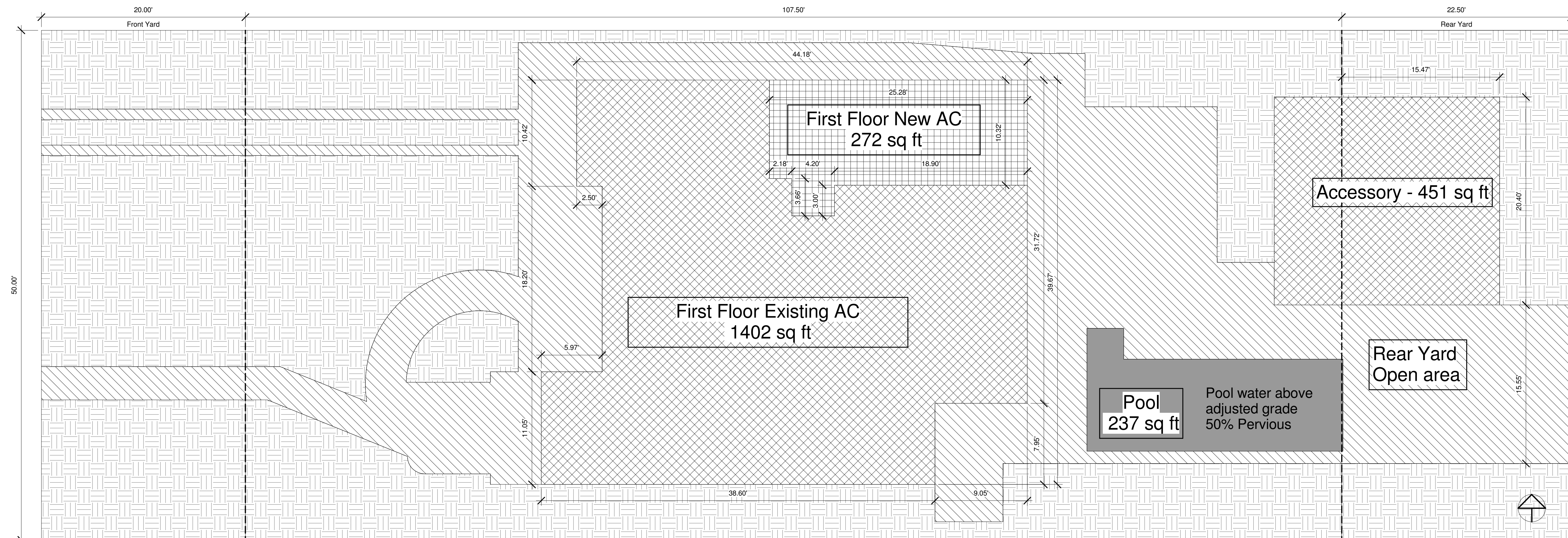
Front yard - 20'
Impervious - 105 ft²
Green Space - 894 ft²
Total -1,000 ft²

Total percentage = 89.4%

Rear yard - 22.5'
Impervious (existing) - 350 ft²
Green Space - 459 ft²
Accessory - 316 ft²
Total - 1,125 ft²

Green percentage= 40.8% (existing)

- Building Area
- Green Area (pervious)
- Impervious
- Pool



Drawing # 7
Scale: 3/16" = 1'-0" Area Plans

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Area Plans

A-101.1

Project number 035 Rey 13
Date April 24, 2018

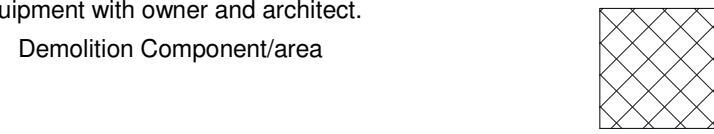
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- Demolition Notes**
1. All demolition and construction debris shall be properly disposed of with all recyclable material separated and delivered to the appropriate agencies.
 2. It is the responsibility of the General Contractor to notify architect of conditions discovered during demolition that effect the design as shown in the contract drawings and to coordinate with architect for resolution.
 3. All necessary precautions shall be utilized to maintain the environmental, structural, electrical, mechanical and plumbing integrity of the building and all systems so that the habitability of the residence outside the scope of work, remains intact.
 4. All trades to clean up jobsite daily of all demolished debris.
 5. Provide demolition and construction schedule to owner and architect before commencing any work.
 6. Coordinate with owner on work to be performed. Obtain all necessary approvals and/or permits prior to commencing with any work.
 7. Contractor to provide for trash and debris removal and is not allowed to use any existing trash receptacles on the site.
 8. Any damage occurring during demolition shall be fixed or replaced by this contractor to match existing.
 9. Clean all renovated areas and prepare for new construction and finishes.
 10. Contractor shall provide all shoring and bracing as required to maintain the structural integrity of the building during demolition and construction.

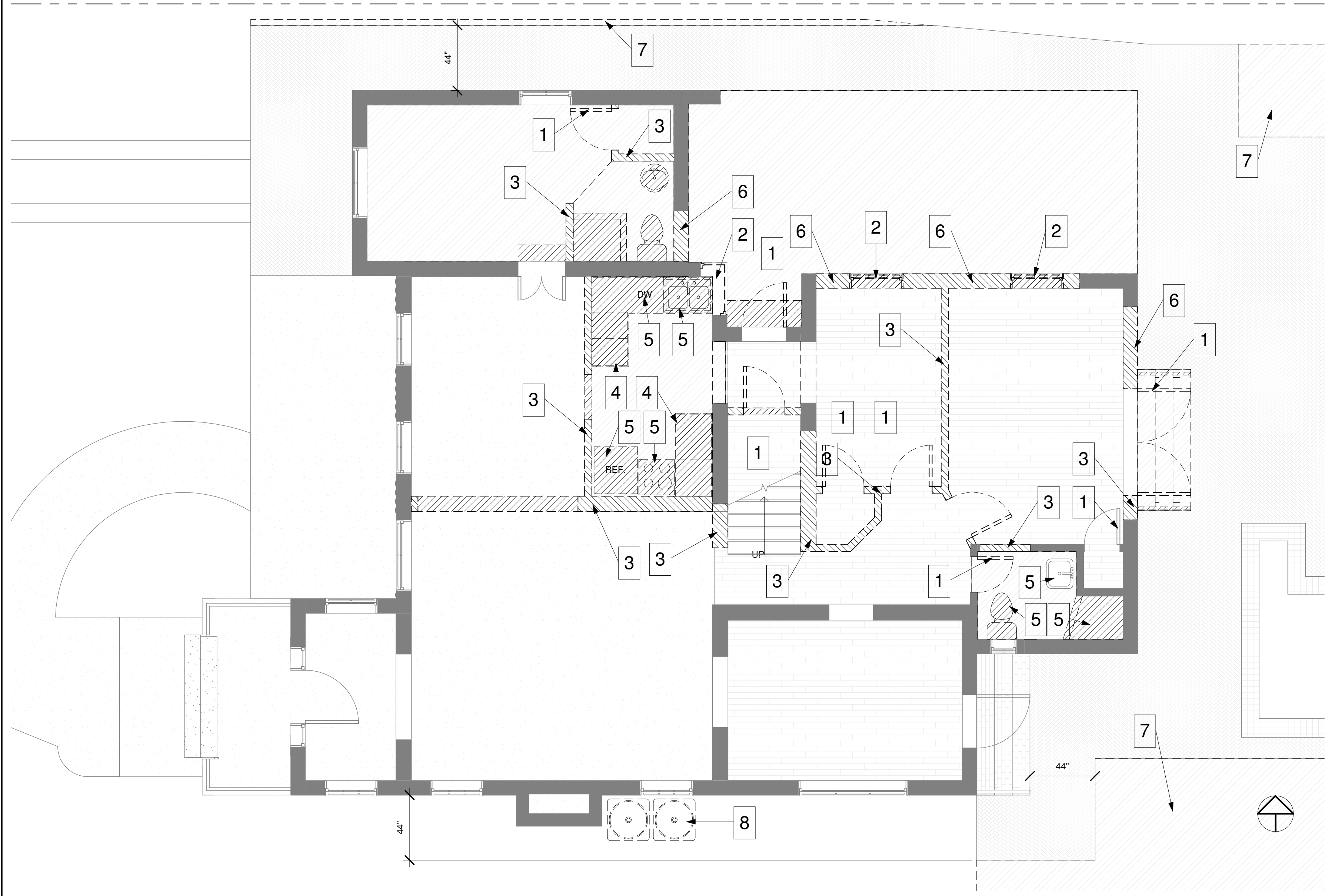
- Demolition Schedule**
1. Doors to be removed
 2. Windows to be removed
 3. Interior walls to be removed
 4. Casework to be removed
 5. Appliances and fixtures to be removed
 6. Exterior walls as indicated by demolition plan shall be removed and remaining walls to be prepared for reuse and addition structure, see structural and architectural plans
 7. Existing areas of paver deck to be removed to comply with setback requirements.
 8. Existing AC compressors to be removed and area prepared for placement of new equipment.

NOTE: GC to coordinate salvage of any and/or all fixtures and equipment with owner and architect.



To remain

Drawing # 7 Scale: 1/4" = 1'-0" Demolition Notes & Schedule



Drawing # 11 Scale: 1/4" = 1'-0" First Floor Demolition Plan

Drawing # 7 Scale: N.T.S. NOT USED

Drawing # 5 Scale: N.T.S. NOT USED

Drawing # 4 Scale: N.T.S. NOT USED

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First Floor
Demolition Plan

D-200

Project number 035 Rey 13
Date April 24, 2018

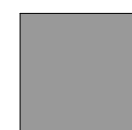
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3. Interior walls to be removed
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7. Existing areas of paver deck to be removed to comply with setback requirements.
8. Existing AC compressors to be removed and area prepared for placement of new equipment.

Demolition Component/area



To remain

Scale

$$1/4" = 1'-0"$$

Demolition Notes & Schedule



Scale

11

$$1/4" = 1'-0"$$

Second Floor Demolition Plan

Scale:

7

N.T.S.

NOT USED

Scale

5

N.T.S.

NOT USED

Scale

4

N.T.S.

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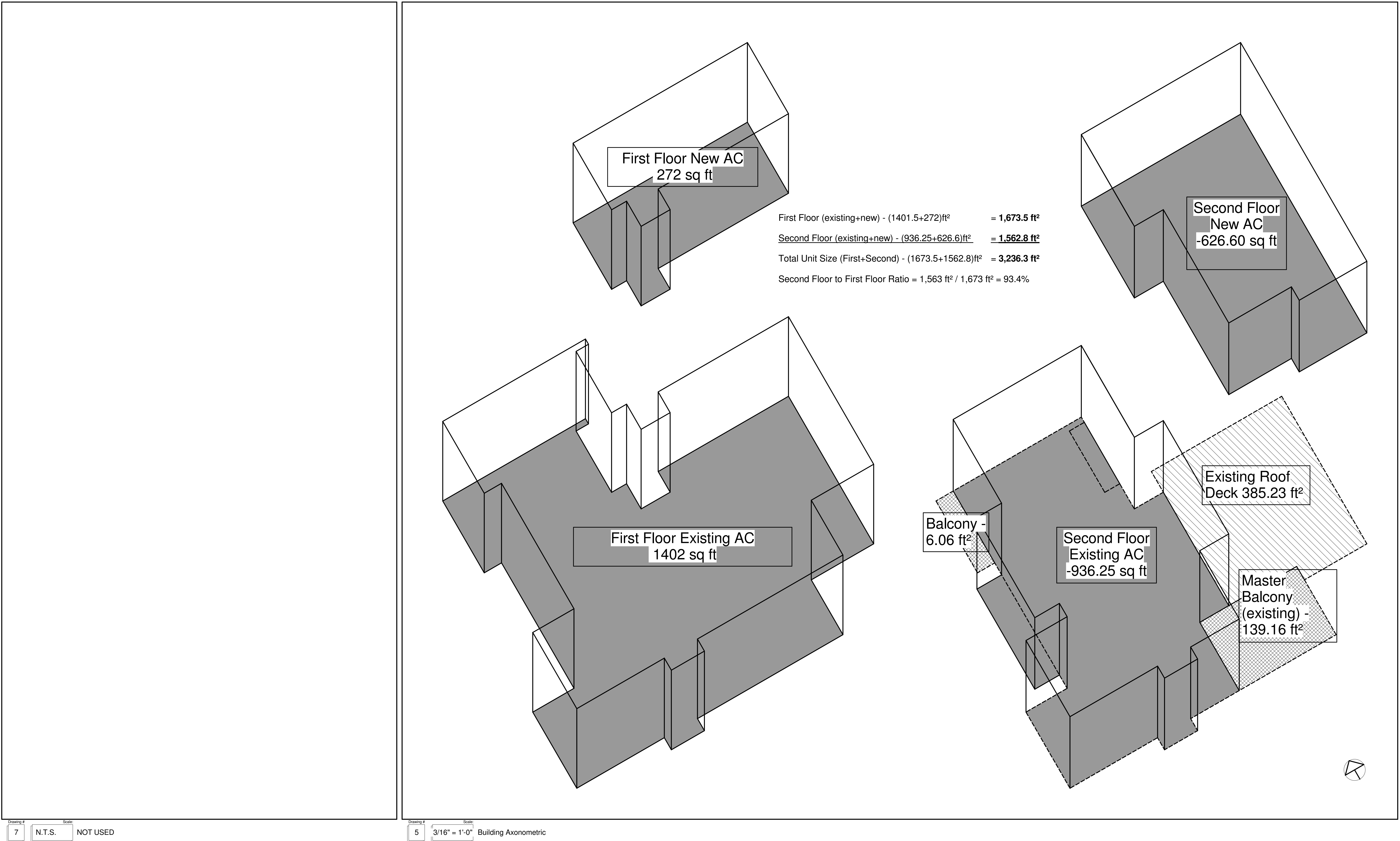
Second Floor Demolition Plan

D-201

Project number _____
Date _____

035 Rey 13
April 24, 2018

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Drawing # 7 Scale: N.T.S. NOT USED

Drawing # 5 Scale: 3/16" = 1'-0" Building Axonometric

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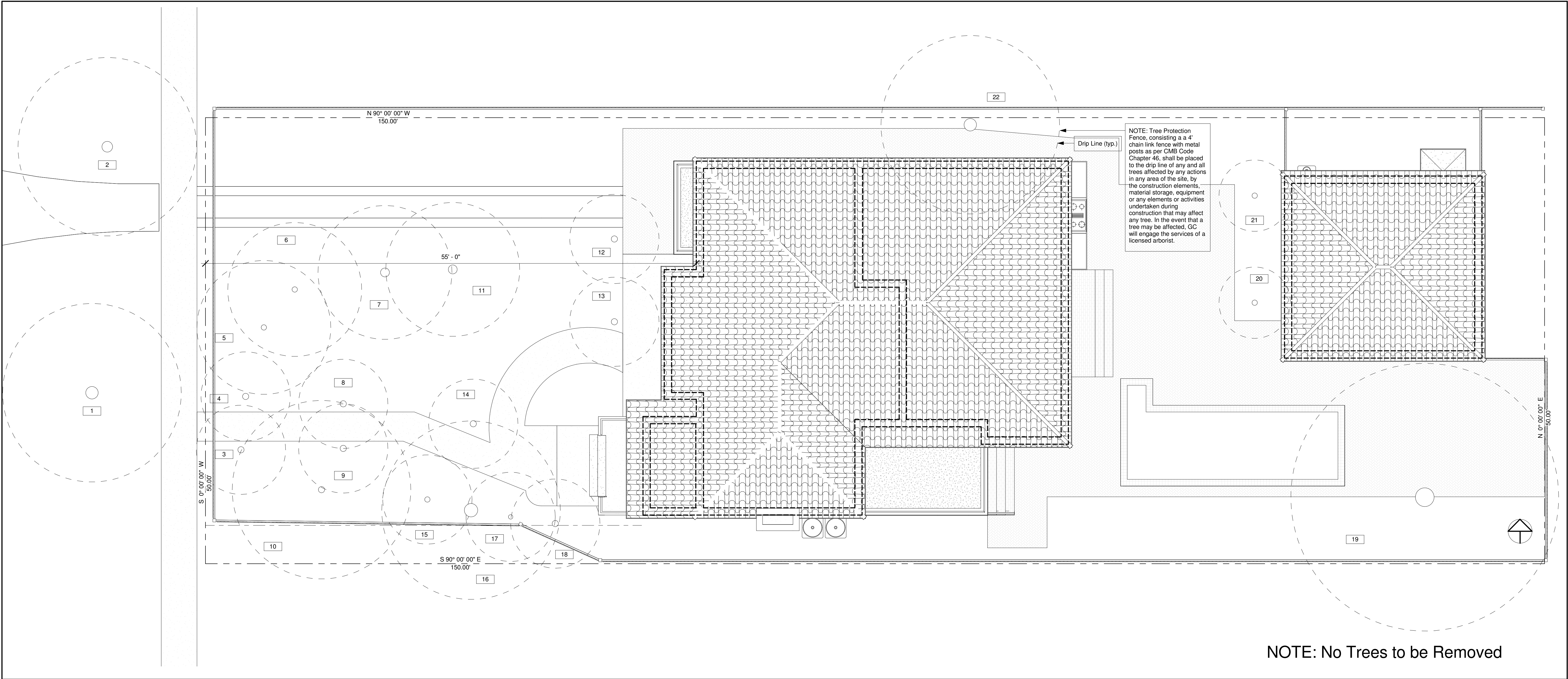
**Massing
Axonometric**

A-101.1-H

Project number 035 Rey 13
Date April 24, 2018

No.	Description	Date

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Drawing # 14 Scale: 3/16" = 1'-0" Tree Disposition Plan



Drawing # 7 Scale: N.T.S. NOT USED

Planting Schedule						
Mark	Species	Phase Created	Phase Demolished	Trunk - Diameter	Total Height	Canopy - Diameter
1	Christmas Palm	Existing	None	1.40'	40'	20'
2	Christmas Palm	Existing	None	1.20'	40'	20'
3	Christmas Palm	Existing	None	0.70'	35'	10'
4	Christmas Palm	Existing	None	0.70'	35'	10'
5	Christmas Palm	Existing	None	0.60'	25'	15'
6	Ficus	Existing	None	0.60'	15'	15'
7	Christmas Palm	Existing	None	1.00'	25'	15'
8	Christmas Palm	Existing	None	0.70'	35'	10'
9	Christmas Palm	Existing	None	0.70'	35'	10'
10	Mango	Existing	None	0.70'	25'	20'
11	Christmas Palm	Existing	None	1.00'	25'	15'

Drawing # 4 Scale: Planting Schedule

Planting Schedule						
Mark	Species	Phase Created	Phase Demolished	Trunk - Diameter	Total Height	Canopy - Diameter
12	Christmas Palm	Existing	None	0.70'	35'	10'
13	Christmas Palm	Existing	None	0.70'	30'	10'
14	Christmas Palm	Existing	None	0.70'	35'	10'
15	Banana Tree	Existing	None	0.60'	20'	10'
16	Christmas Palm	Existing	None	1.50'	40'	20'
17	Banana Tree	Existing	None	0.50'	20'	10'
18	Christmas Palm	Existing	None	0.70'	25'	10'
19	Royal Poinciana	Existing	None	2.10'	25'	30'
20	Christmas Palm	Existing	None	0.60'	20'	8'
21	Christmas Palm	Existing	None	0.60'	20'	8'
22	Christmas Palm	Existing	None	1.40'	35'	20'

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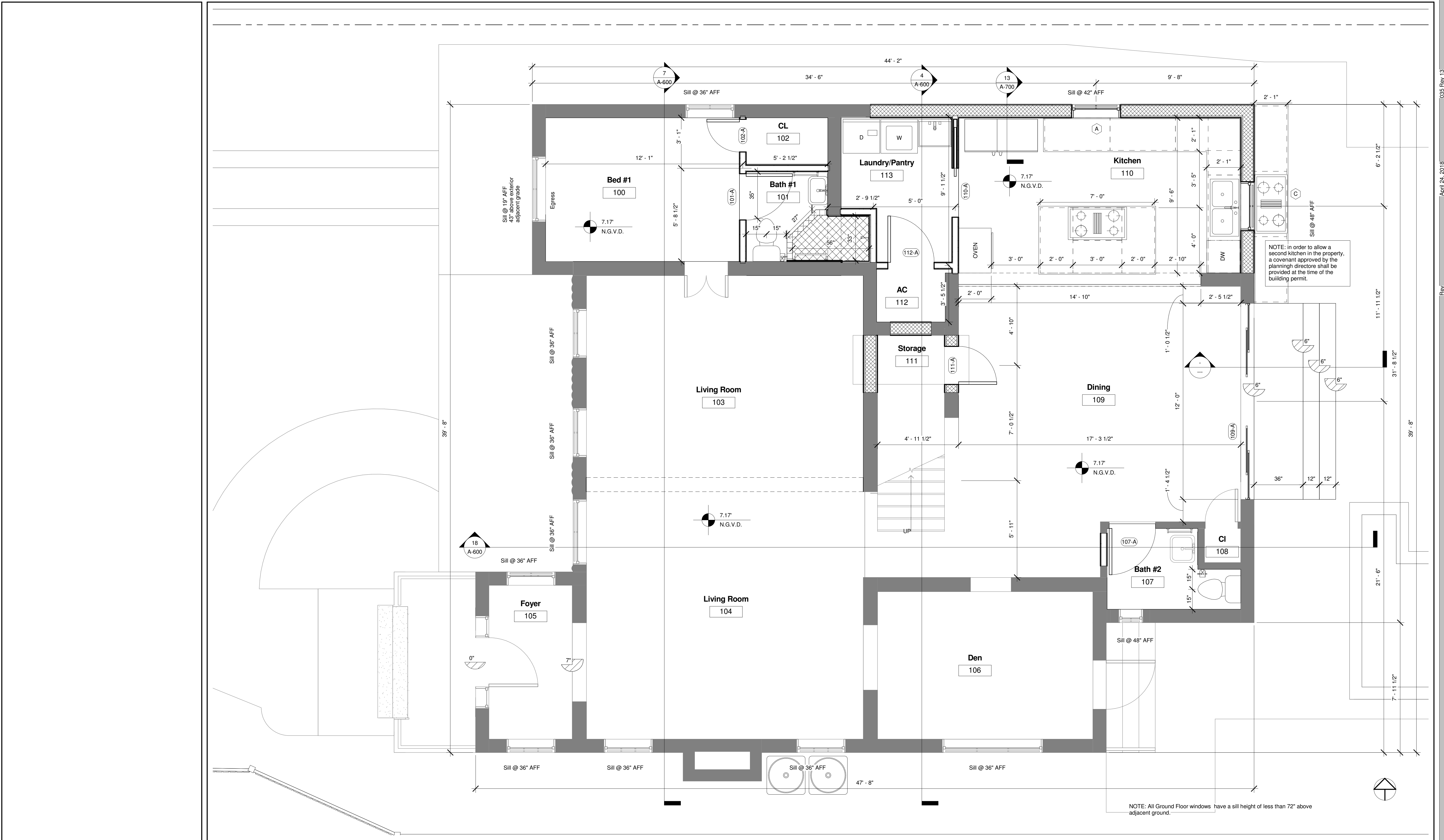
Tree Disposition Plan

A-101.2

Project number 035 Rey 13
Date April 24, 2018

No.	Description	Date
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Drawing # 7 N.T.S. NOT USED

Drawing # 6 Scale: 3/8" = 1'-0" First Floor Plan - Historic

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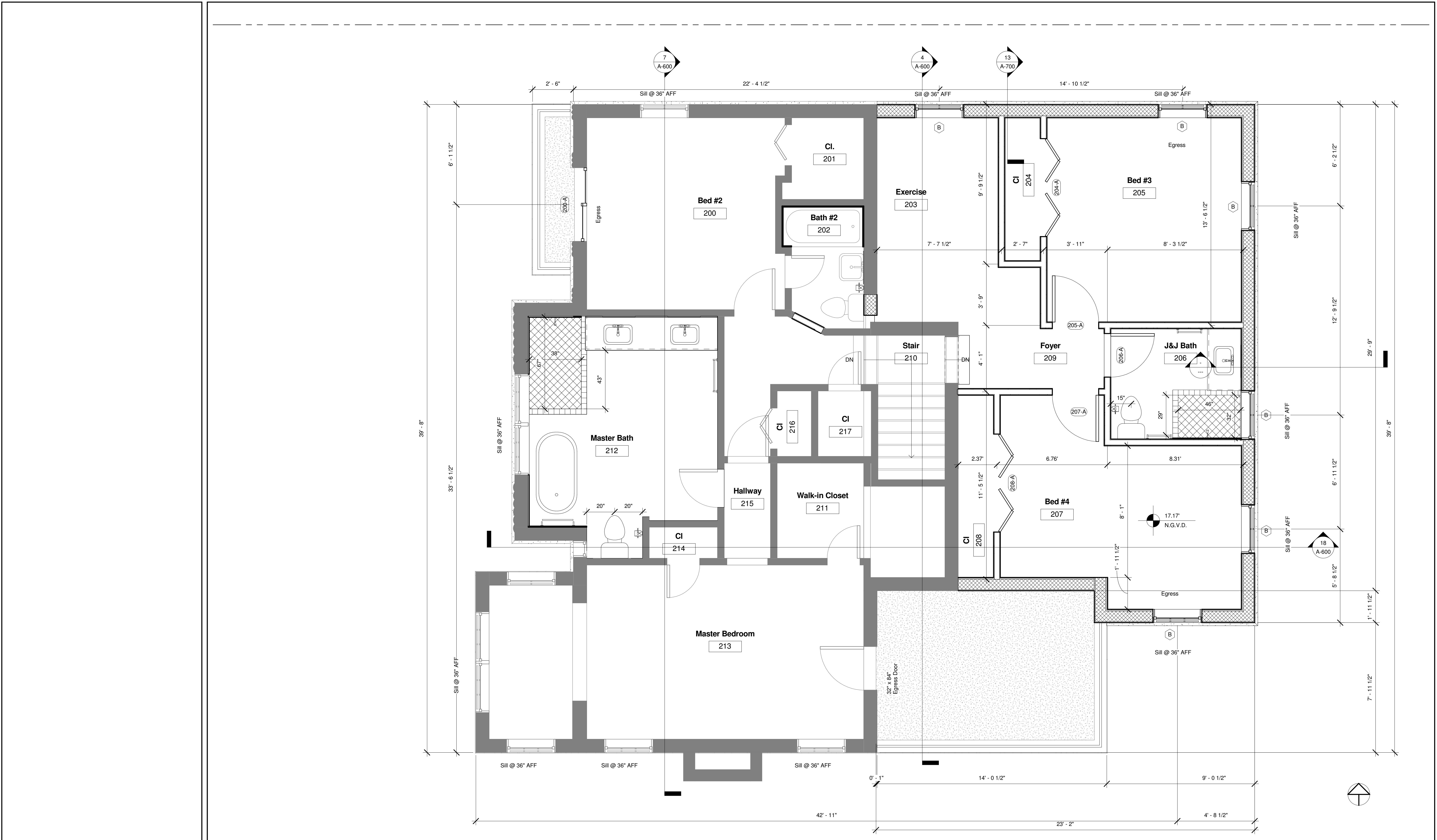
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Ground Floor Plan
A-200-H
Project number 035 Rey 13
Date April 24, 2018

No.	Description	Date

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Drawing # 7
Scale: N.T.S.
NOT USED

Drawing # 1
Scale: 3/8" = 1'-0"
Second Floor Plan - Historic

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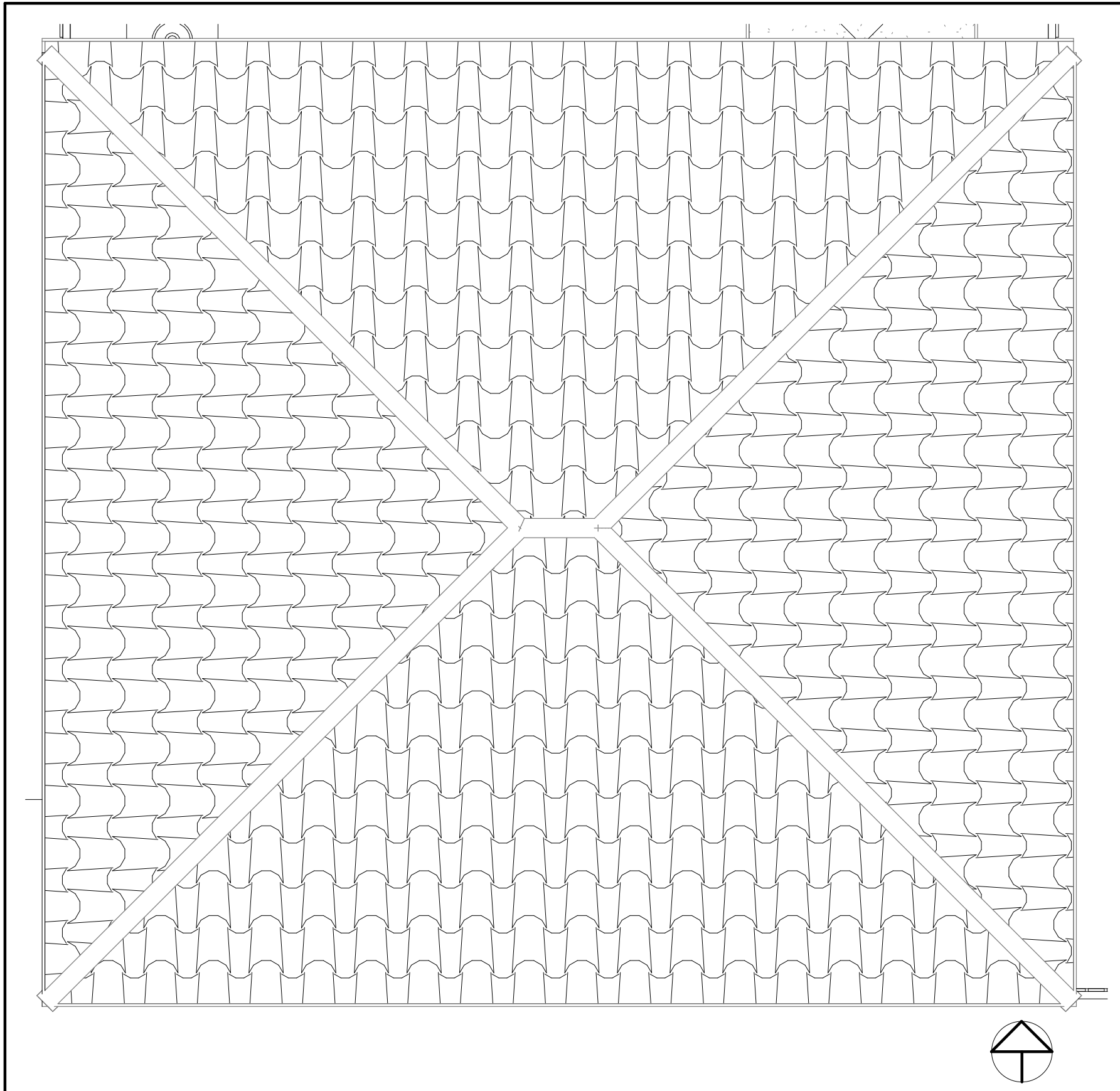
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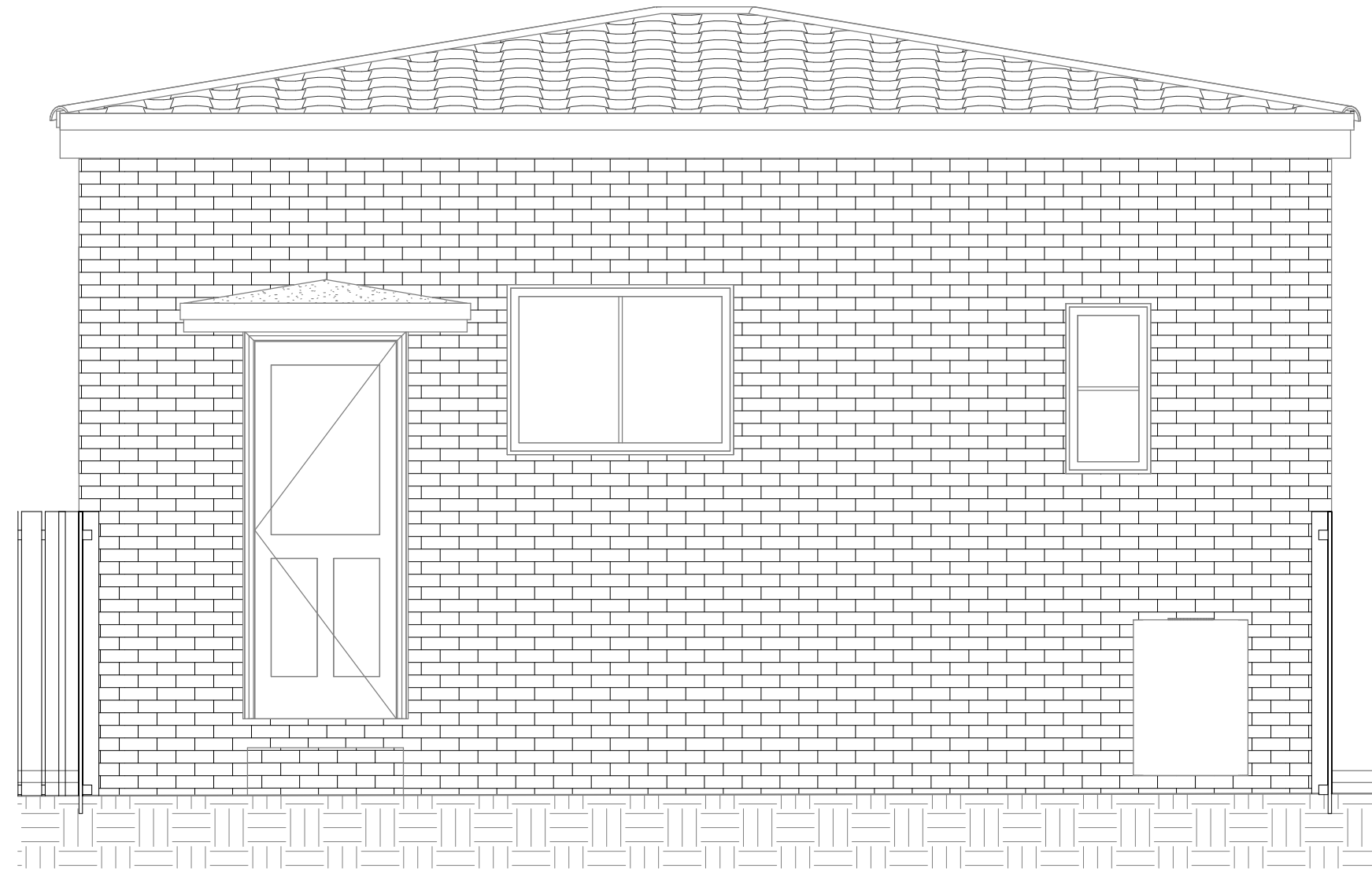
Second Floor Plan
A-201-H
Project number 035 Rey 13
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No.	Description	Date

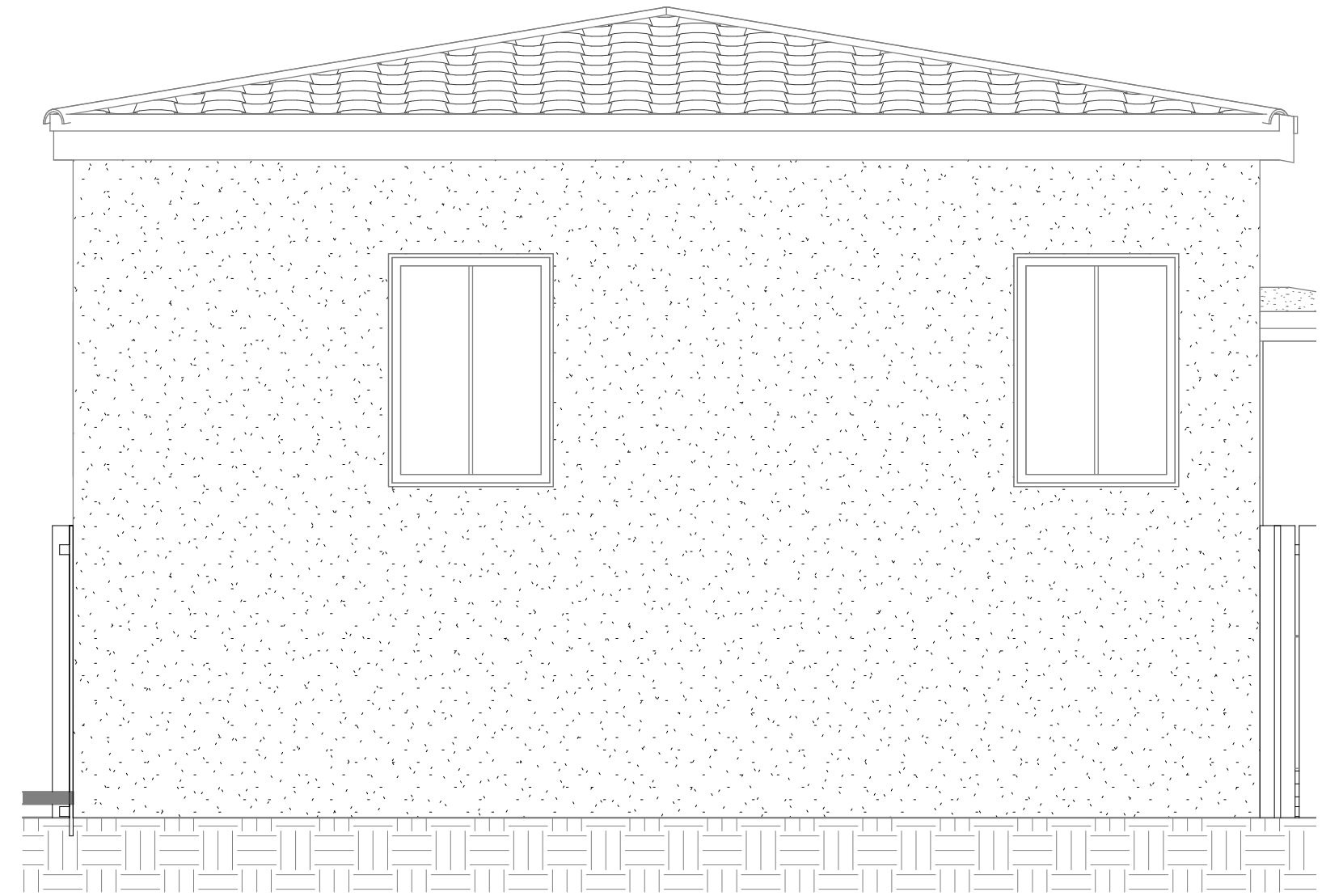
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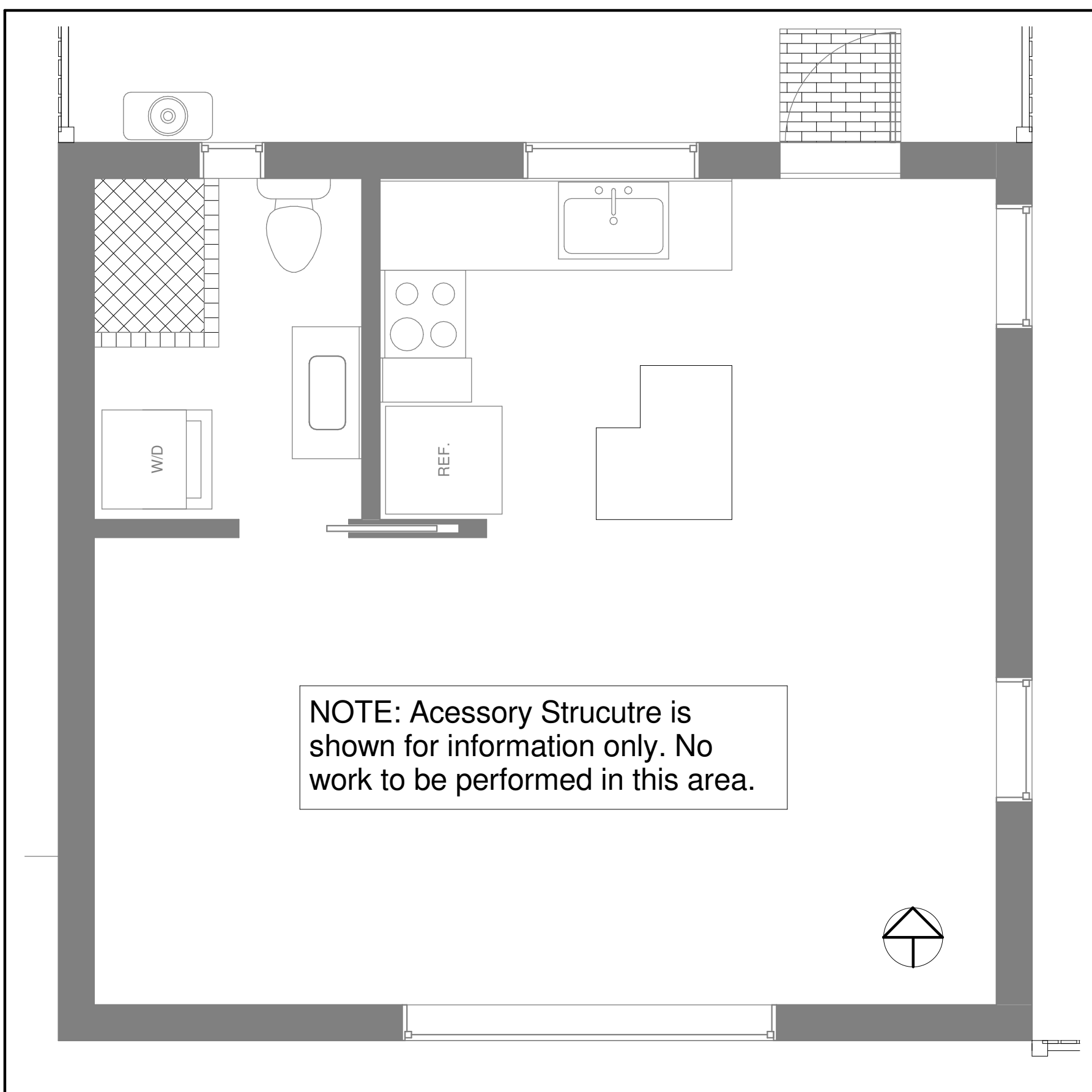
Drawing # 21 Scale: 3/8" = 1'-0" Accessory Roof Plan



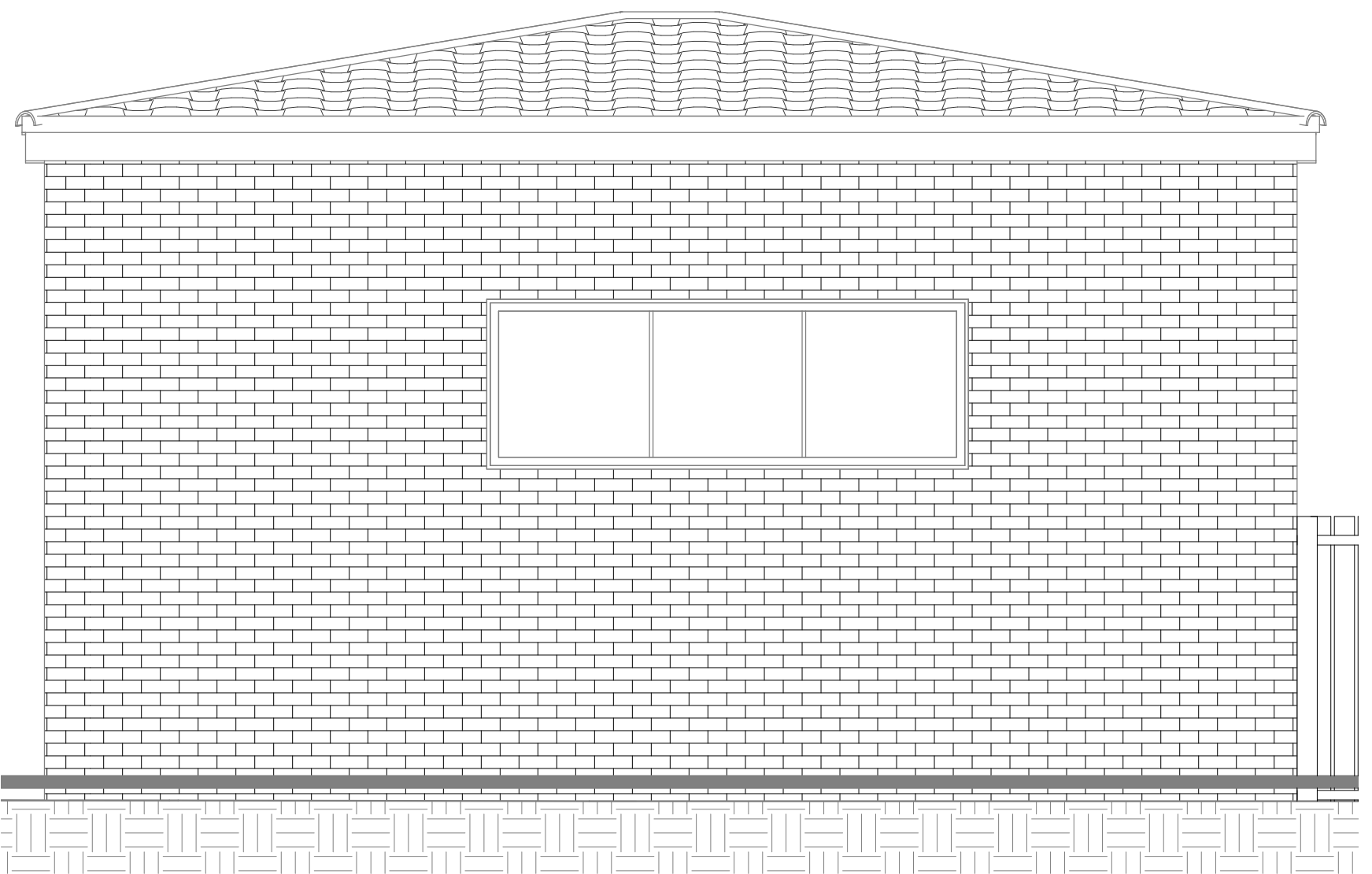
Drawing # 19 Scale: 3/8" = 1'-0" Accessory - North



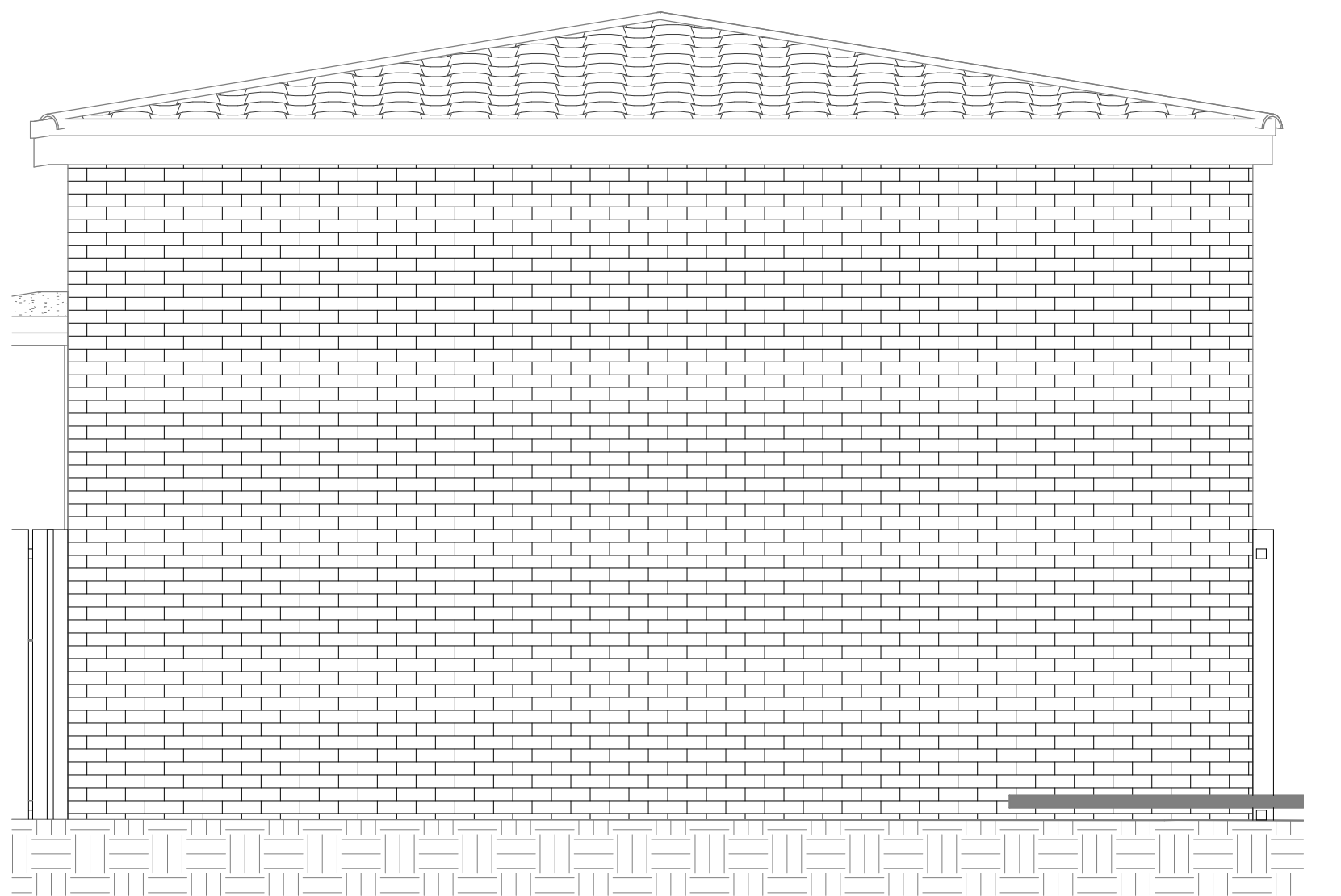
Drawing # 16 Scale: 3/8" = 1'-0" Accessory - East



Drawing # 7 Scale: 3/8" = 1'-0" Accessory Floor Plan



Drawing # 5 Scale: 3/8" = 1'-0" Accessory - South



Drawing # 2 Scale: 3/8" = 1'-0" Accessory - West

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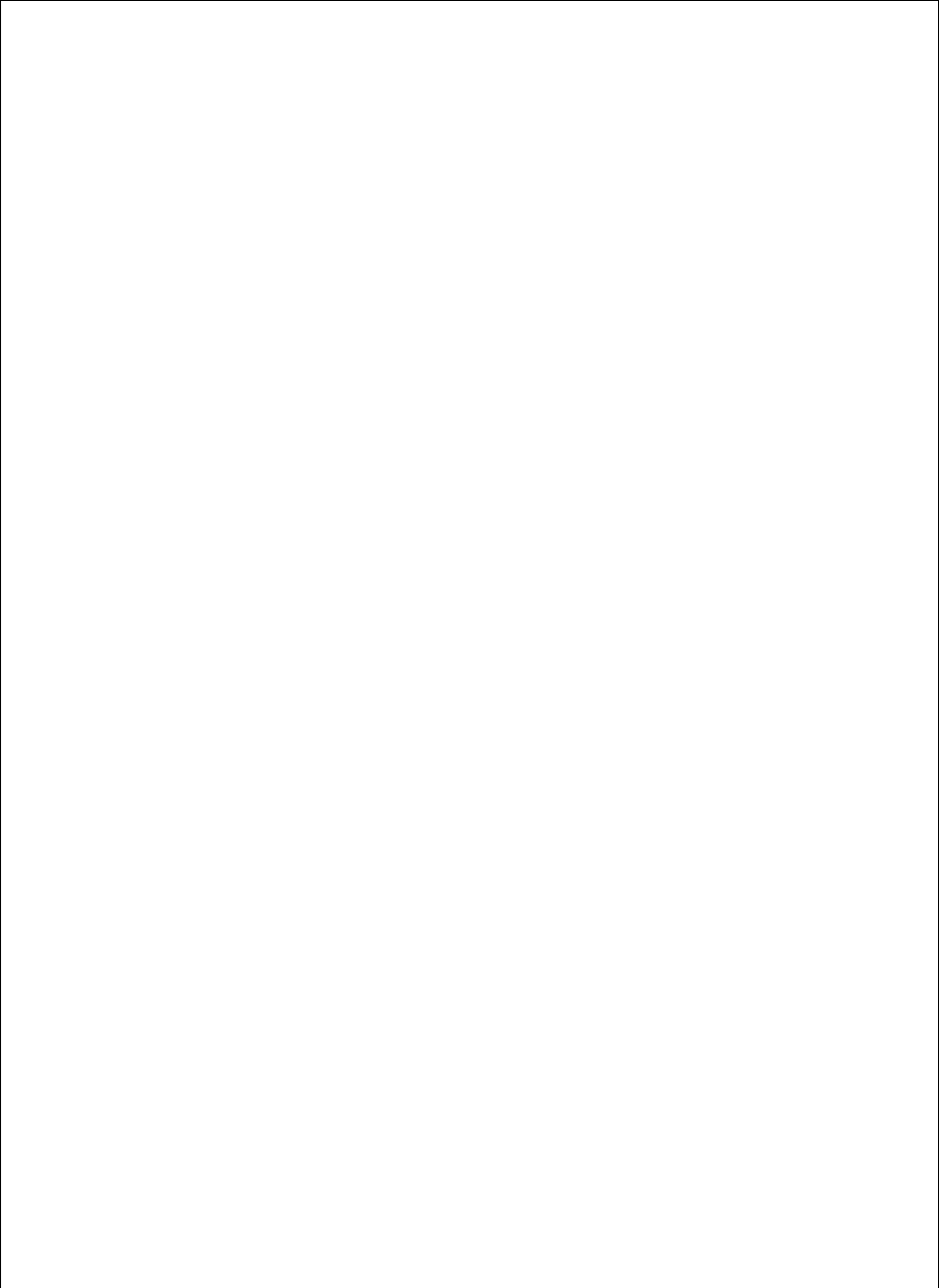
Accessory Structure

A-202-H

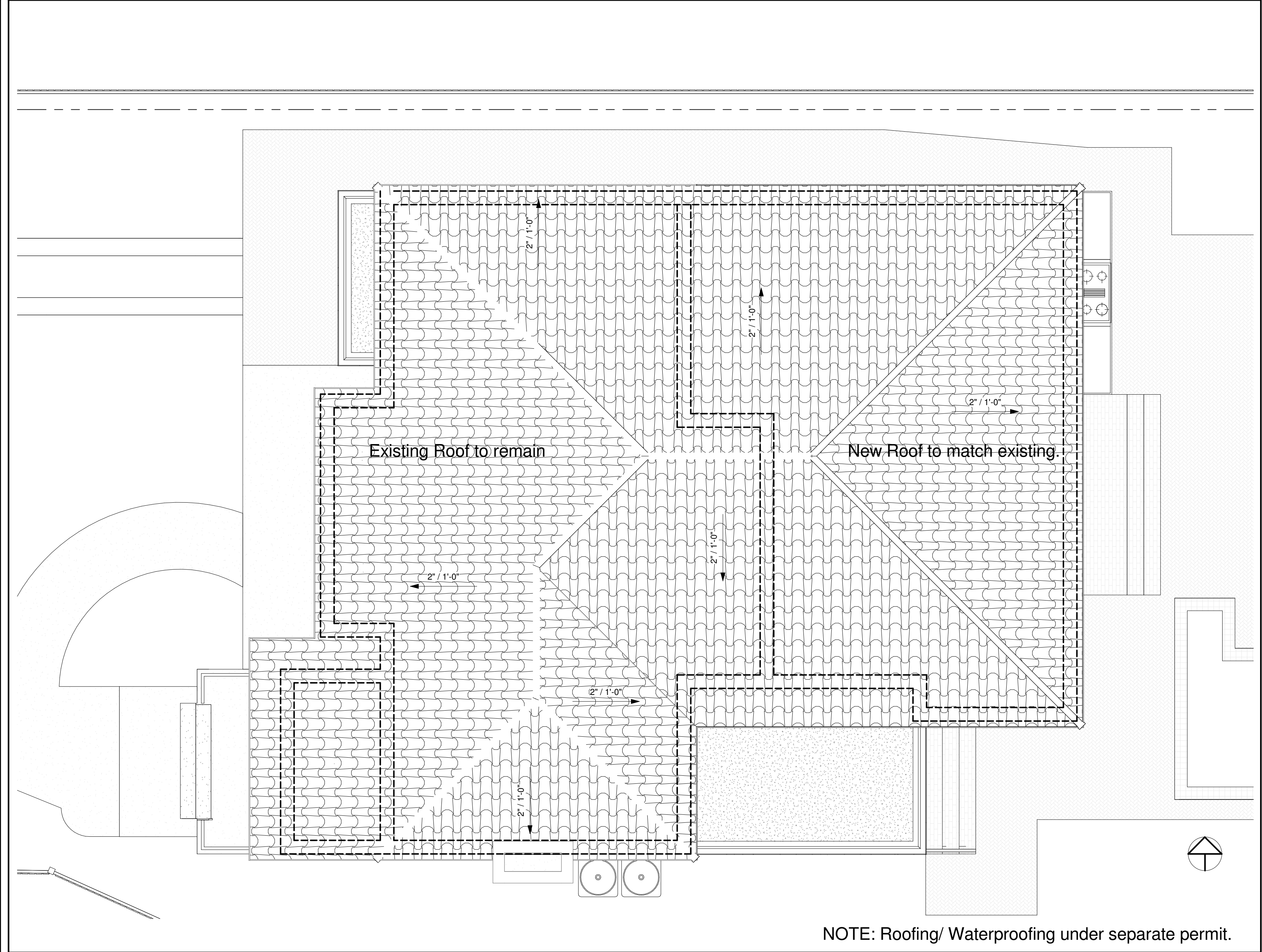
Project number 035 Rey 13
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No.	Description	Date

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Drawing # 7 Scale: N.T.S. NOT USED



NOTE: Roofing/ Waterproofing under separate permit.

Drawing # 11 Scale: 1/4" = 1'-0" Roof Plan



Drawing # 4 Scale: N.T.S. NOT USED

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Roof Plans

A-400

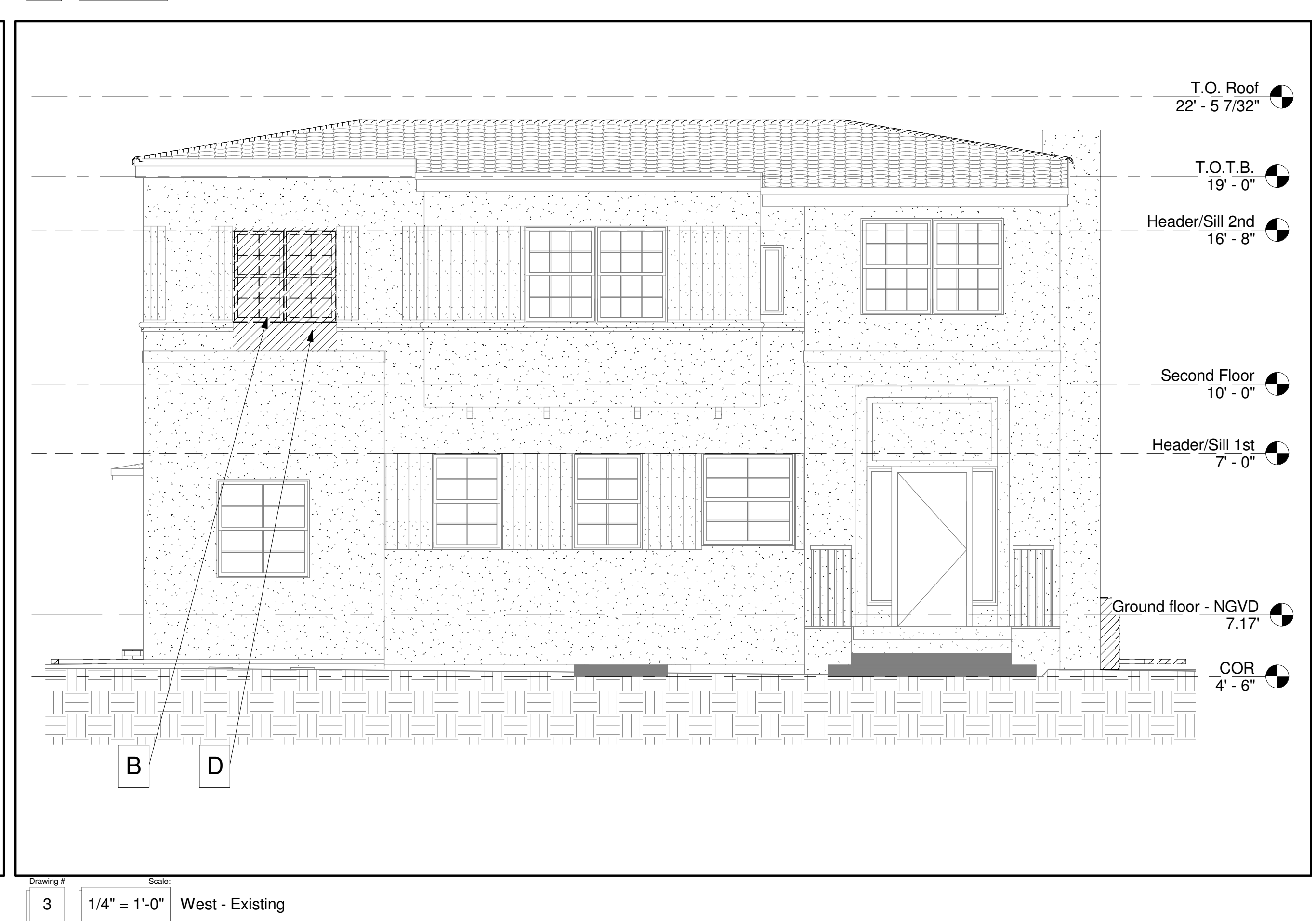
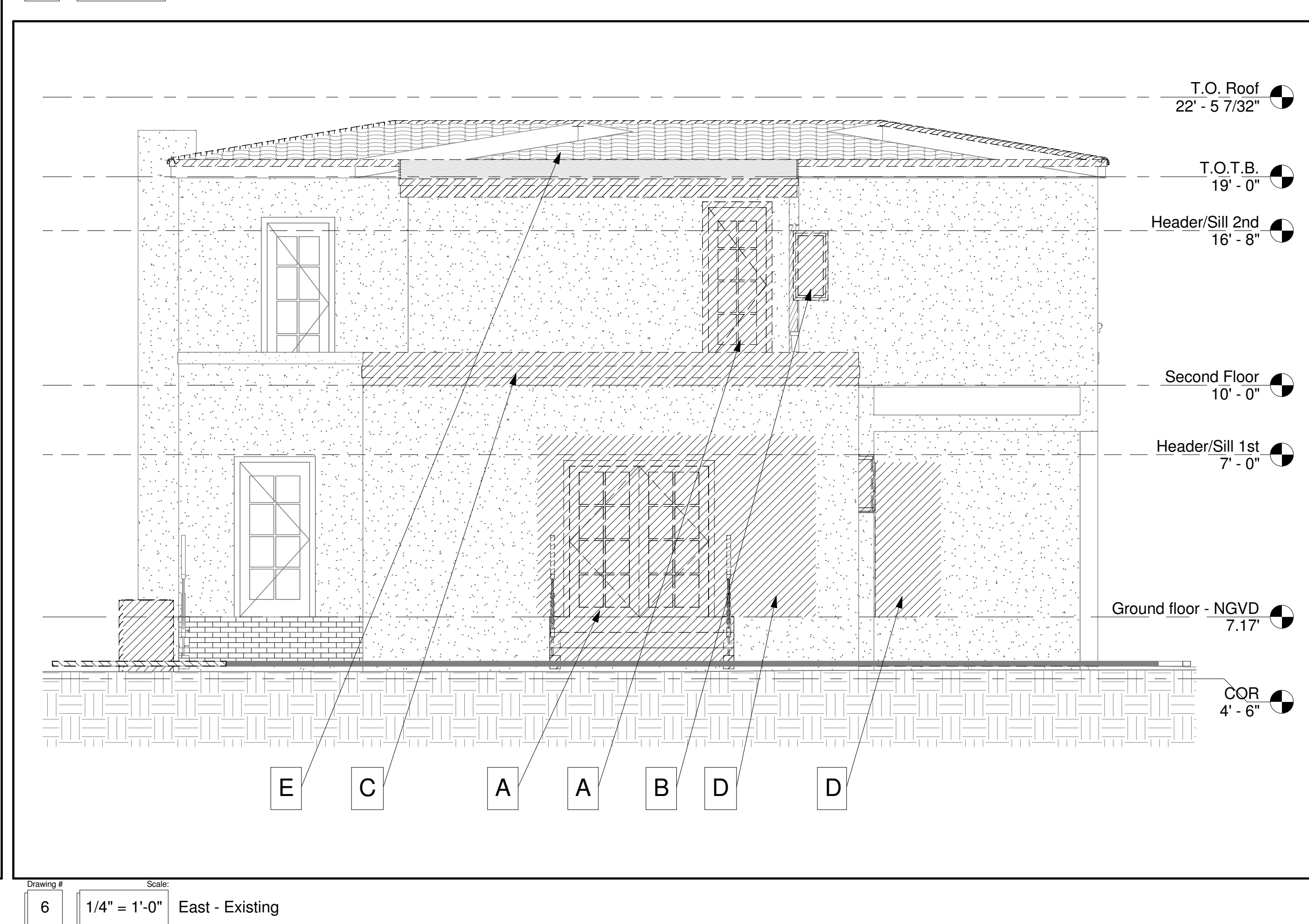
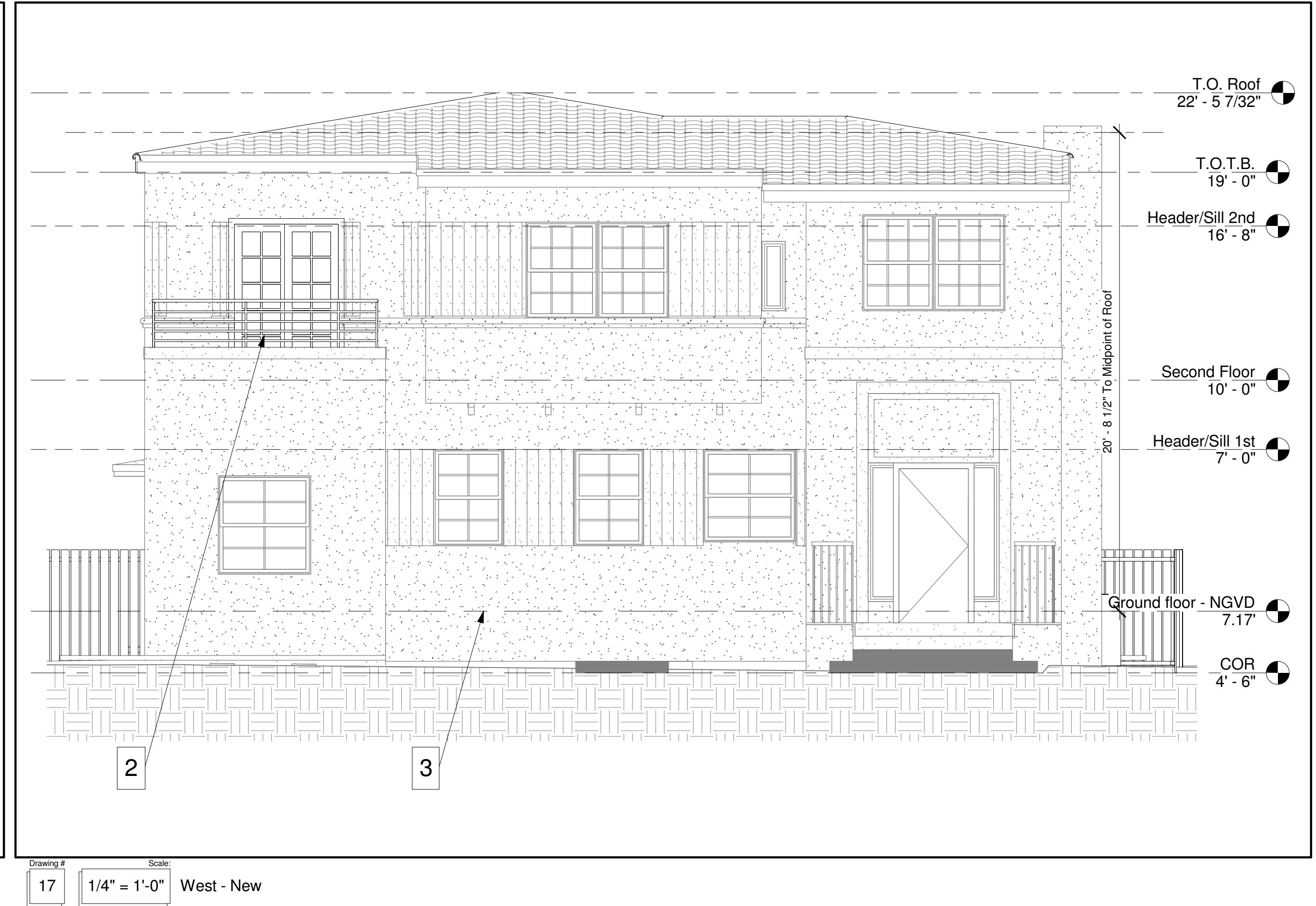
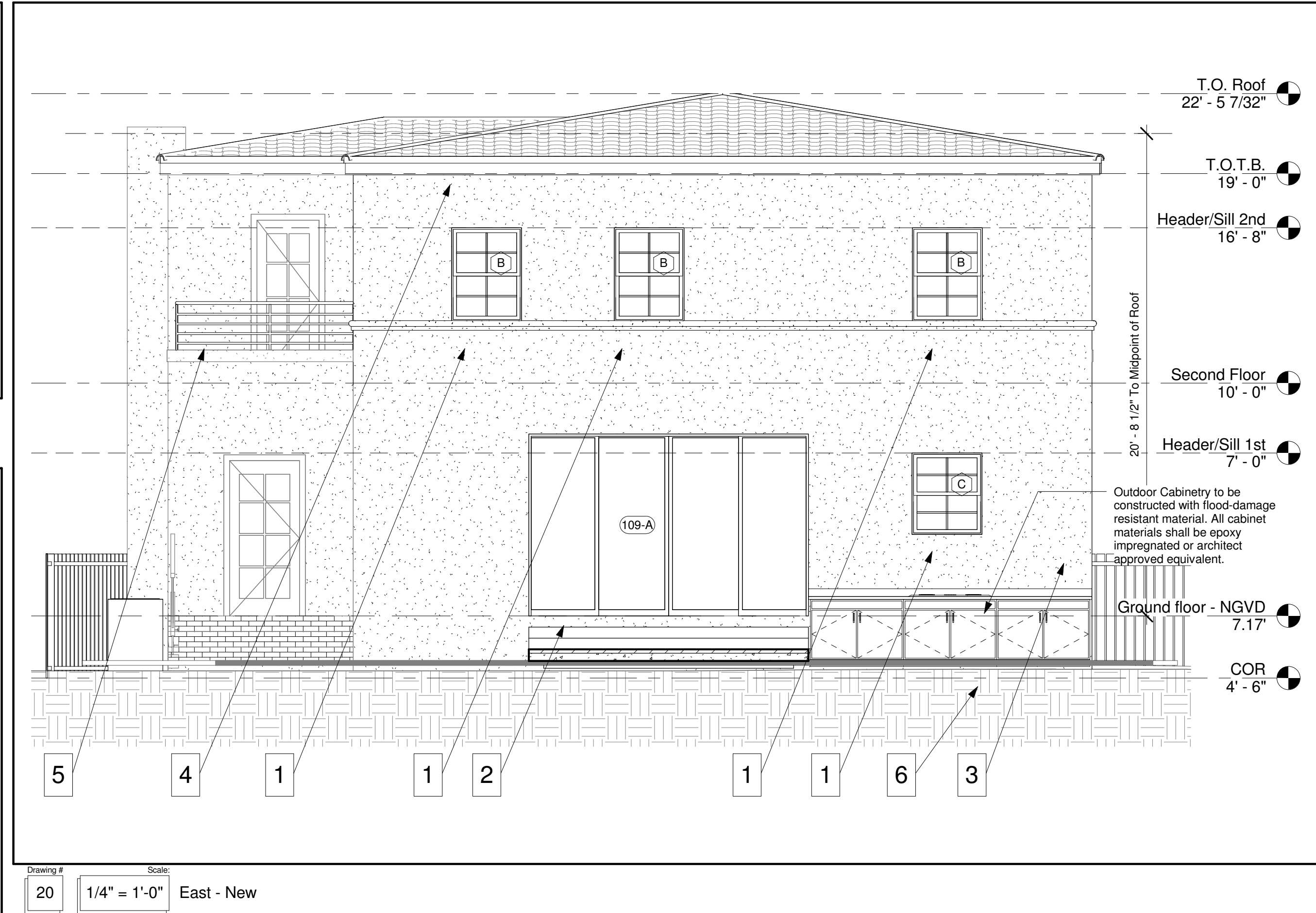
Project number 035 Rey 13
Date April 24, 2018

No.	Description	Date
1	Revision 1	Date 1

AR 96398
AR 92953

- New Construction
1. New Window
 2. New Door
 3. Smooth texture stucco finish, latex painted, primer and finish two coats min. GC to coordinate with owner and architect.
 4. New Roof.
 5. New anodized aluminum railing, 42" high with spacing to reject passage of a 4" sphere. See D3/ A-700
 6. New Cabinetry.
 7. New decorative moulding to match existing.
- Demolition Schedule
- A. Doors to be removed
 - B. Windows to be removed
 - C. Decorative Stucco strip to be removed.
 - D. Exterior walls as indicated by demolition plan shall be removed and remaining walls to be prepared for reuse and addition structure, see structural and architectural plans.
 - E. Roofing to be removed.
-  - Demolition (typ.)

Drawing # 28 Scale: 1/4" = 1'-0" Elevation Schedule



Drawing # 7 Scale: N.T.S. NOT USED

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SUSTAINABLE
ARCHITECTURE
AND CONSULTING
AR 96398 AR 92953,
ID 5054, A26001202



Residential Renovation
Rey
Construction Documents

1351 Lenox Avenue
Miami Beach, FL 33139

Elevations

A-500

Project number 035 Rey 13
Date April 24, 2018

No.	Description	Date
1	Revision 1	Date 1

AR 96398
AR 92953

New Construction

1. New Window

2. New Door

3. Smooth texture stucco finish, latex painted, primer and finish two coats min. GC to coordinate with owner and architect.

4. New Roof.

5. New anodized aluminum railing, 42" high with spacing to reject passage of a 4" sphere. See D3/ A-700

6. New Cabinetry.

7. New decorative moulding to match existing.

Demolition Schedule

A. Doors to be removed

B. Windows to be removed

C. Decorative Stucco strip to be removed.

D. Exterior walls as indicated by demolition plan shall be removed and remaining walls to be prepared for reuse and addition structure, see structural and architectural plans.

E. Roofing to be removed.

- Demolition (typ.)

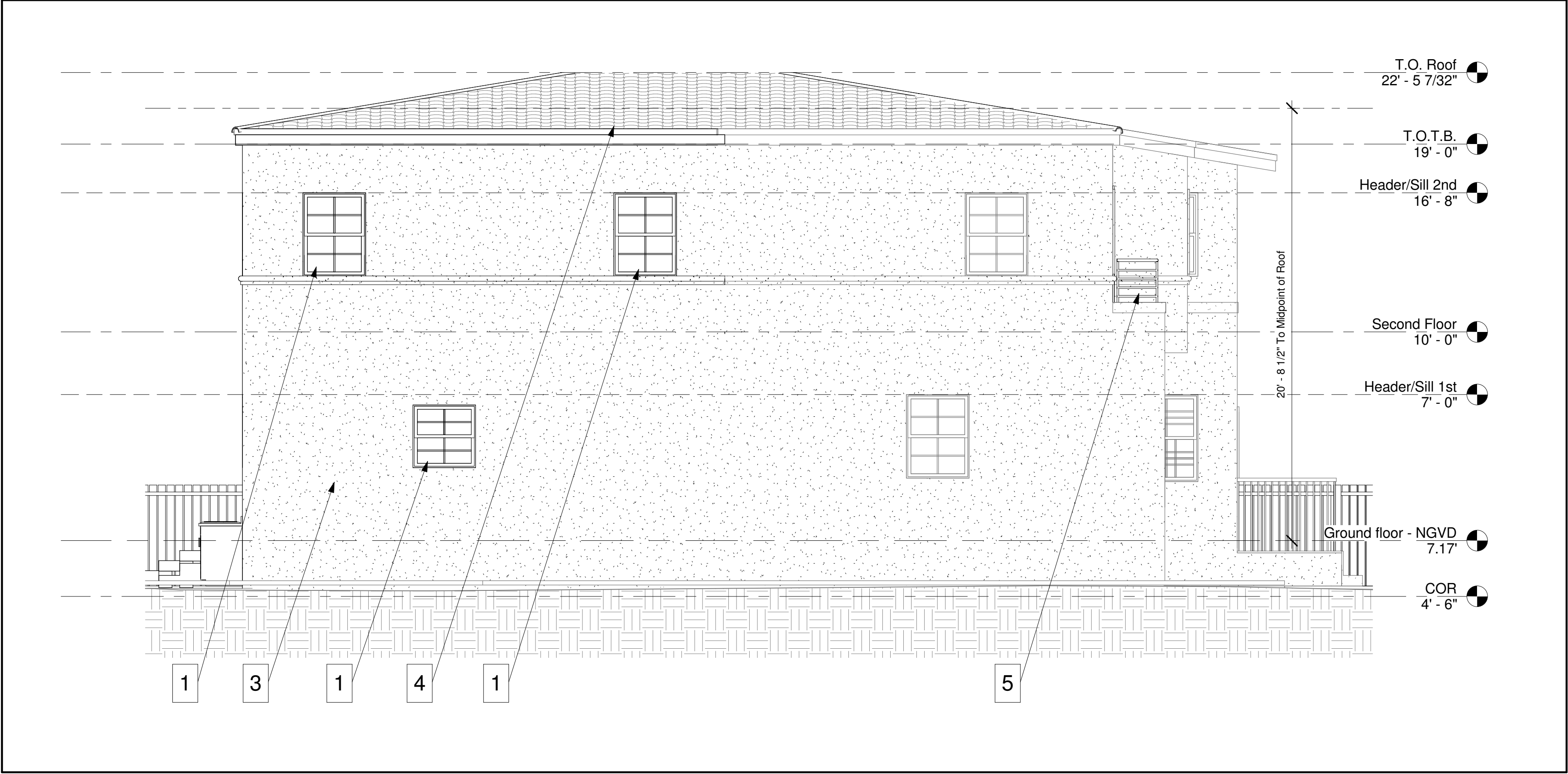
Drawing #

Scale:

26

1/4" = 1'-0"

Elevation Schedule



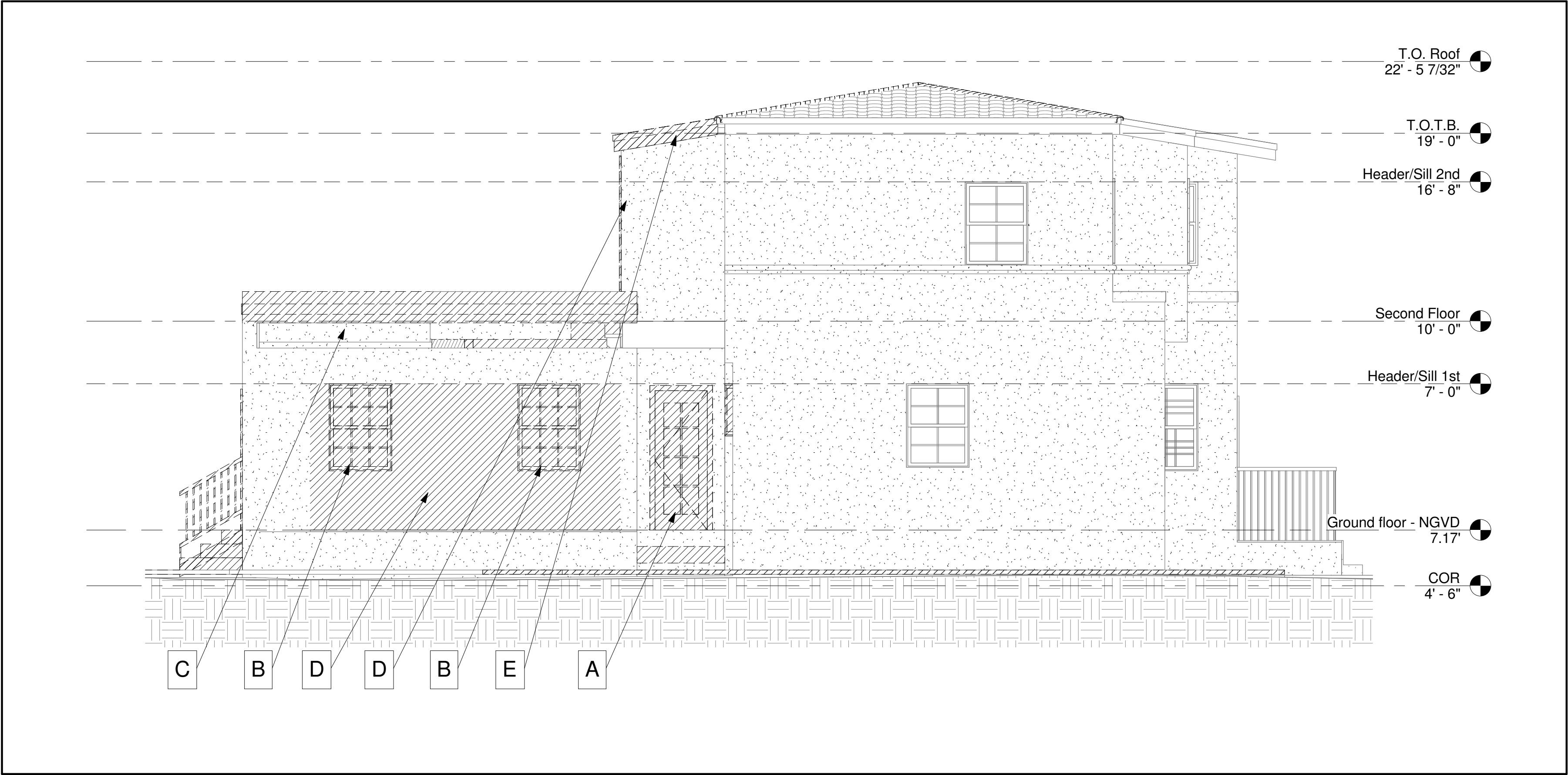
Drawing #

Scale:

18

1/4" = 1'-0"

North - New



Drawing #

Scale:

4

1/4" = 1'-0"

North - Existing

Drawing #

Scale:

7

N.T.S.

NOT USED

Drawing #

Scale:


5

N.T.S.

NOT USED

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**Residential Renovation
Rey
Construction Documents**
1351 Lenox Avenue
Miami Beach, FL 33139

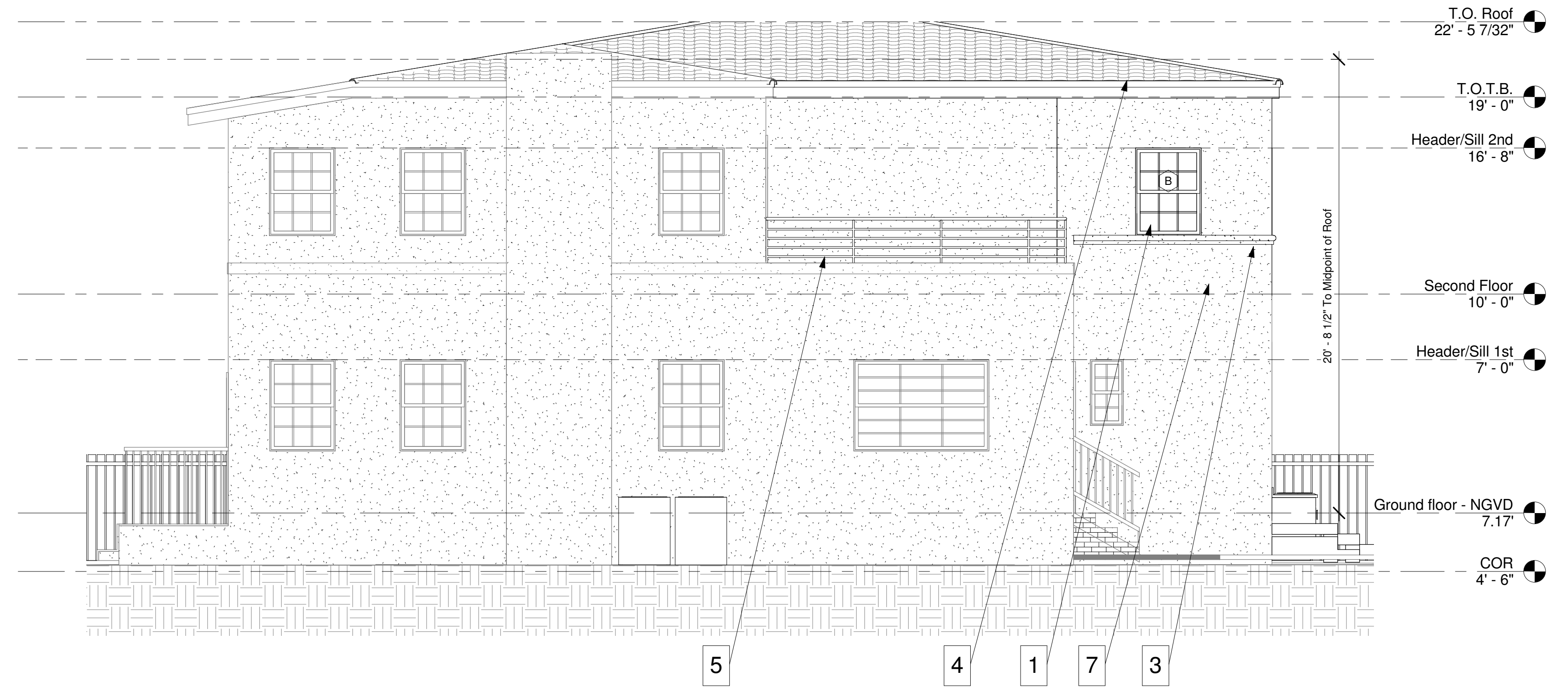
Elevations

A-501
Project number
Date
035 Rey 13
April 24, 2018

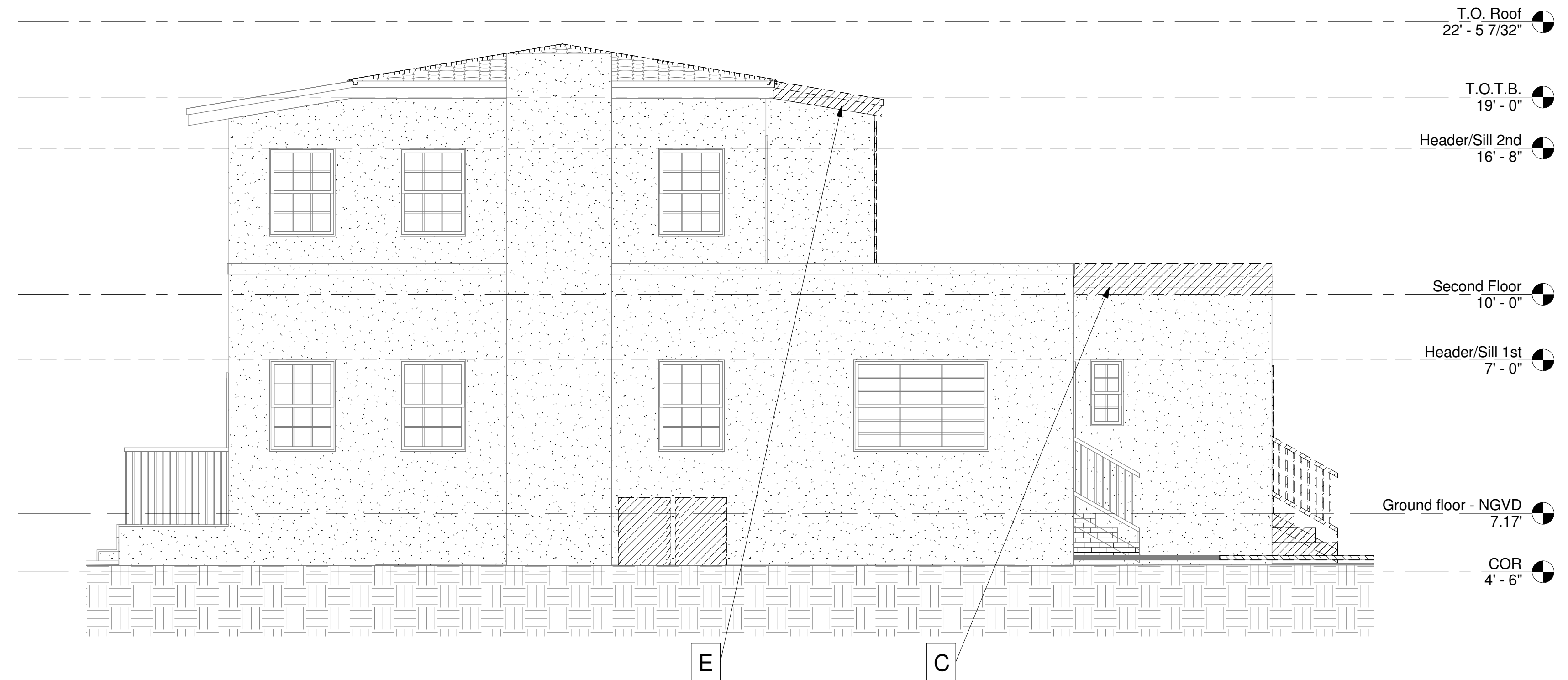
No.	Description	Date
1	Revision 1	Date 1

AR 96398
AR 92953

- Drawing # 26 Scale: 1/4" = 1'-0" Elevation Schedule



Drawing # 18 Scale: 1/4" = 1'-0" South - New



Drawing # 4 Scale: 1/4" = 1'-0" South - Existing

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Residential Renovation Key Construction Documents

1351 Lenox Avenue
Miami Beach, FL 33139

Elevations

A-502

Project number	035 Rey 13
Date	April 24, 2018

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AR 92953

