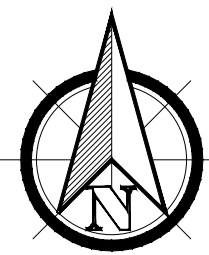


RESIDENCE
2300 ALTON RD
MIAMI BEACH, FL.



AREA OF WORK



LOCATION PLAN
N.T.S.

FINAL SUBMITTAL

INDEX

- C-1 COVER SHEET
- C-2 SITE PLAN
- C-3 ZONING DATA
- C-3.1 VARIANCE DIAGRAM
- C-4 DIAGRAMS
- C-5 DIAGRAMS
- C-6 DIAGRAMS
- D-1 EXISTING/DEMO FLOOR PLANS
- D-2 EXISTING /DEMO ROOF
- A-1 PROPOSED 1ST FLOOR PLAN
- A-2 PROPOSE 2ND FLOOR PLAN
- A-3 PROPOSE ROOF PLAN
- A-4 ELEVATIONS
- A-5 ELEVATIONS
- A-6 ELEVATIONS
- A-7 ELEVATIONS
- A-8 ELEVATION

SCOPE OF WORK

ALTERATION LEVEL III
ADDITION AND RENOVATION
(ACCESSORY BUILDING)

- PROPOSED NEW ADDITION (2 STORY STRUCTURE)
- PROPOSED FIRST FLOOR ADDITION FOR GARAGE EXTENSION.
- EXISTING PARTIAL 1ST FLOOR STRUCTURE TO BE DEMOLISHED TO PROVIDE A NEW COVER TERRACE.
- ELECTRICAL AS REQUIRED.
- MECHANICAL AS REQUIRED.
- PLUMBING REQUIRED.

VARIANCE REQUIRED:

1. INTERIOR SIDE SETBACK REQUIRED: 10'-0", PROPOSED: 5'-0"
2. SIDE FACING STREET SET BACK REQUIRED: 15'-0" , PROPOSED: 12.86'
3. REAR SETBACK REQUIRED: 15'-0", PROPOSED: 4'-6".
4. SUM SETBACK OF THE SIDE SETBACK REQUIRED 25'-0", PROPOSED : 17'-9"
5. VARIANCE TO ELIMINATE THE REQUIRED 5'-0" DISTANCE SEPARATION BETWEEN THE MAIN BUILDING AND THE ACCESSORY STRUCTURE.
6. ACCESSORY BUILDING CANNOT OCCUPY MORE THAN 25% OF THE AREA OF THE REAR YARD APPLICABLE TO THE FOOT PRINT OF THE ACCESSORY BUILDING WITHIN THE REAR 20'-0" MAX. REQ. 25% = 321.5 S.F. , PROPOSED: 717 S.F.
7. ACCESSORY BUILDING TOTAL SIZE OF ALL ACCESSORY BUILDING CANNOT EXCEED 10% OF THE SIZE OF THE MAIN HOME ON THE SUBJECT SITE MAXIMUM 10% OF THE MAIN HOME = 392.2 S.F. , PROPOSED: 1,148 S.F.

LEGAL DESCRIPTION:

LOT 1, BLOCK 13, OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE:

THESE RECORD DOCUMENTS REFLECT FIELD CONDITIONS, CONSTRUCTIONS, AND INSTALLATIONS DONE BY CERTIFIED/LICENSED CONTRACTORS, THESE PLANS ARE PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER OF RECORD HAS VERIFIED THE ACCURACY AND COMPLETENESS OF THIS INFORMATION ONLY AS MEETING THE DESIGN INTENT AND IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS, ERRORS, OR OMISSIONS AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS OR INSTALLATIONS NOT CODE COMPLIANT.

NOTE:

ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK AND/OR ORDERING ANY EQUIPMENT. CONTRACTOR SHALL PROVIDE A FULLY OPERATIONAL AND CODE COMPLIANT INSTALLATION: THESE DRAWINGS MAY OR AMY NOT INCLUDE ALL THE DETAILS, EQUIPMENT, AND ACCESSORIES TO ACCOMPLISH THIS. THE CONTRACTOR SHALL REVIEW THEM IN CONJUNCTION WITH ALL THE OTHERS TRADES/DISCIPLINES AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER IN FORM OF RFI PRIOR TO BIDDING AND CONSTRUCTION.

APPLICABLE CODES:

- FLORIDA BUILDING CODE 2017 (6TH EDITION)
- FLORIDA BUILDING CODE 2017 EXISTING (6TH EDITION)

WE THE NEIGHBORS, HAVE NO OBJECTION TO THESE PLANS WHICH ARE BEING SUBMITTED FOR AN ADMINISTRATIVE ADJUSTMENT APPLICATION

SIGNATURE AND DATE
2312 ALTON RD., MIAMI BEACH, FL 33140

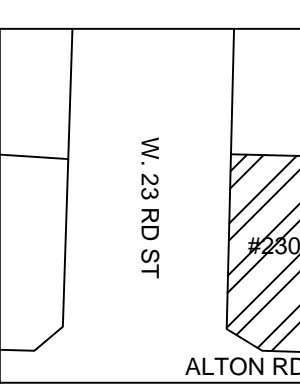
SIGNATURE AND DATE
1298 W 23RD ST. MIAMI BEACH, FL 33140

SIGNATURE AND DATE
2321 N BAY RD. MIAMI BEACH FL, 33140

Edward A. LANDERS, P.E.
CONSULTING ENGINEERS
7850 NW 140TH STREET, SUITE 500 MIAMI LAKES FL 33016
P.E. #038398
Tel. (305) 823-3938
Fax (305) 823-9355

SEAL / SIGNATURE

Location Sketch:



2019

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Residence:

RENOVATION/ADDITION

Project # 1131

2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:

COVER SHEET

Revisions

Date

1 Rev. 4-1-19

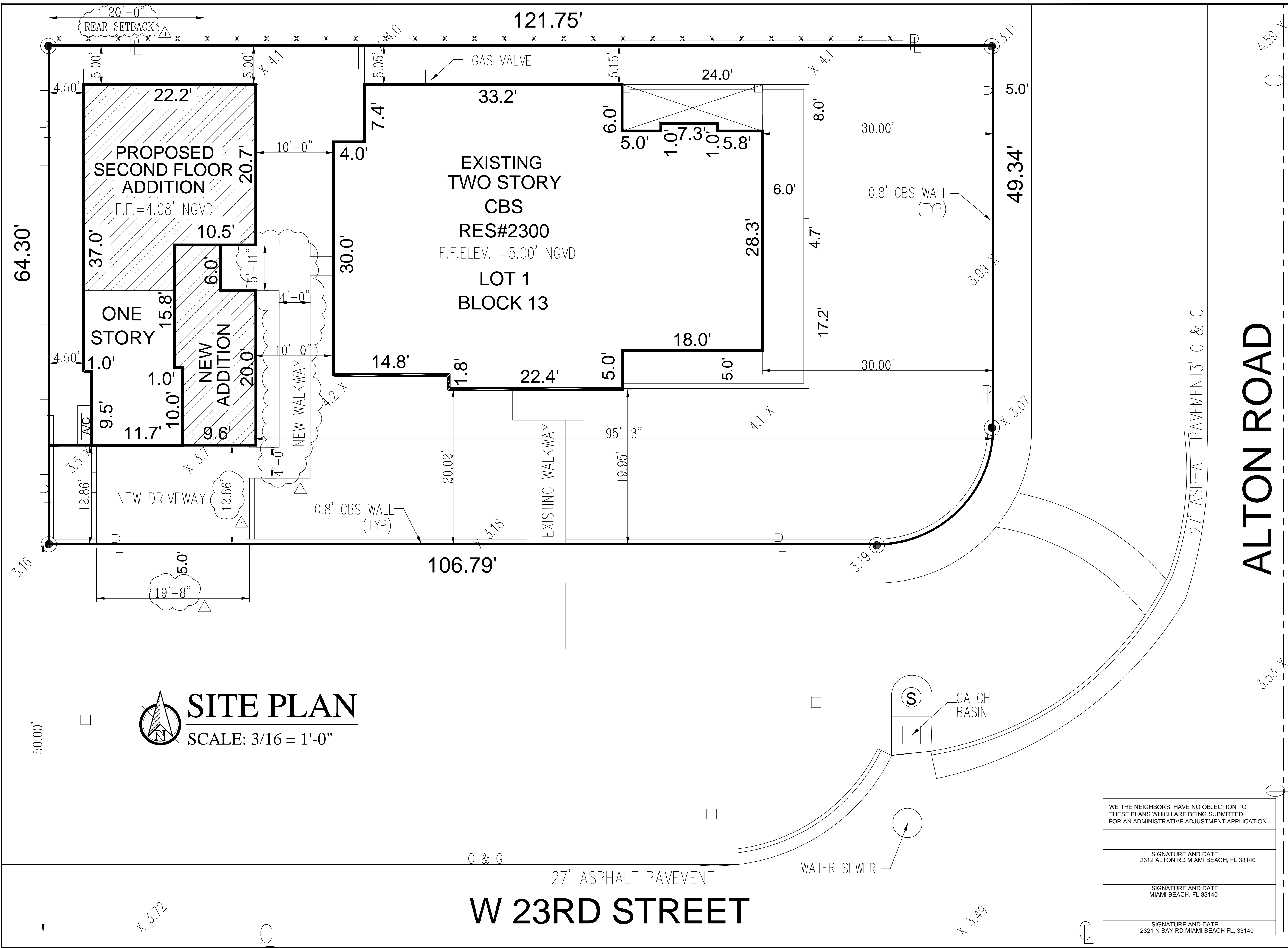
Sheet Number :

C-1

Scale: As Shown

Drawing : RDS

Date: 10/12/2018



SITE PLAN
SCALE: 3/16 = 1'-0"

Edward A. LANDERS, P.E.
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7850 NW 140TH STREET, SUITE 300 MIAMI LAKES, FL 33016
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SEAL / SIGNATURE

Location Sketch:

2019
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Residence:
RENOVATION/ADDITION

Project # 1131
**2300 ALTON RD
MIAMI BEACH, FL.33140**

Sheet Title:
SITE PLAN

Revisions	Date
1 Rev.	4-1-19

Sheet Number :
C-2

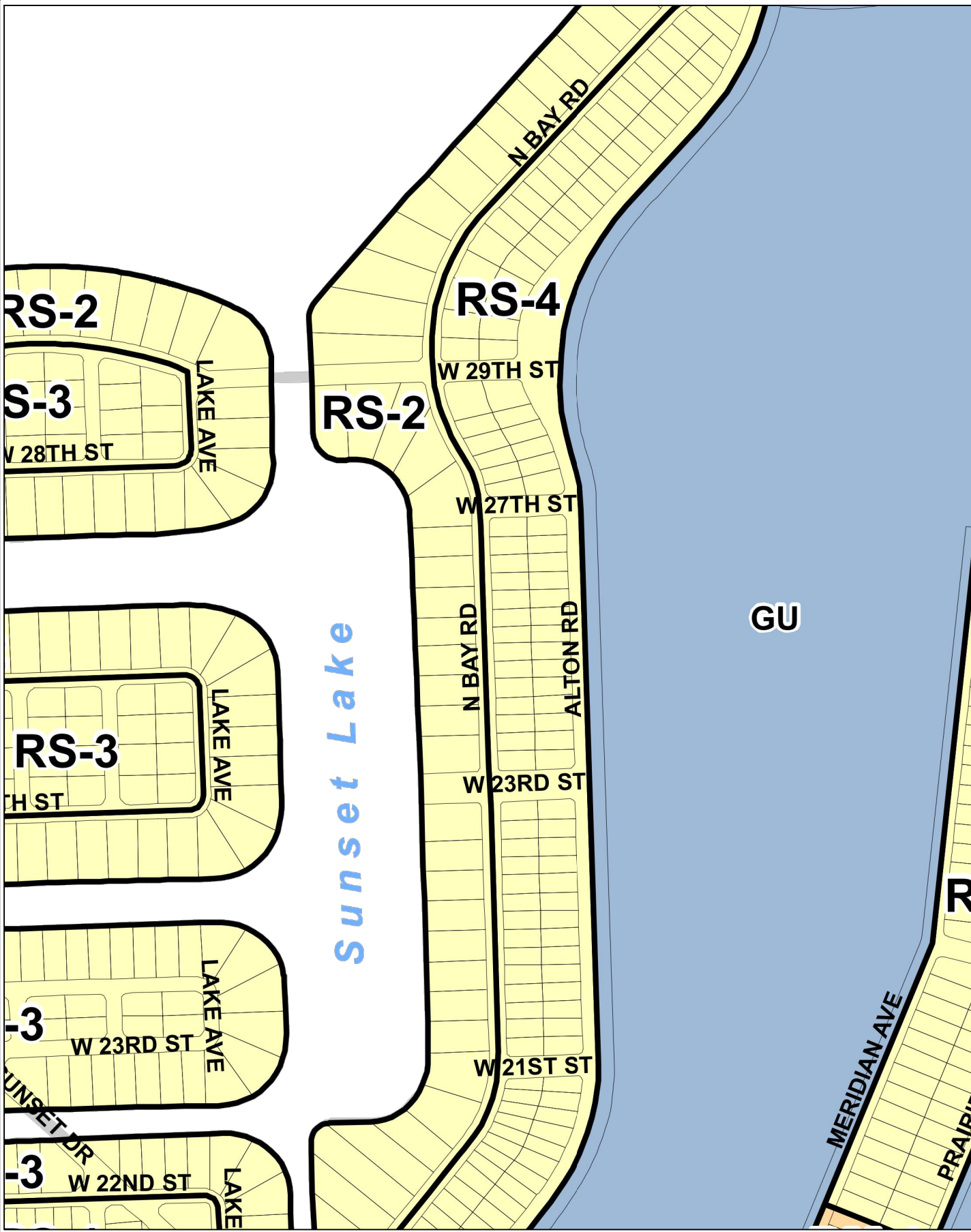
Scale: As Shown
Drawing : RDS
Date: 10/12/2018

WE THE NEIGHBORS, HAVE NO OBJECTION TO THESE PLANS WHICH ARE BEING SUBMITTED FOR AN ADMINISTRATIVE ADJUSTMENT APPLICATION

SIGNATURE AND DATE 2312 ALTON RD MIAMI BEACH, FL 33140
SIGNATURE AND DATE MIAMI BEACH, FL 33140
SIGNATURE AND DATE 2321 N.BAY RD, MIAMI BEACH, FL., 33140

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information					
1	Address:		2300 PINE TREE DR. MIAMI BEACH. FLORIDA			
2	Folio number(s):		02-3227-008-0790			
3	Year built:		1925	Zoning District:		RS-4
4	Lot Area:		7,780 SF (6,000 SF MIN.)			
5	Lot width:		64.30' (50' min)	Lot Depth:		121.75'
6	Max Lot Coverage SF for 2-story home % of lot:		3,112 SF (40%)	Proposed Lot Coverage SF and %:		2,428 S.F.(31.2%)
7	Existing Lot Coverage SF and %:		2,428 S.F.(31.2%)			
8	Min. Rear Yard Open Space SF and %:		764 SF (70%)	Rear Yard Open Space SF and %:		348 S.F. (27%)
9	Max Unit Size SF and %:		3,890 (50 %)	Proposed Unit Size SF and %:		4,444.9 S.F. (57.1%)
10	Proposed second floor (accessory building):		604 SF			
			Required	Existing	Existing	Proposed
13	Height:		24'-0" FLAT ROOF 27'-0" SLOPE ROOF ACCESSORY BUILD. 20'-0"	25'-0" MAIN HOUSE	13'-0" ACCESSORY BUILD.	20'-0" ACCESSORY BUILD.
						Deficiencies
						N/A
	Setbacks:		Required	Existing	Proposed	
15	Front First level:		20'-0"	30.0'		N/A
16	Front Second level:		15'-0"	19.95'		N/A
17	Side:		5'-0"	4'-6"		N/A
18	Rear:		5'-0"	5'-0"		N/A
19	Accessory Structure front:		20'-0"	95.25'		N/A
20	Accessory Structure Side (facing street) :		15'-0"	12.86'	12.86'	2.17'
21	Accessory Structure Rear:		15'-0"	4.50'	4.50'	10.50'
22	Sum of Side yard :		10.0'	5'-0"	5'-0"	5'-0"
23	Located within a Local Historic District?	No				
24	Designated as an individual Historic Single Family Residence Site?	No				



RS-4 SINGLE FAMILY RESIDENTIAL

Edward A.
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Fax (305) 823-9355

SEAL / SIGNATURE

Location Sketch:

2019

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Residence:

RENOVATION/ADDITION

Project # 1131

2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:

ZONING DATA

Revisions	Date
1 Rev.	4-1-19

Sheet Number :

C-3

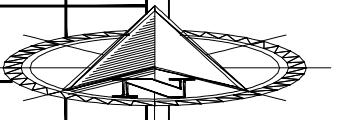
Scale: As Shown

Drawing : RDS

Date: 10/12/2018

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SEAL / SIGNATURE



W. 23 RD ST

#2308

ALTON RD

Residence:

RENOVATION/ADDITION

Sheet Title:

VARIANCE DIAGRAM

Sheet Number :
C-3.1

Scale: As Shown

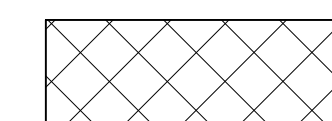
Drawing : RDS

Date: 10/12/2018

Date: 10/12/2018

SCALE: $\frac{3}{16}"=1'-0"$

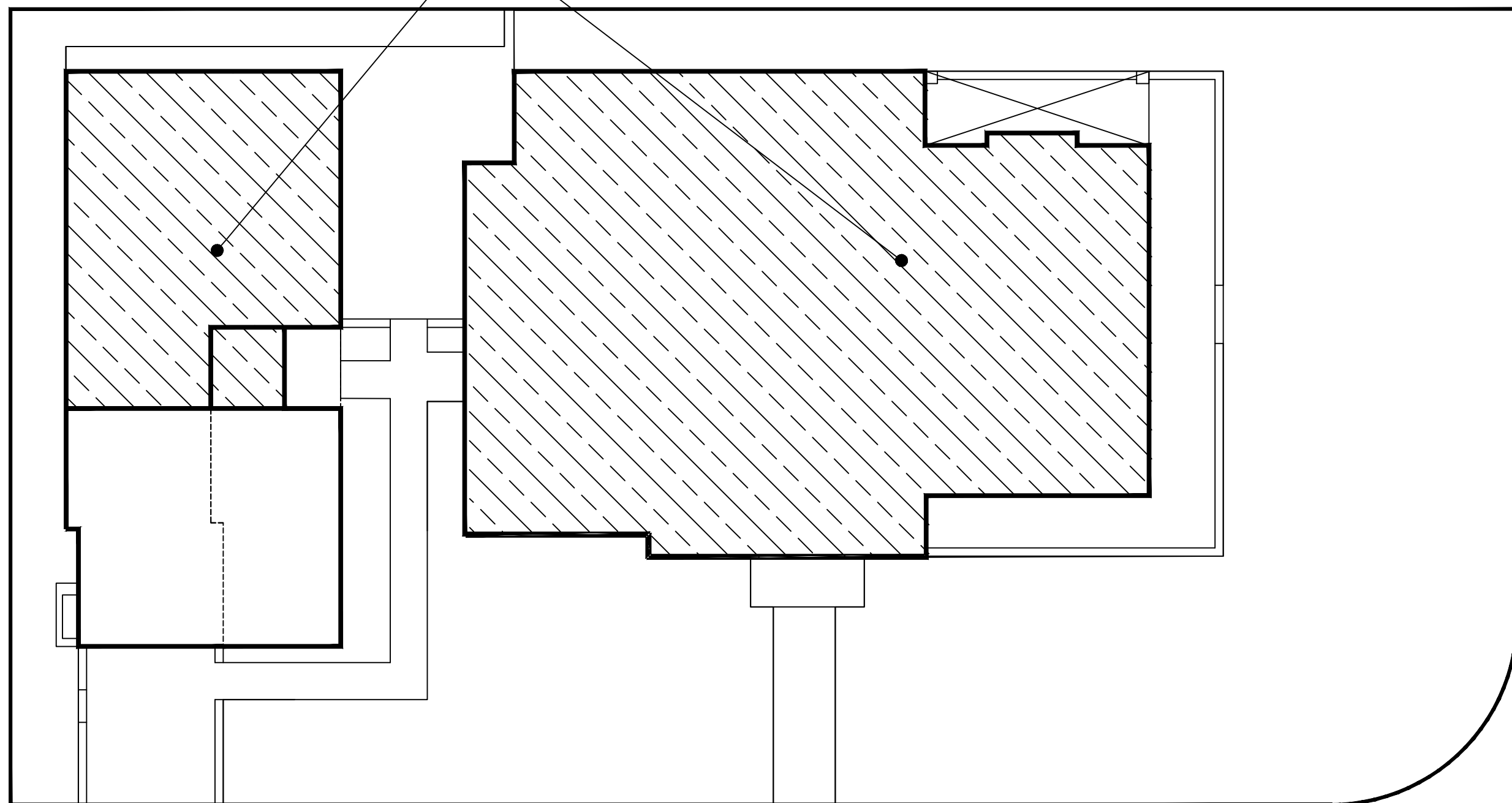
NEW ADDITION



1ST FLOOR ADDITION: 234 S.F.
(ACCESSORY BUILDING)

BUILDING SIZE: 2,428 S.F.

LOT SIZE: 7,780 SQ.FT.



TOTAL LOT COVERAGE: 2,428 S.F. = 31.2%
40% MAX.

LOT COVERAGE DIAGRAM

NTS

LOT COVERAGE LEGEND:

LOT AREA	
BUILDING SIZE	

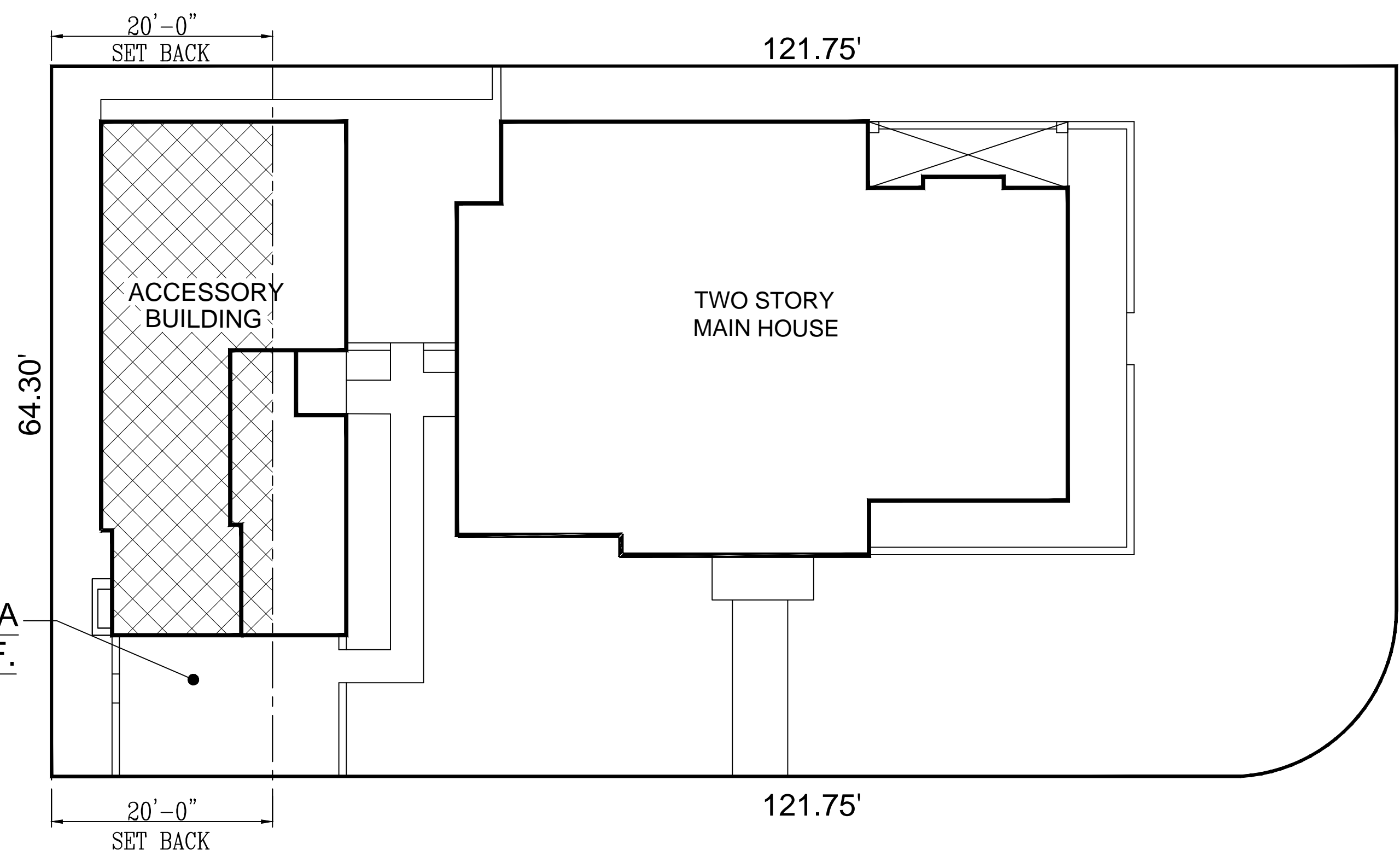
TOTAL AREA
= 1,286 S.F.

1

20 X 64.30' = 1,286 S.F.

REAR YARD FOR ACCESSORY BUILDING DIAGRAM PLAN

SCALE: NTS



LEGEND:

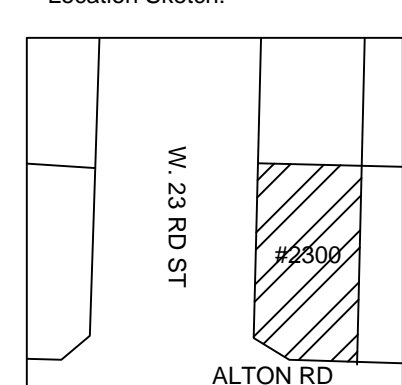
ACCESSORY BUILDING

REAR YARD AREA OF ACCESSIBLE BUILDING:
717 S.F. = 55.7% / 25% MAX.

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Fax (305) 823-9355

SEAL / SIGNATURE

Location Sketch:



2019
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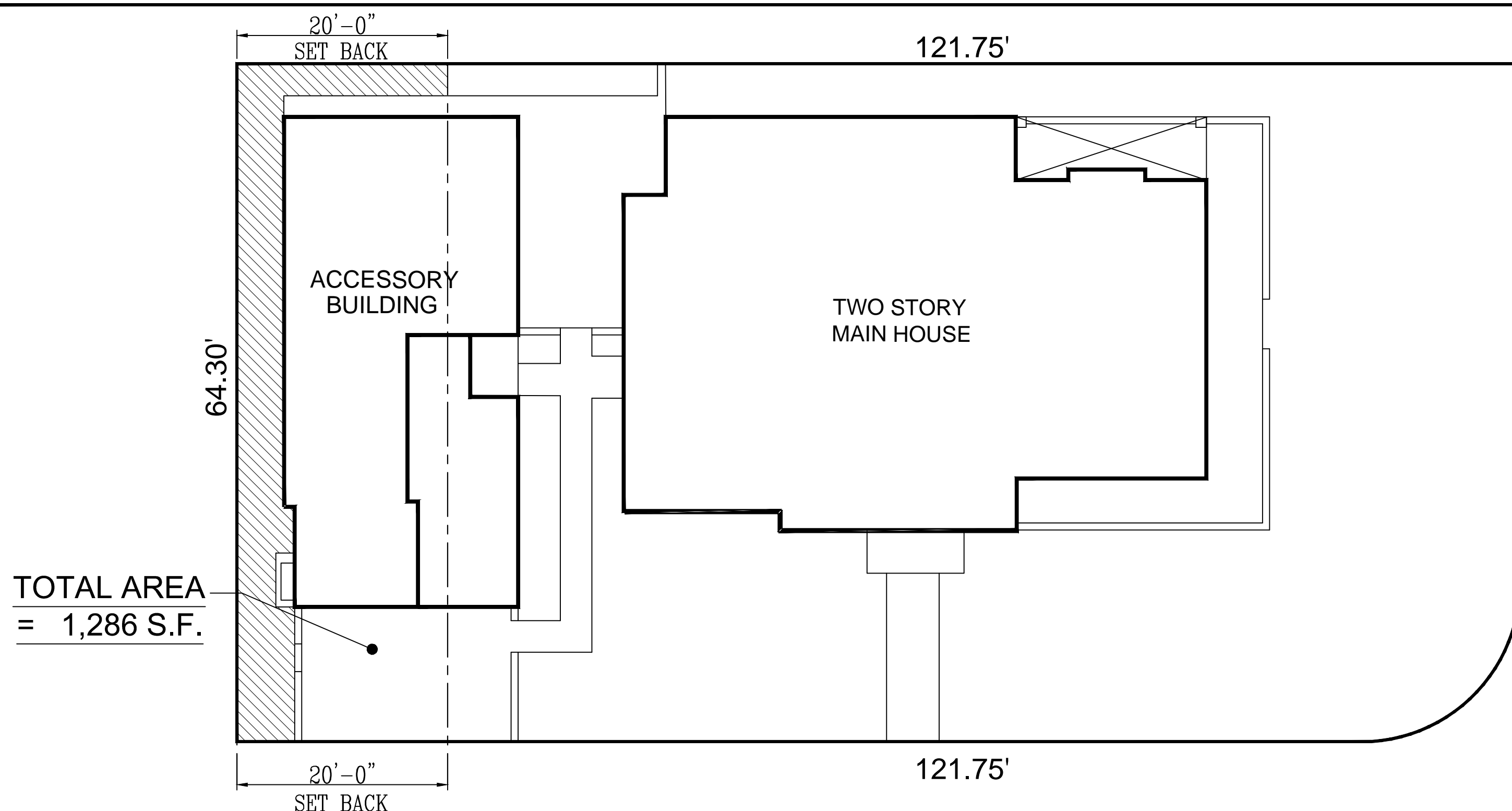
Residence:
RENOVATION/ADDITION

Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
DIAGRAMS

Revisions
1 Rev. 4-1-19

Sheet Number :
C-4
Scale: As Shown
Drawing : RDS
Date: 10/12/2018



TOTAL AREA
= 1,286 S.F.

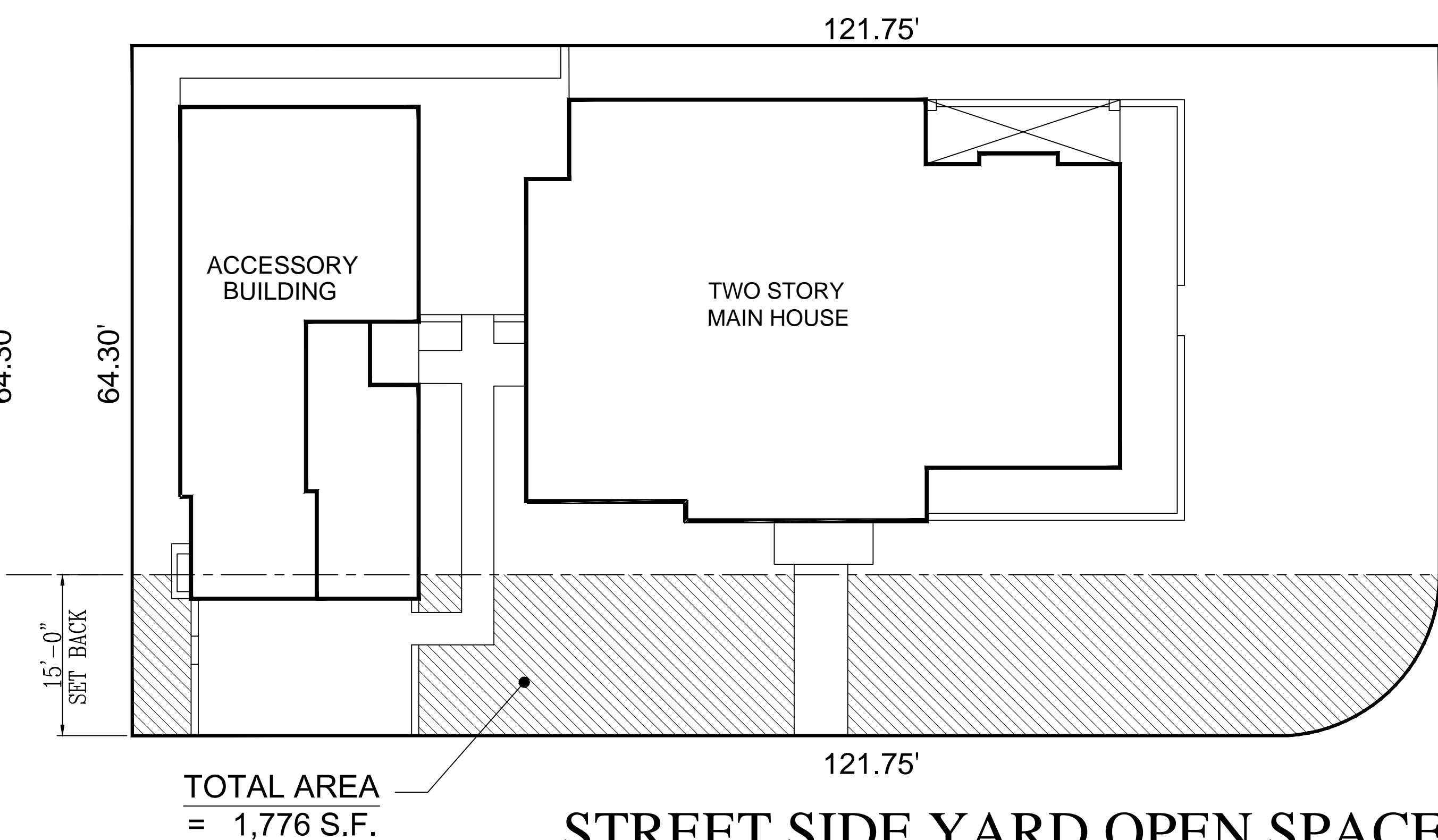
20 X 64.30' = 1,286 S.F.

IMPERVIOUS: 938 S.F.

PERVIOUS: 348 S.F. 27% = 70% MIN.

REAR YARD OPEN SPACE DIAGRAM PLAN

SCALE: NTS



TOTAL AREA
= 1,776 S.F.

OPEN SPACE LEGEND:

IMPERVIOUS	
PERVIOUS AREA	

STREET SIDE YARD OPEN SPACE DIAGRAM PLAN

SCALE: NTS

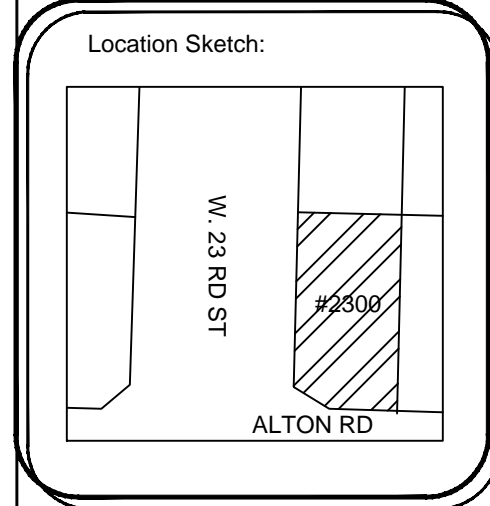
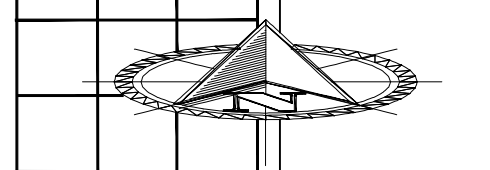
IMPERVIOUS: 427 S.F.

PERVIOUS: 1,349 S.F. 75.9% = 50% MIN.

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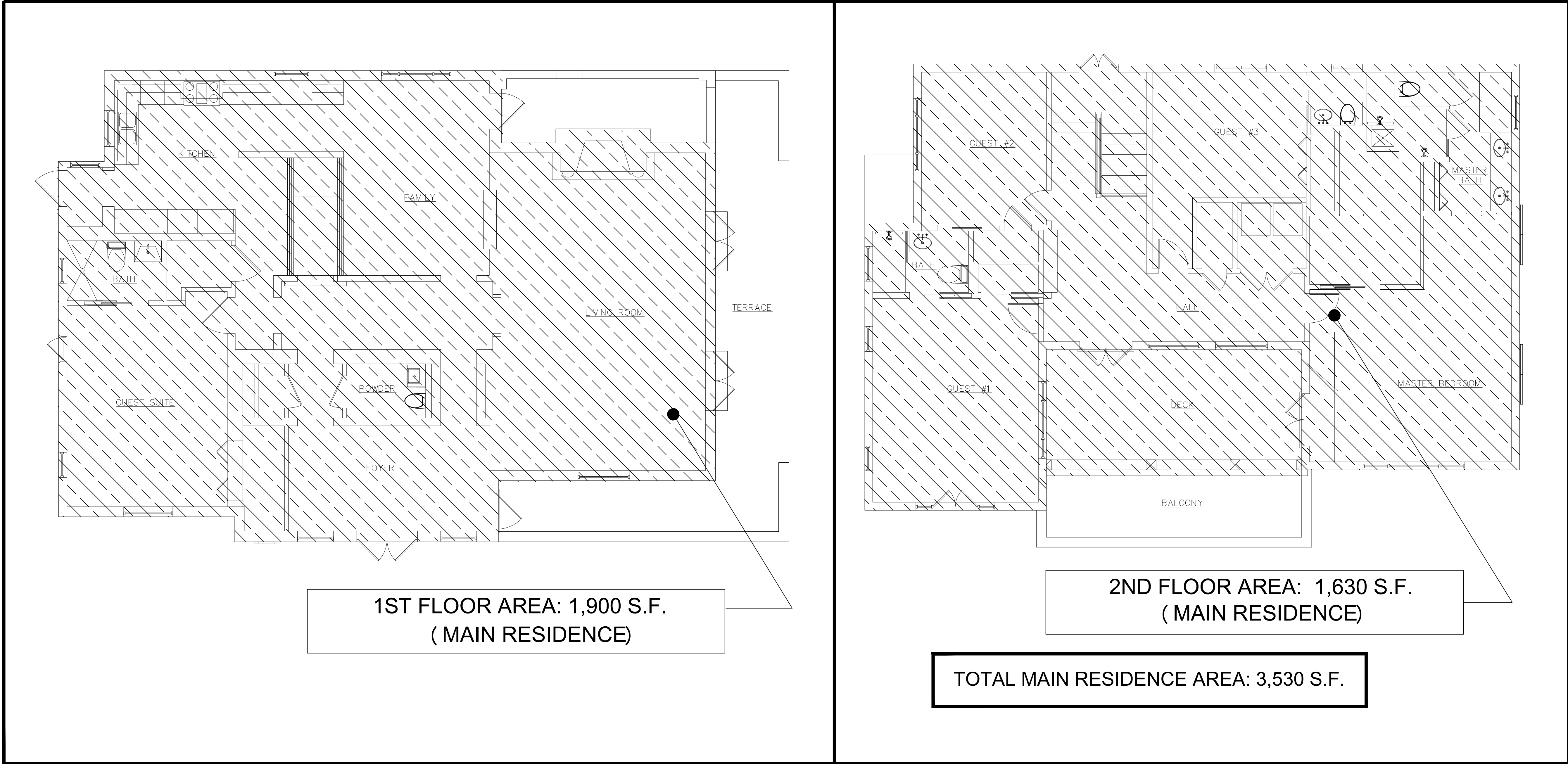
Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

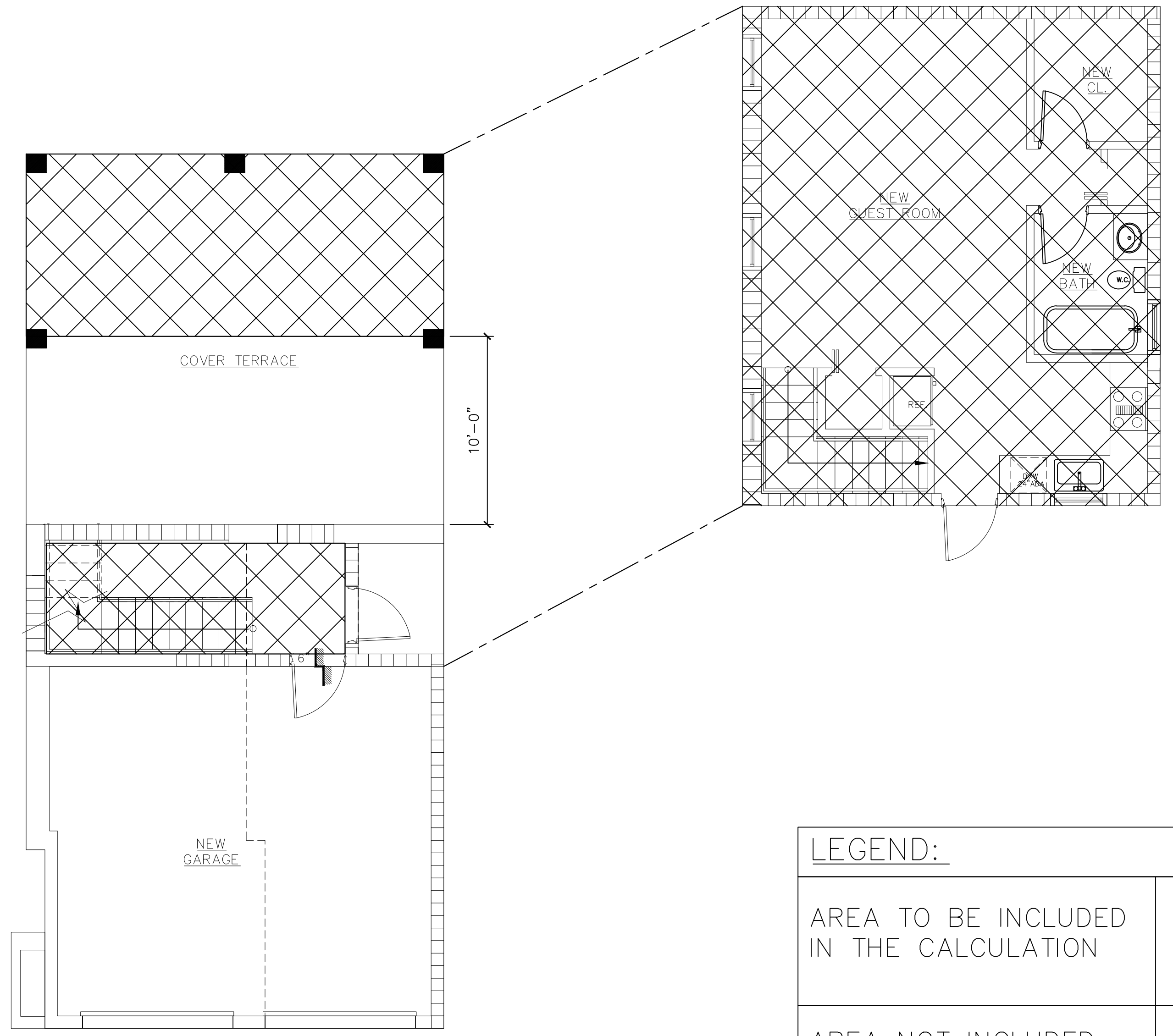
Sheet Title:
DIAGRAMS

Revisions	Date
1 Rev.	4-1-19

Sheet Number :
C-5

Scale: As Shown
Drawing : RDS
Date: 10/12/2018





UNIT SIZE DIAGRAM

NTS

LEGEND:	
AREA TO BE INCLUDED IN THE CALCULATION	
AREA NOT INCLUDED IN THE CALCULATIONS	

FIRST FLOOR AREA CALCULATIONS:	SECOND FLOOR AREA CALCULATIONS:
MAIN HOUSE: 1,900 S.F. NEW STAIRS ON ACCESSORY BUILDING : 89.3 S.F. AREA EXCEEDING 10'-0" FROM BUILDING WALL: 221.6 S.F. TOTAL UNIT SIZE AT 1ST FLOOR: 2,210.9 S.F.	MAIN HOUSE: 1,630 S.F. ACCESSORY BUILDING : 604 S.F. TOTAL 2ND FLOOR: 2,234 S.F.
TOTAL UNIT SIZE: 4,444.9 S.F. = 57.1%	

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SEAL / SIGNATURE

Location Sketch:

W. 23 RD ST
2300
ALTON RD

2019

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Residence:
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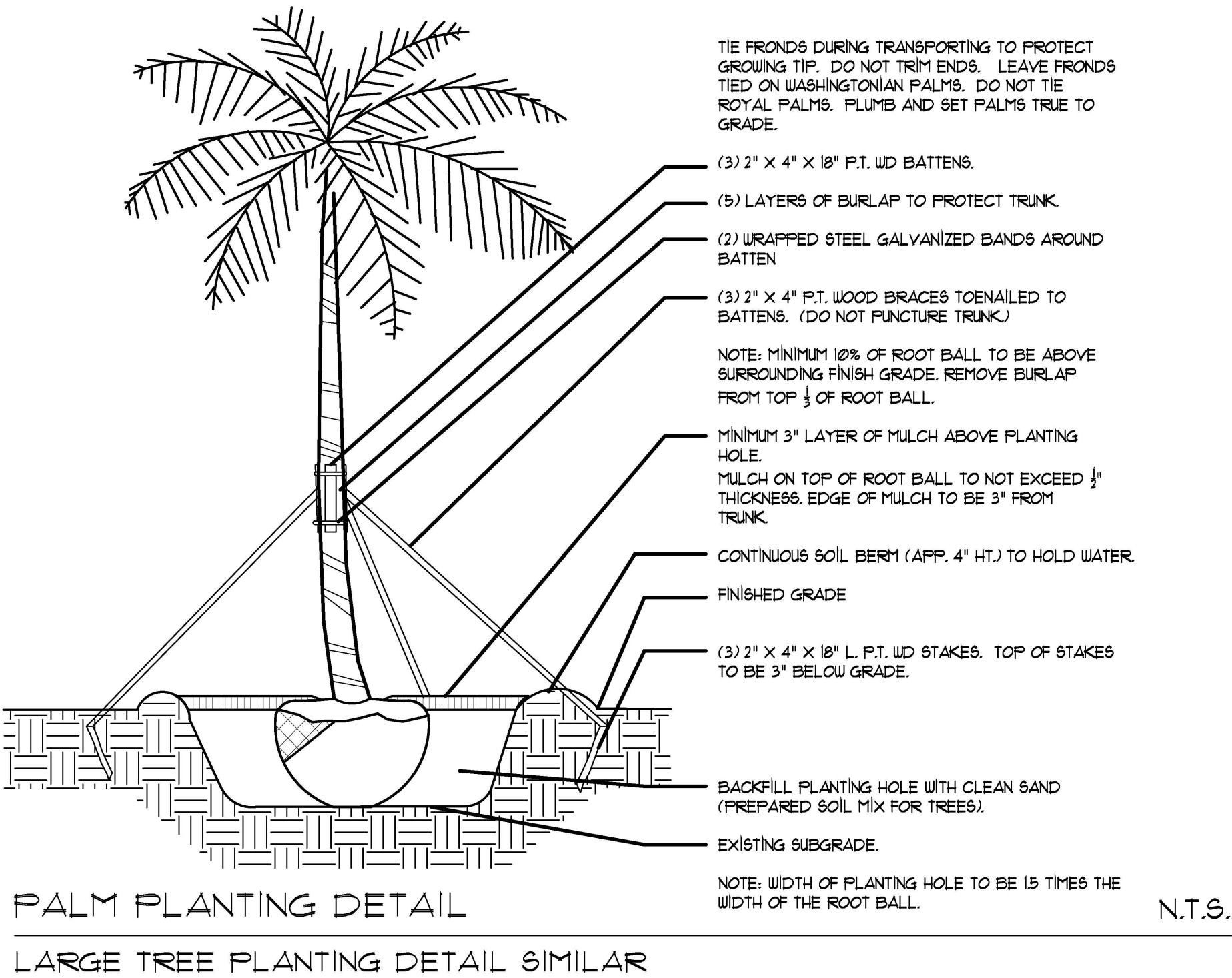
Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
DIAGRAMS

Revisions	Date
1 Rev.	4-1-19

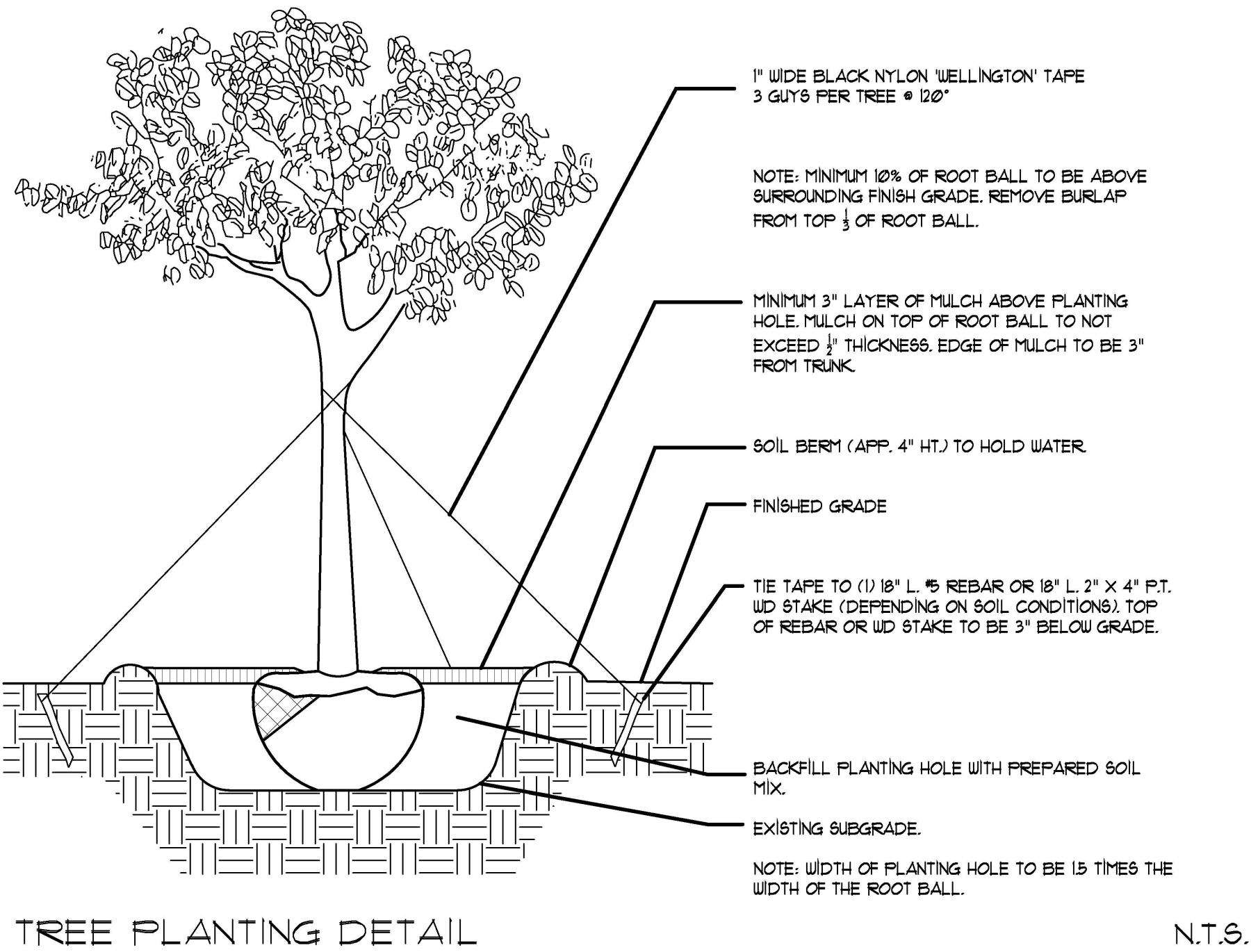
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C-6

Scale: As Shown
Drawing : RDS
Date: 10/12/2018



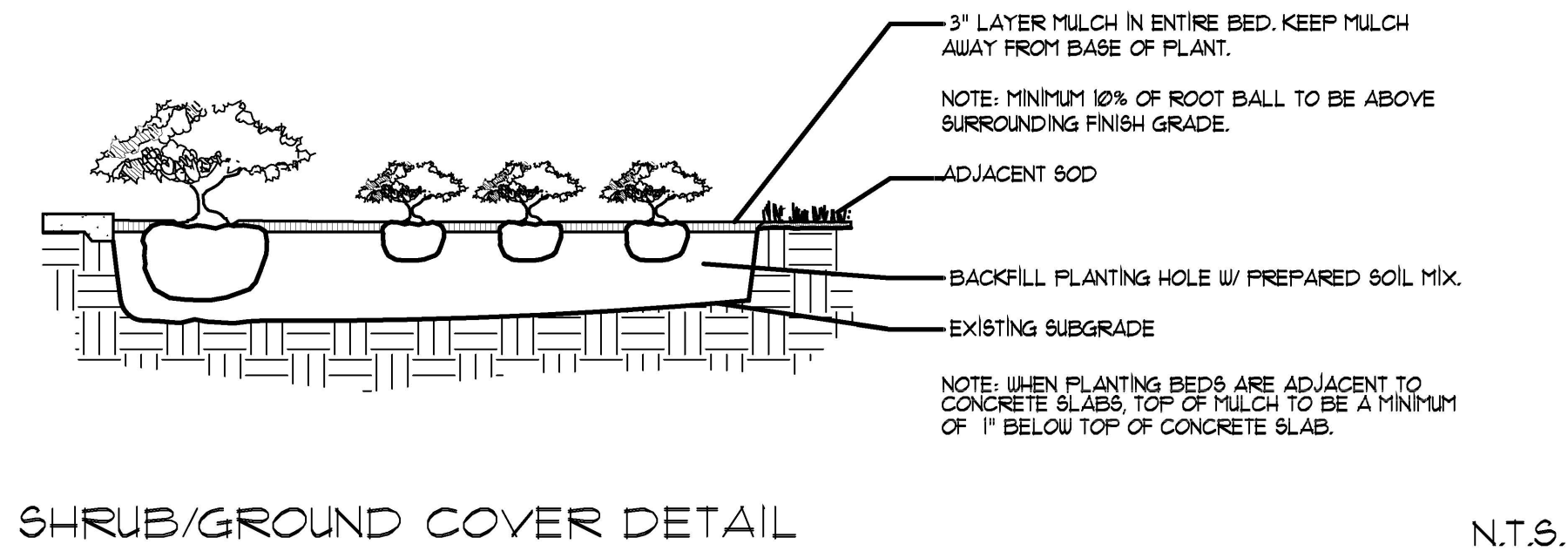
PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR



TREE PLANTING DETAIL

TREES WITH 3" CALIPER OR LESS



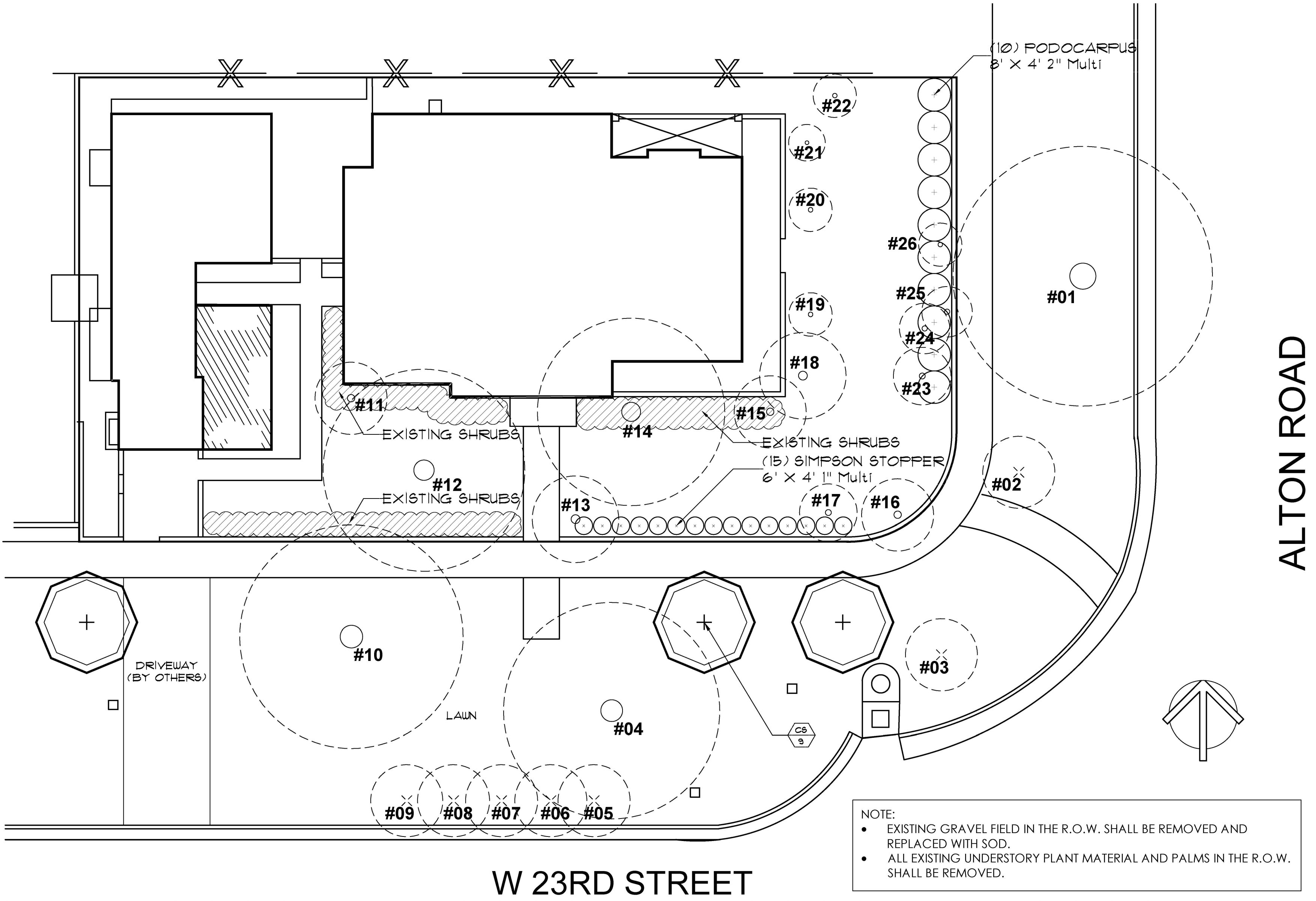
SHRUB/GROUND COVER DETAIL

PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONE'S OWN QUANTITY COUNTS: PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

Tree Disposition							
No	Botanical Name	Common Name	HT (ft)	SPR (ft)	DBH (in)	Disposition	Condition
1	Swetenia mahoganii	Mahogany	40	36	30.5	Remain	Good
2	Coccoloba uvifera	Seagrape	9	10	1, 1, 1, 1	Remove	Poor
3	Adonia merrillii	Christmas Palm	7	10	2.5, 2.5, 2.5	Remove	Poor
4	Bucida buceras	Black Olive	35	30	20.5	Remain	Good
5	Adonia merrillii	Christmas Palm	23	10	5.5, 5.5	Remove	Good
6	Adonia merrillii	Christmas Palm	21	10	6.25	Remove	Good
7	Adonia merrillii	Christmas Palm	18	10	5, 5	Remove	Good
8	Adonia merrillii	Christmas Palm	17	10	5	Remove	Poor
9	Adonia merrillii	Christmas Palm	16	10	4.5	Remove	Poor
10	Delonix regia	Royal Poinciana	24	31	14.5	Remain	Good
11	Mangifera indica	Mango Tree	15	10	3	Remain	Good
12	Bucida buceras	Black Olive	35	28	14.5	Remain	Good
13	Tabebuia caraiba	Yellow Tabebuia	15	12	6	Remain	Fair
14	Bucida buceras	Black Olive	35	26	19	Remain	Good
15	Tabebuia caraiba	Yellow Tabebuia	10	10	6	Remain	Fair
16	Ceiba pentandra	Ceiba Tree	16	10	4, 4	Remain	Fair
17	Mangifera indica	Mango Tree	10	8	3	Remain	Fair
18	Strelitzia reginae	Orange Bird of Paradise	14	12	12 multi	Remain	Good
19	Jatropha integrerrima	Jatropha	8	6	1 multi	Remain	Good
20	Jatropha integrerrima	Jatropha	9	6	1 multi	Remain	Good
21	Codiaeum variegatum	Croton	8	5	1 multi	Remain	Good
22	Hibiscus syriacus	Hibiscus	11	6	2 multi	Remain	Poor
23	Litchi chinensis	Lychee	9	8	2	Remain	Fair
24	Dimocarpus longan	Longan	10	7	1.5	Remain	Good
25	Hibiscus syriacus	Hibiscus	8	7	1.5 multi	Remain	Poor
26	Jatropha integrerrima	Jatropha	8	6	1 multi	Remain	Good

PLANTLIST				
TREES & PALMS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
3	CE	Conocarpus erectus 'sericeus'	Silver Buttonwood	10' oa ht



REVISIONS

4/2/19 CITY COMMENTS

LICENSED PROFESSIONAL

DIEGO J. VANDERBEEK, RLA
FLORIDA NO. 6667355

DATE:

2300 ALTON ROAD

CENTURY BUILDERS

MIAMI BEACH, FL

EXISTING CONDITION LANDSCAPE PLAN

DIXIE
LANDSCAPE

12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843

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Date 10.24.18

Scale 1"=10'-0"

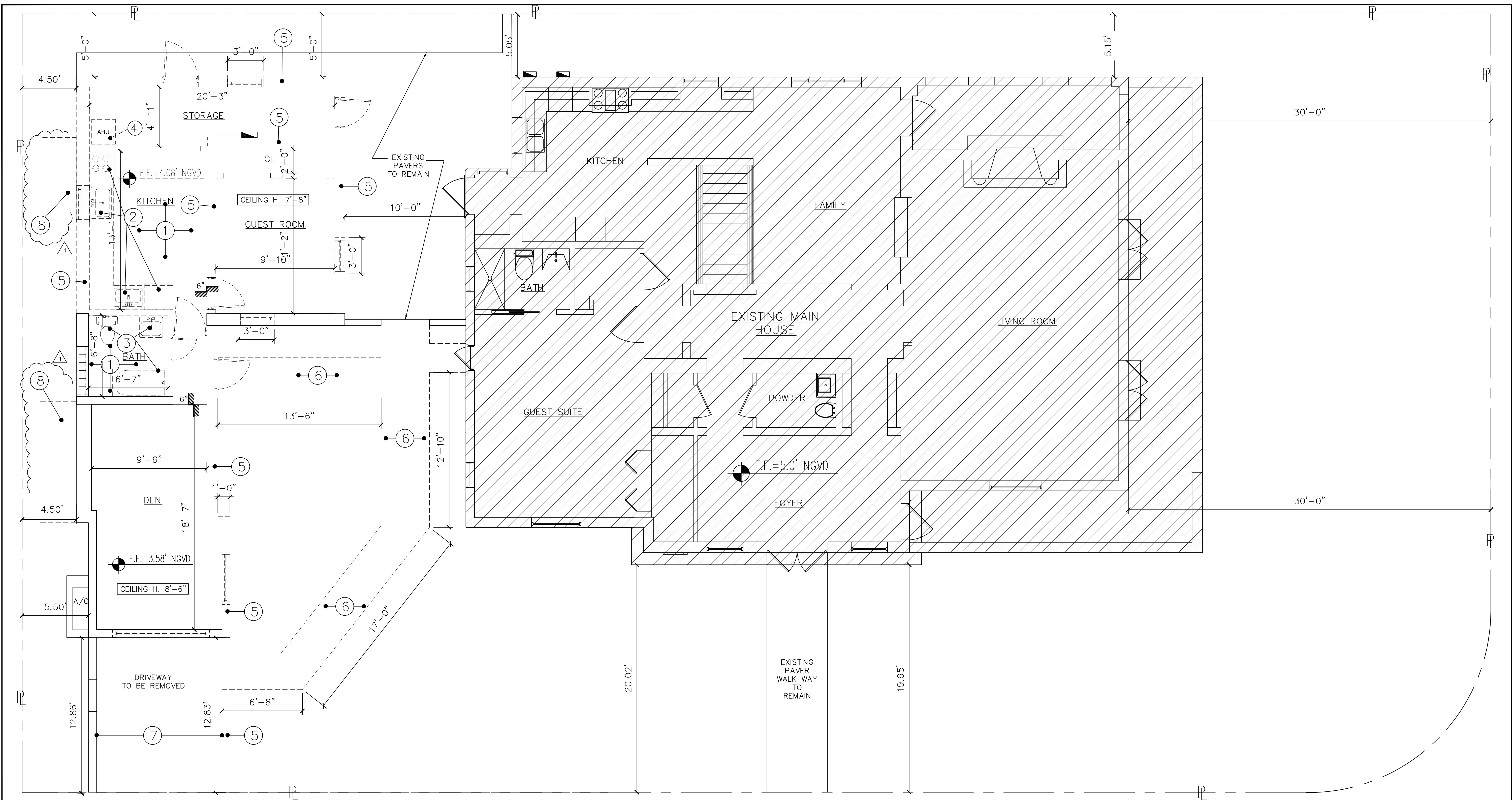
Drawn EH

Check EH

Sheet

LA-1

Of 1 Sheets



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Location Sketch:

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Residence:

RENOVATION/ADDITION

Project # 1131

2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:

EXISTING / DEMO
FLOOR PLAN

Revisions	Date
1 Rev.	4-1-19

Sheet Number :
D-1

Scale: As Shown

Drawing : RDS

Date: 10/12/2018

EXISTING / DEMO FLOOR PLAN

SCALE: 1/4" = 1' - 0"

- DEMOLITION LEGEND:
- ①

EXISTING FLOOR TO BE REMOVED AND REPLACED BY NEW. (AS PER OWNER SELECTION).

②

EXISTING KITCHEN CABINETS AND FIXTURES TO BE REMOVED. (CAP PLUMBING LINES AS REQUIRED).

③

EXISTING BATHROOM CABINETS AND FIXTURES TO BE REMOVED. (CAP PLUMBING LINES AS REQUIRED).

④

EXISTING AHU TO BE REMOVED

⑤

EXISTING CMU WALL TO BE REMOVED.

⑥

EXISTING CONCRETE WALKWAY TO BE REMOVED.

⑦

EXISTING DRIVEWAY TO BE REMOVED.

⑧

EXISTING CONCRETE SLABS TO BE REMOVED.
- DENOTES EXISTING TO REMAIN:
- DENOTES EXISTING TO BE REMOVED.
- DENOTES EXISTING DOOR TO BE REMOVED.
- DENOTES EXISTING WINDOW TO BE REPLACED (SAME LOCATIONS).

DEMOLITION NOTES:

THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.

THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION. THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE. TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.

ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.

RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIOS PER N.E.C.

ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.

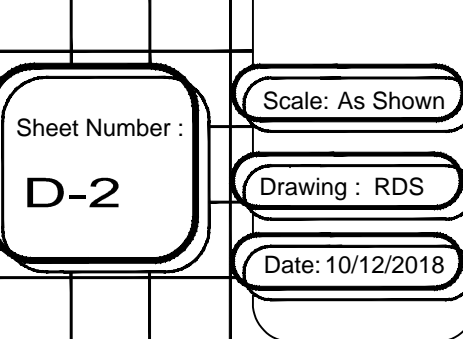
REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.

ALL FIRE PROTECTION DEVICES SUCH AS HORN STROBES, PULL STATIONS, SMOKE DETECTORS FIRE EXTINGUISHERS, HOSE CABINETS ETC. SHALL BE SALVAGED, LABELED AND STORED FOR RE-USE. FIRE ALARM SYSTEM SHALL BE MAINTAINED IN OPERABLE CONDITION.

CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANT,S DRAWINGS. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION. CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB TO AN AS NEW ACCEPTABLE FINISH TO ALLOW FOR A PROPER INSTALLATION OF FLOORING. CONTRACTOR SHALL PATCH AND REPAIR ALL CURTAIN WALL MULLIONS AFTER REMOVAL OF EXISTING FRAMING. SEE ELECTRICAL, MECHANICAL & HVAC PLANS FOR FURTHER DEMOLITION NOTES.

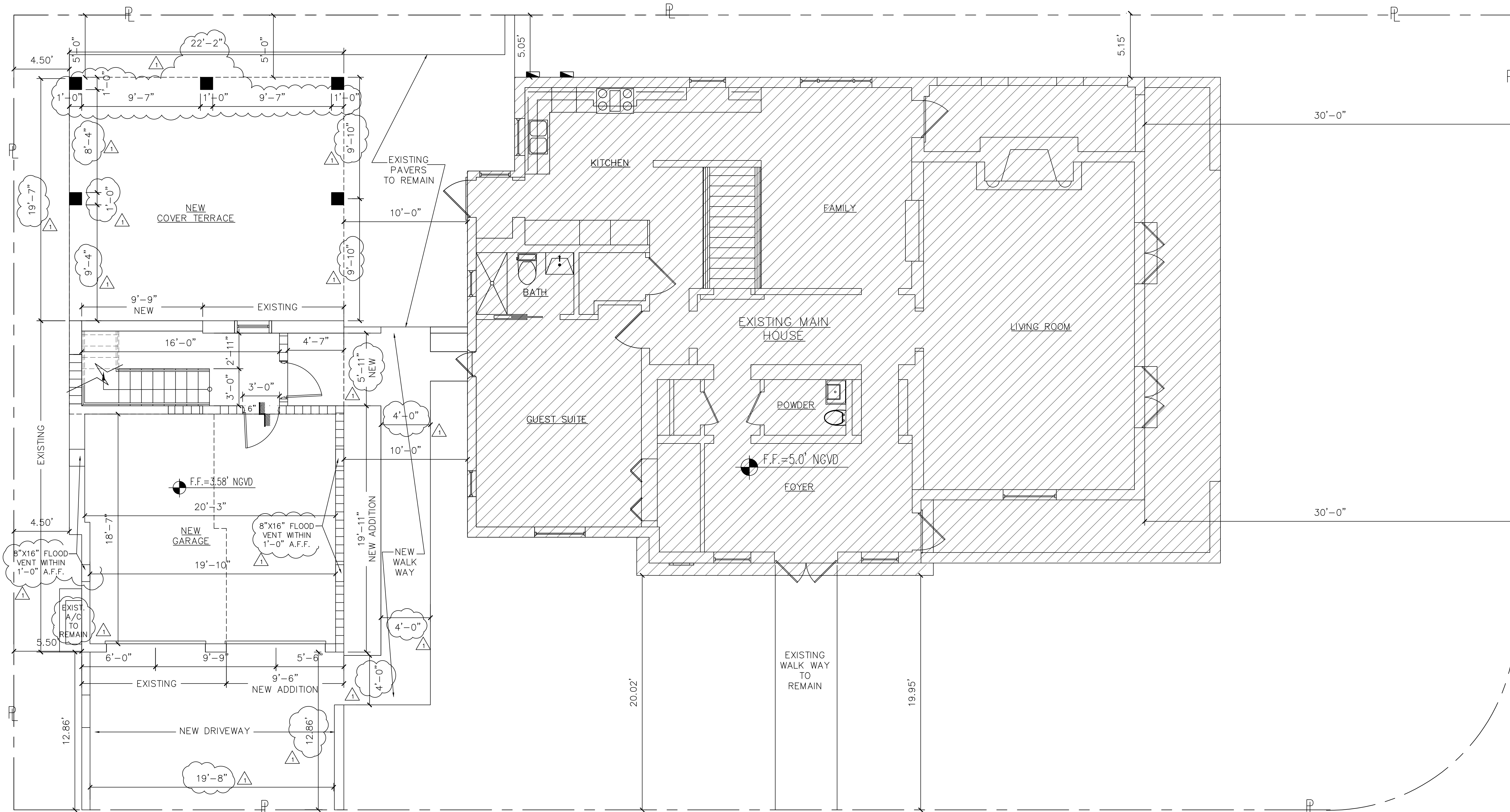
PREPARE THE EXISTING CONCRETE SLABS AS REQUIRED TO BE EVEN ELEVATION THROUGHOUT, SMOOTH, CONTINUOUS LEVEL & READY TO ACCEPT NEW FINISHED. THIS INCLUDES "FLOATING" AN UNACCEPTABLE EXISTING SLAB AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF THE DEMOLITION OF WALLS. THE EXISTING AND NEW SLABS BE AT THE SAME CONTINUOUS ELEVATION. THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR, HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.

THE CONTRACTOR TO CAREFULLY REMOVE AND STORE ALL DOORS AND FRAMES THAT ARE INDICATED TO BE REMOVED FOR REUSE. VERIFY ALL SWINGS WITH FLOOR PLANS FOR POSSIBLE REUSE OF EXISTING DOORS AND FRAMES TO REMAIN. POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH LANDLORD 72 HOURS PRIOR TO PROPOSED INTERRUPTION. COORDINATE WITH LANDLORD PRIOR TO ANY WORK ON BUILDING SHELL AND ROOF SYSTEM.



Date: 10/12/2018

===== DENOTES EXISTING TO REMAIN:
----- DENOTES EXISTING TO BE REMOVED



PROPOSE FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



FLOOD VENT CALCULATIONS:

MIN. REQUIRED 1 SQ.IN. PER 1 SQ.FT. OF AREA
E/A FLOOD VENT (8" X 16") = 128 SQ.IN.
GARAGE: 372 SQ.FT. / 128 SQ.IN. = 3 VENTS MIN. REQUIRED

NOTE: ALL FLOOD VENTS WITHIN 1'-0" A.F.F.

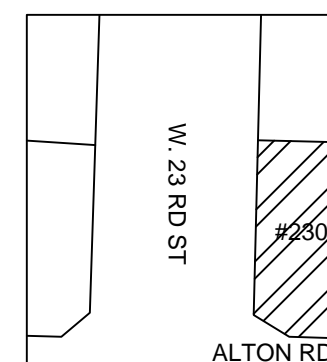
PLAN LEGEND:

EXISTING WALL TO REMAIN	
NEW CMU WALL(BLOCK UP)	
EXISTING MAIN HOUSE TO REMAIN	
NEW CONCRETE COLUMNS	

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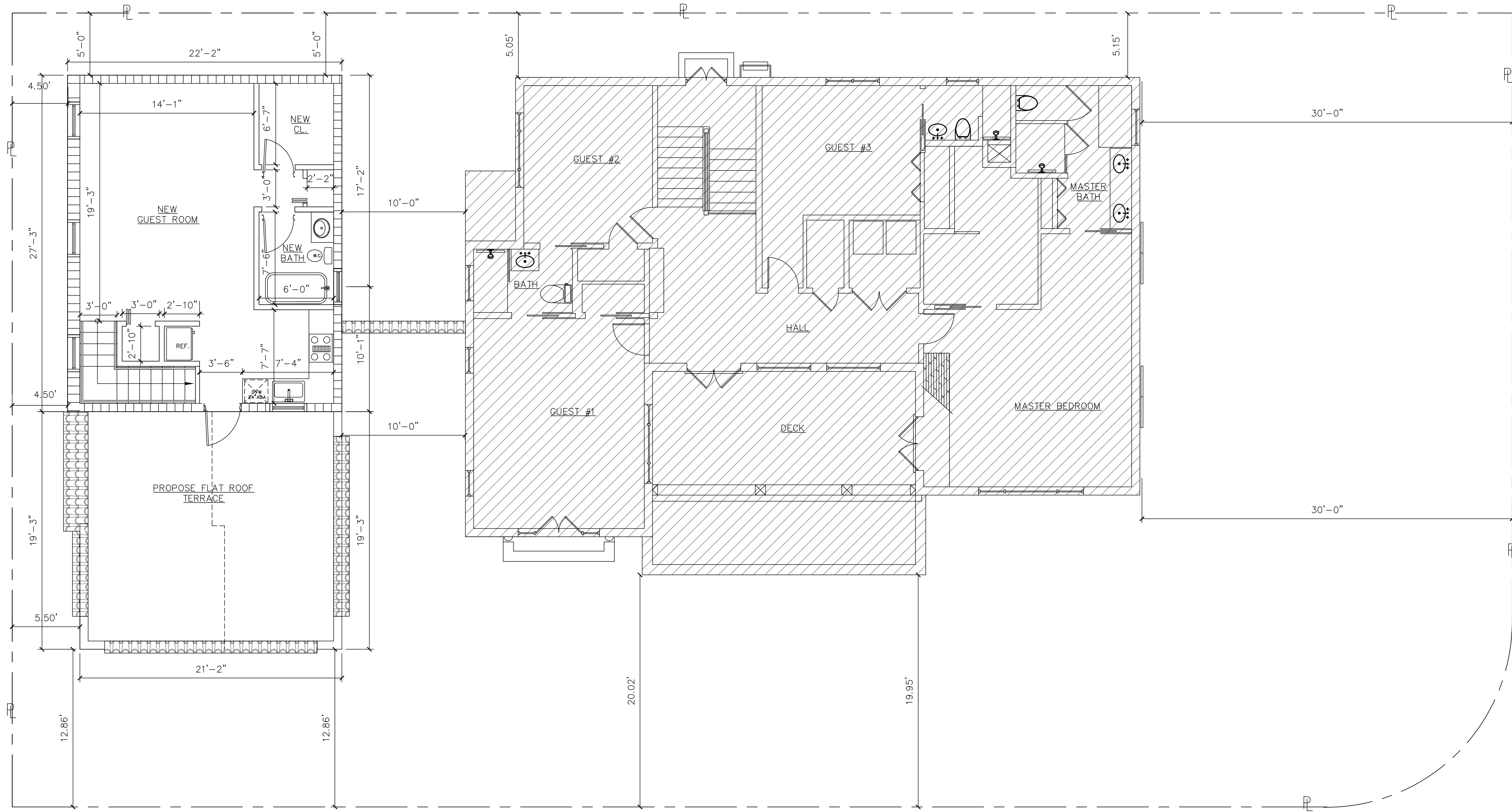
Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
**PROPOSED
FIRST FLOOR PLAN**

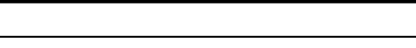
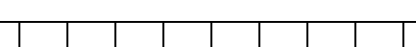
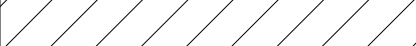
Revisions	Date
1 Rev.	4-1-19

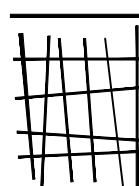
Sheet Number :
A-1

Scale: As Shown
Drawing : RDS
Date: 10/12/2018

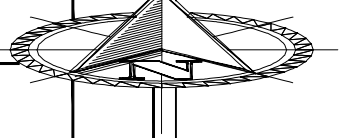
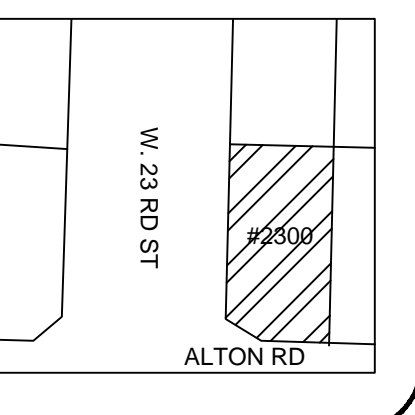


 **PROPOSE SECOND FLOOR PLAN**
SCALE: 1/4" = 1' - 0"

PLAN LEGEND:	
EXISTING WALL TO REMAIN	
NEW CMU WALL(BLOCK UP)	
EXISTING MAIN HOUSE TO REMAIN	

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MIAMI BEACH, FL.33140**

Sheet Title:
**PROPOSED
SECOND FLOOR PLAN**

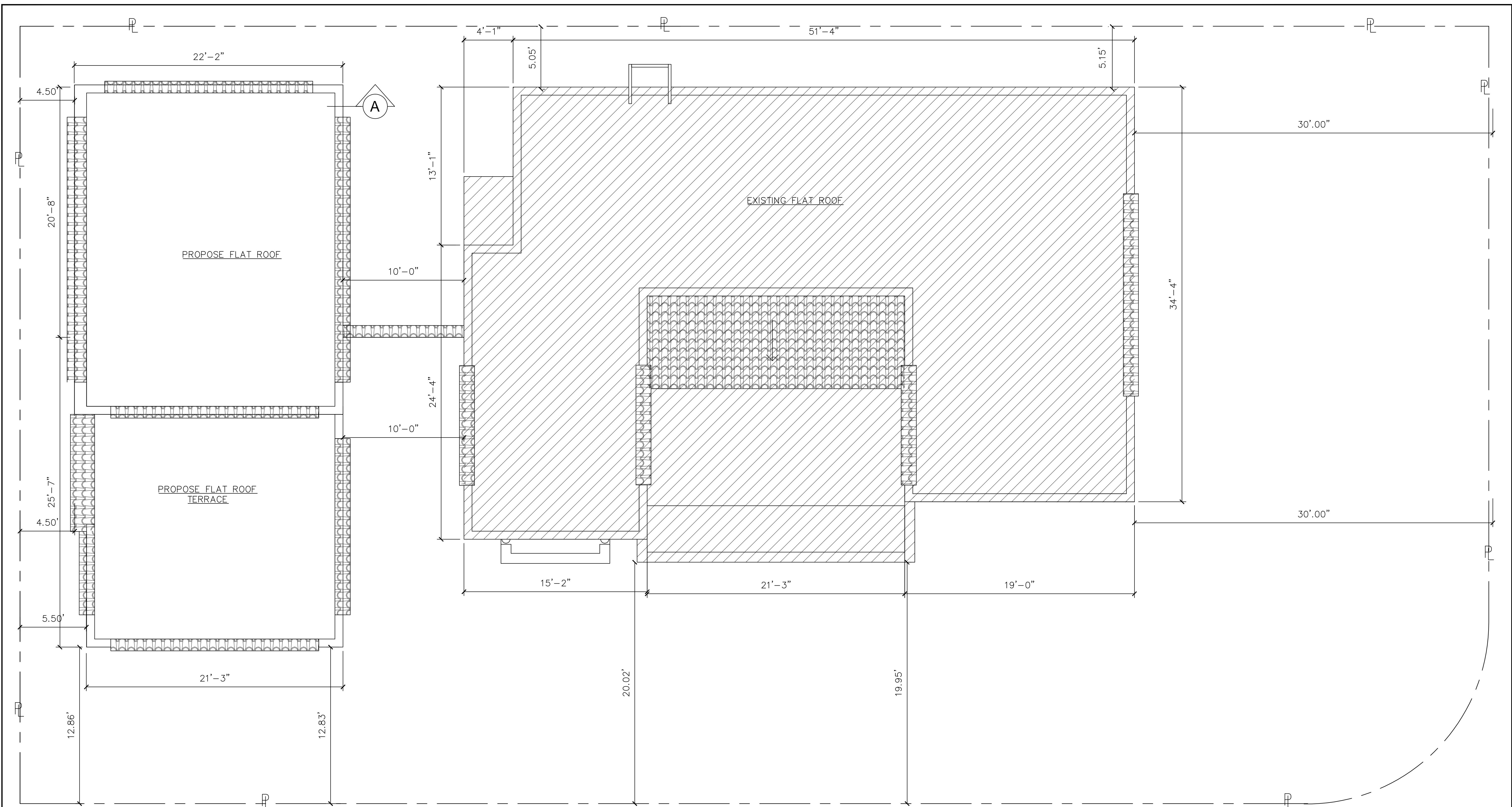
Revisions	Date
1 Rev.	4-1-19

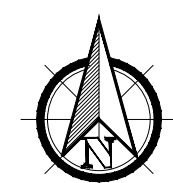
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A-2

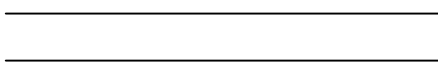
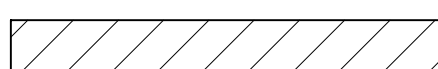
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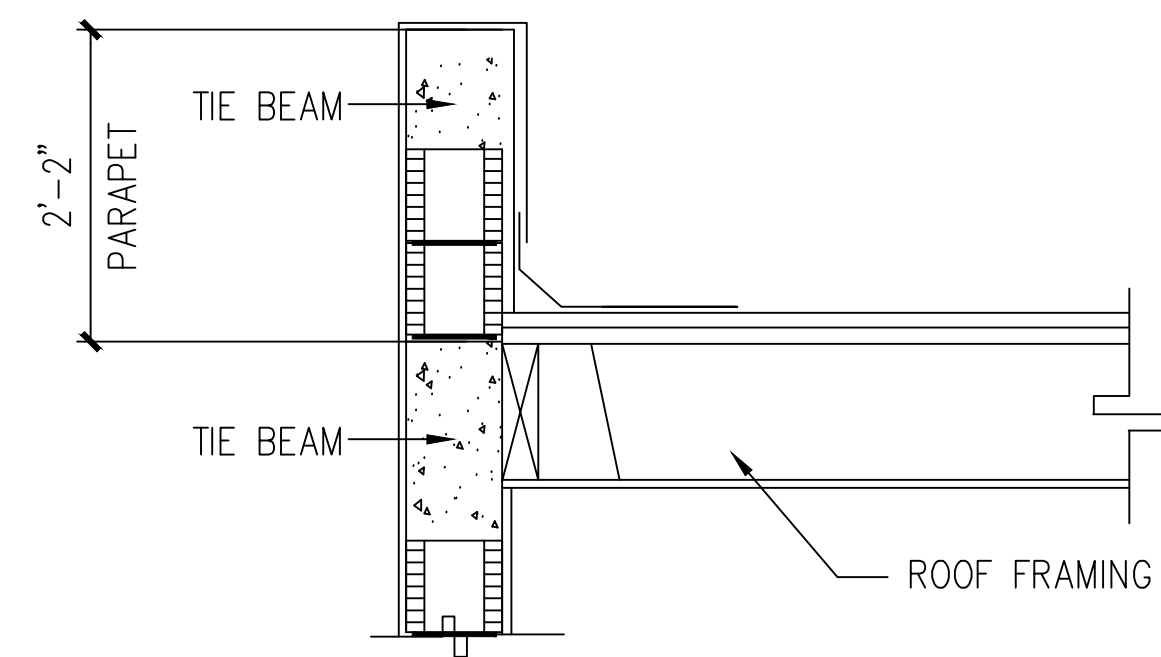
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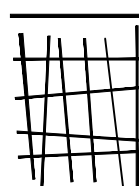
Date: 10/12/2018



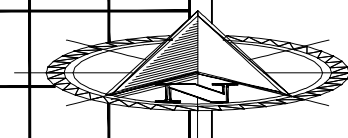
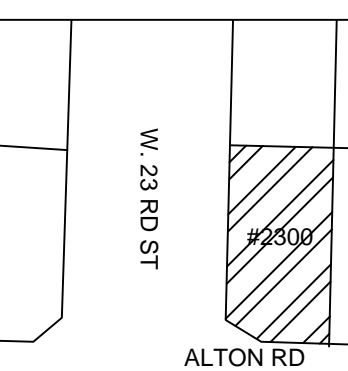
 **PROPOSE ROOF PLAN**
SCALE: 1/4" = 1' - 0"

PLAN LEGEND:	
PROPOSE FLAT ROOF	
EXISTING MAIN HOUSE TO REMAIN	



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2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
**PROPOSED
ROOF PLAN**

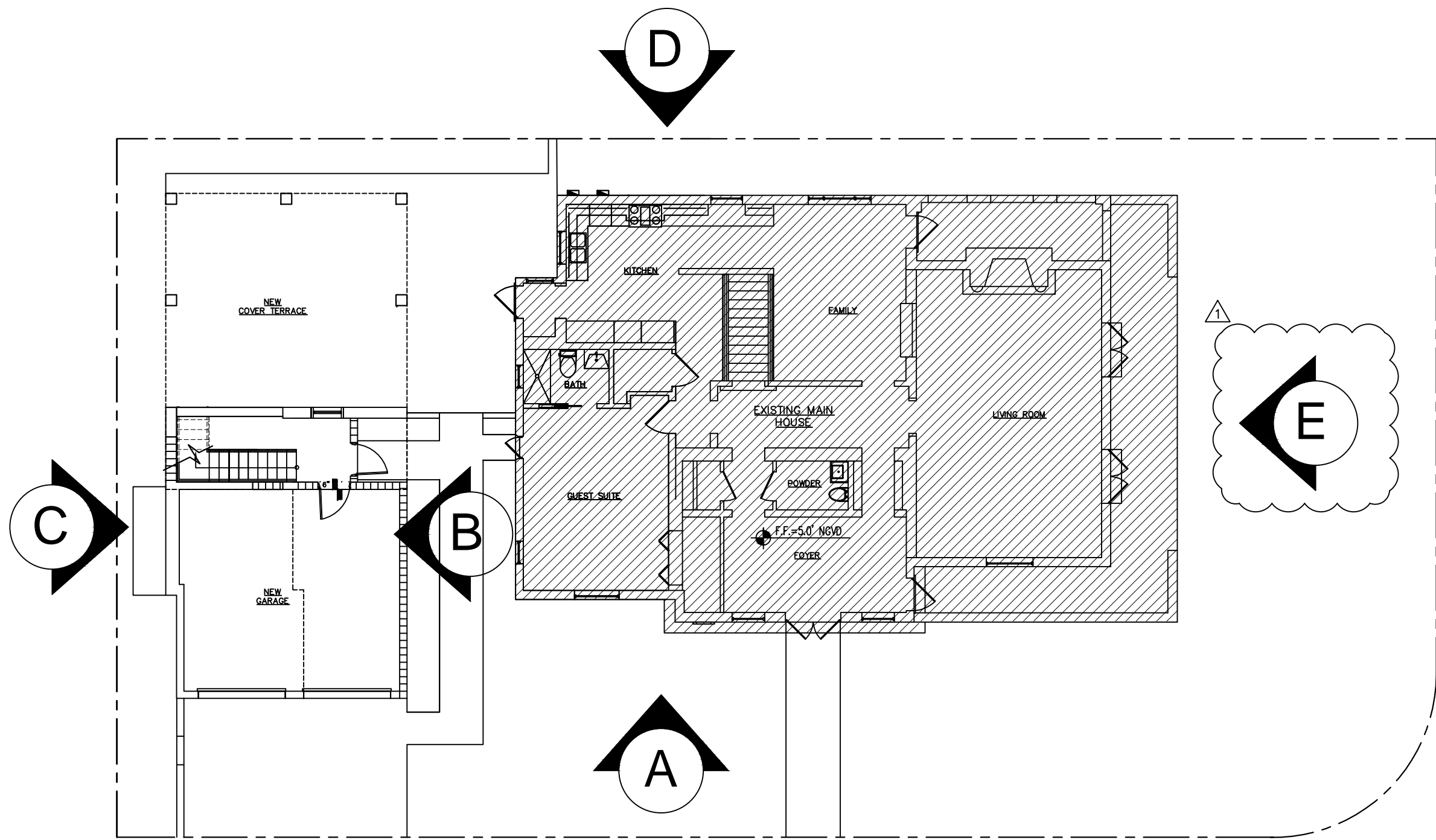
Revisions	Date
1 Rev.	4-1-19

Sheet Number :
A-3

Scale: As Shown

Drawing : RDS

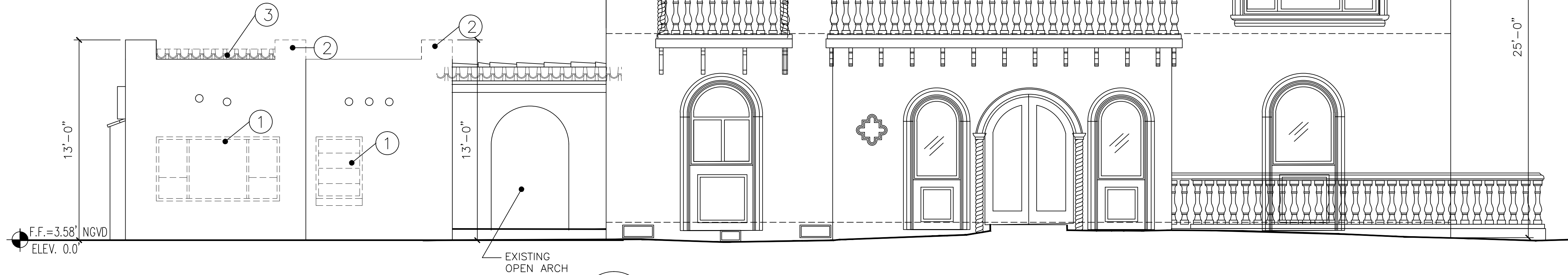
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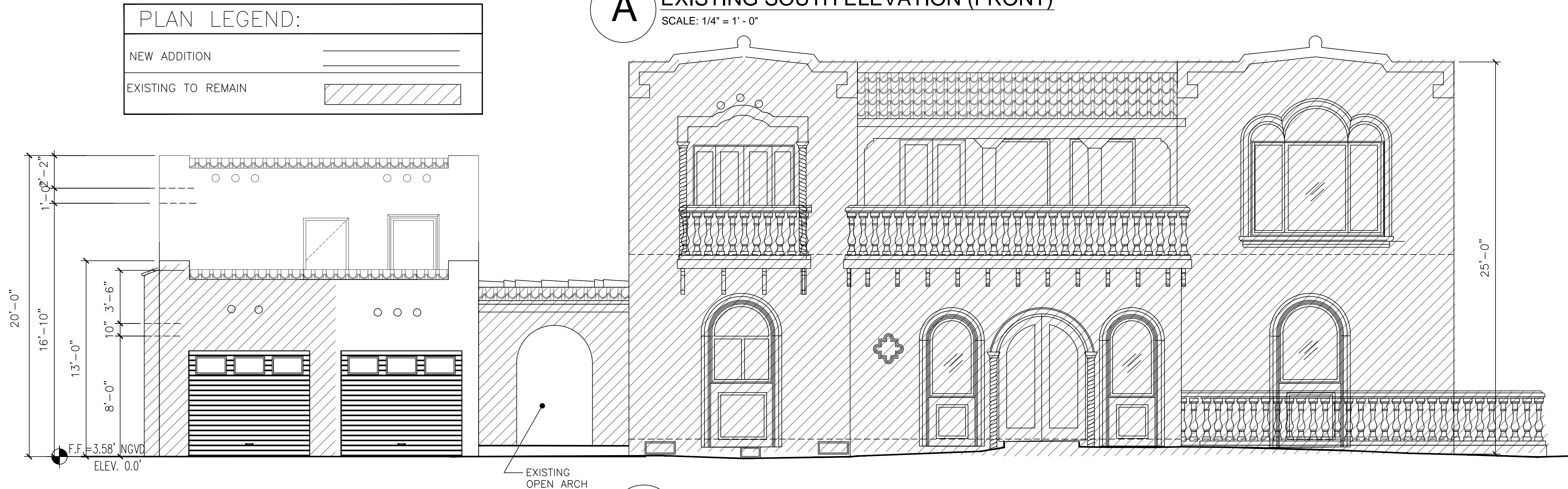
KEY PLAN
SCALE: 3/32" = 1' - 0"

DEMOLITION LEGEND:

- ① EXISTING DOORS AND WINDOWS TO BE REMOVED
② EXISTING WALL PARAPET TO BE REMOVED.
③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED
④ EXISTING PARTIAL CMU WALL TO BE REMOVED
- DENOTES EXISTING TO REMAIN:
- - - - - DENOTES EXISTING TO BE REMOVED.



A EXISTING SOUTH ELEVATION (FRONT)
SCALE: 1/4" = 1' - 0"



A PROPOSED SOUTH ELEVATION (FRONT)
SCALE: 1/4" = 1' - 0"

PLAN LEGEND:

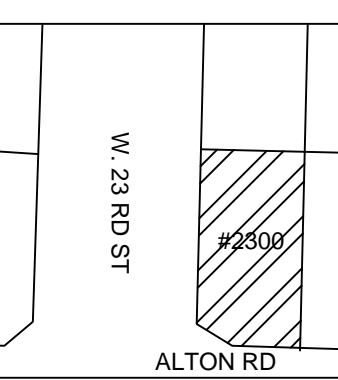
NEW ADDITION ———

EXISTING TO REMAIN ———

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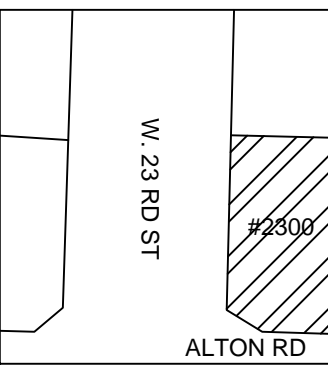
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ELEVATIONS

Revisions Date
1 Rev. 4-1-19

Sheet Number :
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Scale: As Shown
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Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
ELEVATIONS

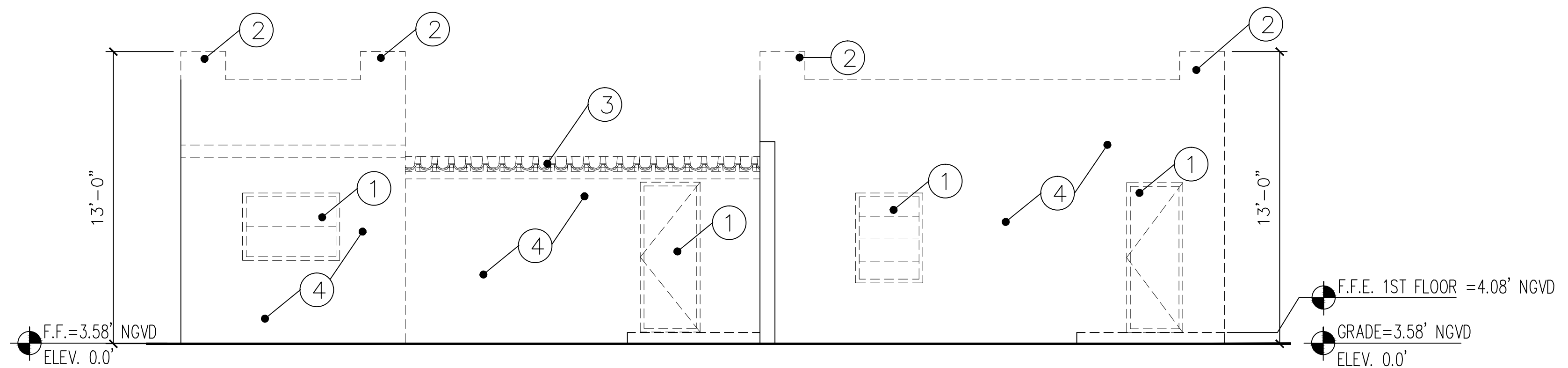
Revisions	Date
1 Rev.	4-1-19

Sheet Number :
A-5

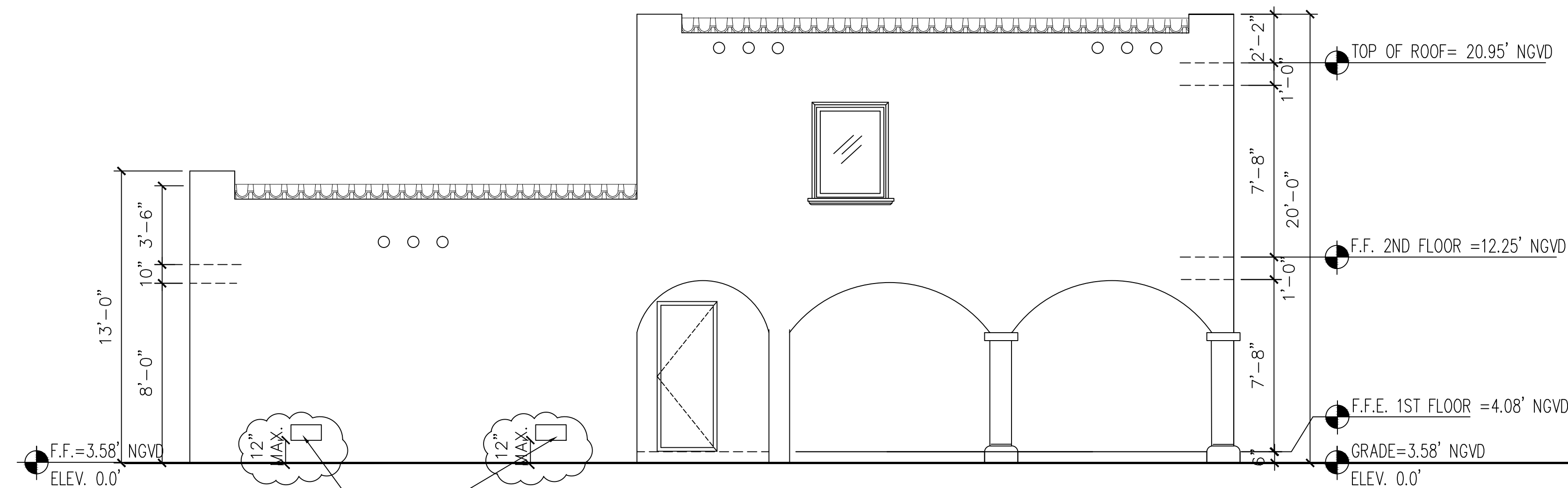
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Drawing : RDS
Date: 10/12/2018

DEMOLITION LEGEND:

- | | |
|---|---------------------------------------|
| ① EXISTING DOORS AND WINDOWS TO BE REMOVED | ===== DENOTES EXISTING TO REMAIN: |
| ② EXISTING WALL PARAPET TO BE REMOVED. | ----- DENOTES EXISTING TO BE REMOVED. |
| ③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED | |
| ④ EXISTING PARTIAL CMU WALL TO BE REMOVED | |

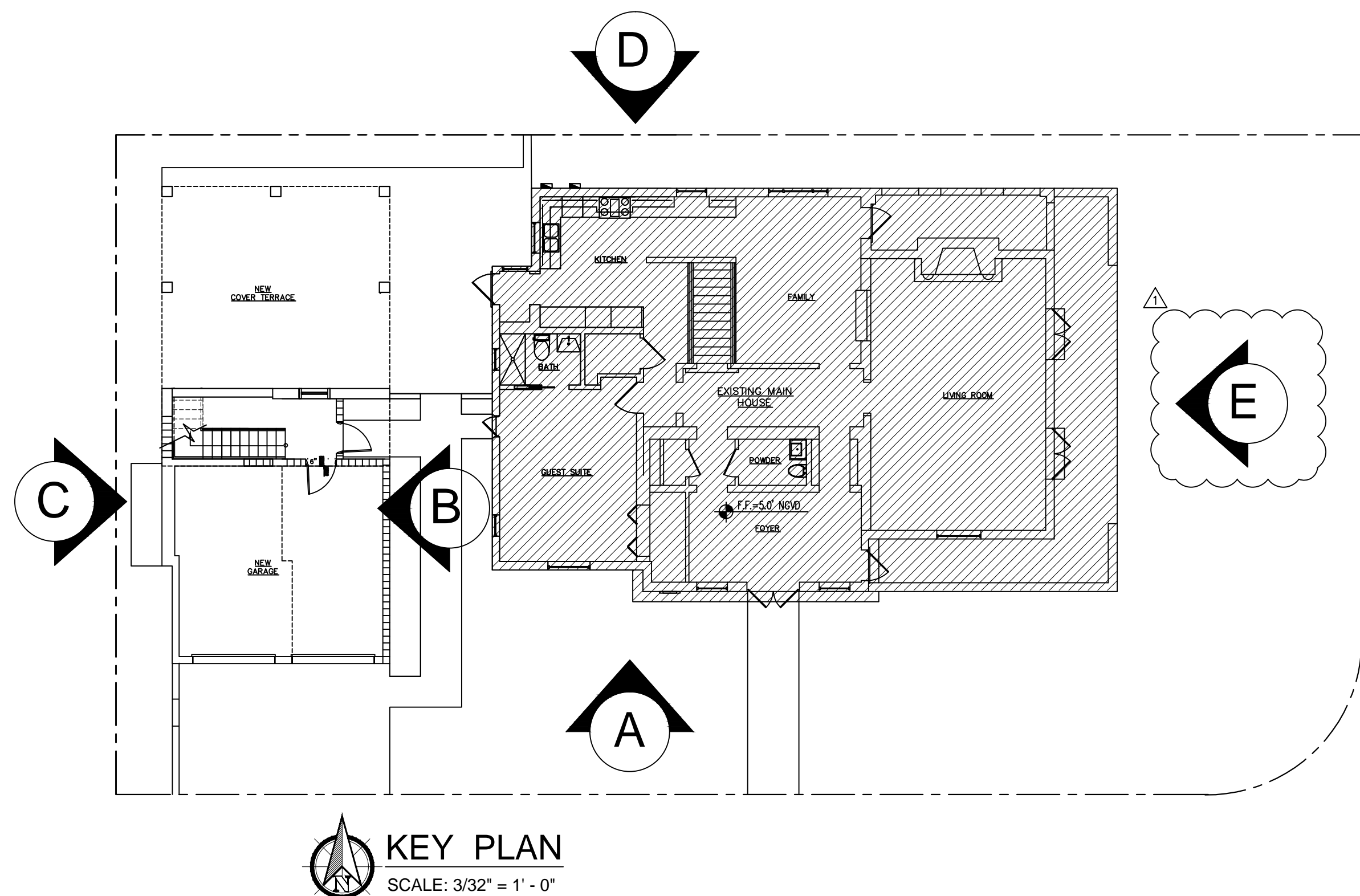


B EXISTING EAST ELEVATION (SIDE)
SCALE: 1/4" = 1' - 0"



B PROPOSED EAST ELEVATION (SIDE)
SCALE: 1/4" = 1' - 0"

PLAN LEGEND:	
NEW ADDITION	=====
EXISTING TO REMAIN	////



KEY PLAN
SCALE: 3/32" = 1' - 0"

DEMOLITION LEGEND:

1

EXISTING DOORS AND WINDOWS TO BE REMOVED

2

EXISTING WALL PARAPET TO BE REMOVED.

3

EXISTING DECORATIVE ROOF TILE TO BE REMOVED

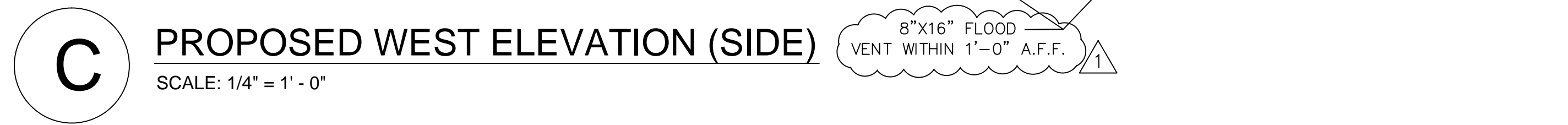
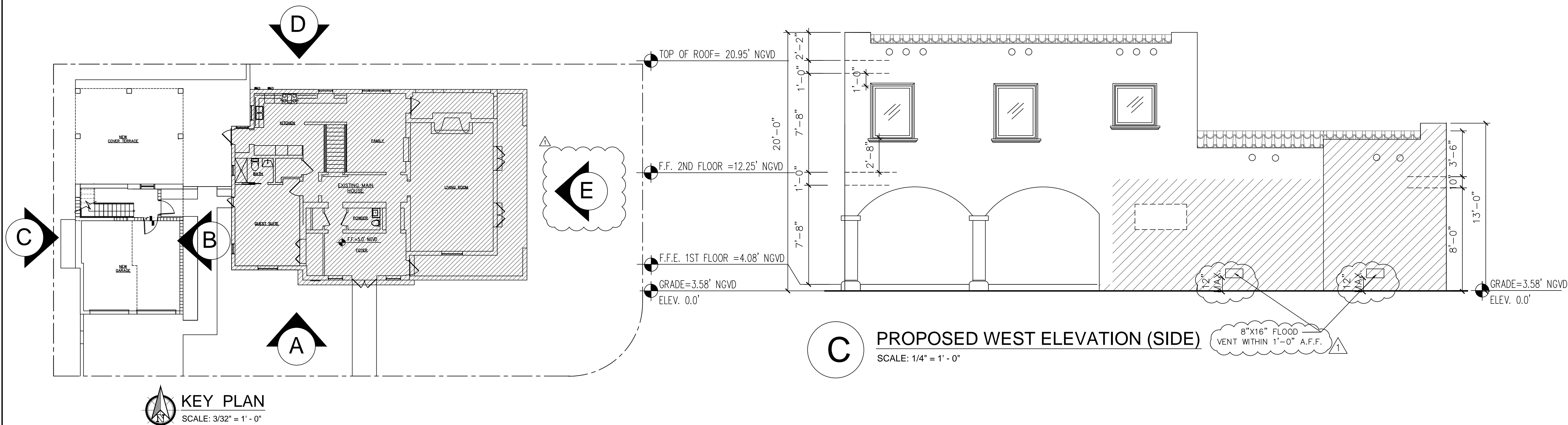
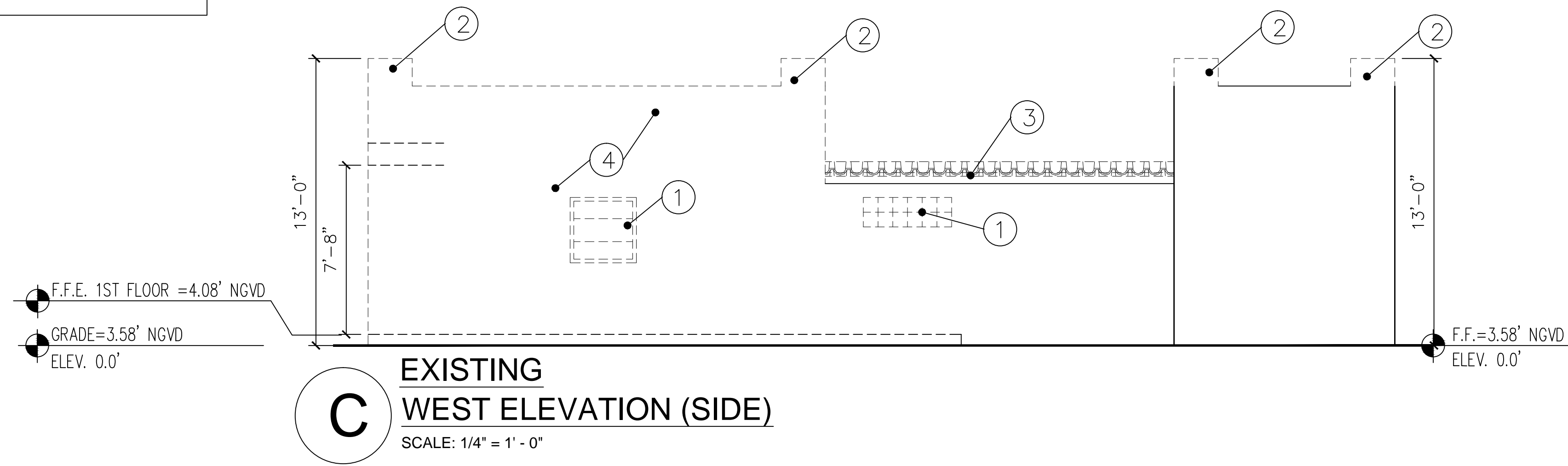
4

EXISTING PARTIAL CMU WALL TO BE REMOVED

—————

DENOTES EXISTING TO REMAIN:

DENOTES EXISTING TO BE REMOVED.



PLAN LEGEND:	
NEW ADDITION	—————
EXISTING TO REMAIN	<div></div>

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Project # 1131
2300 ALTON RD
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Sheet Title:
ELEVATIONS

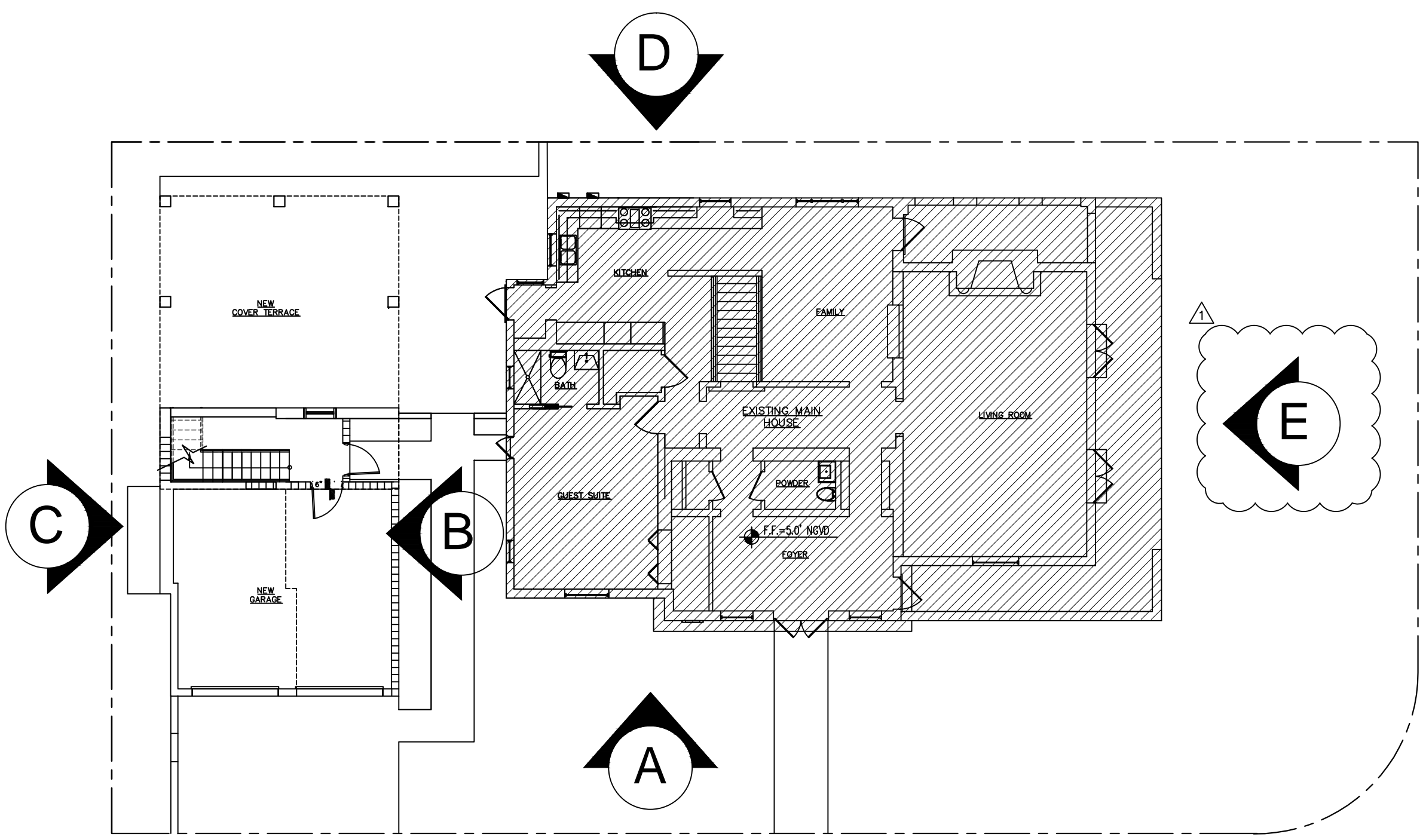
Revisions	Date
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Sheet Number :
A-6

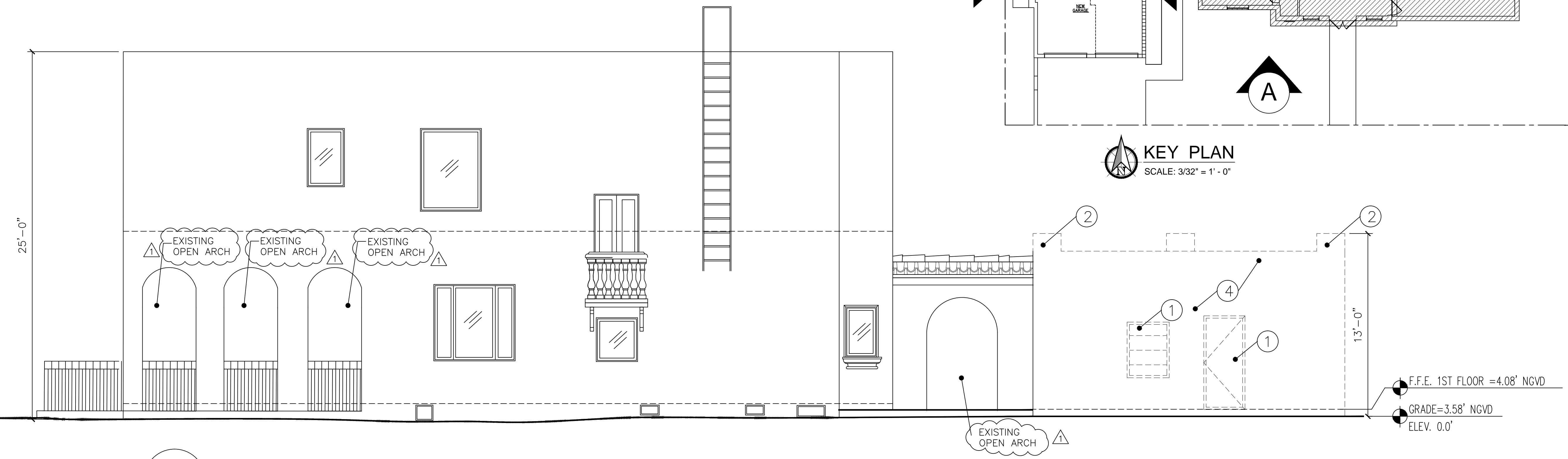
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Date: 10/12/2018

DEMOLITION LEGEND:

- ① EXISTING DOORS AND WINDOWS TO BE REMOVED
② EXISTING WALL PARAPET TO BE REMOVED.
③ EXISTING DECORATIVE ROOF TILE TO BE REMOVED
- DENOTES EXISTING TO REMAIN:
- - - - - DENOTES EXISTING TO BE REMOVED.



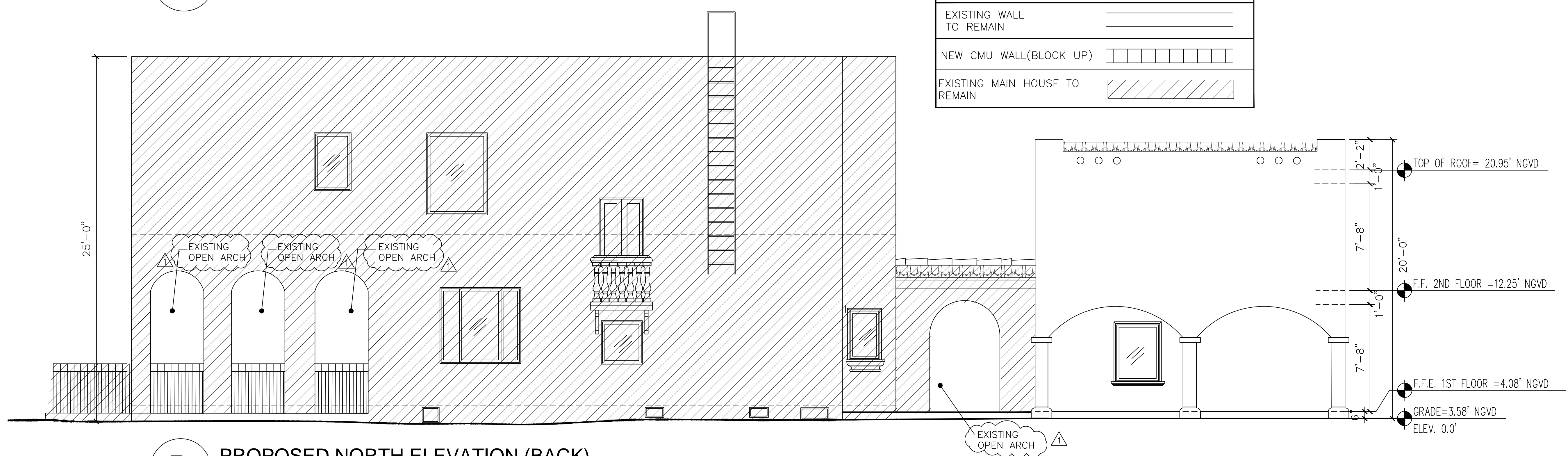
KEY PLAN
SCALE: 3/32" = 1' - 0"



D EXISTING NORTH ELEVATION (BACK)
SCALE: 1/4" = 1' - 0"

PLAN LEGEND:

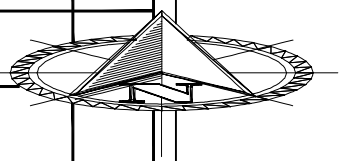
EXISTING WALL TO REMAIN	—————
NEW CMU WALL(BLOCK UP)	
EXISTING MAIN HOUSE TO REMAIN	



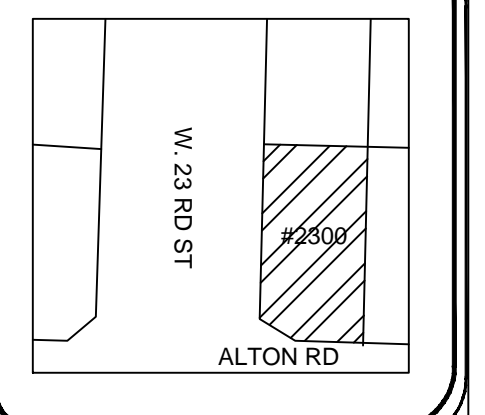
D PROPOSED NORTH ELEVATION (BACK)
SCALE: 1/4" = 1' - 0"

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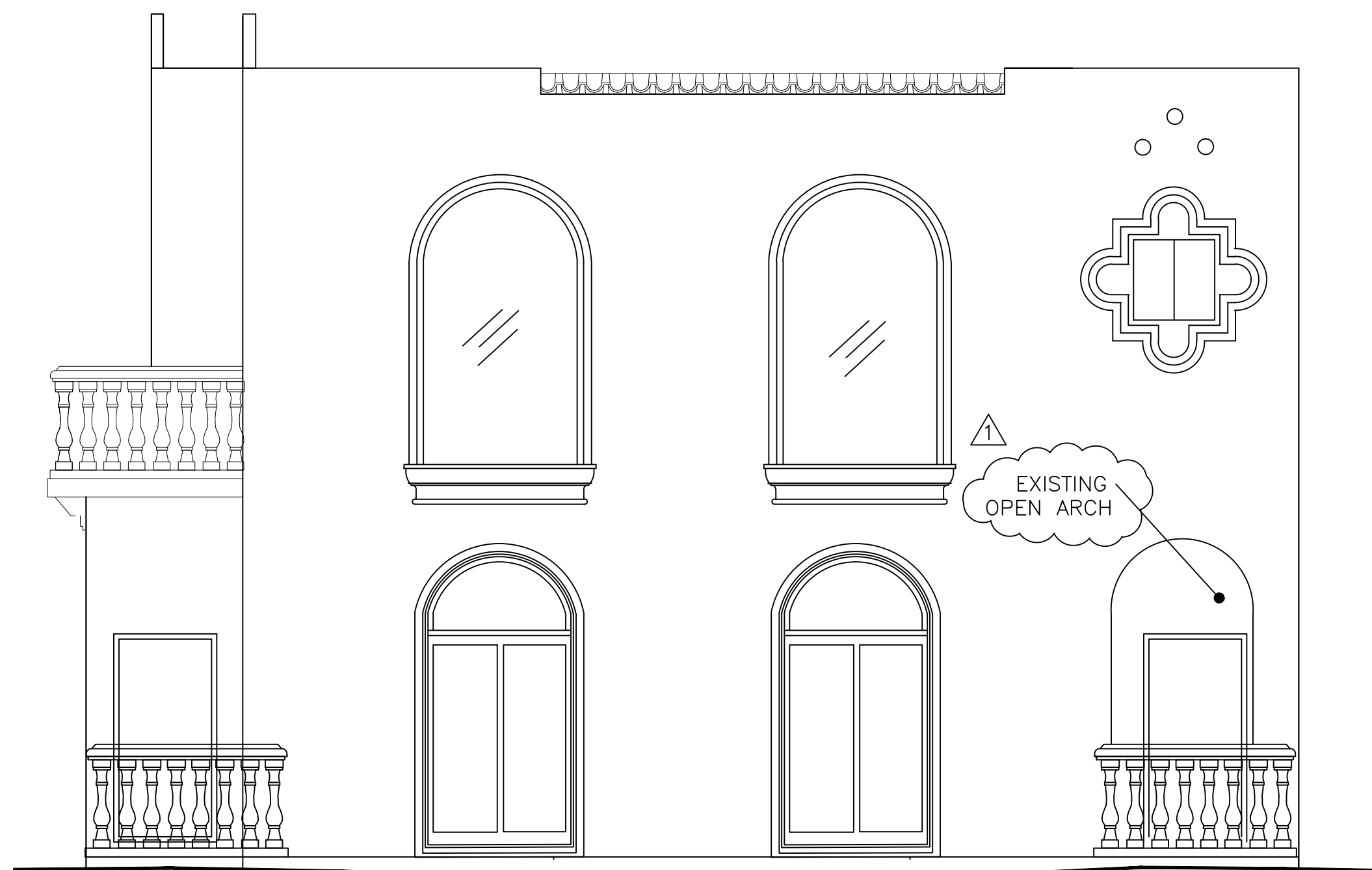
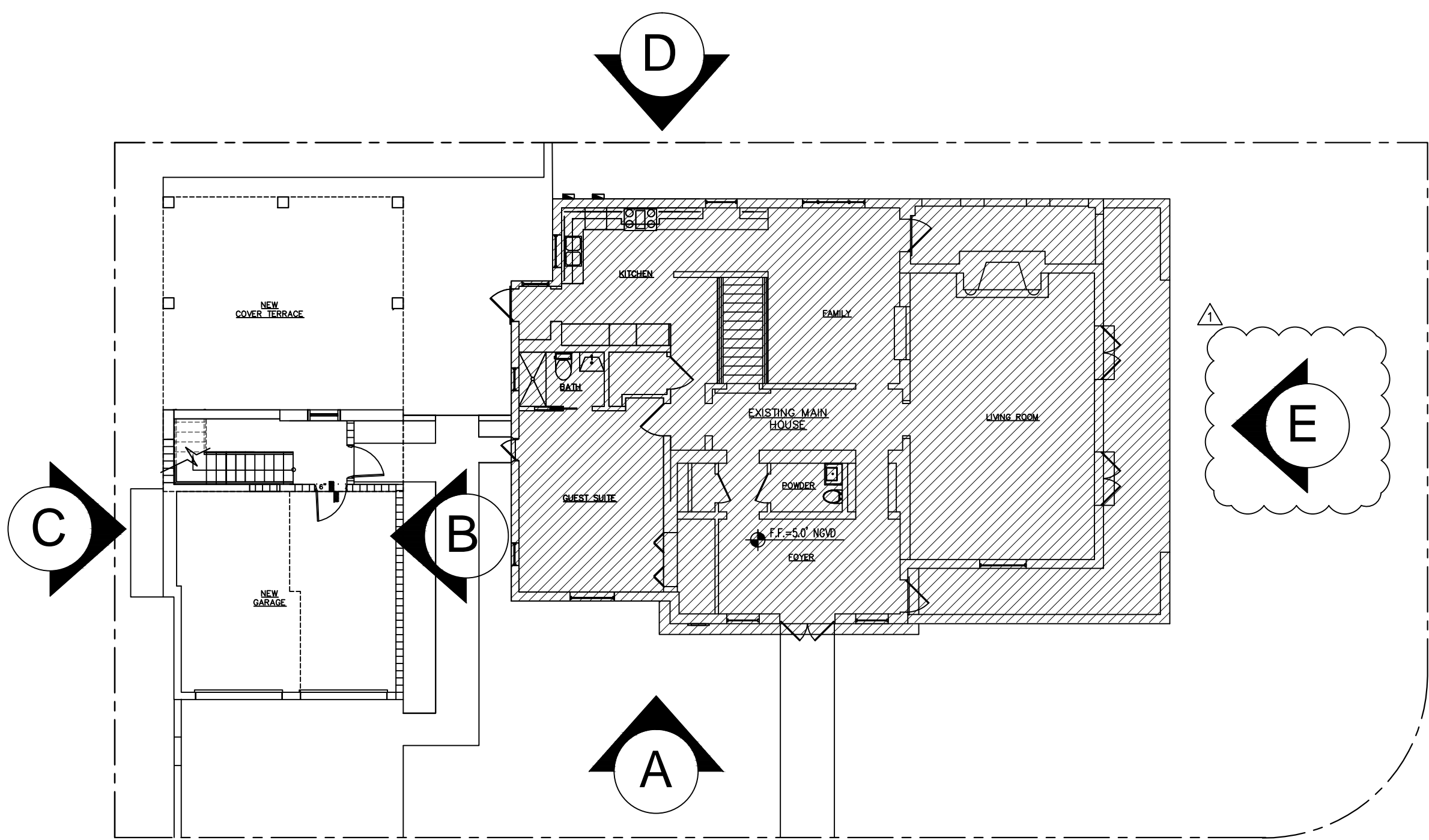
Project # 1131
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Sheet Title:
ELEVATIONS

Revisions	Date
1 Rev.	4-1-19

Sheet Number :
A-7

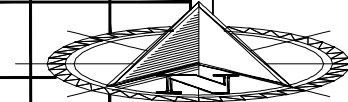
Scale: As Shown
Drawing : RDS
Date: 10/12/2018



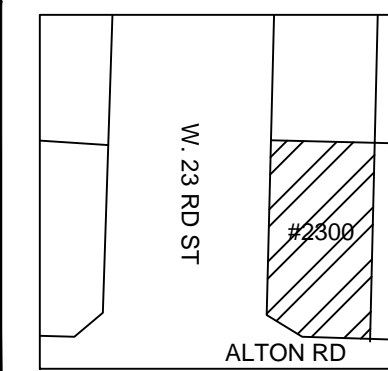
E EXISTING EAST ELEVATION
SCALE: 1/4" = 1' - 0"

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7850 NW 140TH STREET, SUITE 200 MIAMI LAKES, FL 33016
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SEAL / SIGNATURE



Location Sketch:



2019
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Residence:
RENOVATION/ADDITION

Project # 1131
2300 ALTON RD
MIAMI BEACH, FL.33140

Sheet Title:
ELEVATIONS

Revisions	Date
1 Rev.	4-1-19

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Scale: As Shown
Drawing : RDS
Date: 10/12/2018