

# MIAMI BEACH

## OFFICE OF CAPITAL IMPROVEMENT PROJECTS



CITY OF MIAMI BEACH

MAYOR: DAN GELBER

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MICHAEL GONGORA  
JOY MALAKOFF  
MARK SAMUELIAN  
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CITY MANAGER: JIMMY L. MORALES  
CITY ATTORNEY: RAUL J. AGUILA  
CITY CLERK: RAFAEL E. GRANADO  
ASST. CITY MANAGER: ERIC T. CARPENTER, P.E.  
CIP DIRECTOR: DAVID MARTINEZ P.E.

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MIAMI BEACH, FL 33140  
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718-852-2528

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NORTH MIAMI BEACH, FLORIDA 33160  
305-940-3088

CIVIL/PLUMBING/ELECTRICAL ENGINEERING  
ENERGY SCIENCES INC. NET  
2821 DOUGLAS ROAD  
MIAMI, FLORIDA 33133  
305-448-8826

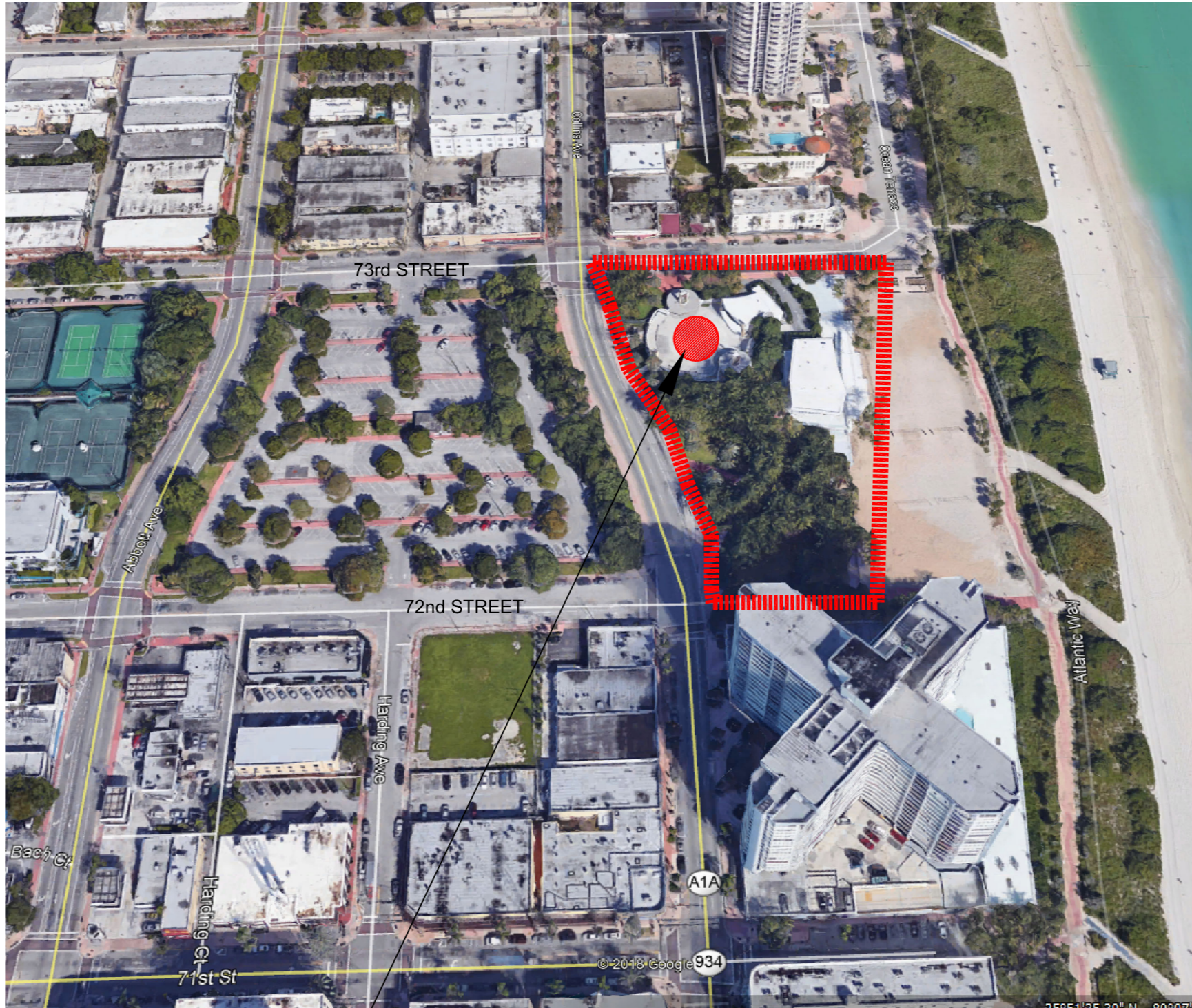
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BONDED LIGHTNING PROTECTION  
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GENERAL CONTRACTOR  
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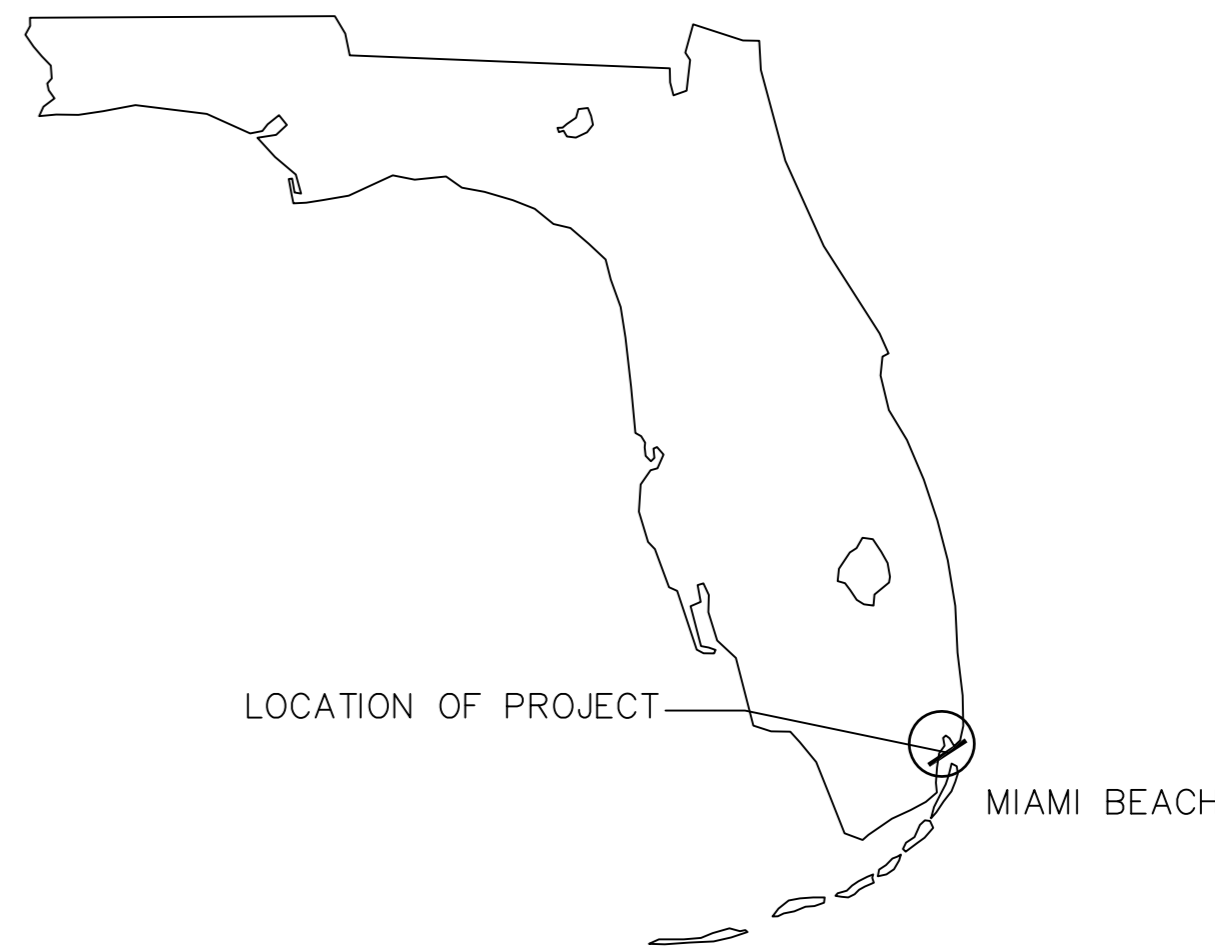
NORTH SHORE BANDSHELL CANOPY  
7275 COLLINS AVENUE MIAMI BEACH, FLORIDA 33139

**FINAL DRB SUBMITTAL - MAY MEETING**

SUBMITTED MARCH 11, 2019



PROJECT LOCATION



### LEGAL DESCRIPTION

FOLIO: 02-3202-000-0020  
LEGAL DESCRIPTION: LOT 8 BEING A PORTION OF ORIG GOVT LOT 6 &  
PORT LYING EAST & ADJACENT WEST OF EROSION LINE PER PB 105-62  
LOT SIZE 500.000 X 359

### SCOPE OF WORK

GENERAL: PROVIDE A NEW 70' DIAMETER FABRIC CANOPY,  
INCLUDING STRUCTURAL, DRAINAGE, AND ELECTRICAL  
SUPPORT AT EXISTING BANDSHELL STRUCTURE

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## SCOPE OF WORK

**GENERAL SCOPE OF WORK:**

**PROVIDE A NEW 70' DIAMETER CANVAS CANOPY**

- 1. A NEW 70' DIAMETER, SINGLE MAST, TENSILE FABRIC CANOPY**
- 2. NEW FRENCH DRAIN STORM DRAINAGE SYSTEM**
- 3. ELECTRICAL RECEPTACLES AT MAST**
- 4. SOLAR-POWERED PHOTO-VOLTAIC LIGHTING AT PERIMETER OF NEW CANOPY**
- 5. LIGHTING PROTECTION**

**SCOPE OF WORK BY DISCIPLINE:**

**DEMOLITION:** REMOVE A PORTION OF THE EXISTING TERRAZZO FLOOR FOR THE INSTALLATION OF NEW AUGER-CAST PILES AND PILES, NEW ELECTRICAL CONNECTIONS, NEW DRAINAGE SYSTEM. REMOVE A PORTION OF THE EXISTING CMU WALL FOR AUGER-CAST PILE MACHINE ACCESS. REMOVE A PORTION OF SOD AND SOIL FOR INSTALLATION OF NEW DRAINAGE SYSTEM

**STRUCTURAL:** CONCRETE PILE CAP, AUGER-CAST PILES, STEEL MAST CONNECTIONS

**PLUMBING:** DRAINAGE OF CANOPY SYSTEM, TIED TO NEW DRAINAGE STRUCTURES

**MECHANICAL:** NONE

**ELECTRICAL:** TIE EXISTING ELECTRICAL AND SOUND SYSTEMS TO EXISTING PANEL; REPLACE EXISTING EXIT SIGNS WITH COMBO EXIT/EMERGENCY LIGHTS, NEW SOLAR POWERED LIGHTS AT PERIMETER OF CANOPY.

**FIRE ALARM:** NONE

**FIRE SPRINKLER:** NONE

**LIGHTNING PROTECTION:** PROVIDE TOP LIGHTING ROD AT NEW POLE, GROUND POLE AT NEW PILE CAP FOUNDATION

## CODE REVIEW

APPLICABLE CODES:

- \* F.B.C. EXISTING, 2017 - LEVEL 1 ALTERATION
- \* FLORIDA FIRE PREVENTION CODE, 6TH EDITION
- \* LIFE SAFETY CODE 101, 2016
- \* M.B. ZONING. OCCUPANCY: GU, CIVIC AND GOVERNMENT USE
- \* FBC OCCUPANCY TYPE: ASSEMBLY A-3
- \* AREA OF ALTERATION:(3850 SF)

- \* 2017 FLORIDA BUILDING CODE, ENERGY CONSERVATION
- \* 2017 FLORIDA BUILDING CODE, FUEL AND GAS
- \* 2017 FLORIDA PLUMBING CODE
- \* 2017 FLORIDA MECHANICAL CODE
- \* 2017 FLORIDA BUILDING CODE, ELECTRICAL & NEC 2014
- \* 2017 FLORIDA ACCESSIBILITY CODE

## CODE STATEMENT

To the best of the architect's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and 633 Florida Statutes.

## ROOF DRAINAGE CALCULATIONS

## ROOF DRAINAGE CALCULATIONS

2017 FBC, PLUMBING, APPENDIX B:

RAINFALL RATE, IN INCHES PER HOUR = 4.7"

AREA OF ROOF IS 3,850 GSF

THEREFORE, USING 4.7" PER HOUR CREATES 1,508 CUBIC FEET OF WATER TO BE DRAINED ( $4.7" \times 3,850 \text{ SF} / 12" = 1508 \text{ CF}$ )

**1 CF OF WATER = 7.48 GALLONS**

THEREFORE, 1,508 CF OF WATER = 11,280 GALLONS TO BE DRAINED (1,508 CF \* 7.48 = 11,280 GALLONS)

11,280 GALLONS PER HOUR = 188 GALLONS PER MINUTE (11,280 GALLONS/60 MINUTES = 188 GALLONS/MINUTE)

**FBCP 1106.2, SIZE OF STORM DRAIN PIPING:** ONE 4" PIPE PROVIDES 180 GALLONS PER MINUTE FOR A VERTICAL [

ONE 3" PIPE PROVIDES 87 GALLONS PER MINUTE FOR A VERTICAL DRAIN ( $3 \times 87 = 261$  GMP)

ONE 2" PIPE PROVIDES 34 GALLONS PER MINUTE FOR A VERTICAL DRAIN ( $6 \times 34 = 204$  GMP)

NO 4" PIPES SHALL BE PROVIDED ( $2 \times 180 = 360$  GPM PROVIDED  $> 188$  GPM REQ)

(NOTE: LOWER RING HAS NO 'PARAPET' OR OTHER IMPEDIMENT FOR OVER FLOW, PROVIDING SECONDARY DRAINAGE)

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**FLOOD ZONE CRITERIA:** N/A, EXTERIOR CANOPY WORK ONLY

## ZONING INFORMATION

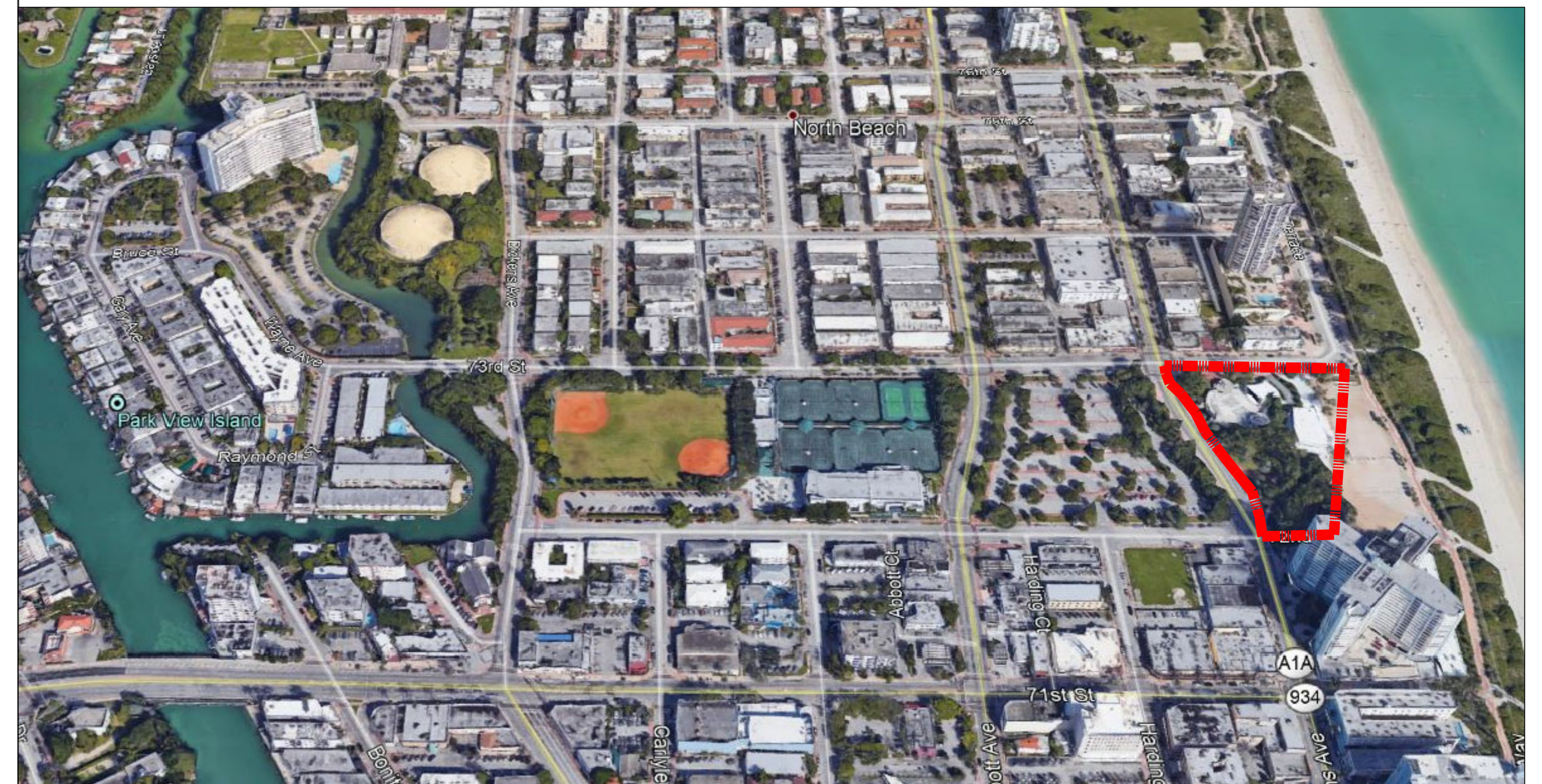
## GENERAL NOTES

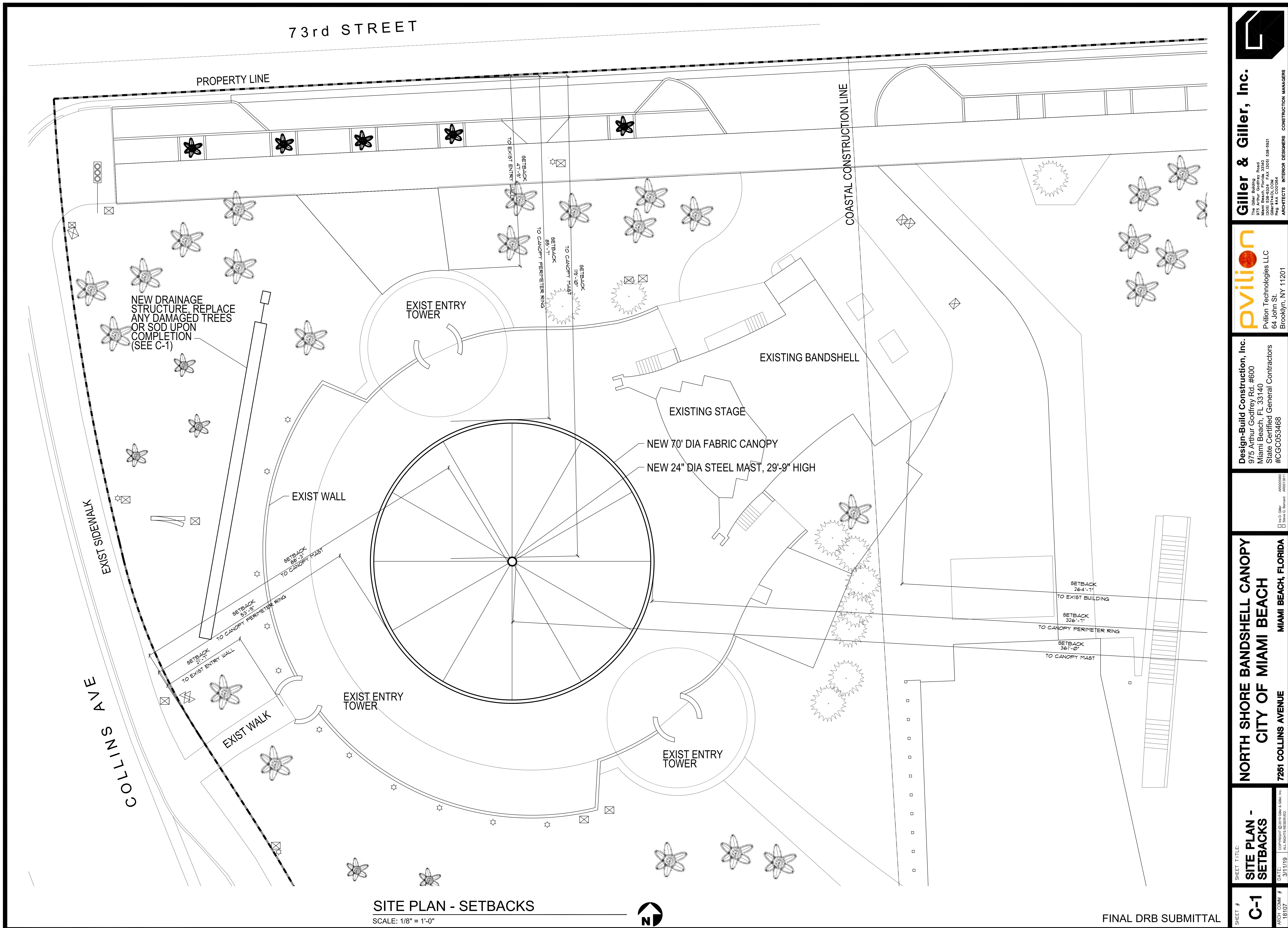
1. CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS FOR THE WORK OF THIS PROJECT AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO BEGINNING ANY AFFECTED WORK.
2. MATCH ALL EXISTING FINISHES, TEXTURES AND COLORS AS CLOSELY AS POSSIBLE AND REPAIR OR REPLACE ANY DAMAGED AREAS THAT OCCUR AS PART OF THE WORK OF THIS PROJECT
3. PROTECT ALL EXISTING ADJACENT FINISHES FROM DAMAGE.
4. LEAVE THE PREMISES BROOM CLEAN AT THE COMPLETION OF THE PROJECT AND REMOVE ALL DEBRIS AND SURPLUS MATERIAL.

**OCCUPANCY TYPE:** ASSEMBLY, TYPE A-3

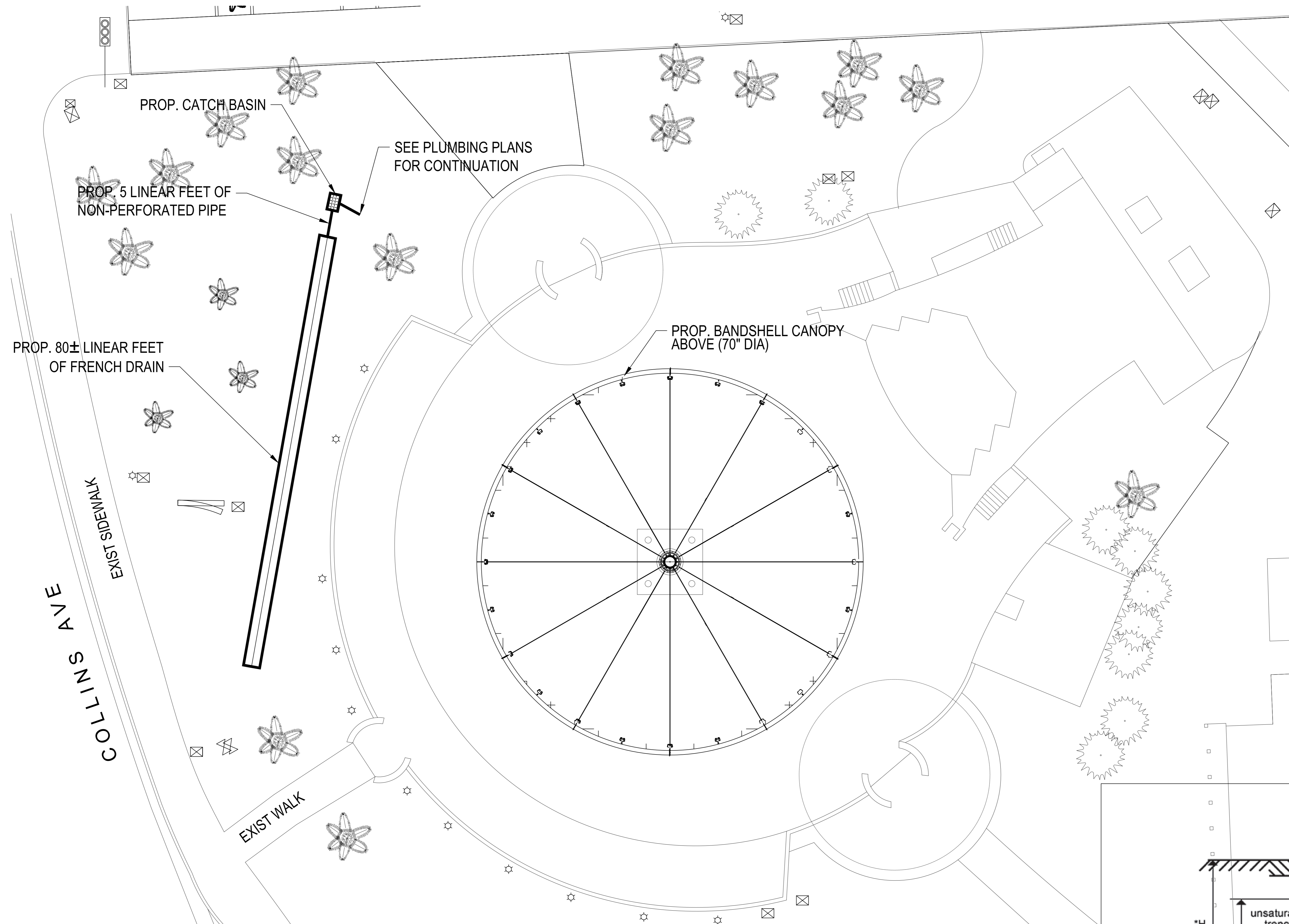
## LOCATIONAL SITE PLAN

ZONING DISTRICT:	GU	(NO CHANGE OF USE)
EXISTING ZONING DATA	PROVIDED	
LOT SIZE:	179,500	SF
LOT WIDTH	500	FT.
FLOOR AREA RATIO (F.A.R. - EXIST):	0.26	(PER COUNTY WEBSITE)
FLOOR AREA 9EXISTING)	47,123	(PER COUNTY WEBSITE)
FLOOR AREA (PROPOSED)	47,123	NO CHANGE
HEIGHT (EXISTING)	29'-11"	(TO TOP OF EXIST BANDSHELL PROSCENIUM)
HEIGHT (EXISTING)	28'-0"	(TO TOP OF EXIST ENTRY TOWERS)
HEIGHT (PROPOSED)	29'-9"	(TO TOP OF NEW STEEL MAST)
# of STORIES	1	(EXISTING BANDSHELL)
FRONT SETBACK (EXISTING)	21'-7"	(TO EXIST ENTRY TOWER)
FRONT SETBACK (PROPOSED)	53'-9"	(TO NEW CANOPY)
FRONT SETBACK (PROPOSED)	88'-3"	(TO NEW STEEL MAST)
SIDE/STREET SETBACK (EXISTING)	47'-9"	(TO EXIST ENTRY TOWER)
SIDE/STREET SETBACK (PROPOSED)	85'-7"	(TO NEW CANOPY)
SIDE/STREET SETBACK (PROPOSED)	119'-10"	(TO NEW STEEL MAST)
REAR SETBACK (EXISTING)	264'-7"	(TO EXIST BANDSHELL BUILDING)
REAR SETBACK (PROPOSED)	326'-7"	(TO NEW CANOPY)
REAR SETBACK (PROPOSED)	361'-0"	(TO NEW STEEL MAST)
PARKING	NO INCREASE IN OCCUPANT LOAD, NO CHANGE IN PARKING	





<b>Giller &amp; Giller, Inc.</b> 975 Arthur Godfrey Rd. Miami Beach, Florida 33140 Tel: 305.535-5921 Fax: 305.535-5921 Reg. No. C000584 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS	<b>pvilion</b> Pvilion Technologies LLC 64 John St. Brooklyn, NY 11201	<b>Design-Build Construction, Inc.</b> 975 Arthur Godfrey Rd. #600 Miami Beach, FL 33140 State Certified General Contractors #CGC063468	<b>NORTH SHORE BANDSHELL CANOPY CITY OF MIAMI BEACH</b>	<b>MIAMI BEACH, FLORIDA</b>	<b>7251 COLLINS AVENUE</b>	<b>DATE: 3/11/19</b>	<b>ARCH. COMM. # 18107</b>	<b>SHEET # C-1</b>	<b>SHEET TITLE: SITE PLAN - SETBACKS</b>



# **DRAINAGE SITE PLAN**

SCALE: 1/8" = 1'-0"

1. WORK SCOPE
  - 1.1. CONSTRUCTION OF A FRENCH DRAIN IN ACCORDANCE WITH CITY OF MIAMI BEACH AND DERM REQUIREMENTS.
2. FRENCH DRAIN
  - 2.1. PLASTIC FILTER FABRIC (AT EACH SIDE TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
  - 2.2. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.

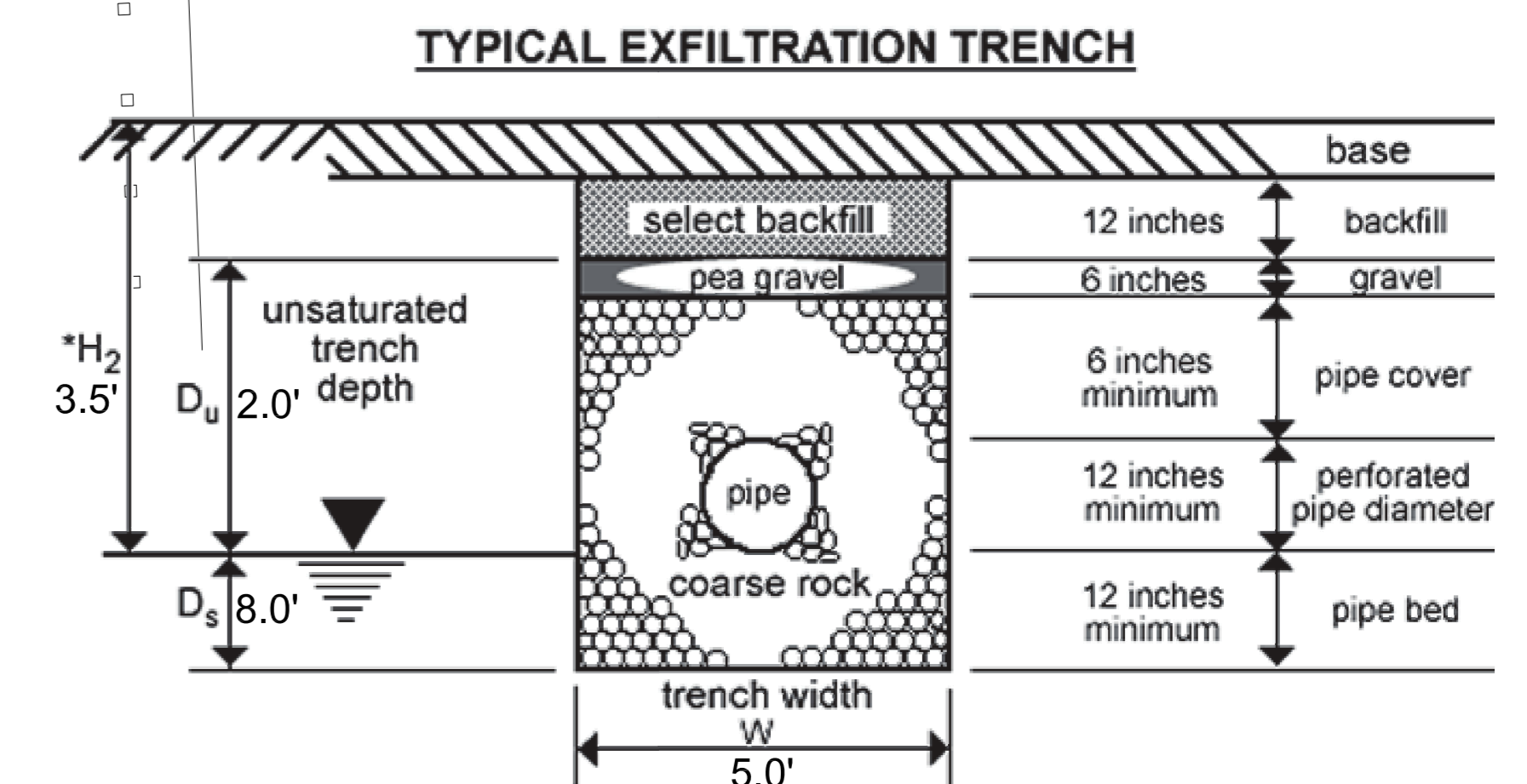
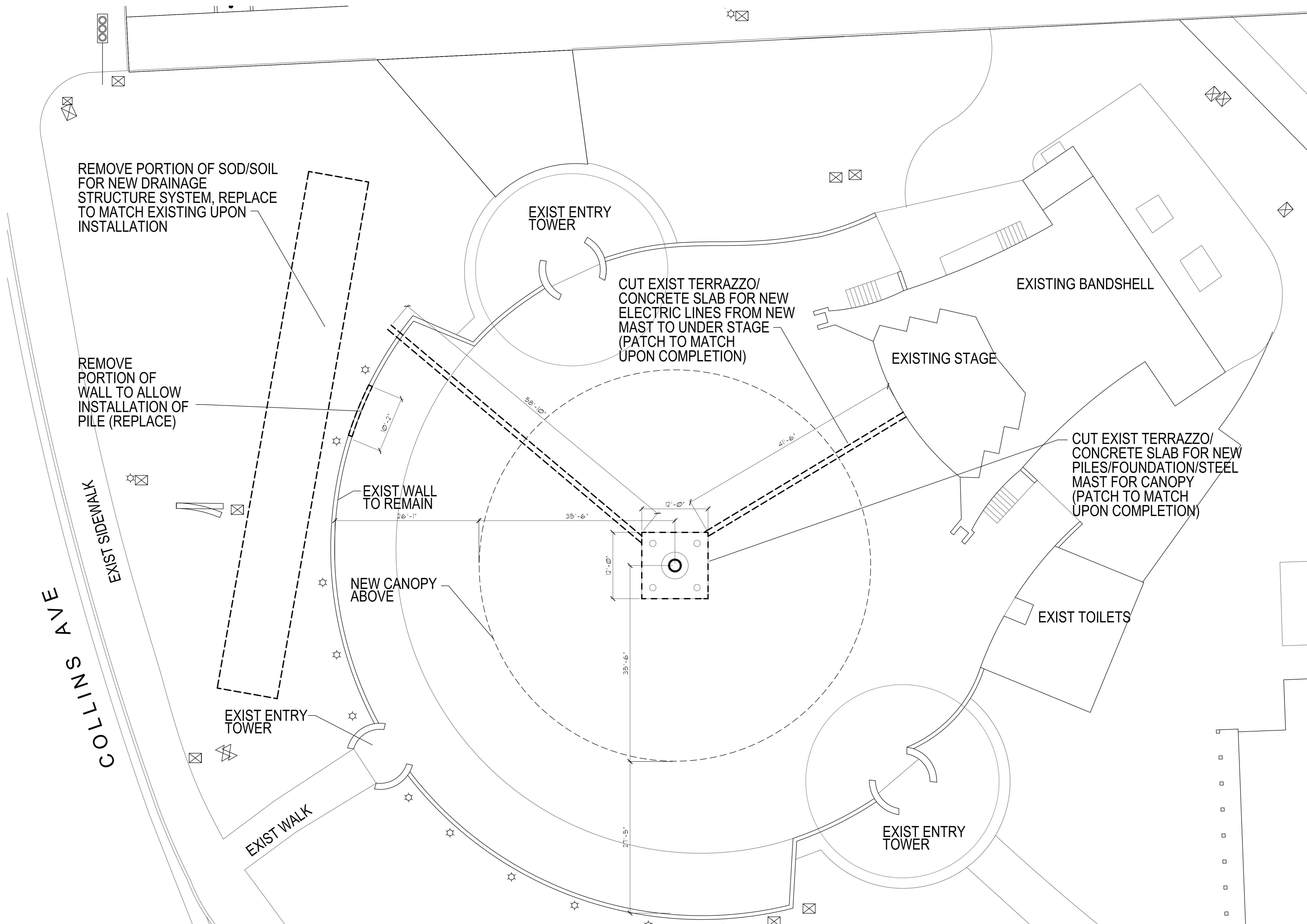


Figure G-1

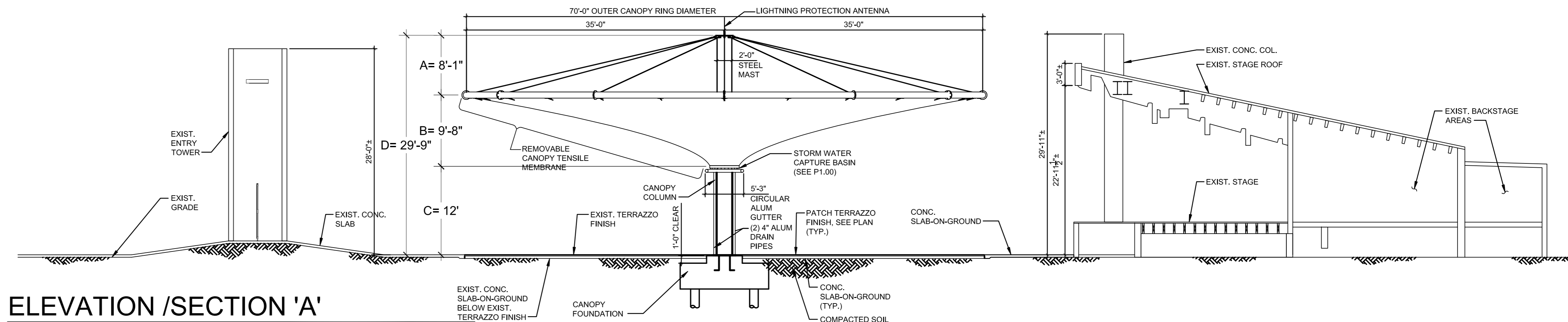
The value of  $H_2$  to be used in the equation is the effective head on the saturated surface. A weir must be installed at the downstream end of the trench, to create true retention and to establish  $H_2$ . To achieve the design retention and exfiltration, the crest of the weir must be no lower than the top of the trench pipe.



DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

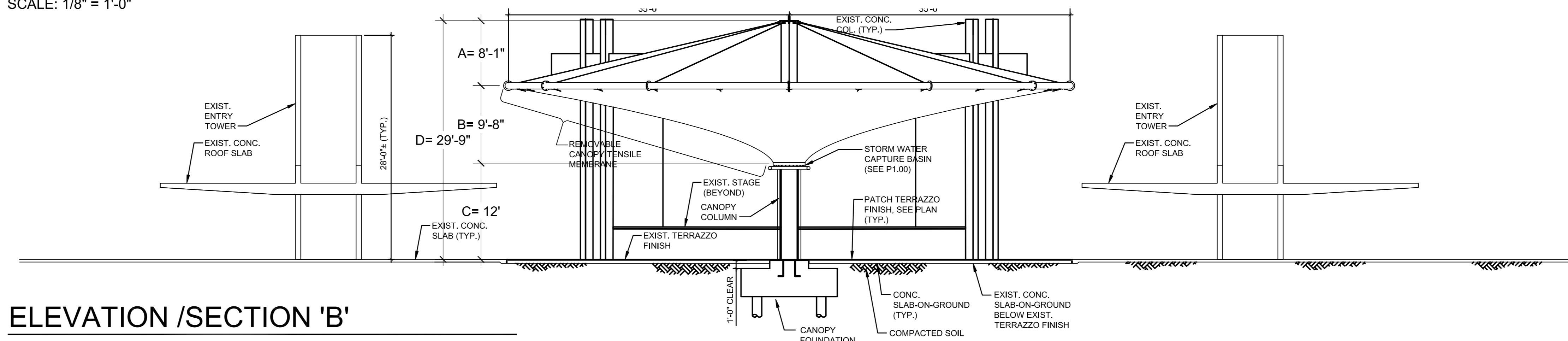
FINAL DRB SUBMITTAL

SHEET # <b>D-1</b> ARCH COMM # 18107	SHEET TITLE: <b>DEMOLITION PLAN</b>	DATE: 3/11/19	COPYRIGHT © 2019 Giller & Giller, Inc. ALL RIGHTS RESERVED	NORTH SHORE BANDSHELL CANOPY CITY OF MIAMI BEACH 7251 COLLINS AVENUE MIAMI BEACH, FLORIDA	Design-Build Construction, Inc. 975 Arthur Godfrey Rd. #600 Miami Beach, FL 33140 State Certified General Contractors #CGC063468	pvilion Pvilion Technologies LLC 64 John St. Brooklyn, NY 11201	Giller & Giller, Inc. 375 Arthur Godfrey Road Miami Beach, Florida 33140 305.674.0100 Giller974@aol.com Reg. MA 000354 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



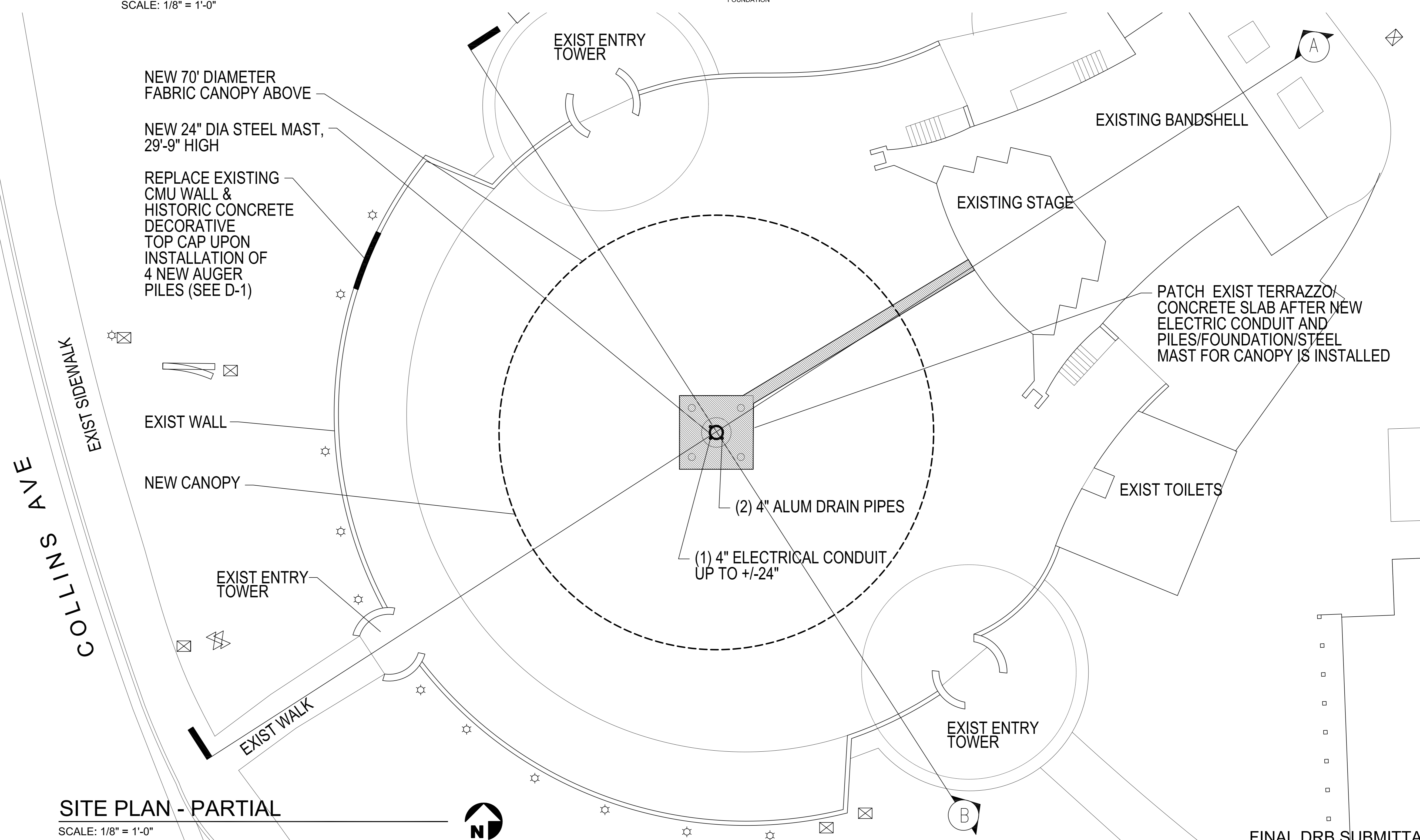
ELEVATION /SECTION 'A'

SCALE: 1/8" = 1'-0"



ELEVATION /SECTION 'B'

SCALE: 1/8" = 1'-0"



SITE PLAN - PARTIAL

SCALE: 1/8" = 1'-0"

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**NORTH SHORE BANDSHELL CANOPY**  
**CITY OF MIAMI BEACH**  
**7251 COLLINS AVENUE**  
**MIAMI BEACH, FLORIDA**

**SHEET TITLE:**  
**SITE PLAN, SECTIONS**

**SHEET #**  
**A-1**

**DATE:**  
 3/11/19

**ARCH COM #**  
 18107

**FINAL DRB SUBMITTAL**