

THE SETAI

MIAMI BEACH



SCOPE OF WORK

- CREATE RETAIL SPACES AT EXISTING HOTEL LOBBY
- PROVIDE RETAIL ACCESS DOORS TO PUBLIC WAY BY RE-STRUCTURING THE EXISTING STOREFRONTS.
- NEW STOREFRONT AND DOORS.
- CREATE AN ELEVATED WALKWAY, STEPS AND PLANTERS AT THE LOBBY ELEVATION TO ALLOW CIRCULATION.
- PROVIDE HANDICAP RAMPS AND HANDRAILS TO ACCESS THE NEW WALKWAY FROM STREET LEVEL.
- ADD NEW CANVAS CANOPIES OVER NEW STOREFRONTS.
- NEW LANDSCAPE AND LIGHTING AT STREET LEVEL.

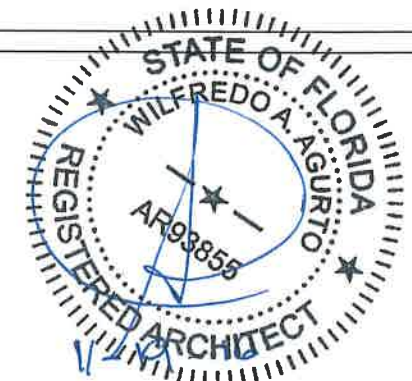
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DESIGN TEAM

- WILFREDO AGURTO ARCHITECT AR93855
IMAGINATION DESIGN GROUP P.A.
3370 CORAL WAY MIAMI FL. 33145
- BILL EAGER LANDSCAPE ARCHITECT
EG52 LANDSCAPE ARCHITECTURE
14121 SW 119 AVE. MIAMI FL. 33186

RETAIL STORES AT SETAI
HOTEL SETAI
2001 COLLINS AVE. MIAMI BEACH, FLORIDA
SECOND SUBMITTAL
SUBMITTAL DATE: 11 - 19 - 2016





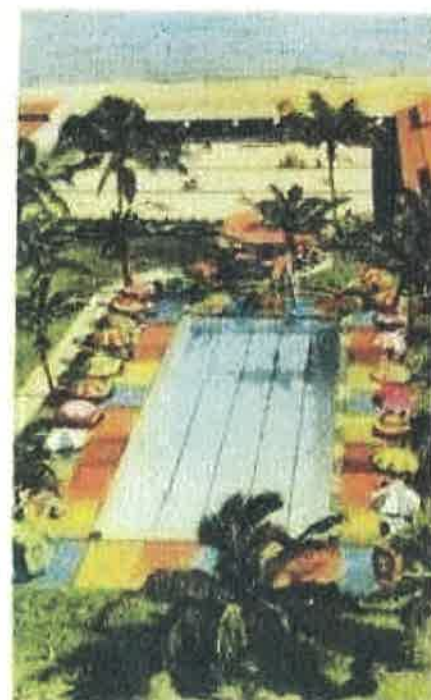
DEMPSEY-VANDERBUILT



DEMPSEY-VANDERBUILT (1949)



The Dempsey Vanderbilt Hotel
and
Cabana Club
On The Ocean At 21st Street
Miami Beach, Fla.



DEMPSEY-VANDERBUILT



DEMPSEY-VANDERBUILT

BUILDING HISTORICAL PICTURES
HOTEL SETAI
2001 COLLINS AVE. MIAMI BEACH, FLORIDA





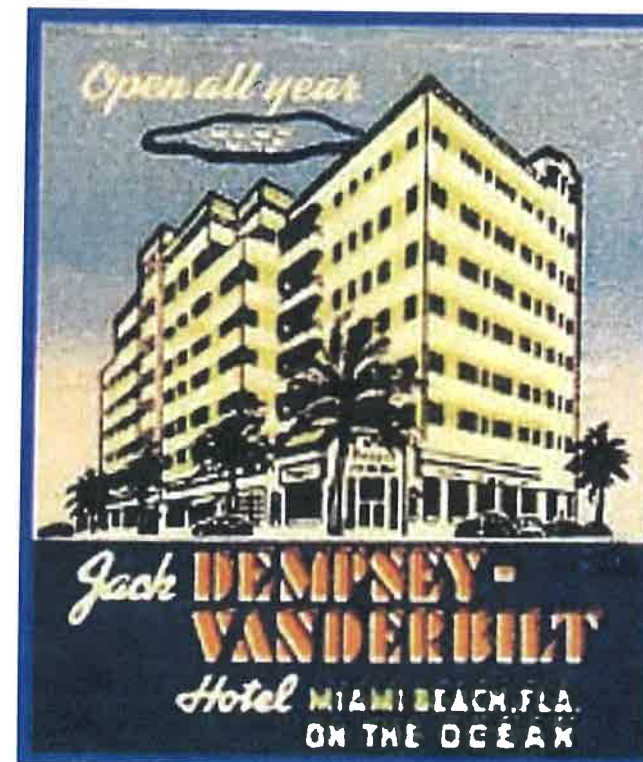
DEMPSEY-VANDERBUILT



DEMPSEY-VANDERBUILT (1949)



DEMPSEY-VANDERBUILT

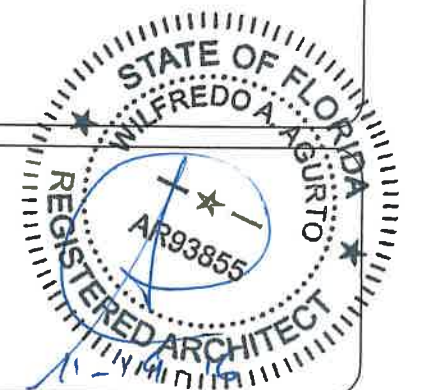


DEMPSEY-VANDERBUILT

BUILDING HISTORICAL PICTURES

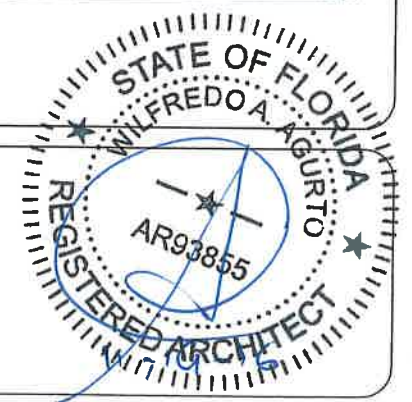
HOTEL SETAI

2001 COLLINS AVE. MIAMI BEACH, FLORIDA





PICTURES OF EXISTING FACADE
HOTEL SETAI
 2001 COLLINS AVE. MIAMI BEACH, FLORIDA



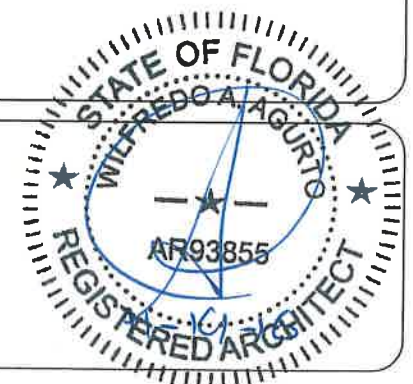


PROPOSED REMODELED FACADE
HOTEL SETAI
 2001 COLLINS AVE. MIAMI BEACH, FLORIDA





PROPOSED REMODELED FACADE
HOTEL SETAI
2001 COLLINS AVE. MIAMI BEACH, FLORIDA





PROPOSED REMODELED FACADE

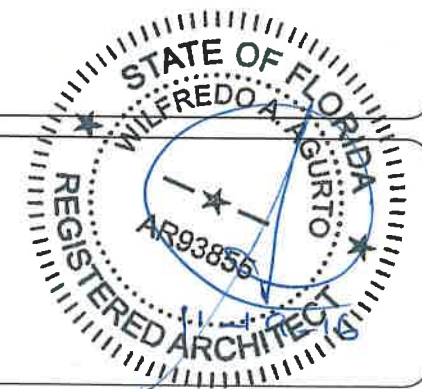
HOTEL SETAI

2001 COLLINS AVE. MIAMI BEACH, FLORIDA





PICTURES OF INTERIOR AREA TO BE REMODELED
HOTEL SETAI
 2001 COLLINS AVE. MIAMI BEACH, FLORIDA





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 20051827
3370 CORAL WAY
MIAMI, FLORIDA 33145
TEL: (305) 481-0720 FAX: (305) 481-0789
VIMQUIT@IDG.COM

WILFREDO AGURTO
AIA 5093855

NEW RETAIL STORES AT SETAI HOTEL
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28
Issue Date
11-19-16

NOT TO BE USED FOR CONSTRUCTION
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Revisions

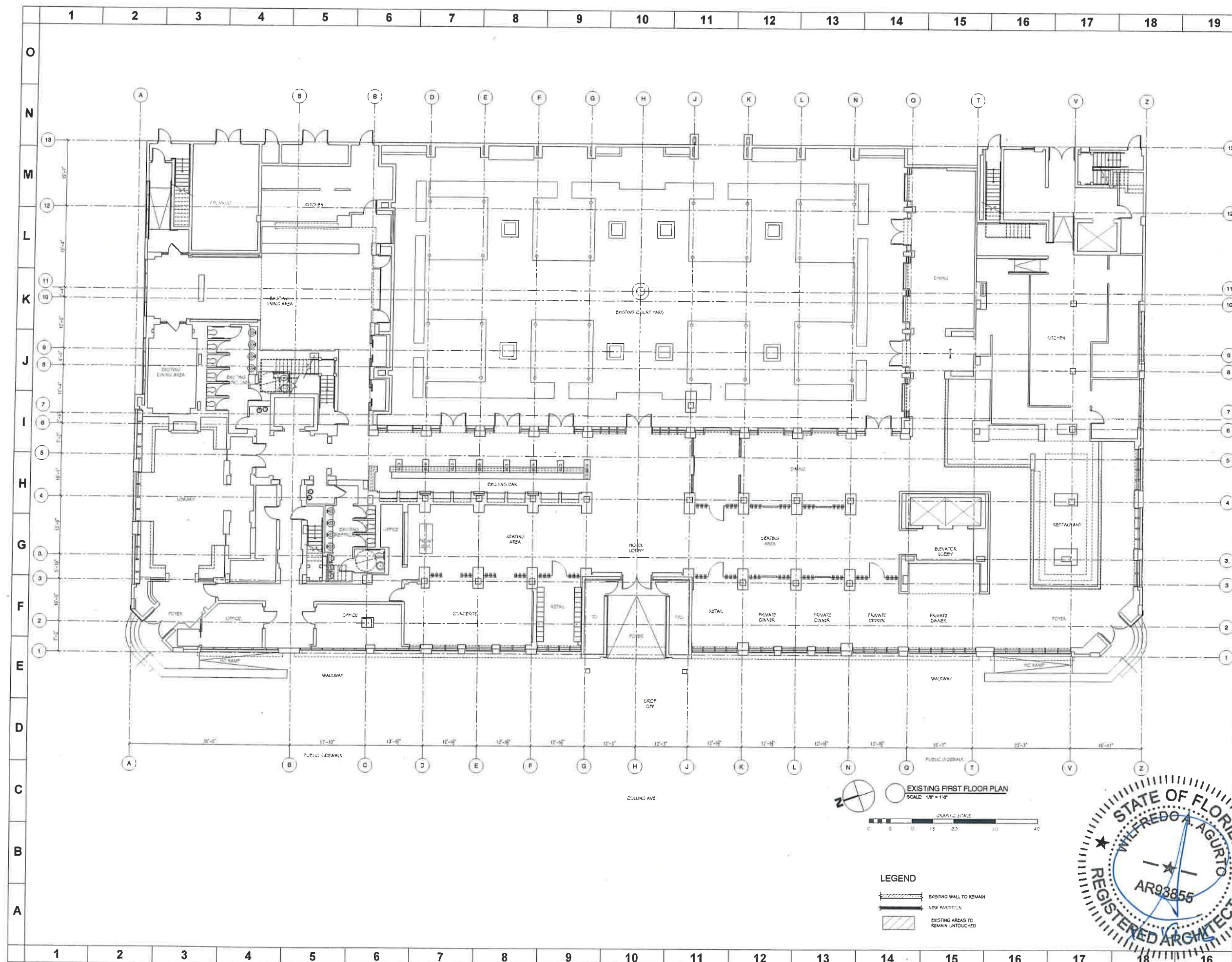
Drawing Title

EXISTING FIRST
FLOOR PLAN

Sheet Number

A-1

1 SET OF 15





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
3370 CORAL WAY,
MIAMI, FLORIDA 33145
TEL: (305) 481-0770 FAX: (305) 481-0789
WILFREDO AGUIRRE
AR# 0033855

NEW RETAIL STORES AT SETAI HOTEL

THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
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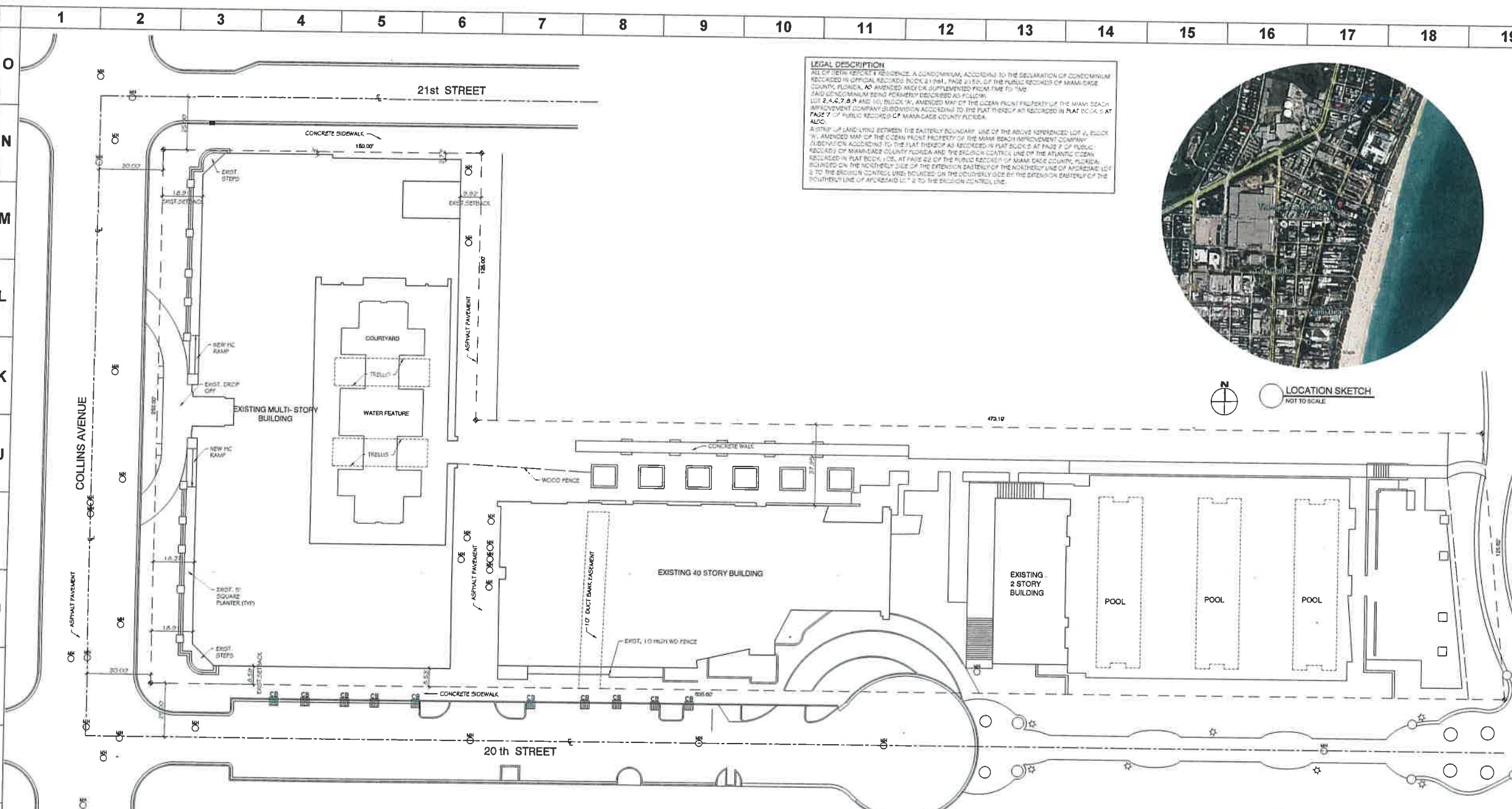
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SITE PLAN

Sheet Number
A-2

2 SET OF 15



LOCATION SKETCH
NOT TO SCALE



SITE PLAN
SCALE: 1"=30'



ZONING DATA INFORMATION		
PROJECT ADDRESS	2001 COLLINS AVE.	REMARKS
ZONING DISTRICT	RM-3	RESIDENTIAL MULTIFAMILY HIGH INTENSITY
LOT AREA	97,915.30	
SETBACKS	SEE SETBACK TABLE ON THIS PAGE	
MAX. FAR	3.0	LOT'S OCEAN FRONT WT. AREA GREATER THAN 45,000 SF
MAX. BUILDING HEIGHT	200 FT.	OCEAN FRONT LOTS
MAX. # OF STORIES	22	OCEAN FRONT LOTS

BUILDING DATA INFORMATION		
PROJECT ADDRESS	2001 COLLINS AVE.	REMARKS
CONSTRUCTION TYPE	TYPE 1A	RESIDENTIAL MULTIFAMILY HIGH INTENSITY
	R-2	HOTEL
	R-2	CONDO
BUILDING OCCUPANCIES	D-2	PARKING BLDG.
	A-2	RESTAURANTS
	A-4	SWIMMING POOL, POOL DECKS

Sec. 142.247 - Setback requirements.

(a) The setback requirements for the RM-3 residential multifamily high intensity district are as follows:

	FRONT	Side, Interior	Side, Facing a Street	Rear
At grade parking lot on the same lot	20 feet	5 feet, or 5% of lot width, whichever is greater	5 feet, or 5% of lot width, whichever is greater	Non-oceanfront lots—5 feet Oceanfront lots—50 feet from bulkhead line
Subterranean	20 feet	5 feet, or 5% of lot width, whichever is greater, (0 feet if lot width is 50 feet or less)	5 feet, or 5% of lot width, whichever is greater	Non-oceanfront lots—0 feet Oceanfront lots—50 feet from bulkhead line
Pedestal	20 feet Except lots A and 1—30 of the Amended Plat Indian Beach Corporation Subdivision and lots 231—237 of the Amended Plat of First Ocean Front Subdivision—50 feet	Sum of the side yards shall equal 16% of lot width. Minimum—7.5 feet or 8% of lot width, whichever is greater	Sum of the side yards shall equal 16% of lot width. Minimum—7.5 feet or 8% of lot width, whichever is greater	Non-oceanfront lots—10% of lot depth Oceanfront lots—20% of lot depth, 50 feet from the bulkhead line whichever is greater
Tower	20 feet + 1 foot for every 1 foot increase in height above 50 feet, to a maximum of 50 feet, then shall remain constant. Except lots A and 1—30 of the Amended Plat Indian Beach Corporation Subdivision and lots 231—237 of the Amended Plat of First Ocean Front Subdivision—50 feet	The required pedestal setback plus 2.10 of the height of the tower portion of the building. The total required setback shall not exceed 50 feet	Sum of the side yards shall equal 16% of the lot width. Minimum—7.5 feet or 8% of lot width, whichever is greater	Non-oceanfront lots—15% of lot depth Oceanfront lots—25% of lot depth, 75 feet minimum from the bulkhead line whichever is greater

Notwithstanding the above, oceanfront lots located in the Miami Beach Architectural District shall be permitted to construct detached additions at a height not to exceed 25 feet; and shall have setback requirements as follows:

Side, Interior: Five feet
Side, Street: Five feet
Rear: Ten percent of lot depth or the western edge of the Oceanfront Overlay, whichever is greater



IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 2800 637
3370 CORAL WAY
MIAMI, FLORIDA 33145
TEL: (305) 481-0720 FAX: (305) 481-0788
WAGURTO@IGD.COM

WILFREDO AGURTO
ARCH 003365

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THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

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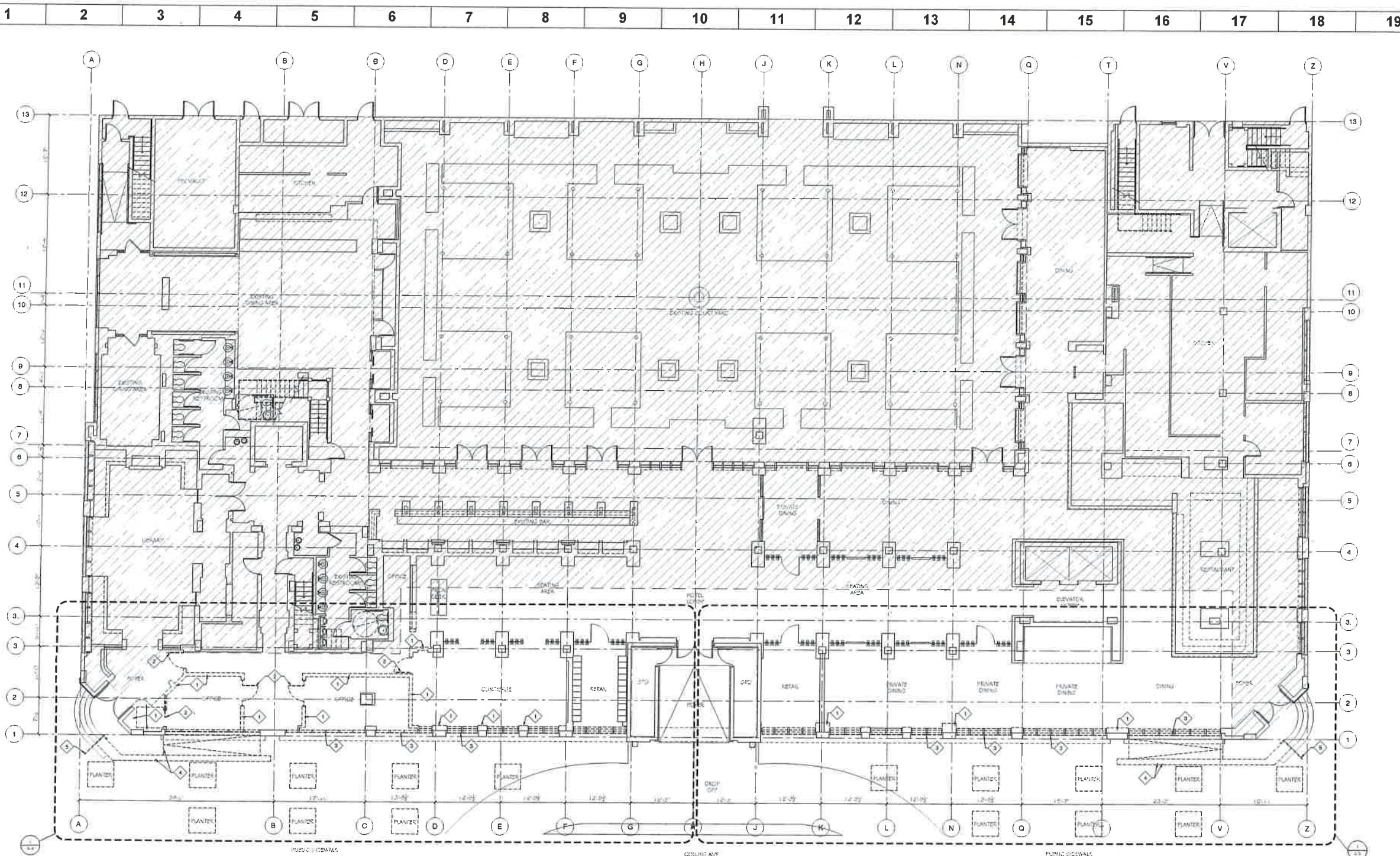
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1ST FLOOR DEMOLITION
PLAN

Sheet Number

A-3

3 SET OF 15

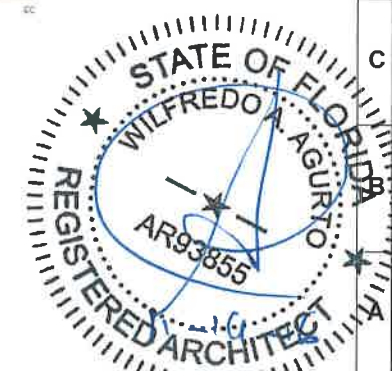
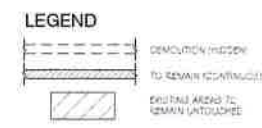
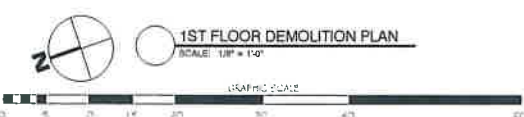


GENERAL DEMOLITION NOTES:

- THE SCOPE OF WORK HAS BEEN INDICATED ON THE DRAWING FOR CONTRACTOR INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, NATURE AND EXTENT OF DEMOLITION REQUIRED.
- EXISTING WALLS AND PARTITION WALLS IN THEIR RESPECTIVE SPACES SHALL BE DEMOLISHED IN THE DEMOLITION OF ANY WORK.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISRUPT ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION A CONTRACTOR DISCOVERS OR DISTURBS ANY WORK WHICH IS TO REMAIN, THEN HE SHALL AT ONCE STOP WORK AND NOTIFY THE ARCHITECT IMMEDIATELY. NO UNNECESSARY PATCHES OR REPAIRS SHALL BE MADE. ANY PATCHES OR REPAIRS SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
- ALL DEMOLITION WORK TO BE DONE DURING THE HOURS COORDINATED BY OWNER, OWNER'S REPRESENTATIVE OR ARCHITECT. NO DEMOLITION WORK TO BE DONE OUTSIDE OF THESE HOURS.
- REMOVE AND LOCATE ALL DEMOLISHED ITEMS IN A MANNER PERMITTED BY THE CITY OF MIAMI BEACH AND ANY OTHER AFFECTED AGENCIES.
- DO NOT SCALE DRAWING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE PROPER COMPLETION OF WORK. ALL BUILDING DEPARTMENT PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.
- IN ALL CASES, THE CONTRACTOR SHALL PATCH ALL DISTURBED EXISTING STRUCTURED WALLS, CEILING, ETC. WHICH ARE TO REMAIN TO MATCH ALL EXISTING CONDITIONS AND FINISHES THEM FOR THE RECEIPT OF NEW FINISHES.
- MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION TO BE DONE BY THE MECHANICAL CONTRACTOR.
- CONTRACTOR SHALL PATCH, PATCH AND REPAIR ALL EXISTING WORK ADJACENT TO HIS WORK OR DAMAGED AS A RESULT OF HIS WORK.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING MATERIALS TO BE REUSED AND SHALL ALSO PROTECT ALL TRAFFIC AREAS OF BUILDING HE USES DURING THE EXECUTION OF WORK PERTAINING TO THIS CONTRACT.
- CONTRACTOR SHALL SEPARATE BY DAMAGE ATTRIBUTABLE TO HIS OVERSIGHT. CONTRACTOR'S ATTENTION IS DIRECTED TO REQUIREMENTS FOR PROTECTION OF EXISTING WORK, EQUIPMENT AND EXISTING SPACES AS PER THE 2014 FBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND PATCHING MADE NECESSARY BY THE WORK OF ALL TRADES INVOLVED IN THE ALLOCATION.
- DEMOLITION TO BE DONE BY QUALIFIED ELECTRICAL CONTRACTOR AND COORDINATED WITH ELECTRICAL DRAWINGS.
- DEMOLITION TO BE DONE BY QUALIFIED PLUMBING CONTRACTOR AND COORDINATED WITH PLUMBING DRAWINGS.

DEMOLITION KEYED NOTES

No.	DESCRIPTION	REFER
1	REMOVE EXISTING WALL / PARTITION IN ACCORDANCE WITH NEW WORK PATCH AND REPAIR ADJACENT WALL SURFACES AS REQUIRED.	A-3
2	REMOVE EXISTING CEILING AS SHOWN IN ACCORDANCE WITH NEW WORK PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
3	REMOVE EXISTING CURTAIN WALL AS SHOWN IN ACCORDANCE WITH NEW WORK PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
4	REMOVE EXISTING SUMP & COVER AS SHOWN IN ACCORDANCE WITH NEW WORK PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
5	REMOVE EXISTING RAILING AS SHOWN IN ACCORDANCE WITH NEW WORK PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
6	REMOVE EXISTING PAINT TRIM AND PLANTERS SEE LANDSCAPE PLAN FOR NEW PLANTERS.	A-3





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES

3370 CORAL WAY,
MIAMI, FLORIDA 33145
TEL: (305) 441-4770 FAX: (305) 441-0770
WAGURTO@IDG.COM

WILFREDO AGURTO
APR 0093855

NEW RETAIL STORES AT SETAI HOTEL

THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-5000

Project Number
ID 16.28
Issue Date
11-19-16

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Revisions

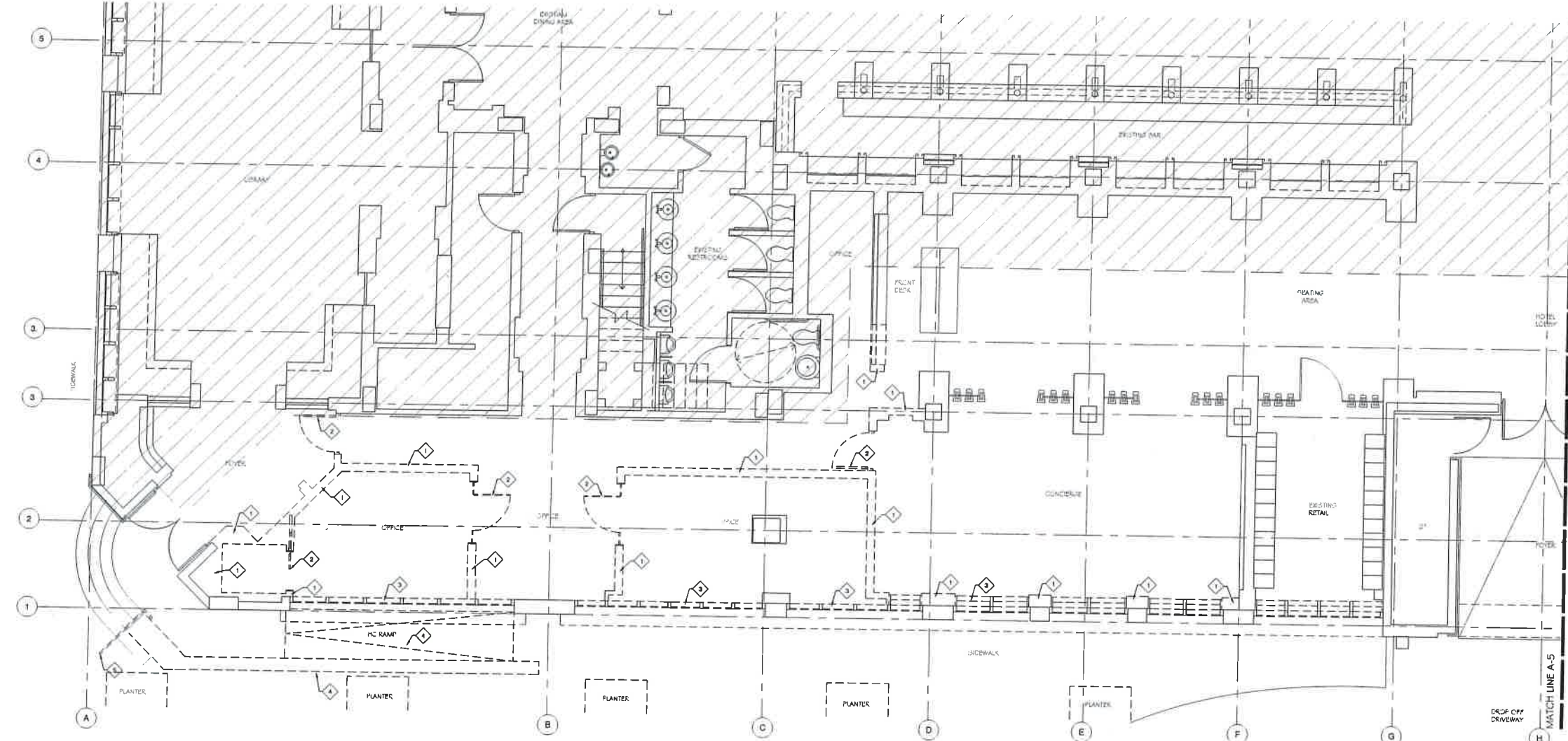
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PARTIAL ENLARGED
1ST FLOOR
DEMOLITION PLAN I

Sheet Number

A-4

4 SET OF 15



GENERAL DEMOLITION NOTES:

- THE SCOPE OF WORK HAS BEEN INDICATED ON THE DRAWING FOR CONTRACTOR INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FINAL SCOPE, EXTENT, NATURE AND VOLUME OF DEMOLITION REQUIRED.
- ONLY WORKMEN TRULY AND INDIVIDUALLY IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED IN THE DEMOLITION OF ANY WORK.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION A CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, THEN HE SHALL AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK AS NECESSARY.
- ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
- ALL DEMOLITION WORK TO BE DONE DURING THOSE HOURS DESIGNATED BY OWNER. OWNER REPRESENTATIVE OR ARCHITECT DESIGNATED BY OWNER SHALL REMOVE AND DISCARD ALL DEMOLISHED ITEMS IN A MANNER FULLY APPROVED BY THE CITY OF SOUTH BEACH AND ANY OTHER GOVERNMENT AGENCY.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO DEMOLITION AND SHALL REPORT TO THE OWNER REPRESENTATIVE ANY DISCREPANCIES OR CONDITIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK. ALL BUILDING DEPARTMENT PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.

- IN ALL CASES, THE CONTRACTOR SHALL PATCH ALL DISTURBED EXISTING STRUCTURES (WALLS, COLUMNS, ETC.) WHICH ARE TO REMAIN TO MATCH ADJACENT CONDITIONS AND PREPARE THEM FOR THE RECEPTION OF NEW FINISHES.
- MECHANICAL DUCTWORK AND PIPING DEMOLITION TO BE DONE BY THE MECHANICAL CONTRACTOR.
- CONTRACTOR SHALL PROTECT, PATCH AND REPAIR ALL EXISTING WORK ADJACENT TO HIS WORK OR DAMAGED AS A RESULT OF HIS WORK.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING MATERIALS TO BE REUSED AND SHALL ALSO PROTECT ALL TRAFFIC AREAS OF BUILDING HE USES DURING THE DEMOLITION OF WORK PERTAINING TO THIS CONTRACT.
- CONTRACTOR SHALL REPAIR ANY DAMAGE ATTRIBUTABLE TO HIS OPERATION OF PRESENT WORK, EQUIPMENT AND OCCUPIED SPACES AS PER PER 2131.4.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL CUTTING AND PATCHING WORK NECESSARY FOR THE WORK OF ALL TRADES INVOLVED IN THIS ALTERATION.
- ELECTRICAL DEMOLITION TO BE DONE BY QUALIFIED ELECTRICAL CONTRACTOR AND COORDINATED WITH ELECTRICAL DRAWINGS.
- PLUMBING DEMOLITION TO BE DONE BY QUALIFIED PLUMBING CONTRACTOR AND COORDINATED WITH PLUMBING DRAWINGS.

DEMOLITION KEYED NOTES

NO.	DESCRIPTION	REFER
1	REMOVE EXISTING WALL PARTITION IN ACCORDANCE WITH NEW WORK PATCH AND REPAIR ADJACENT WALL SURFACES AS REQUIRED.	A-3
2	REMOVE EXISTING DOORS AS SHOWN IN ACCORDANCE WITH NEW WORK, PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
3	REMOVE EXISTING CURTAIN WALL AS SHOWN IN ACCORDANCE WITH NEW WORK, PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
4	REMOVE EXISTING RAMP & CURB AS SHOWN IN ACCORDANCE WITH NEW WORK, PATCH AND REPAIR WALL SURFACES AS REQUIRED.	A-3
5	REMOVE EXISTING RAILING AS SHOWN IN ACCORDANCE WITH NEW WORK, PATCH AND REPAIR AS REQUIRED.	A-3

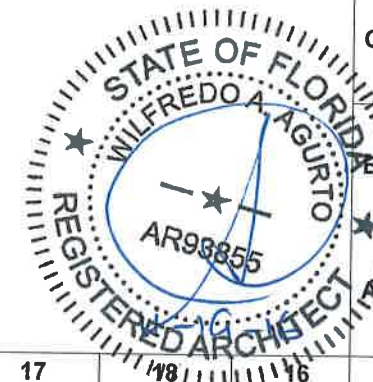
LEGEND

- DEMOLITION (HIDDEN)
- TO REMAIN (CONTINUOUS)
- EXISTING AREAS TO REMAIN UNTOUCHED



ENLARGED 1ST FLOOR DEMOLITION PLAN I

SCALE: 1/8" = 1'-0"





WILFREDO AGURT

NEW RETAIL STORES AT SETAI HOTEL

IL STORES AT SET
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

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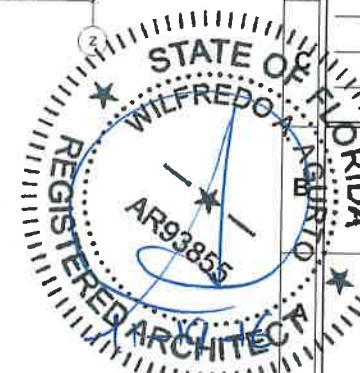
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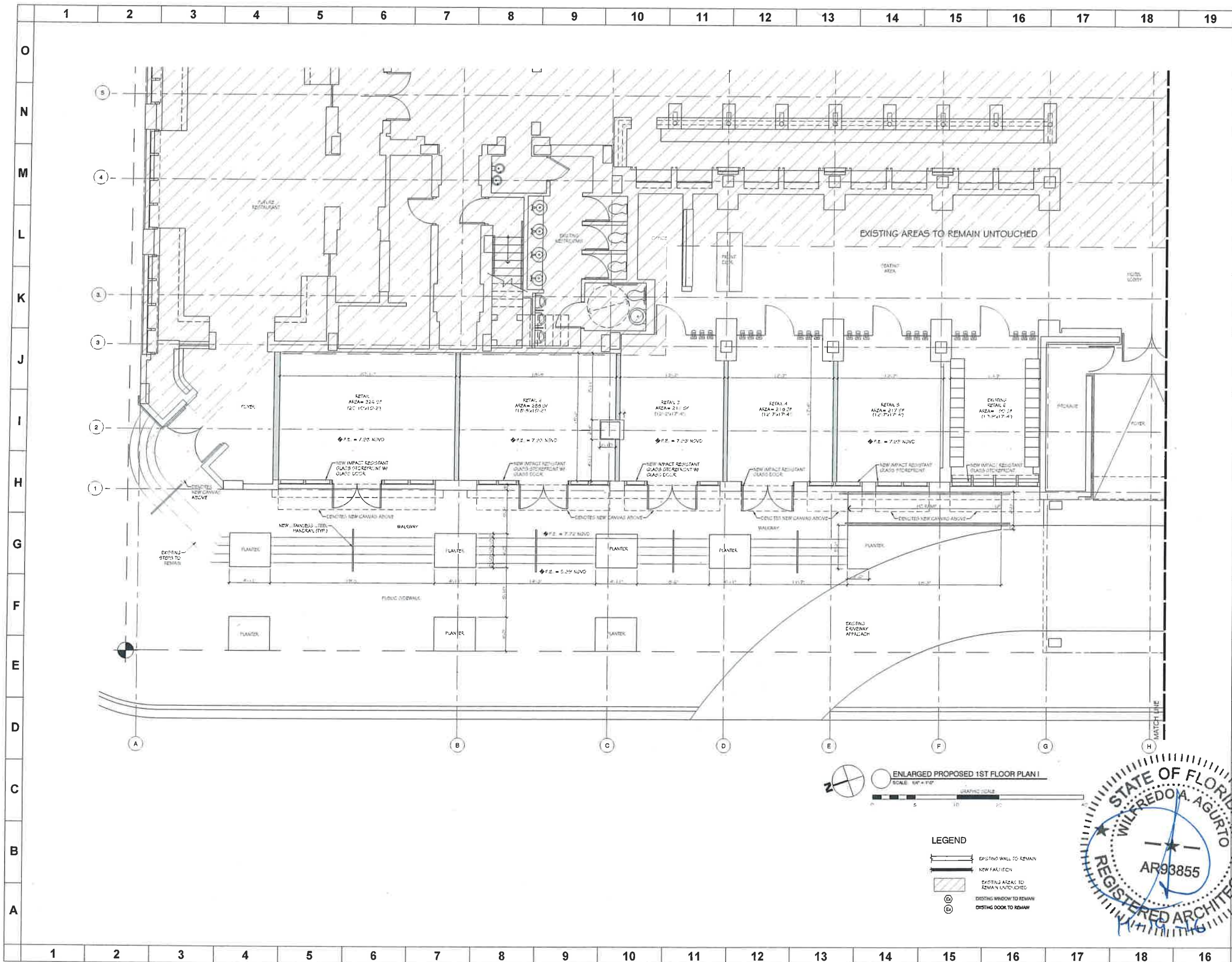
PROPOSED
1ST FLOOR PLAN

Sheet Number

A-6

6 SET OF 15





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 2001107
3270 CORAL WAY
MIAMI, FLORIDA 33143
TEL (305) 461-0720 FAX (305) 461-0748
WAGUTTO@IDG.COM

WILFREDO AGURTO
ARB 0083855

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Drawing Title

ENLARGED PROPOSED
1ST FLOOR PLAN I

Sheet Number

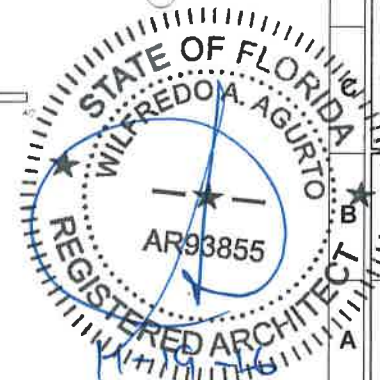
A-7

7 SET OF 15

ENLARGED PROPOSED 1ST FLOOR PLAN I
SCALE: 1/4" = 1'-0"
GRAPHIC SCALE

LEGEND

- EXISTING WALL TO REMAIN
- NEW PARTITION
- EXISTING AREAS TO REMAIN UNTOUCHED
- EXISTING WINDOW TO REMAIN
- EXISTING DOOR TO REMAIN





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 2800127
3372 CORAL WAY
MIAMI, FLORIDA 33145
TEL: (305) 451-1000 FAX: (305) 451-1001
WWW.IMAGINATIONDESIGN.COM

WILFREDO AGUIRRE
ARB 0093855

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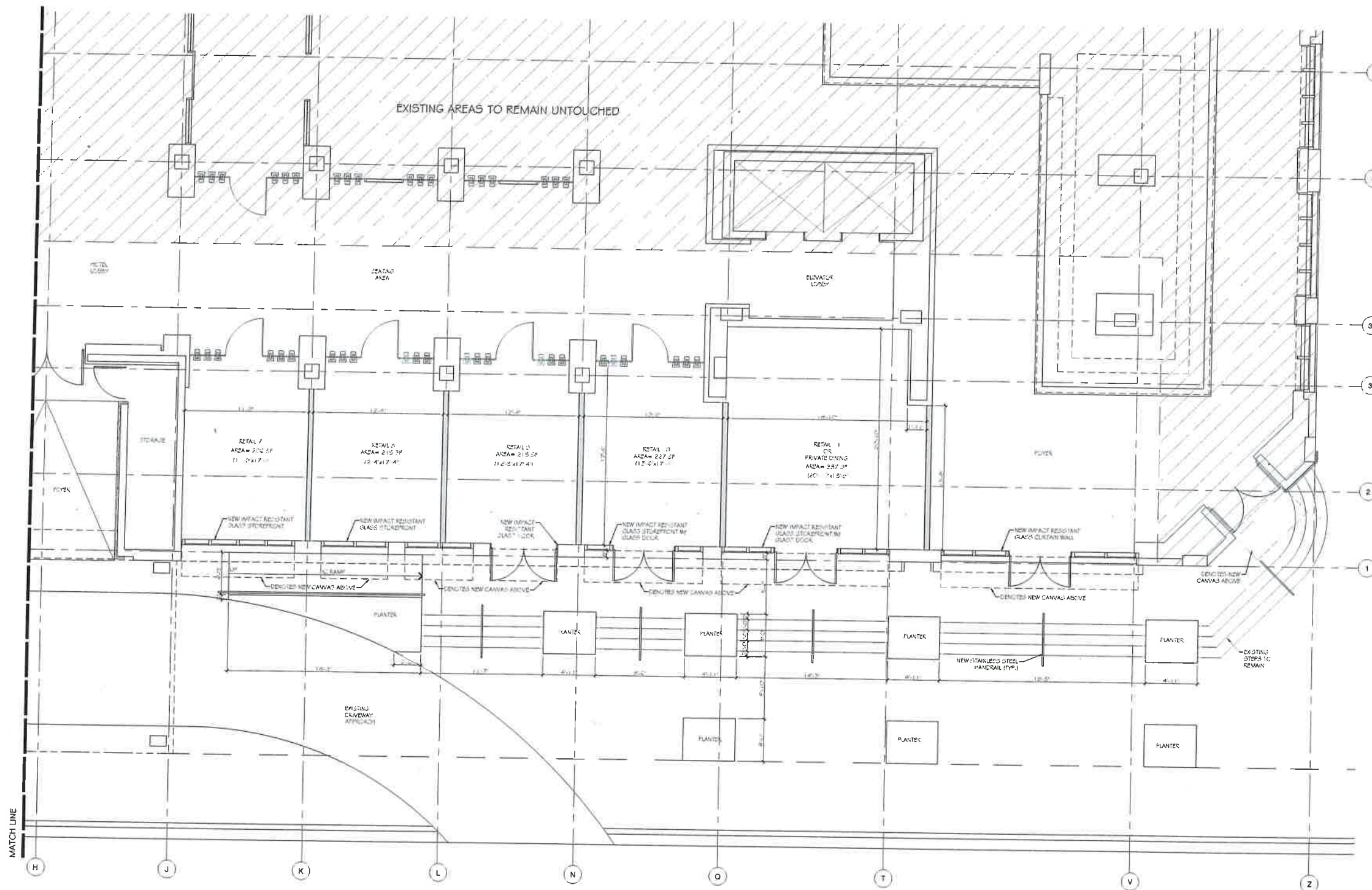
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ENLARGED PROPOSED
1ST FLOOR PLAN II

Sheet Number

A-8

8 SET OF 15



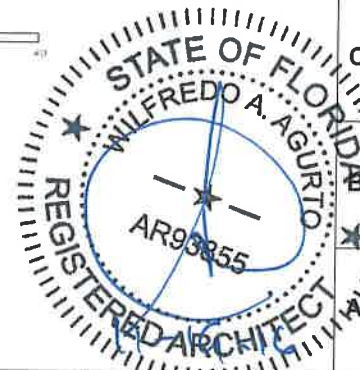
ENLARGED PROPOSED 1ST FLOOR PLAN II

SCALE: 1/8" = 1'-0"



LEGEND

- EXISTING WALL TO REMAIN
- NEW PARTITION
- EXISTING AREAS TO REMAIN UNTOUCHED
- EXISTING WINDOW TO REMAIN
- EXISTING DOOR TO REMAIN





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 26051837
3370 CORAL WAY
MIAMI, FLORIDA 33146
TEL: (305) 461-6732 FAX: (305) 461-0788
WAGUT@IDG-ARCH.COM

WILFREDO AGURTO
ARS 093855

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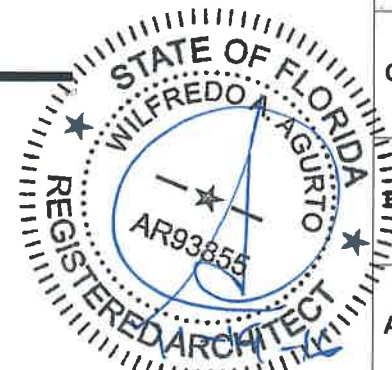
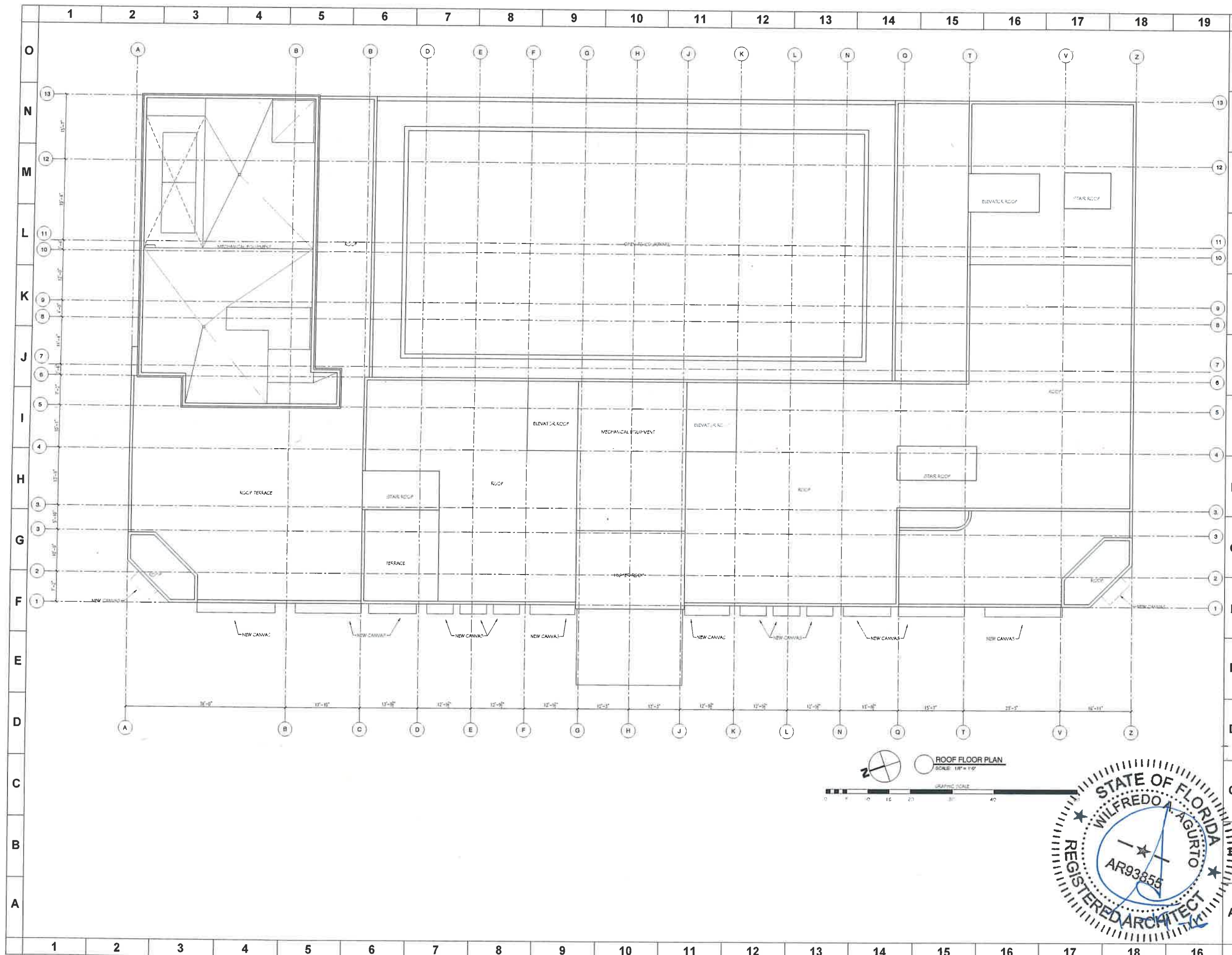
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ROOF FLOOR
PLAN

Sheet Number

A-9

9 SET OF 15





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 2000127
3370 CORAL WAY
MIAMI, FLORIDA 33145
TEL: (305) 461-0720 FAX: (305) 461-0788
WAGURTO@IDG.COM

WILFREDO AGURTO
AIA 0083855

NEW RETAIL STORES AT SETAI HOTEL
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28
Issue Date
11-19-16

NOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED CONSTRUCTION SET
AND APPROVED BY ARCHITECT

Revisions

Drawing Title

NORTH
ELEVATION

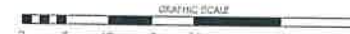
Sheet Number

A-10

10 SET OF 15



EXIST. / DEMOLITION NORTH ELEVATION
SCALE: 1/8" = 1'-0"

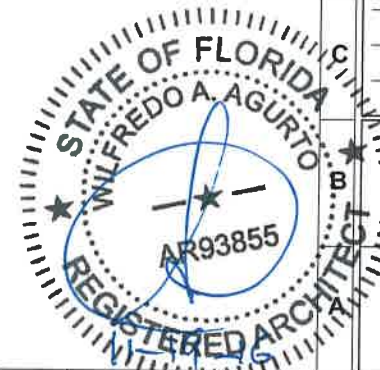


ELEVATION KEYED NOTES

No.	DESCRIPTION
1	NEW CANVAS WINDOWS W/ SIGNS TO COMPLY W/ MIAMI BEACH SETTING REGULATIONS
2	NEW IMPACT RESISTANT ALUM. / GLASS STOREFRONT, WHITE EUP. TO MATCH EXISTING
3	NEW IMPACT RESISTANT ALUM. / GLASS DOOR, WHITE EUP. TO MATCH EXISTING, GLASS COLOR TO MATCH EXISTING TYP.
4	NEW PLANTER, SEE DETAILS ON LANDSCAPE PLAN
5	NEW NO. ACCESS RAMP, SEE DETAIL ON LANDSCAPE PLAN
6	NEW STEEL MIAMI BEACH BESE, SEE LANDSCAPE PLAN
7	NEW STAINLESS STEEL HANDRAIL
8	NEW LIGHT FIXTURE, SEE DETAIL ON LANDSCAPE PLAN



PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 20001827
3375 CORAL WAY
MIAMI, FLORIDA 33115
TEL: (305) 481-0775 FAX: (305) 481-0789
WAGU@IGD.COM

WILFREDO AGUIRTO
AR# 0093855

NEW RETAIL STORES AT SETAI HOTEL
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
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Issue Date:
11-19-16

HOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED CONSTRUCTION SET
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Revisions

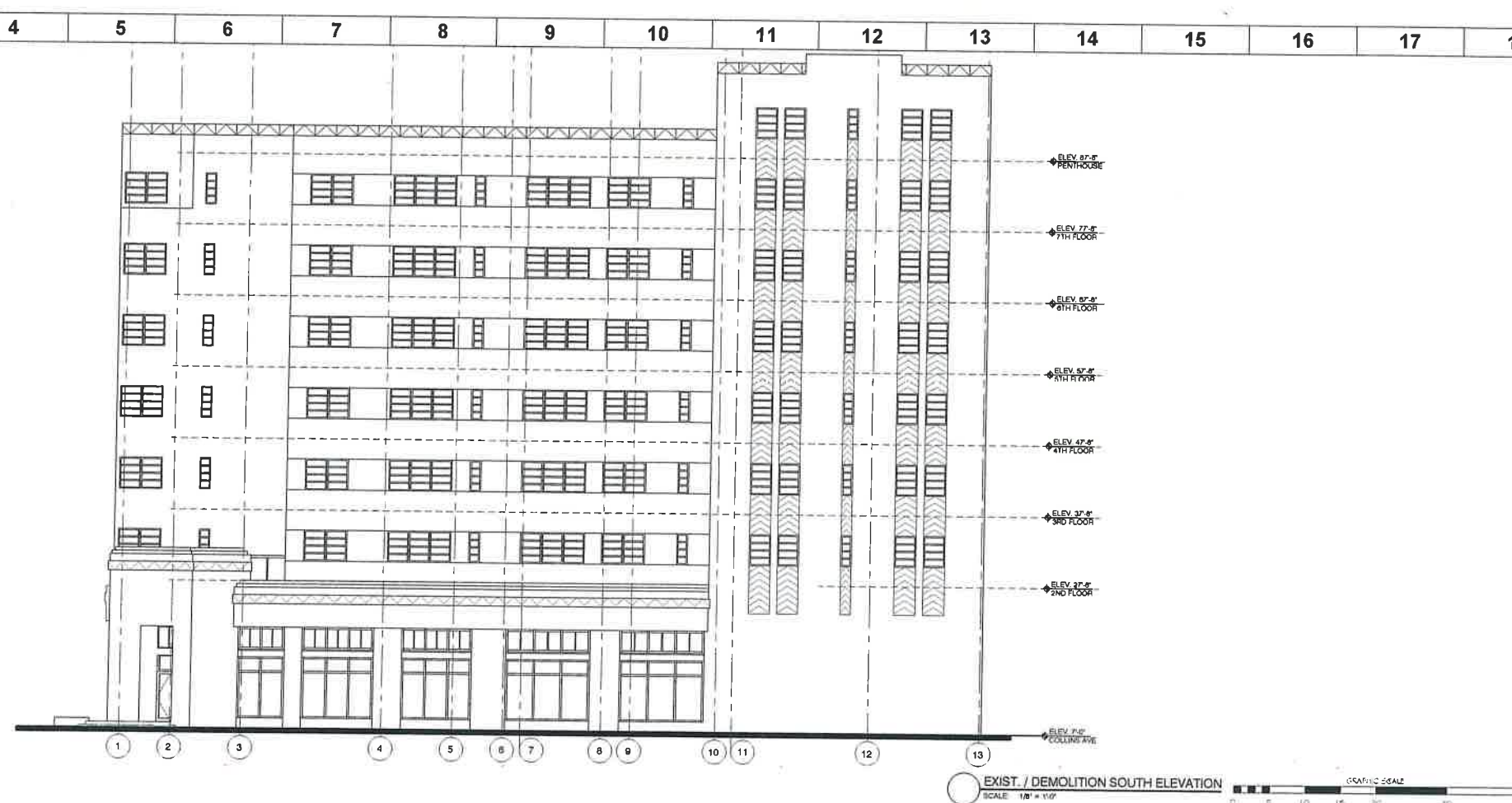
Drawing Title

SOUTH
ELEVATION

Sheet Number

A-11

11 SET OF 15



EXIST. / DEMOLITION SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEYED NOTES	
NO.	DESCRIPTION
1	NEW CANVAS AWNING W/ SIGN TO COMPLY W/ MIAMI BEACH LETTERING REGULATION
2	NEW IMPACT RESISTANT ALUM. / GLASS STOREFRONT WHITE ESP TO MATCH EXISTING
3	NEW IMPACT RESISTANT ALUM. / GLASS GLAZ. WHITE ESP TO MATCH EXISTING GLASS COLOR TO MATCH EXISTING TYP.
4	NEW PLANTER/SEE DETAILS ON LANDSCAPE PLAN
5	NEW W/O ACCESS RAMP/SEE DETAIL ON LANDSCAPE PLAN
6	NEW STOPS MIAMI BEACH DE-20 SEE LANDSCAPE PLAN
7	NEW STAINLESS STEEL HANDRAIL
8	NEW LIGHT FIXTURES SEE DETAIL ON LANDSCAPE PLAN





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
PA 3000163
3470 CORAL WAY
MIAMI, FLORIDA 33145
TEL: (305) 461-0730 FAX: (305) 461-0738
WILFREDO@IDG.COM

WILFREDO AGUIRRE
APR 09/2015

NEW RETAIL STORES AT SETAI HOTEL
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28
Issue Date
11-19-16

NOT TO BE USED FOR CONSTRUCTION
UNLESS SHOWN CONSTRUCTION SET
AND APPROVED BY ARCHITECT

Revisions

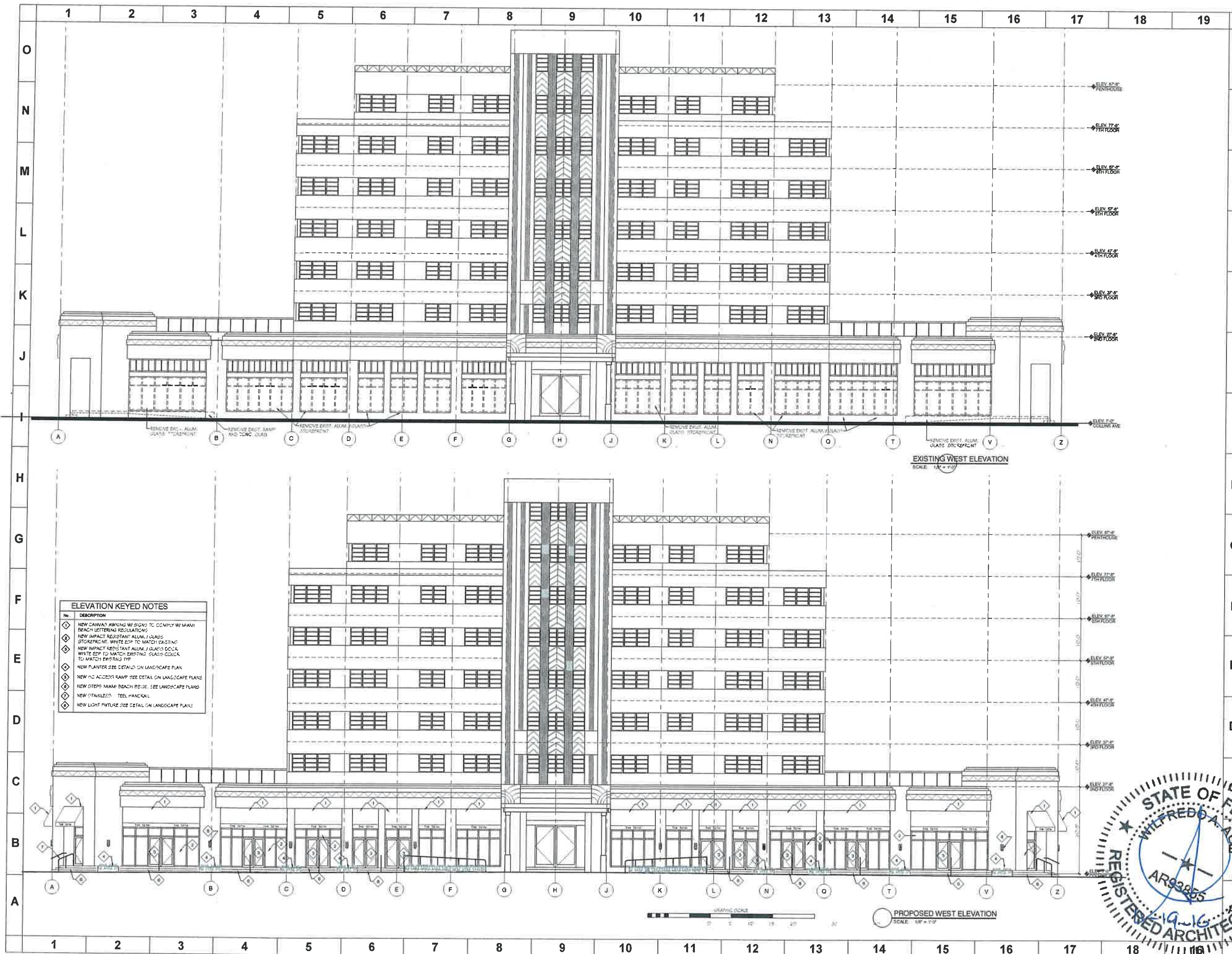
Drawing Title

WEST
ELEVATION

Sheet Number

A-12

12 SET OF 15





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 2800157

3375 CORAL WAY
MIAMI, FLORIDA 33145
TEL: (305) 481-0770 FAX: (305) 481-0778
WAGU@IDG.MIAMI.COM

WILFREDO AGUIRTE
ARCH 0093855

NEW RETAIL STORES AT SETAI HOTEL
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
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Revisions

Drawing Title

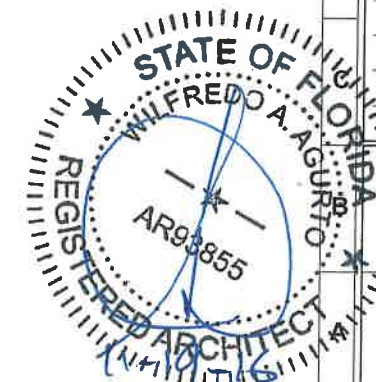
WEST
ELEVATION

Sheet Number

A-13

12 SET OF 15

ELEVATION KEYED NOTES	
No.	DESCRIPTION
1	NEW BLACK CANVAS AWNING WORKING TO COMPLY W/ MIAMI BEACH LETTERING REGULATIONS SEE DETAIL ON SHEET A-15
2	NEW IMPACT RESISTANT ALUM. GLASS STOREFRONT WHITE ESP TO MATCH EXISTING
3	NEW IMPACT RESISTANT ALUM. GLASS DOOR WHITE ESP TO MATCH EXISTING GLASS COLOR TO MATCH EXISTING TYP
4	NEW PLANTER SEE DETAILS ON LANDSCAPE PLAN
5	NEW HIC ACCESS RAMP SEE DETAIL ON LANDSCAPE PLAN
6	NEW STEPS MIAMI BEACH DOOR SEE LANDSCAPE PLAN
7	NEW STAINLESS STEEL HANDRAIL
8	NEW LIGHT FIXTURE SEE DETAIL ON LANDSCAPE PLAN



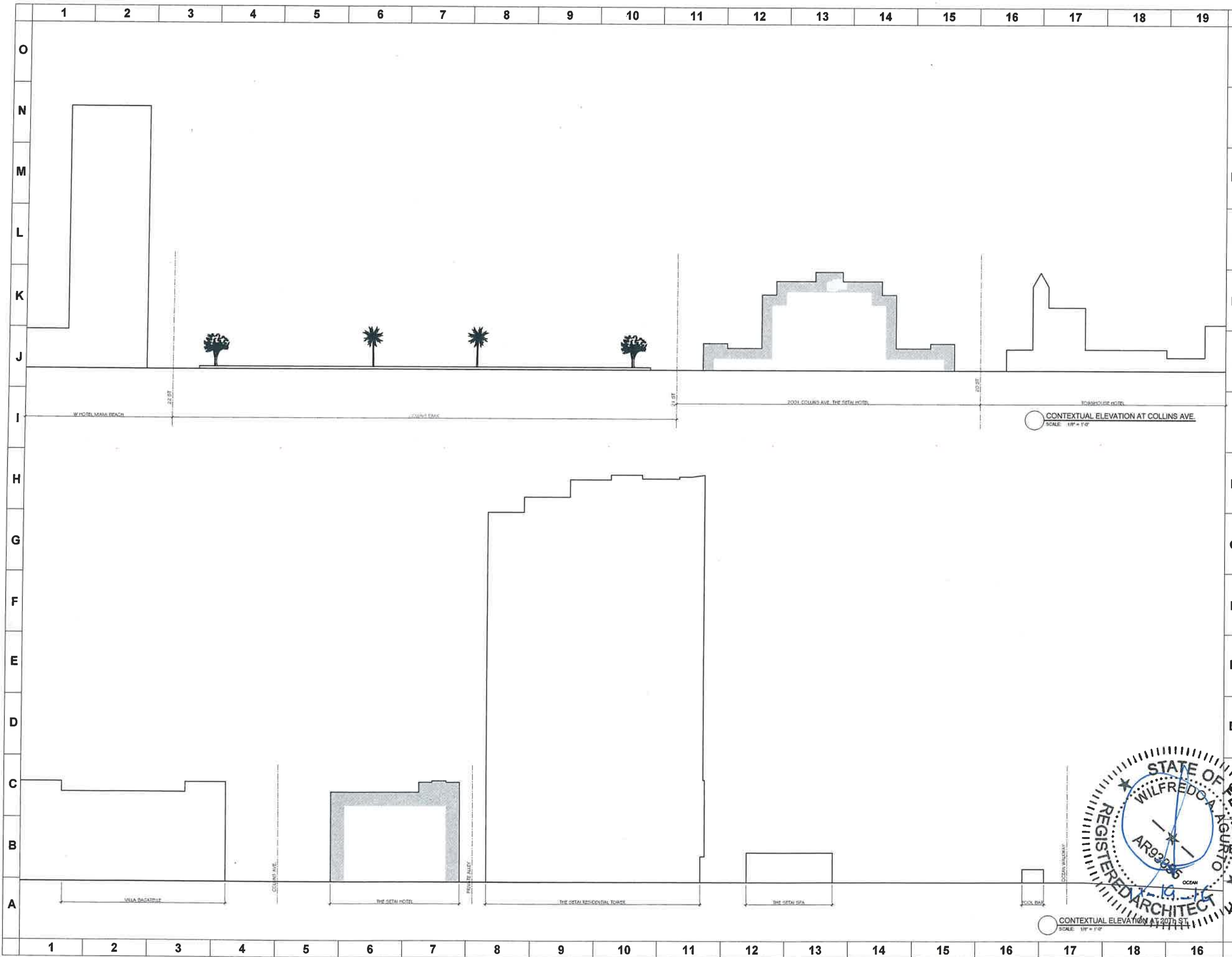
PROPOSED WEST ELEVATION ENLARGEMENT WITHOUT CANVAS
SCALE: 3/8" = 1'-0"

PROPOSED WEST ELEVATION ENLARGEMENT WITHOUT CANVAS
SCALE: 3/8" = 1'-0"

PROPOSED WEST ELEVATION ENLARGEMENT
SCALE: 3/8" = 1'-0"

PROPOSED WEST ELEVATION ENLARGEMENT
SCALE: 3/8" = 1'-0"





iD
IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 26001237
2070 CORAL WAY,
MIAMI, FLORIDA 33145
TEL: (305) 481-0725 FAX: (305) 481-0788
WWW.IDG-USA.COM

WILFREDO AGUIRRE
ARCHITECT

NEW RETAIL STORES AT SETAI HOTEL
THE Setai Hotel
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28
Issue Date
11-19-16

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Revisions

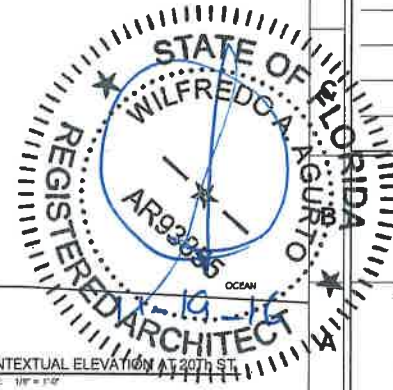
Drawing Title

CONTEXTUAL
ELEVATION LINE
DRAWING

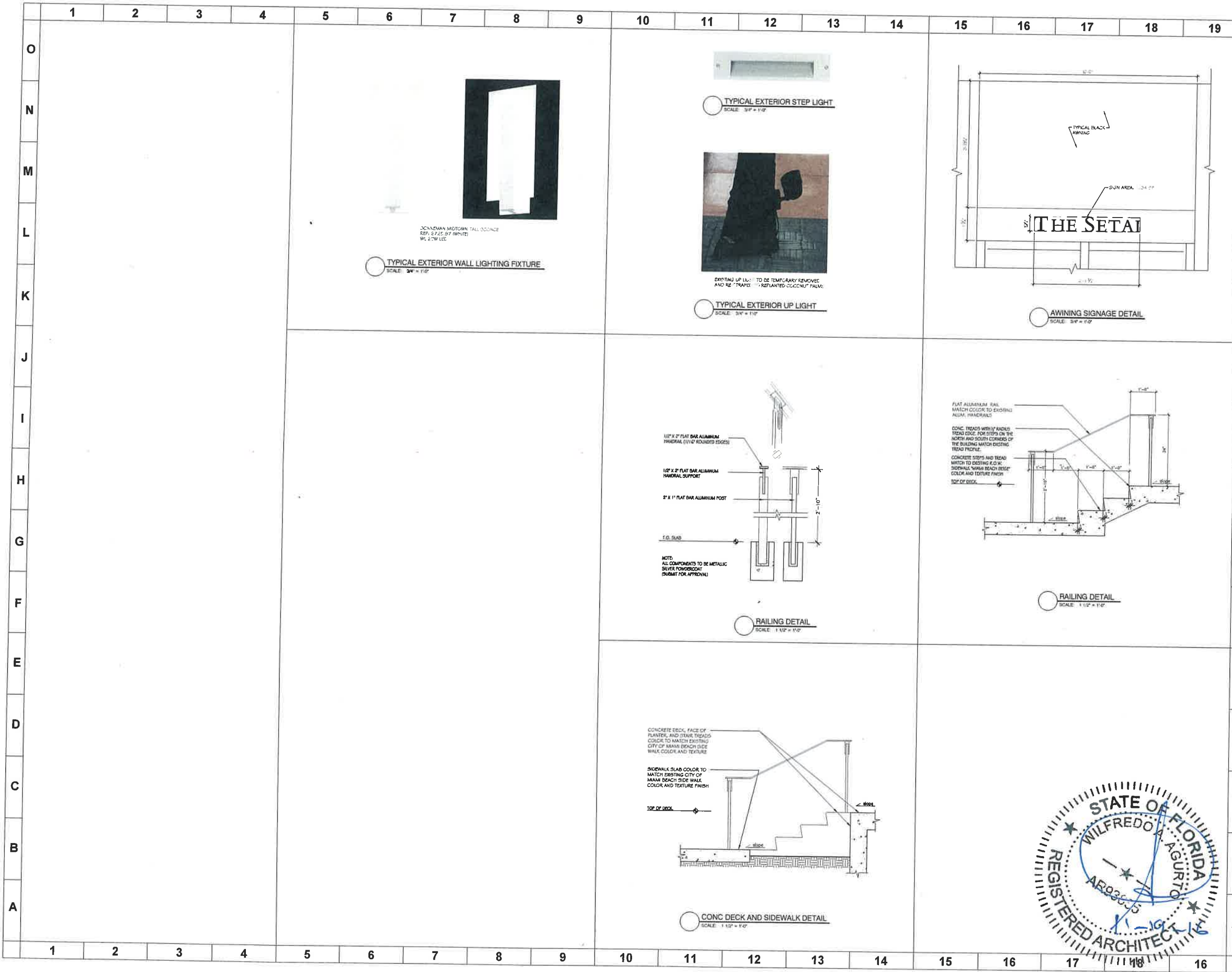
Sheet Number

A-14

13 SET OF 15



CONTEXTUAL ELEVATION AT 207th ST
SCALE: 1/8" = 1'-0"





IMAGINATION DESIGN GROUP, P.A.
ARCHITECTURAL DESIGN SERVICES
AA 28031927
3350 CORAL WAY
MIAMI, FLORIDA 33145
TEL (305) 461-0725 FAX (305) 461-4789
WILFREDO@IDG.WEB.COM

WILFREDO AGURTO
ARB 00038865

NEW RETAIL STORES AT SETAI HOTEL
THE SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28

Issue Date
11-19-16

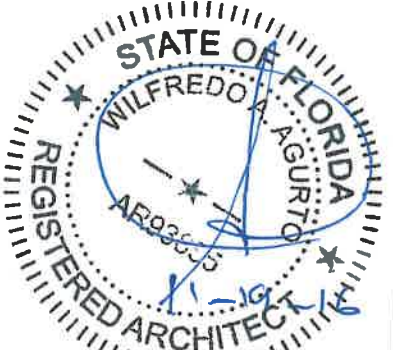
NOT TO BE USED FOR CONSTRUCTION
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Revisions

Drawing Title
WEST ELEVATION

Sheet Number
A-15

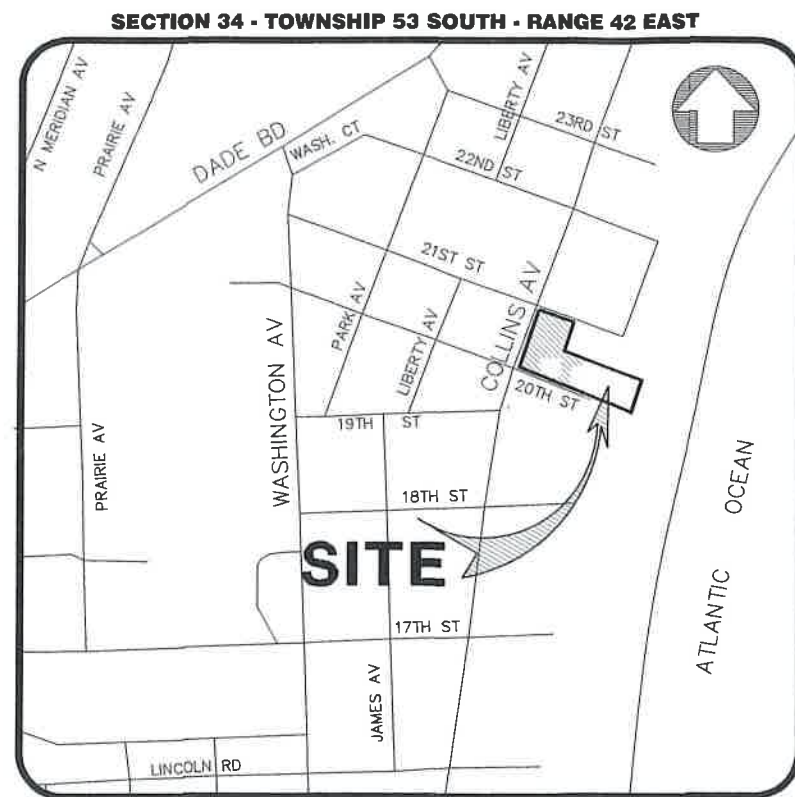
12 SET OF 15



BOUNDARY &
TOPOGRAPHIC SURVEY
OF
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139

ABBREVIATIONS AND LEGEND

	= CENTRAL ANGLE
	= WOOD FENCE
	= WIRE FENCE
	= C.B.S. WALL
	= LOT LINE
	= IRON FENCE
	= METAL LIGHT POLE
	= GUY WIRE
	= UTILITY POWER POLE
	= FIRE HYDRANT
	= WATER METER
	= ELECTRIC BOX
	= TELEPHONE BOX
CONC.	= CONCRETE
	= LIGHT POLE
	= GAS VALVE
	= WATER VALVE
	= WATER MANHOLE
	= UNKNOWN MANHOLE
	= SPOT ELEVATION
	= SEWER MANHOLE
	= TRAFFIC SIGN
	= CATCH BASIN
I.D.	= IDENTIFICATION
ASPH.	= ASPHALT
SWK.	= SIDEWALK
C/P	= COVERED PORCH
U.E.	= UTILITY EASEMENT
U.P.	= UTILITY POLE
V.G.	= VALLEY GUTTER
W.M.	= WATER METER
W.V.	= WATER VALVE
DRWY	= DRIVEWAY
INV.	= INVERTS
STY.	= STORY
-OH-	= OVERHEAD WIRES
A/C	= AIR CONDITIONING PAD
A	= ARC DISTANCE
BLDG.	= BUILDING
C.	= CANOPY
C.B.	= CATCH BASIN
C.B.S.	= CONCRETE BLOCK W/ STUCCO
C.G.	= CURB & GUTTER
CH.	= CHORD DISTANCE
CL.	= CLEAR
H.	= HEIGHT
L.F.E.	= LOWEST FLOOR ELEVATION
L.P.	= LIGHT POLE
M.D.E.	= MAINTENANCE & DRAINAGE EASEMENT
B.C.	= BLOCK CORNER
MH.	= MANHOLE
M/L	= MONUMENT LINE
M.	= METAL SHED ON CONCRETE
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM
P.R.M.	= PERMANENT REFERENCE MONUMENT
℄	= CENTER LINE
CONC.	= CONCRETE
CS.	= CONCRETE SLAB
ENC.	= ENCROACHMENT
E.T.P.	= ELECTRIC TRANSFORMER PAD
F.H.	= FIRE HYDRANT
F.I.P.	= FOUND IRON PIPE
F.N.D.	= FOUND NAIL & DISK
F.R.	= FOUND REBAR
N.T.S.	= NOT TO SCALE
O/H	= OVERHEAD
O.R.B.	= OFFICIAL RECORDS BOOK
P.B.	= PLAT BOOK
P.C.P.	= PERMANENT CONTROL POINT
PG.	= PAGE
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
(M)	= MEASURED
(R)	= RECORDED
PL	= PLANTER
P/L	= PROPERTY LINE
R.	= RADIUS
RAD.	= RADIAL
(R & M)	= RECORDED & MEASURED
RES.	= RESIDENCE
R/W	= RIGHT-OF-WAY
SEC.	= SECTION
F.F.ELEV.	= FINISH FLOOR ELEVATION
	= COCONUT PALM
	= PALM TREE



VICINITY MAP
NOT TO SCALE

State Plane Coordinate
(Current Nad 83/90 Adjustment For Florida East Zone)

MIAMI-DADE WATER & SEWER
DEPARTMENT GPS/GIS PROJECT
"31" LO
N 522503.617 E 940194.944

STATION DESCRIPTION

The station is located in the grass median of Alton Rd. just south of the intersection of Commerce Dr. and Alton Rd. and is south of a water tower, 48 St. The mark is set in the concrete walk with a METRO-DADE GPS CONTROL PT. Brass disk and is stamped "LO".

SURVEYOR'S NOTES

SECTION 1) DATE OF FIELD SURVEY:

1 The date of completion of the field work of the Boundary & Topographic Survey was on April 25, 2016.

SECTION 2) LEGAL DESCRIPTION:

Lots 2, 4, 6, 7, 8, 9 and 10, Block "A", AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY SUBDIVISION, according to the plat thereof as recorded in Plat Book 5 at Page 7 of the Public Records of Miami-Dade County, Florida.

ALSO:

A strip of land lying between the easterly boundary line of the above referenced, Lot 2, Block "A" of AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY SUBDIVISION Recorded in Plat Book 5, at Page 7 of the Public Records of Miami-Dade County, Florida and the Erosion Control Line of the Atlantic Ocean Recorded in Plat Book 105, at Page 62 of Public Records of Miami-Dade County, Florida: Bounded on the Northerly side by the Extension Easterly of the Northerly Line of aforesaid Lot 2 to the Erosion Control Line: Bounded on the Southerly side by the Extension Easterly of the Southerly Line of aforesaid Lot 2 to the Erosion Control Line. All of the Lands described above contain 97,421 Square Feet more or less or 2.236 Acres more or less.

(Warranty Deed, dated January 16th, 2004, recorded in Official Records Book 21981, Page 2159-2322, Miami-Dade County Records).

Property Address: 2001 Collins Avenue, Miami Beach, Florida, 33139
Folio No. 02-3234-153-0001

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Minimum Technical Standards requirement for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=30') or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Centerline of Collins Avenue with an assumed bearing of N19°56'14"E, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "X" and "AE", Elev.=8 feet, as per Federal Emergency Management Agency (FEMA) Community Number 120651 (City of Miami Beach), Map Panel No. 12086C317, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

Elevations as shown hereon are based on the North American Vertical Datum of 1988 (NAVD 1988), as per City of Miami Beach Benchmark Number: FDOT 87-10-PNC 03, Elevation 4.47 feet.

Location:
N.W. of intersection of Collins Avenue & 20th Street.
Brass Disc in sidewalk.

SECTION 5) LIMITATIONS:

Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

SETAI RESORT & RESIDENCES

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary & Topographic Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary & Topographic Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

BENNY SUAREZ SURVEYING INC., a Florida Corporation
Florida Certificate of Authorization Number LB8104

By: Benigno J. Suarez, PSM Date: 11/1/11
Registered Surveyor and Mapper LS6583
State of Florida

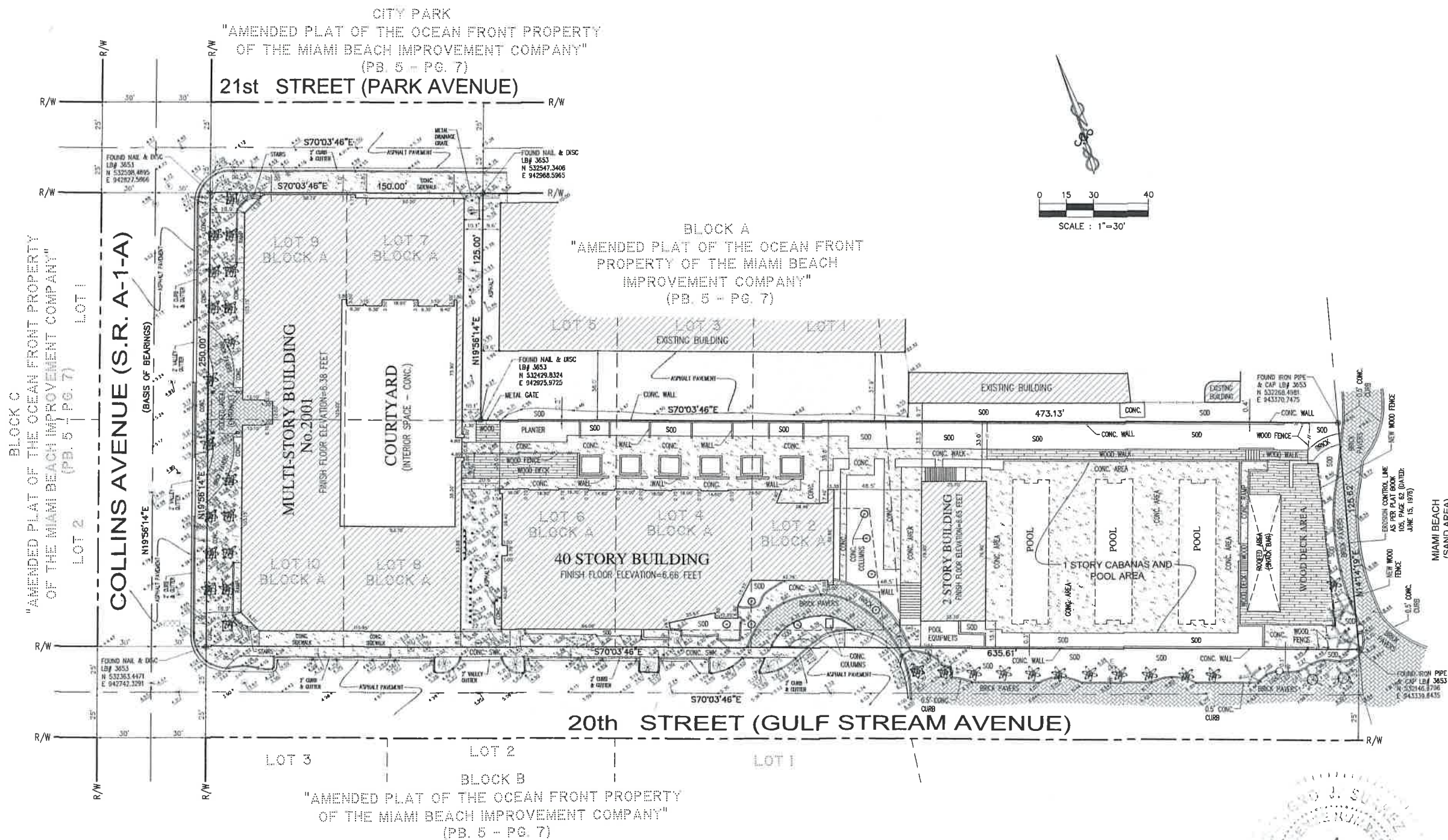
NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

BENNY SUAREZ
SURVEYING INC.
4170 S.W. 152nd PATH, MIAMI, FLORIDA 33185
PH: (305) 807-8319 Email: bennysuarez@msn.com



TYPE OF PROJECT:		No.	DATE	DESCRIPTION
BOUNDARY & TOPOGRAPHIC SURVEY				
PROJECT FILE				
SETAI RESORT & RESIDENCES				
ADDRESS				
2001 COLLINS AVENUE MIAMI BEACH, FLORIDA 33139				
JOB No. 2016-036 DRAWN BY: L.S.I. CHECKED BY: B.J.S. FIELD BOOK: FILE DATE: 11/21/2016 SCALE: AS SHOWN				
SHEET: 1 OF 1				

BOUNDARY & TOPOGRAPHIC SURVEY
OF
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139



NOTE:
REDUCED COPY
(NOT TO SCALE)

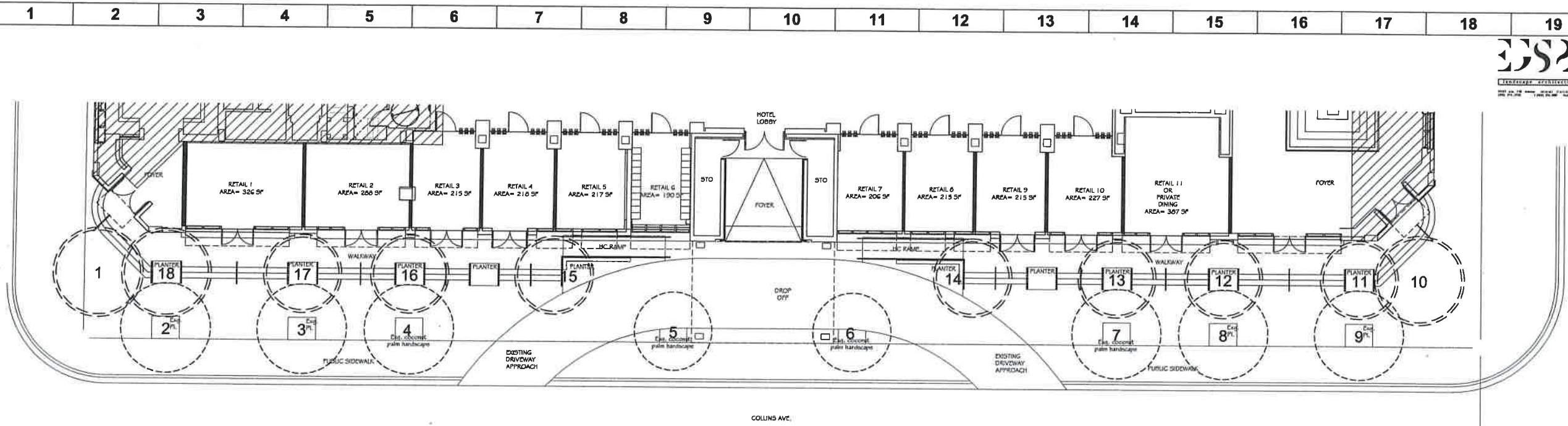
NOTES:

1. The height of the Replacement Fence will not to exceed 5 feet from grade.
2. The Grade for this Property is the 5.17' (NGVD 1929).
3. The top of the Replacement Fence will not to exceed 10.17' (NGVD 1929).

By: *[Signature]* Date: 11/21/16
Benjamin J. Suarez, PSM
Registered Surveyor and Mapper
State of Florida
License No. 156583

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.

BENNY SUAREZ SURVEYING INC. 4170 S.W. 152nd PATH, MIAMI, FLORIDA 33185 PH: (305) 807-8319 Email: benysuarez@msn.com	
DESCRIPTION	
No.	DATE
BOUNDARY & TOPOGRAPHIC SURVEY	
SETAI RESORT & RESIDENCES	
2001 COLLINS AVENUE MIAMI BEACH, FLORIDA 33139	
JOB No.	2016-036
DRAWN BY:	L.M.
CHECKED BY:	B.J.S.
FIELD BOOK:	FILE
DATE:	11/21/2016
SCALE:	AS SHOWN
SHEET:	2
2 OF 2	



EXISTING TREE TABLE

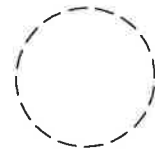
Key	Tree	DBH	Spr.	Ht.	Disp.	Note	Spread to be replaced (SF)
1	Cocos nucifera	10"	16'	35'	relocate		
2	Coconut Palm	10"	16'	35'	relocate		
3	Cocos nucifera	10"	16'	35'	relocate		
4	Coconut Palm	10"	16'	35'	relocate		
5	Cocos nucifera	10"	16'	35'	relocate		
6	Coconut Palm	10"	16'	35'	relocate		
7	Cocos nucifera	10"	16'	35'	relocate		
8	Coconut Palm	10"	16'	35'	relocate		
9	Cocos nucifera	10"	16'	35'	relocate		
10	Coconut Palm	10"	16'	35'	relocate		
11	Cocos nucifera	10"	14'	35'	relocate		
12	Coconut Palm	10"	14'	35'	relocate		
13	Cocos nucifera	10"	14'	35'	relocate		
14	Coconut Palm	10"	14'	35'	relocate		
15	Cocos nucifera	10"	14'	35'	relocate		
16	Coconut Palm	10"	14'	35'	relocate		
17	Cocos nucifera	10"	14'	35'	relocate		
18	Coconut Palm	10"	14'	35'	relocate		

Total SF to be replaced 0"

Note:
Coconut Palms to be temporarily relocated by Landscape Contractor to a nursery while building improvements are taking place and returned to site once all construction has been completed. Please refer to Final Planting Plan for final locations of Coconut Palms.



Denotes trees being temporarily relocated
See note below



Denotes existing trees to remain



existing palm trees 1-5, 15-18 (north side of the property)



existing palm trees 6-14 (south side of the property)

OCT 05 2016

NEW RETAIL STORES AT SETAI HOTEL

SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28
Issue Date
03-11-16

NOT TO BE USED FOR CONSTRUCTION
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AND APPROVED BY ARCHITECT.

Revisions

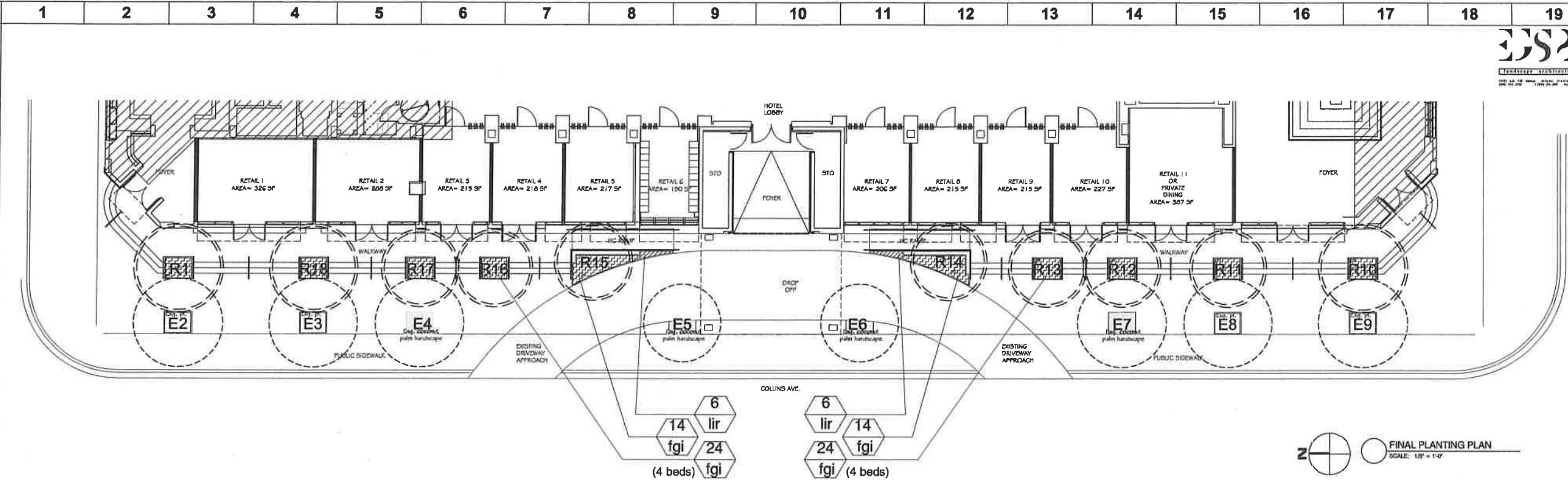
Drawing Title

EXISTING TREE PLAN

Sheet Number

L-1.0

1 SET OF 3



plant specifications

- Landscape Contractor shall be familiar w/ all work required by these drawings. This shall include all grading plans and/or detail sheets indicating depths of all planters on the raised decks. Note raised deck details may not be part of the Landscape set and may be included in the Architectural plans.
- All plant material furnished by the Landscape Contractor unless otherwise specified in Grades and Standards for Nursery Plants 2015, by the Florida Department of Agriculture and Consumer Services Division of the Plant Industry, shall be Florida Grade #1 or better.
- All shrubs and groundcovers shall be guaranteed for 1 year from date of final acceptance. All trees and palms shall be guaranteed for 1 year from date of final acceptance. Sod shall be guaranteed for 90 days from final acceptance.
- Planting soil shall be weed free and consist of 60% clean silica sand, 30% everglades muck and 10% Canadian peat. All plants, including those on the ground level, shall be installed with planting soil as indicated on details.
- Landscape Contractor shall be responsible for placement of planting soil in planters on raised decks. Soil level as indicated on plans and details shall be after settlement.
- Landscape Contractor shall take all steps required to make all planting beds weed and grass free prior to planting.
- Landscape Contractor shall locate and verify all underground utilities prior to digging.
- All trees shall be staked and/or guyed in a good workmanlike manner as per attached details. No nail staking permitted.
- Any wire guys and/or fabric straps shall be flagged w/ fluorescent colored tape as shown in details.
- All trees shall be fertilized at installation w/ "Agrilom Fills", 21 gram size, w/ a 20-10-5 formulation, (or approved equal) according to manufacturers recommendations.
- All other plants shall be fertilized at installation w/ "Osmacote" time release pellets (or approved equal) according to manufacturers recommendations.
- Where quantities differ between the planting plans and plant lists, the plant lists shall take precedence.
- Landscape Contractor is responsible for doing a take-off of the attached plans. Plant list provided is for guidance only. Landscape Contractor, in submitting a proposal based on these plans, is responsible for all materials as noted on plans.
- Discrepancies shall be brought to the attention of the Landscape Architect.
- No changes shall be made without the prior consent of the Landscape Architect.
- All planting beds shall be treated w/ a pre-emergent herbicide as approved by the Landscape Architect.
- Landscape Contractor is responsible for coordinating with the General Contractor or Owner any and all conditions which may affect the scope of work.
- Landscape contractor shall include in bid all materials and labor as required to complete the job as indicated on the plans and as directed by the General Contractor. Bid shall include, but not be limited to, plant materials, planting soil and placement, filter fabric, drainage mat, protection board, mulch, crane and other equip., etc.
- All planted beds shall receive 100% coverage by a fully automatic irrigation system as per plans.
- Landscape Contractor shall be responsible for providing temporary watering provisions until such time as the irrigation system is operational.
- All areas labeled mulch/gravel to receive a 2" layer of material over a weed barrier material.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED SPECIFICATIONS LISTED. LANDSCAPE CONTRACTOR MAY BE REQUIRED TO INCREASE HEIGHT, OR IN THE CASE OF SHRUBS GALLON SIZE, IN ORDER TO MEET ALL SPECIFICATIONS LISTED. BID MUST NOTE AND REFLECT SUCH CHANGES.
- UNLESS OTHERWISE NOTED ON THE PLANT LIST, ALL MATERIALS, TREES AND/OR SHRUBS, SHALL BE FIELD GROWN. CONTAINER GROWN MATERIAL WILL BE CONSIDERED ONLY IF ALL SPECIFICATIONS ARE MET. PHOTOGRAPHS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO MATERIAL INSTALLATION.
- BID SUBMITTAL BY LANDSCAPE CONTRACTOR SIGNIFIES THAT CONTRACTOR HAS READ AND AGREES TO ALL SPECIFICATIONS, NOTES, ETC. AS INCLUDED IN THESE DRAWINGS UNLESS OTHERWISE DOCUMENTED IN THE BID.

plant list

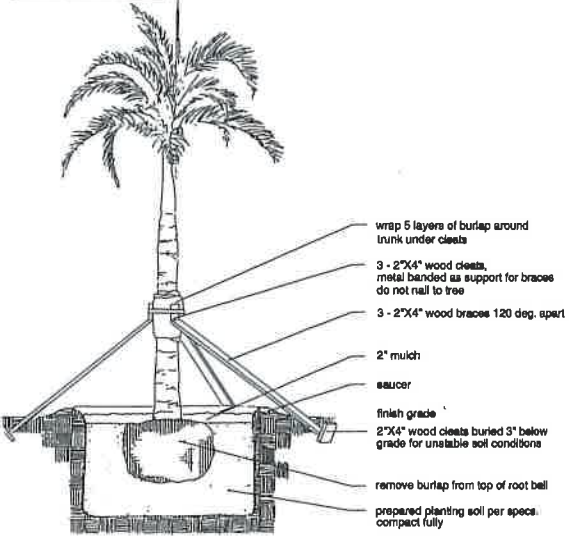
- Relocated Trees:		
key	Scientific	Common
R1, R10, R18	Coccothrinax - Coconut Palm	
	35' o.a. X 16' apr. full head 10" d.b.h.	
R11 - R17	Coccothrinax - Coconut Palm	
	35' o.a. X 14' apr. full head 10" d.b.h.	
- Shrubs and Groundcovers:		
qty.	key	Scientific Common
78	fgi	Ficus green island - 'same'
		3 gal. 16-18" ht. x apr. full. 18" o.c.
12	lir	Liriope muscari variegated - 'same'
		1 gal. 8-10" ht. x apr. full. 12" o.c.

planting requirements

Street tree and general tree requirements for area of the property shown above meet existing street tree and general tree count.

General shrub requirements for area of the property shown in the above exceed existing shrub quantities.

plant details



palm/large tree planting detail



shrub planting detail

plant images



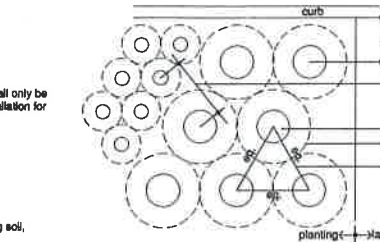
fgi - Green island ficus



lir - Liriope muscari



Coconut Palm
(refer to existing tree plan)



shrub planting detail plan



FINAL PLANTING PLAN
SCALE: 1/8" = 1'-0"

NEW RETAIL STORES AT SETAI HOTEL

SETAI HOTEL
2001 COLLINS AVENUE
MIAMI BEACH, FLORIDA
PHONE: (305) 520-6000

Project Number
ID 16.28

Issue Date
03-11-16

NOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED CONSTRUCTION SET
AND APPROVED BY ARCHITECT.

Revisions

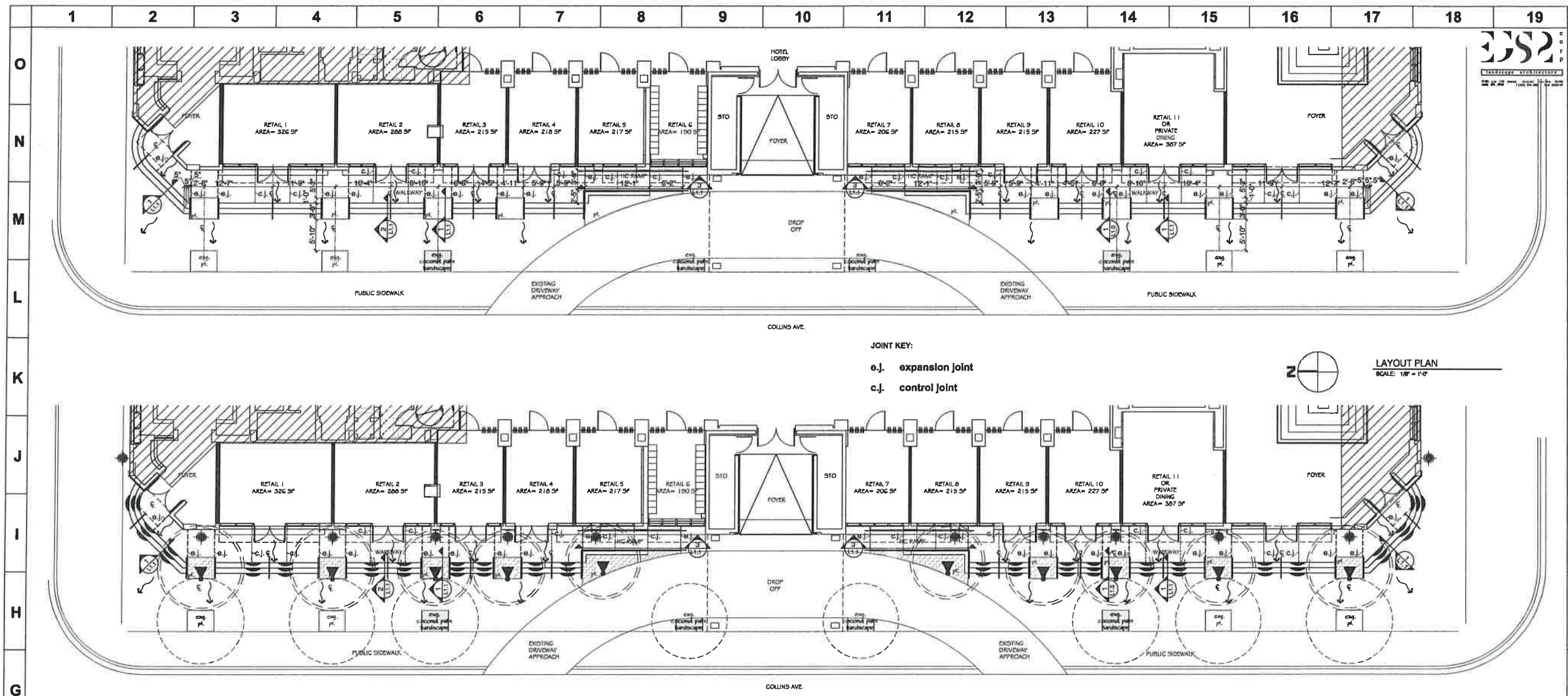
Drawing Title

PROPOSED PLANTING PLAN
PLANT LIST, SPECIFICATIONS,
AND DETAILS

Sheet Number

L-1.1

2 SET OF 3

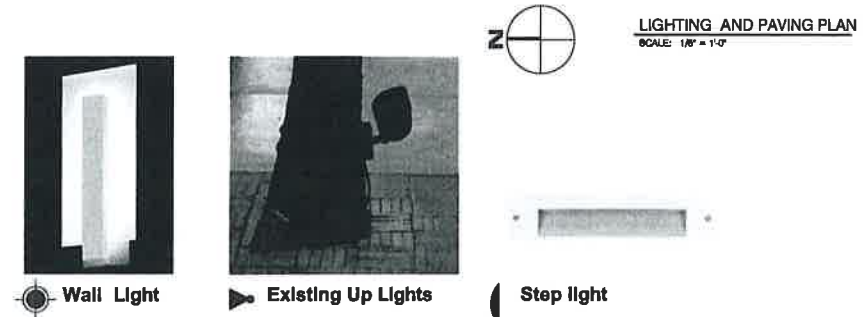


JOINT KEY:
e.j. expansion joint
c.j. control joint

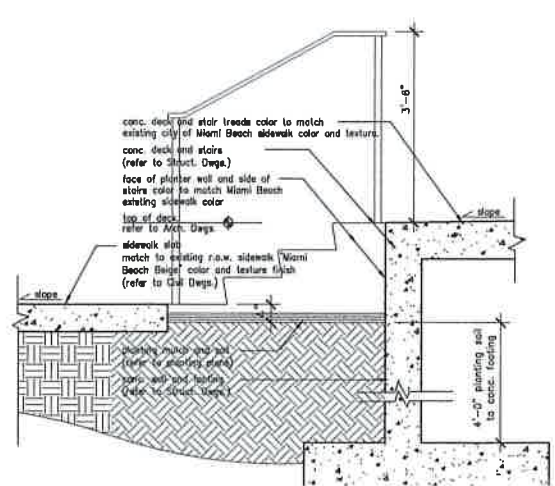
LAYOUT PLAN
SCALE: 1/8" = 1'-0"

- PAVING KEY:
- (A) concrete walkway, steps and new sidewalk match to existing r.o.w. sidewalk "Miami Beach Belge" color and texture finish
 - (B) driveway paving match to existing pavers

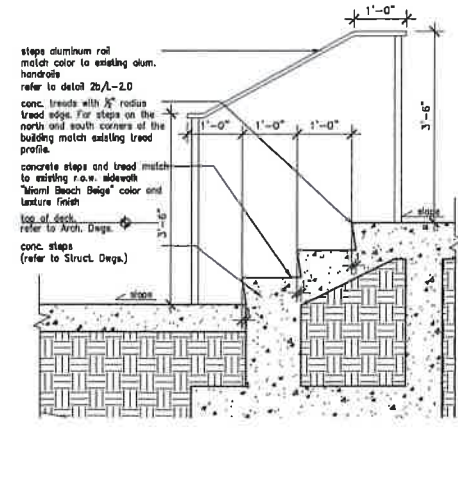
- LIGHTING KEY
- Wall light equal to: Sonnenman Midtown Tall Sconce 2725.98-WL 20W LED 7'-0" AFF to center of fixture
 - Existing up light fixtures to be removed and re-strapped to trunk when coconut palms are replanted
 - Step light equal to: Performance Lighting 071417 LED 7W Aluminum Metallic



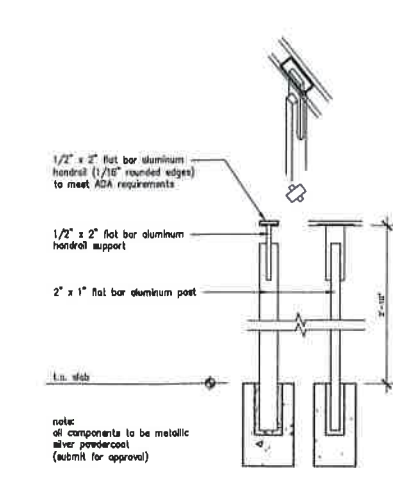
LIGHTING AND PAVING PLAN
SCALE: 1/8" = 1'-0"



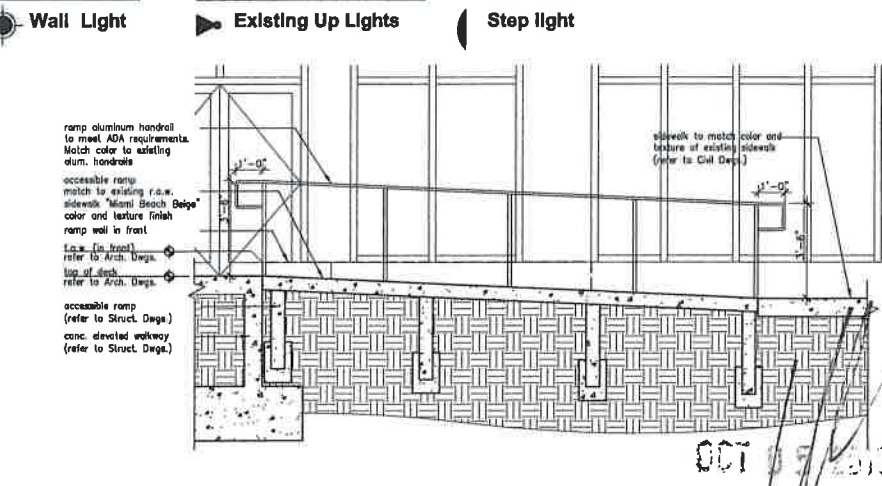
1 SECTION DETAIL
L2.0 PLANTER 3/4" = 1'-0"



2 SECTION DETAIL
L2.0 STEPS 3/4" = 1'-0"



2a SECTION DETAIL
L2.0 STEPS 1-1/2" = 1'-0"



3 SECTION DETAIL
L2.0 ACCESSIBLE RAMP 3/8" = 1'-0"

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Revisions

Drawing Title
EXTERIOR LAYOUT, PAVING,
LIGHTING PLAN AND DETAILS

Sheet Number
L-2.0