

GENERAL DEMOLITION NOTES:

- 1.-SCOPE:
- FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE THIS WORK AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND NECESSARY TO COMPLETE THE CONTRACT, INCLUDING BUT NOT LIMITED TO, THESE MAJOR ITEMS.
- A- PROTECTION OF EXISTING WORK TO REMAIN.
- B- TEMPORARY BARRICADES.
- C- REMOVAL, STORAGE AND PROTECTION OF ITEMS TO BE REUSED.
- D- REMOVAL OF PARTITIONS, DOORS, FLOOR COVERINGS AND CEILINGS AS INDICATED.
- E- REMOVAL OF MECHANICAL AND ELECTRICAL FIXTURES AND SERVICES AS INDICATED.
- F- DEBRIS REMOVAL.
- 2.-GENERAL REQUIREMENTS:
- A- FIELD CONDITIONS: TAKE INTO CONSIDERATION AS NECESSARY WORK, ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS OF THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DESCRIBED.
- B- ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREABOUTS. ALL PROPOSALS SHALL TAKE INTO ACCOUNT ALL SUCH CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THE CONTRACT DOCUMENTS AND EVERY PROPOSAL SHALL BE CONSTRUED AS INCLUDING WHATEVER SUMS ARE NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DESCRIBED OR REASONABLY REQUIRED OR IMPLIED, AND ATTAIN THE COMPLETED CONDITIONS CONTEMPLATED BY THE CONTRACT.
- C- CONFER WITH ON SITE PROPERTY MANAGER AS TO DISPOSITION OF MATERIALS WHICH S(H)E MAY WISH TO RETAIN. SPECIFICALLY INCLUDED EQUIPMENT AND DOORS OF ALL TYPES. IF ON SITE MANAGER ELECTS TO RETAIN ANY OF THE REMOVED ITEMS, PROTECT AND STORE AS DIRECTED BY MANAGER AT MANAGERS EXPENSE.
- D- CODES: PERFORM ALL WORK IN ACCORDANCE WITH THE BUILDING CODE OF THE GOVERNING BODY HAVING JURISDICTION, THE GOVERNING STATE INDUSTRIAL SAFETY ORDERS AND THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- E- UNFORESEEN CONDITIONS: INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND PATCHING NECESSITATED AS A RESULT OF UNFORESEEN CONDITIONS AND THE WORKING OF ABUTTING SURFACES AS REQUIRED TO MAKE NEW WORK JOIN AND MATCH EXISTING SURFACES TO REMAIN. NO EXTRA PAYMENTS BASED ON THE PLEA OF UNFORESEEN CONDITIONS WILL BE ALLOWED.
- F- PHASING OF THE WORK: CONFER WITH THE ARCHITECT AS TO THE SEQUENCING AND THE PHASING OF VARIOUS PARTS OF THE WORK. COOPERATE FULLY TO THE END THAT CERTAIN FACILITIES AND SERVICES ARE MAINTAINED IN OPERATION UNTIL IMMEDIATELY BEFORE THEIR REMOVAL IS REQUIRED TO PERMIT INSTALLATION OF NEW WORK.
- 3.-SITE PROTECTION:
- A- BARRIERS: TEMPORARY BARRIERS ARE TO BE FURNISHED.
- B- GLASS: PROVIDE SUCH PROTECTION AS MAY BE REQUIRED TO PREVENT GLASS BREAKAGE. AT NO ADDITIONAL COST REPLACE ALL BROKEN GLASS.
- C- PROTECTION OF PERSONNEL: ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS OF WARNING AS MAY BE REQUIRED TO PREVENT PERSONNEL FROM PUTTING THEMSELVES IN THE WAY OF INJURY.
- D- EXISTING WORK TO REMAIN: PROVIDE SUCH FORMS OF PROTECTION AS MAY BE NECESSARY TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT TO REMAIN.
- E- ITEMS TO BE REUSED: EXERCISE THE GREATEST POSSIBLE CARE WHEN REMOVING ITEMS SCHEDULED FOR REUSE. USE ONLY MECHANICS SKILLED IN THE APPROPRIATE TRADES. IDENTIFY POINT OF REUSE, STORE AND PROTECT AT LOCATIONS DIRECTED.

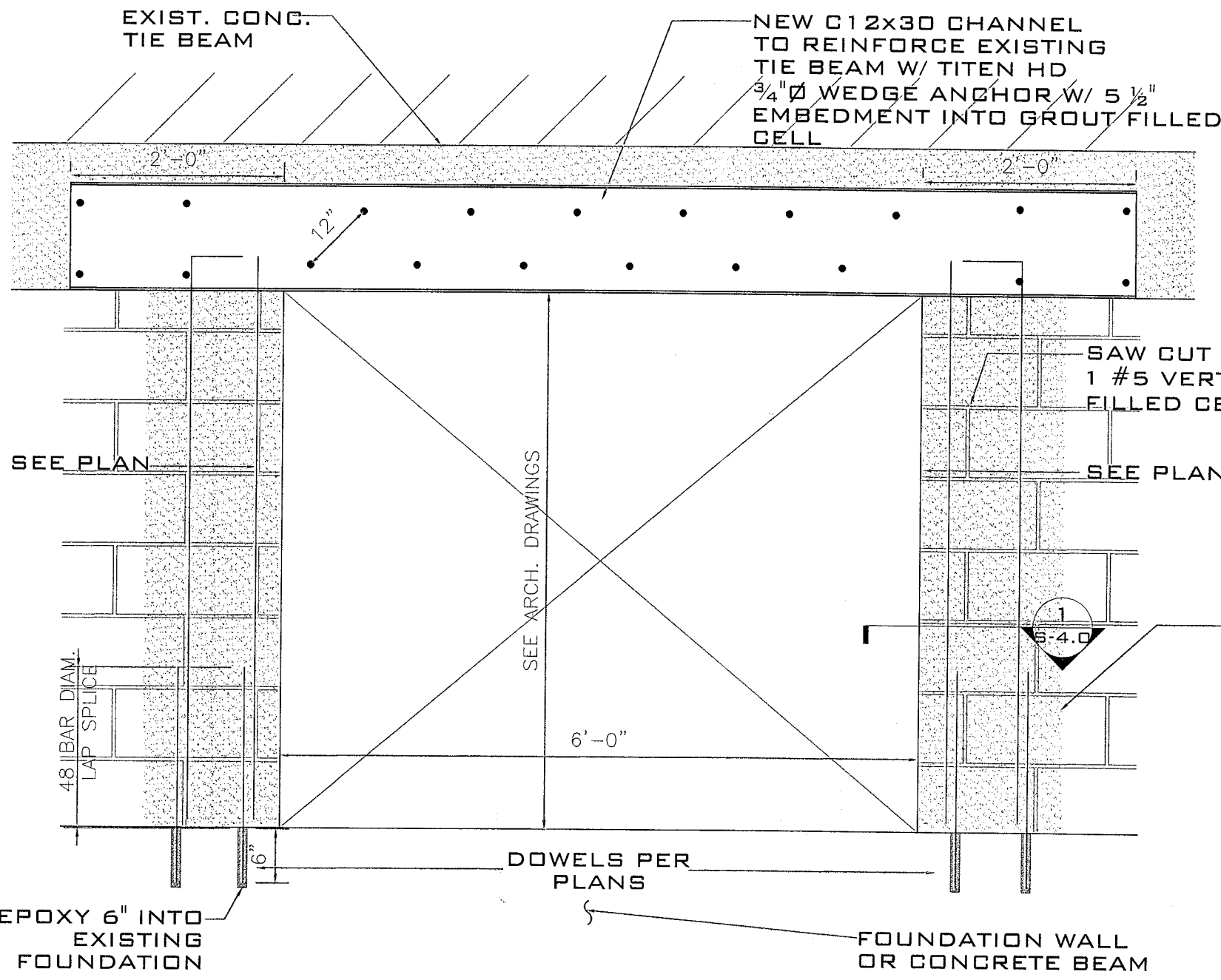
DEMOLITION KEY LEGEND:

- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING CMU WALL TO REMAIN (EXTERIOR WALLS)
- EXISTING INTERIOR DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN

4.-GENERAL DEMOLITION:

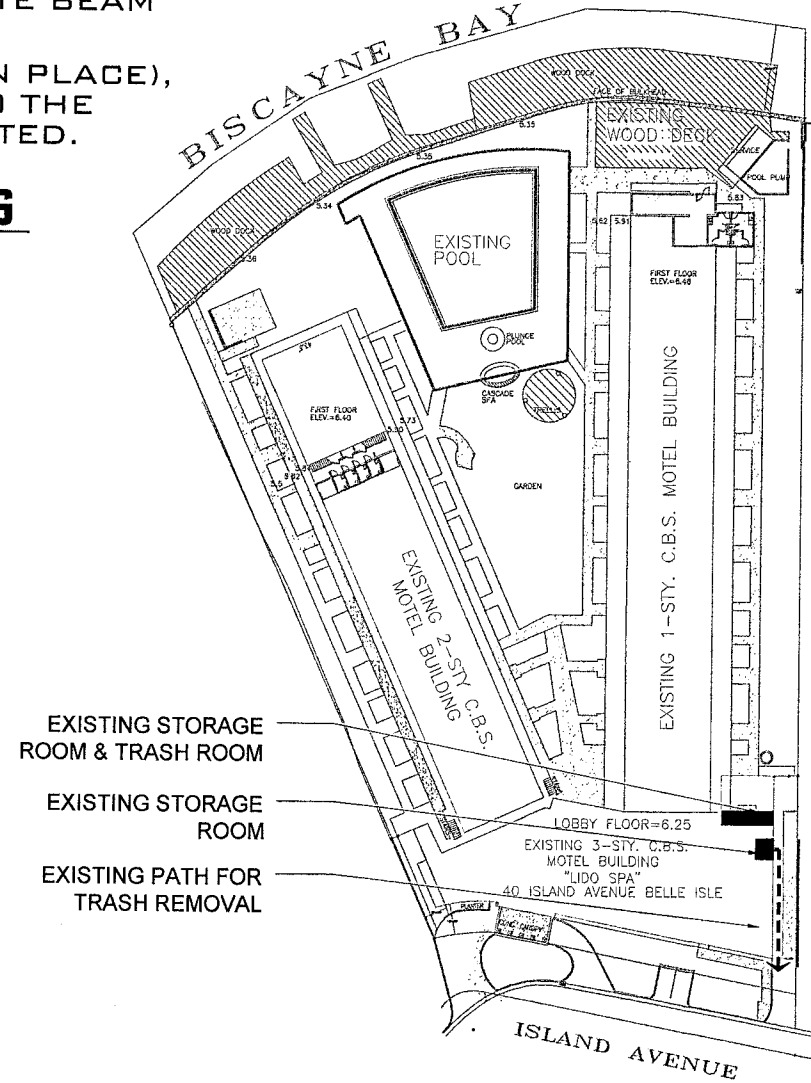
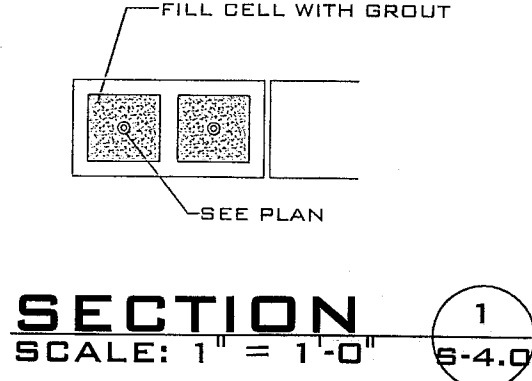
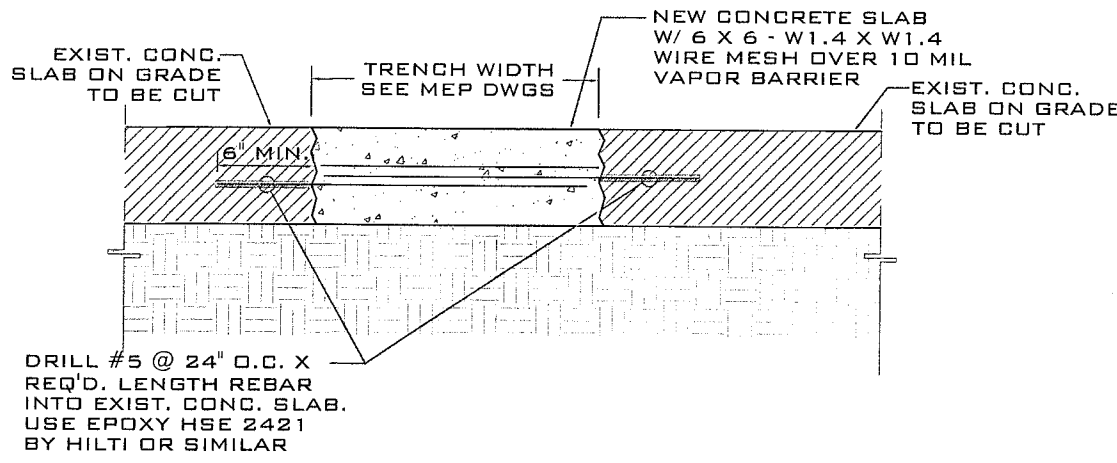
- A- DOORS AND HARDWARE: REMOVE CAREFULLY TO AVOID DAMAGE. IN SO FAR AS POSSIBLE, LEAVE HARDWARE ATTACHED TO THE DOOR. WHERE THIS IS NOT PRACTICAL, PLACE ITEMS OF HARDWARE IN A CLOTH BAG ATTACHED TO THE DOOR.
- B- PARTITIONS: REMOVE PARTITION FINISH, STUDS, PLATES AND SILL, WHERE ONLY A PARTIAL RUN IS REMOVED. CUT BACK FINISH MATERIALS TO THE CENTERLINE OF THE NEXT ADJACENT SPACE SUPPORT TO REMAIN. LEAVE REMAINING MATERIALS WITH A CLEAN TERMINAL LINE WITH NO LOOSE MATERIAL ADHERING. WHERE PARTITIONS HAVE BEEN INSTALLED ON CURBS, REMOVE CURBS AND PATCH EXISTING FLOOR TO RECEIVE NEW FINISH.
- C- RESILIENT FLOOR TILE: REMOVE ALL FLOOR TILE. REMOVE ALL ADHESIVE USING SOLVENTS AND/OR GRINDING AS REQUIRED. LEAVE FLOOR READY TO RECEIVE NEW FINISH MATERIALS. PATCH AND REPAIR CONCRETE FLOOR.
- D- CONCRETE AND MASONRY: CORE DRILL ONLY NOT LESS THAN 1 1/2" AT LINES OF REMOVAL. BREAKOUT SECTIONS TO BE REMOVED. CHOP BACK FACE BEHIND SAW OUT LINES.
- E- ALL LIFE SAFETY COMPONENTS SHALL REMAIN IN PLACE & OPERATING THIS INCLUDES: FIRE SPRINKLERS, FIRE ALARM DEVICES, EMERGENCY LIGHTING, FIRE AND SMOKE DETECTORS.
- F- DO NOT REMOVE ANY STRUCTURAL WALLS (LOAD BEARING OR SHEAR WALLS) OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY AS NOTED AS STRUCTURAL ELEMENT TO BE REMOVED. NOTIFY >>>> PROJECT MANAGER IF ANY STRUCTURAL ELEMENTS ARE DISCOVERED AND NOTED TO BE REMOVED AND NOT NOTED AS STRUCTURAL ELEMENTS.
- 5.-MECHANICAL AND ELECTRICAL:
- A- CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN (CONFER WITH ON SITE PROPERTY MANAGER).
- B- REMOVE ALL LIGHT FIXTURES AND EQUIPMENT UNLESS OTHERWISE NOTED. WHEN INDICATED FOR REUSE, CLEAN, STORE AS DIRECTED AND PROTECT. IDENTIFY POINT OF REUSE.
- C- REMOVE LINES COMPLETELY WHEREVER POSSIBLE. CUT AND CAP OR PLUG IN A POSITIVE MANNER BEHIND THE RACK OF FINISH MATERIAL.
- D- WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 8" ABOVE FINISH CEILING.
- 6.-REMOVED MATERIALS AND OTHER DEBREE:
- A- ALL REMOVED MATERIAL, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE.
- B- DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER.
- C- LEAVE ALL SPACES BROOM CLEAN AND WITH ALL LEDGES AND CORNERS PROPERLY CLEAN.

- A- ALL REMOVED MATERIAL, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE.
- B- DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER.
- C- LEAVE ALL SPACES BROOM CLEAN AND WITH ALL LEDGES AND CORNERS PROPERLY CLEAN.

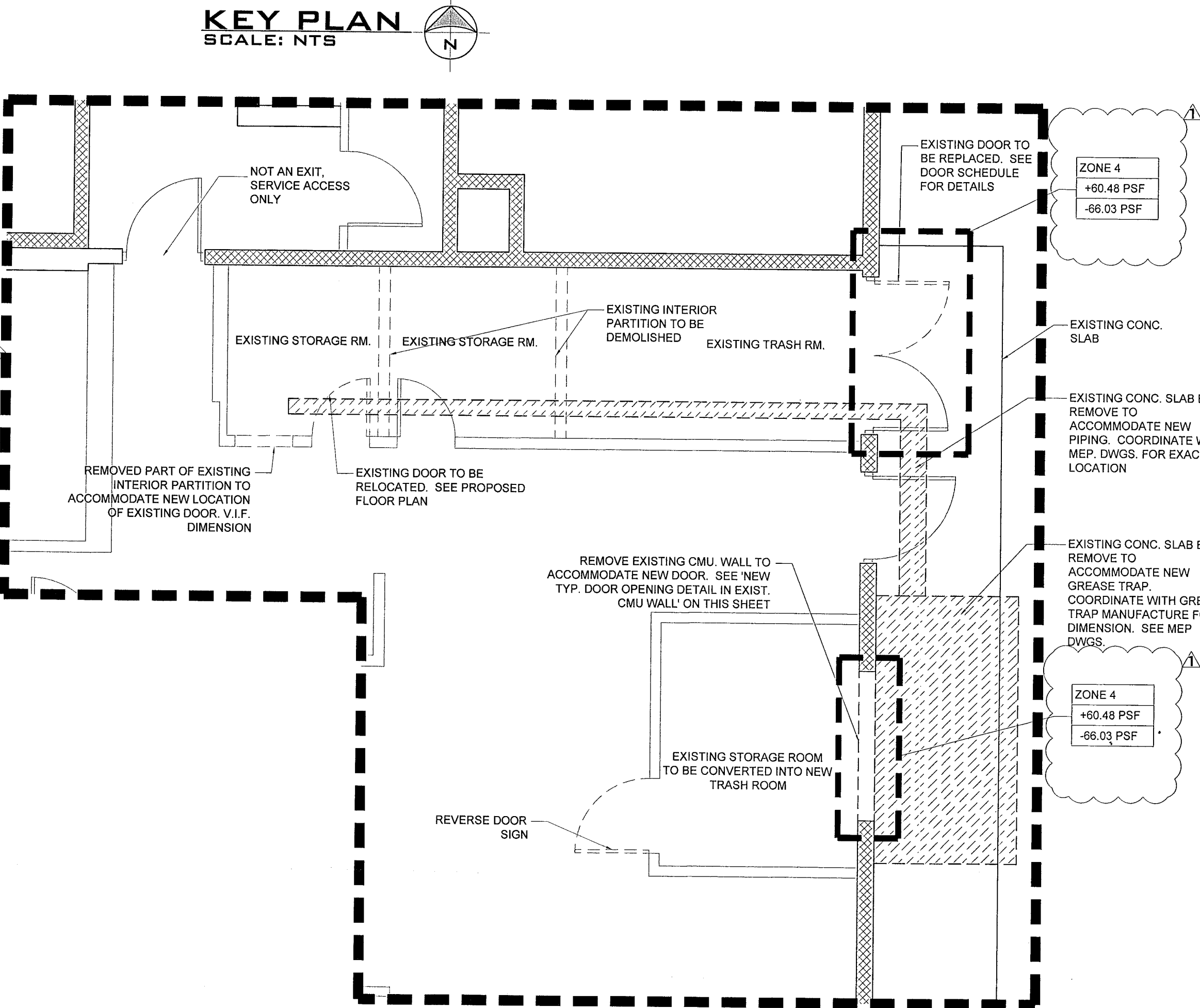
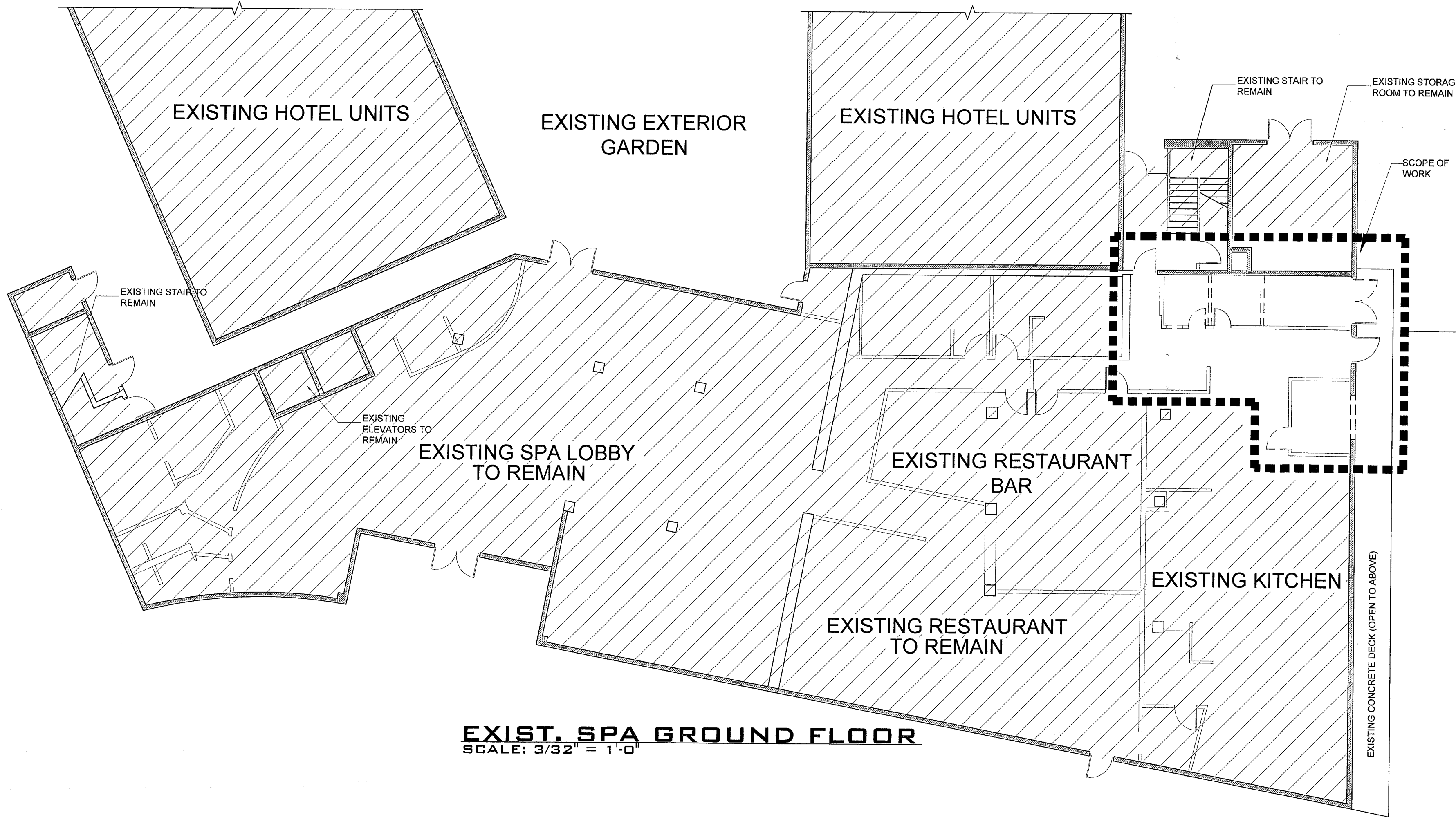
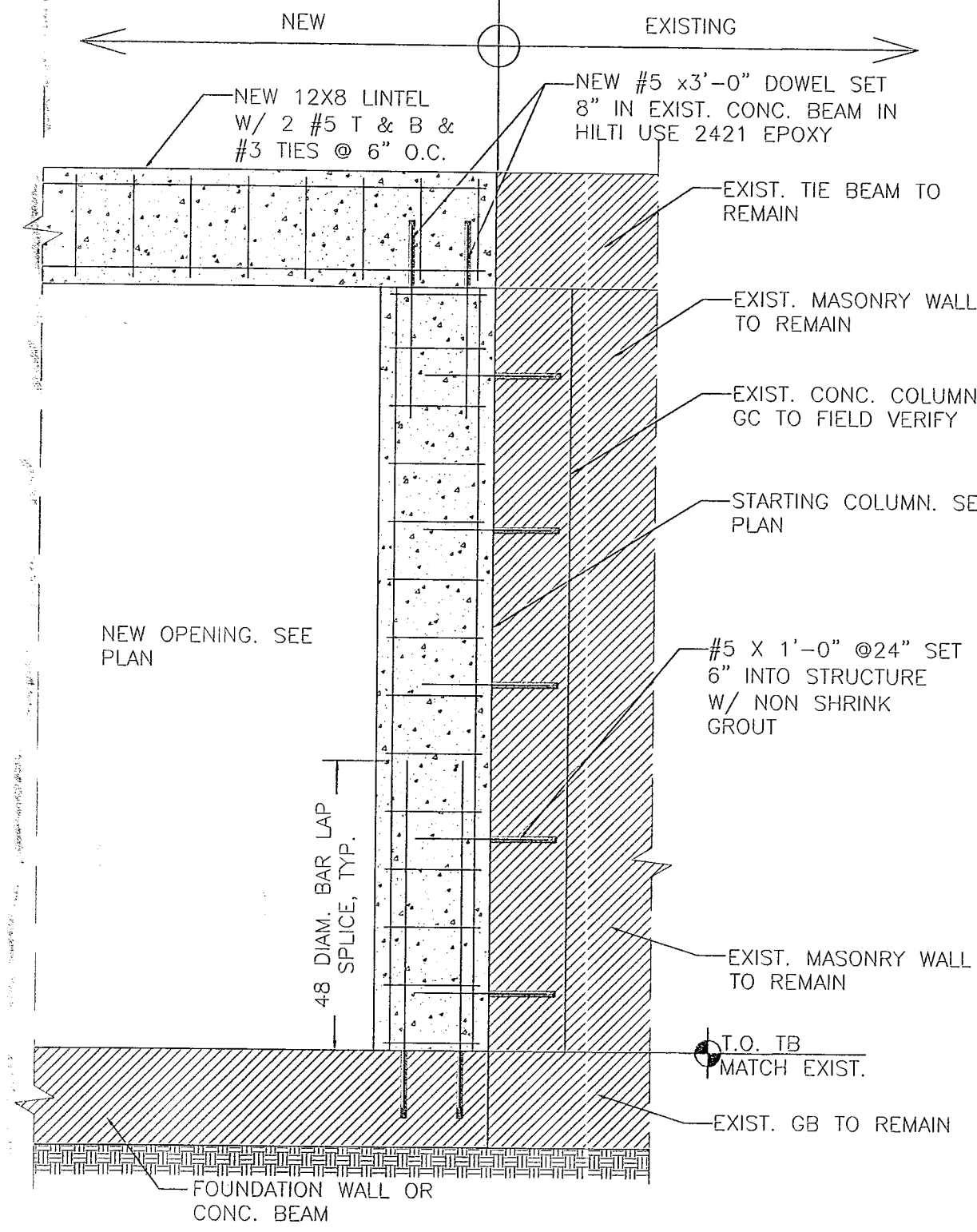


PROVIDE PRECAST, (OR AT CONTRACTOR'S OPTION POURED IN PLACE), LINTELS OVER OPENINGS IN MASONRY WALLS ACCORDING TO THE SCHEDULE, SHOWN ON SHEET S-1.0 UNLESS OTHERWISE NOTED.

NEW TYPICAL DOOR OPENING
DETAIL IN EXIST. CMU WALL
SCALE: 3/4" = 1'-0"



NEW STARTER COLUMN CONNECTION
TO EXIST. WALL DETAIL
SCALE: 3/4" = 1'-0"



BEILLINSON
GOMEZ
ARCHITECTS
ARCHITECTURE A/C001082
JOSE L. GOMEZ A/R0015416
8101 BISCAYNE BLVD.
SUITE 303
MIAMI FL 33138-4664
TEL (305) 559-1250
FAX (305) 551-1740
bellinsonarchitectspa.com

YOUSSEF HACHEM
CONSULTING ENGINEERING
CA 26553
12151 SW 123 COURT
SUITE 104
MIAMI FL 33166
TEL (786) 287-1120
FAX (305) 969-9453
www.yhconsulting.com
YOUSSEF HACHEM
LICENSE
No. 43302
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
YOUSSEF HACHEM, Ph.D., P.E.
No. 43302

THE STANDARD HOTEL SPA
40 ISLAND AVENUE
MIAMI BEACH, FL 33139

10/10/13	B.D.C.
DATE	REVISION
DWG. TITLE	
SCALE	
PROJECT NO.	E130160
DATE	07-29-13
SHEET NUMBER	S-4.0

MecaWind Pro v2.2.1.3 per ASCE 7-10

Developed by Meca Enterprises, Inc. Copyright 2013 www.mecawindpro.com

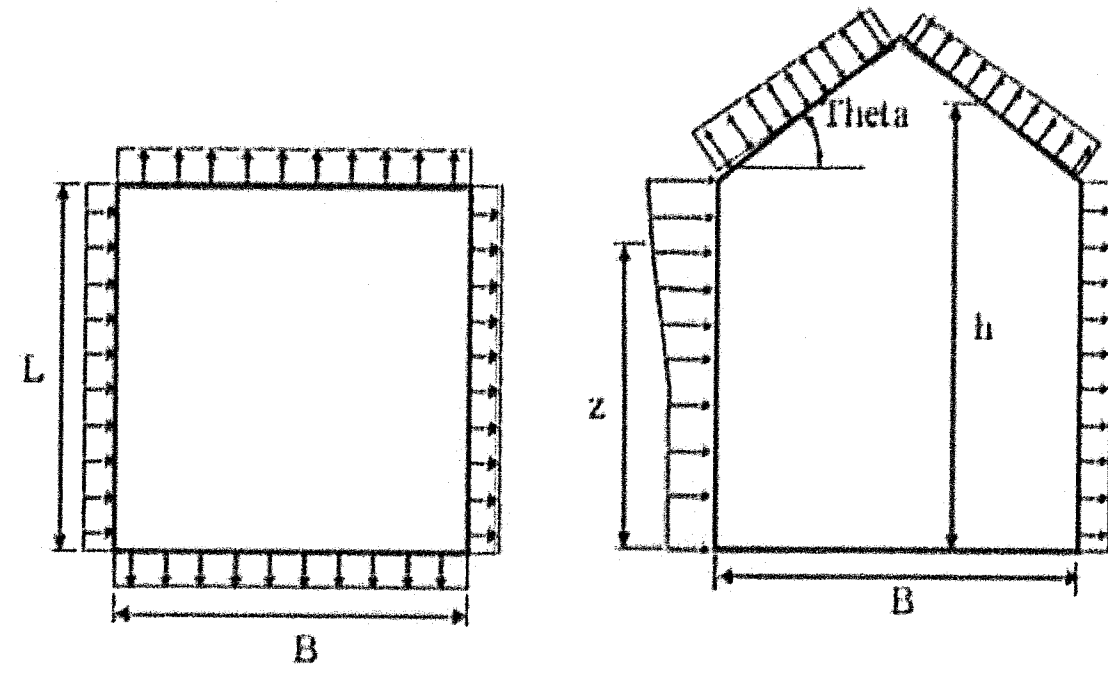
Date : 8/7/2013 Project No. : H130940
 Company Name : Youssef Hachem Consulting Engr. Designed By : MH
 Address : 12151 SW 128 Ct, Suite 104 Description : The Standard
 City : Miami Customer Name :
 State : FL Proj Location : Miami Beach, FL
 File Location : Z:\2013\Bellinson and Gomez\H130940 (The Standard Hotel)\DESIGN\HASK\Calculations\WIND
 CAZ\S\New Spa Door Wind Calcs..wnd

Input Parameters: Directional Procedure All Heights Building (Ch 27 Part 1)
 Basic Wind Speed(V) = 175.00 mph
 Structural Category = II Exposure Category = D
 Natural Frequency = N/A Flexible Structure = No
 Importance Factor = 1.00 Kd Directional Factor = 1.00
 Alpha = 11.30 Zg = 700.00 ft
 At = 0.09 Rt = 1.07
 Am = 0.11 Zm = 0.80
 Cc = 0.15 l = 650.00 ft
 Epsilon = 0.13 Zmin = 7.00 ft
 Slope of Roof = 0 : 12 Slope of Roof(Theta) = .00 Deg
 Ht: Mean Roof Ht = 60.00 ft Type of Roof = FLAT
 Rht: Ridge Ht = 60.00 ft Eht: Eave Height = 60.00 ft
 Ch: Roof Overhang at Eave = .00 ft Overhang Type = No Overhang
 Ridge Length Along Ridge = 225.00 ft Ridge Width Across Ridge = 410.00 ft

Gust Factor Calculations
 Gust Factor Category I Rigid Structures - Simplified Method
 Gust1: For Rigid Structures (Nat. Freq. > 1 Hz) use 0.85 = 0.85
 Gust Factor Category II Rigid Structures - Complete Analysis
 Zm: 0.6Ht = 36.00 ft
 Lxm: C*(33/Zm)^0.167 = 0.15
 Lzm: 1*(Zm/33)^Epsilon = 657.11 ft
 Q1: 1/(1+0.63*((B+H)/Lxm)^0.63))^0.5 = 0.81
 Gust2: 0.923*((B+H)/Lxm)^0.54)/((1+0.73*(L/Lxm))) = 0.85
 Gust Factor Summary
 Not a Flexible Structure use the Lesser of Gust1 or Gust2 = 0.85

Table 26.11-1 Internal Pressure Coefficients for Buildings, GCPI
 GCPI : Internal Pressure Coefficient = +/-0.18

Wind Pressures Main Wind Force Resisting System (MWFRS) - Ref Figure 27.4-1



Kh: 2.01*(Mu/Zg)^(1/2/Alpha) = 1.91
 Kzt: Topographic Factor (Figure 6-4) = 1.00
 Qz: .00256*(V)^2*(Kzt)*Kd*Kh = 61.67 psf
 Qpwr: Windward Wall Cp(Ref Fig 6-6) = 0.80
 Roof Area = .00 sq ft
 Reduction Factor based on Roof Area = 1.00

MWFRS-Wall Pressures for Wind Normal to 225 ft Wall (Normal to Ridge)
 All pressures shown are based upon ASD Design, with a Load Factor of .6

Wall	Cp	Pressure +0GPa (psf)	Pressure -0GPa (psf)
Leeward Wall	-0.94	-29.34	-6.37
Side Walls	-0.70	-47.61	-25.40

Wall	Elev ft	Rt	Kat	Cp	qs psf	Press +0GPa	Press -0GPa	Total
Windward	60.00	1.91	1.00	0.80	61.67	30.62	55.82	52.20
Windward	59.00	1.91	1.00	0.80	61.49	30.50	55.70	52.09
Windward	58.00	1.90	1.00	0.80	61.31	30.37	55.58	51.98
Windward	57.00	1.90	1.00	0.80	61.13	30.25	55.45	51.87
Windward	56.00	1.90	1.00	0.80	60.94	30.12	55.32	51.76
Windward	55.00	1.29	1.00	0.80	60.75	23.29	55.20	51.57
Windward	54.00	1.29	1.00	0.80	60.55	23.86	55.05	51.44
Windward	53.00	1.28	1.00	0.80	60.36	23.79	54.90	51.31
Windward	52.00	1.28	1.00	0.80	60.16	23.59	54.80	51.17
Windward	51.00	1.27	1.00	0.80	59.96	23.46	54.66	51.03
Windward	50.00	1.26	1.00	0.80	59.75	23.32	54.52	50.90
Windward	49.00	1.27	1.00	0.80	59.54	23.18	54.38	50.75
Windward	48.00	1.26	1.00	0.80	59.33	23.03	54.23	50.61
Windward	47.00	1.26	1.00	0.80	59.11	22.88	54.09	50.46
Windward	46.00	1.25	1.00	0.80	58.89	22.74	53.94	50.31
Windward	45.00	1.25	1.00	0.80	58.66	22.59	53.79	50.16
Windward	44.00	1.24	1.00	0.80	58.44	22.43	53.62	50.01
Windward	43.00	1.24	1.00	0.80	58.20	22.27	53.47	49.85
Windward	42.00	1.23	1.00	0.80	57.97	22.11	53.31	49.69
Windward	41.00	1.23	1.00	0.80	57.72	21.95	53.15	49.52
Windward	40.00	1.22	1.00	0.80	57.48	21.78	49.99	49.36
Windward	39.00	1.22	1.00	0.80	57.22	21.61	49.81	49.19
Windward	38.00	1.21	1.00	0.80	56.97	21.43	49.64	49.01
Windward	37.00	1.21	1.00	0.80	56.70	21.26	49.46	48.83
Windward	36.00	1.20	1.00	0.80	56.43	21.07	49.28	48.65
Windward	35.00	1.19	1.00	0.80	56.16	20.89	49.09	48.46
Windward	34.00	1.19	1.00	0.80	55.87	20.70	48.90	48.27
Windward	33.00	1.18	1.00	0.80	55.58	20.50	48.70	48.08

Roof	4.80	0	.00	.00	.00	.0	.0	.0
Roof	4.80	0	.00	.00	.00	.0	.0	.0
Roof	4.80	0	.00	.00	.00	.0	.0	.0
Total	.00	24630	236.45	.00	.00	.0	-7022.4	.0

Notes - Along Ridge
 Note (1) Ref Fig 27.4-1, Parallel to Ridge (All), N/I = 0.27
 Note (2) X = Along Building ridge, Y = Normal to Building Ridge, Z = Vertical
 Note (3) HtH = Minimum pressures on Walls = 2.6 psf and Roof = 4.8 psf
 Note (4) Area* = Area of the surface projected onto a vertical plane normal to wind.

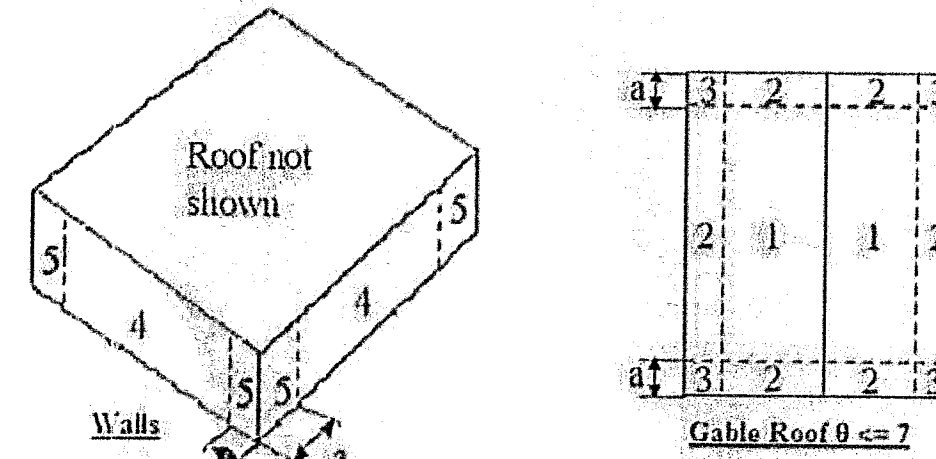
Total Base Reaction Summary

Description	Fx Kip	Fy Kip	Fz Kip	Mx K-ft	My K-ft	Mz K-ft
Normal to Ridge Walls+Roof +0GPa	.0	732.1	3023.6	112390.9	.0	.0
Normal to Ridge Walls Only +0GPa	.0	732.1	.0	22722.8	.0	.0
Normal to Ridge Walls+Roof -0GPa	.0	732.1	302.7	112390.9	.0	.0
Normal to Ridge Walls Only -0GPa	.0	732.1	.0	22722.8	.0	.0
Normal to Ridge Walls+Roof HtH	.0	122.6	.0	2888.0	.0	.0
Along Ridge Walls+Roof +0GPa	1542.9	.0	3428.0	.0	-117192.5	.0
Along Ridge Walls Only +0GPa	1542.9	.0	.0	.0	-47810.4	.0
Along Ridge Walls+Roof -0GPa	1542.9	.0	1447.9	.0	-117192.5	.0
Along Ridge Walls Only -0GPa	1542.9	.0	.0	.0	-47810.4	.0
Along Ridge Walls+Roof HtH	236.4	.0	.0	.0	-7022.4	.0

Notes Applying to MWFRS Reactions:

Note (1) Ref Fig 27.4-1, Note 9, Use greater of Shear calculated with or without roof.
 Note (2) X = Along Building ridge, Y = Normal to Building Ridge, Z = Vertical
 Note (3) HtH = Minimum pressures on Walls = 2.6 psf and Roof = 4.8 psf
 Note (4) HtH area is the area of the surface onto a vertical plane normal to wind.
 Note (5) Total Roof Area (incl OH Top) = .00 sq. ft

Wind Pressure on Components and Cladding (Ch 30 Part 1)



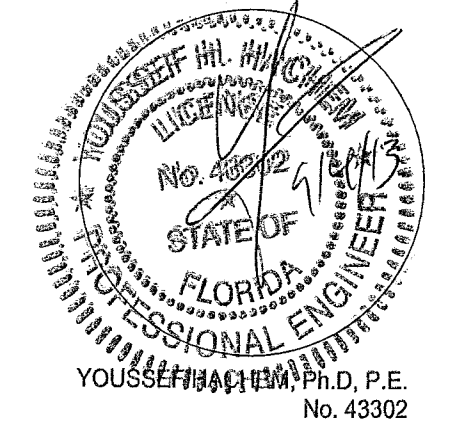
All pressures shown are based upon ASD Design, with a Load Factor of .6

Width of Pressure Coefficient Zone "a" = 22.50 ft

Description	Width ft	Span ft	Area ft^2	Hs ft	Hm ft	Max P psf	Min P psf
Zone 1	1.00	1.00	1.0	1.00	1.00	22.60	-72.79
Zone 2	1.00	1.00	1.0	2.00	1.00	22.60	-122.12
Zone 3	1.00	1.00	1.0	3.00	2.00	22.60	-182.72
Zone 4	1.00	1.00	1.0	4.00	3.00	22.60	-242.12
Zone 5	1.00	1.00	1.0	5.00	4.00	22.60	-302.12

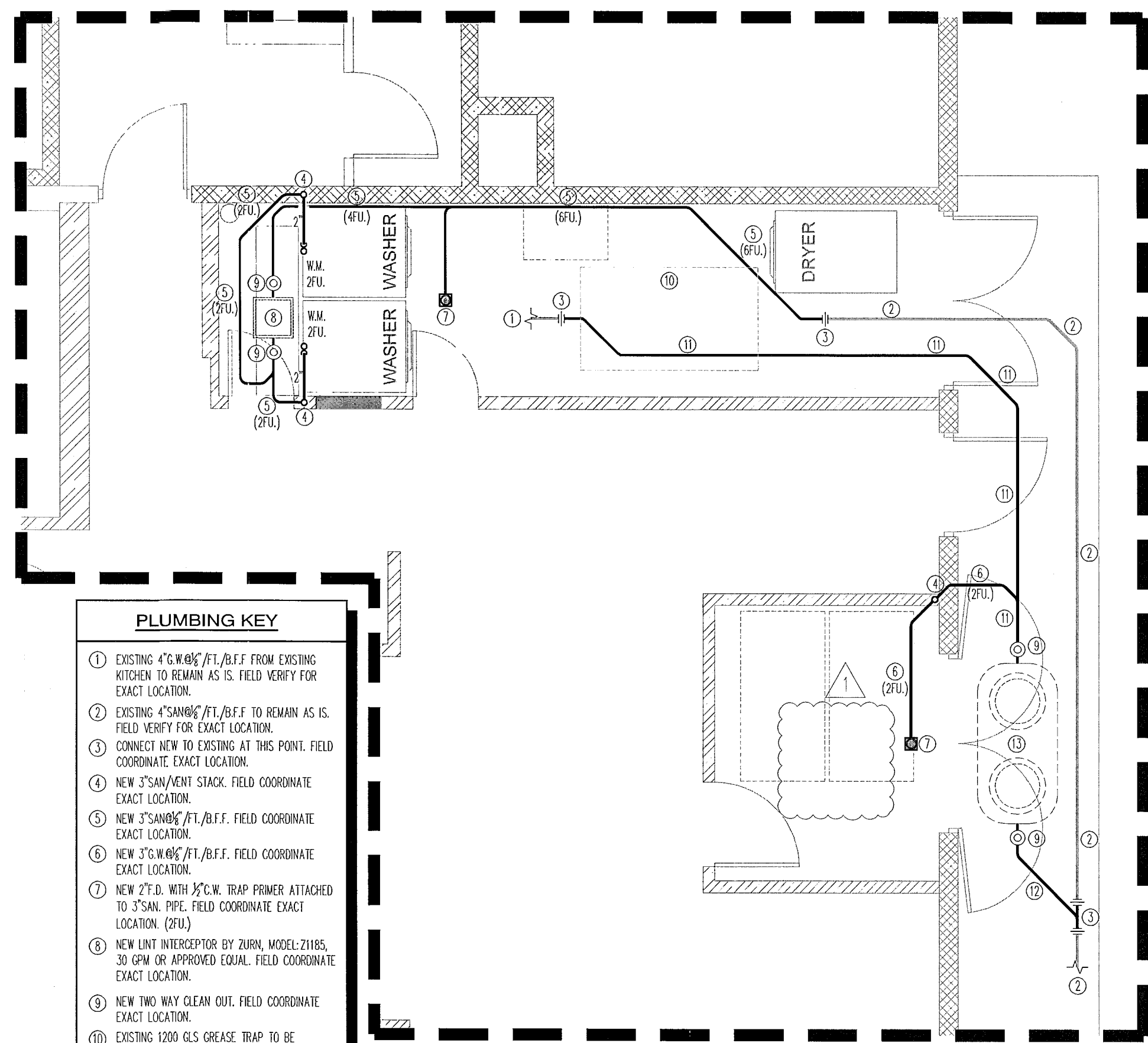
BEILLINSON
 GOMEZ
 ARCHITECTS
 ARCHITECTURE AAC001082
 JOSE L. GOMEZ ARO015416
 8101 BISCAYNE BLVD.
 SUITE 309
 MIAMI FL 33138-4664
 TEL (305) 559-1250
 FAX (305) 551-1740
 beillonsonarchitectspa.com

YOUSSEF HACHEM
 CONSULTING ENGINEERING
 CA 26553
 12151 SW 128 COURT
 SUITE 104
 MIAMI FL 33186
 TEL (786) 287-9120
 FAX (305) 969-9453
 www.yhengineering.com



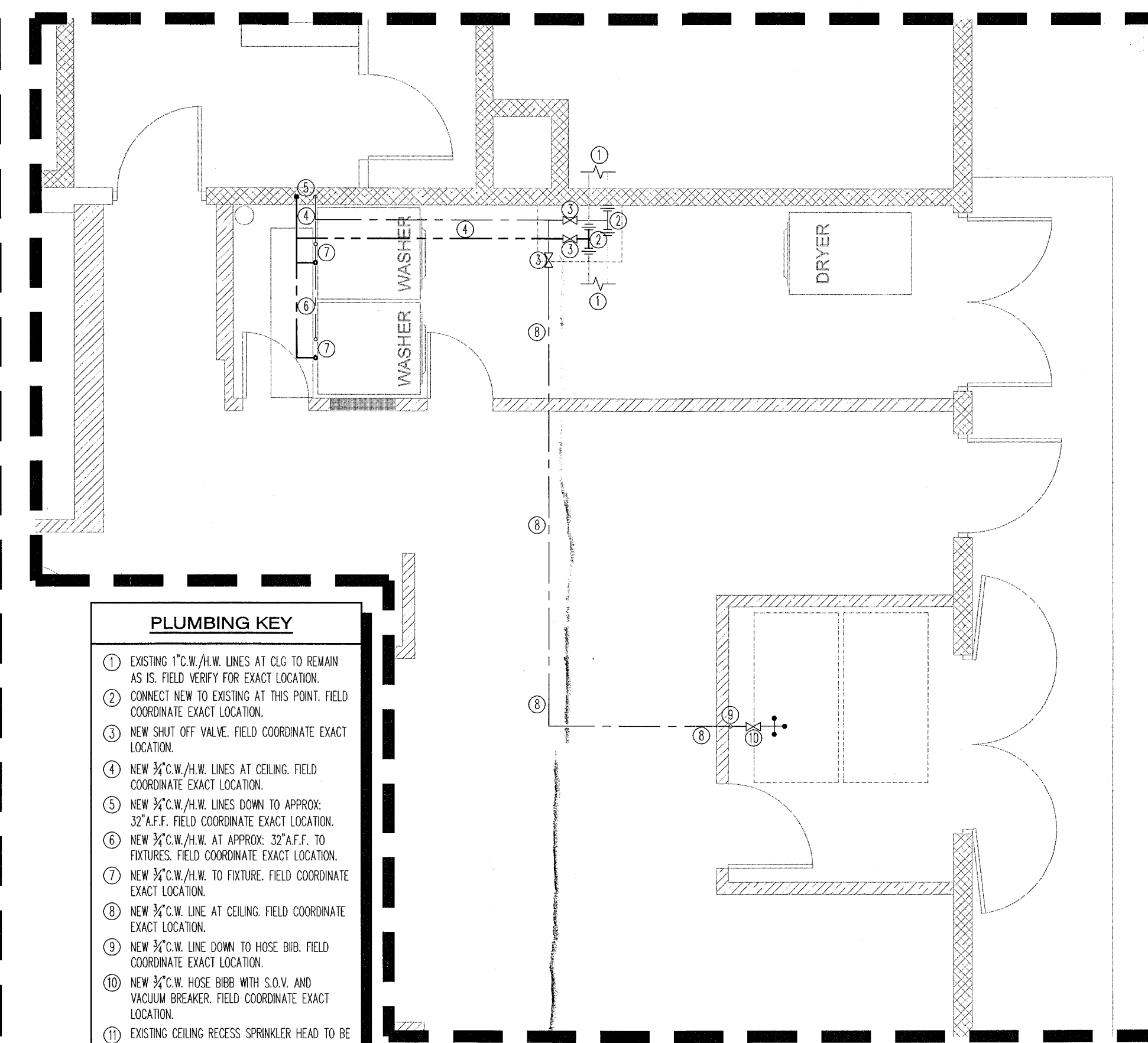
THE STANDARD HOTEL SPA
 40 ISLAND AVENUE
 MIAMI BEACH, FL 33139

DATE	REVISION
DWG. TITLE	
SCALE	
PROJECT NO.	
DATE	07-29-13
SHEET NUMBER	S-5.0



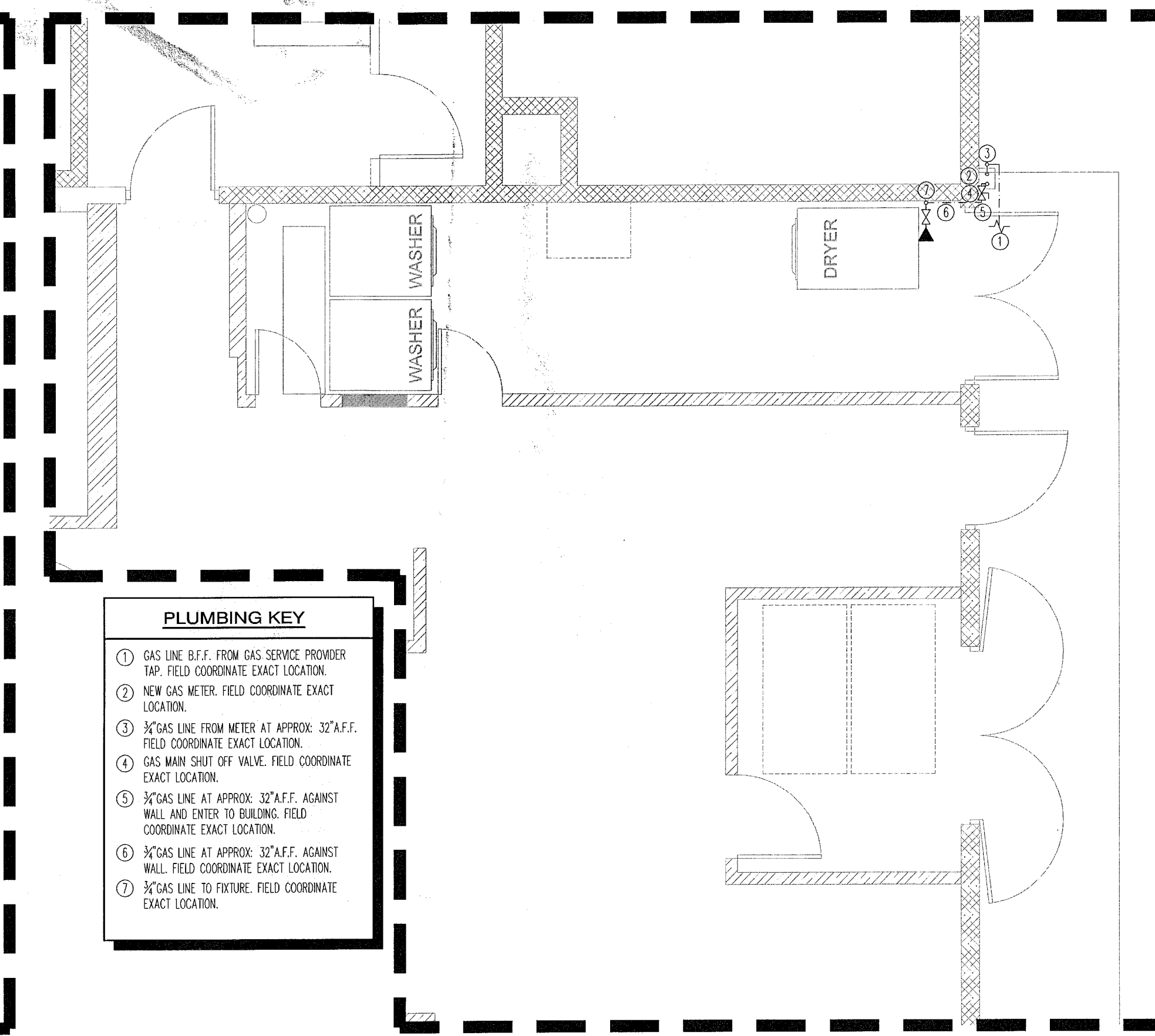
Sanitary Sewer Floor Plan

SCALE: 1/4" = 1'



Domestic Water Floor Plan

SCALE: 1/4" = 1'



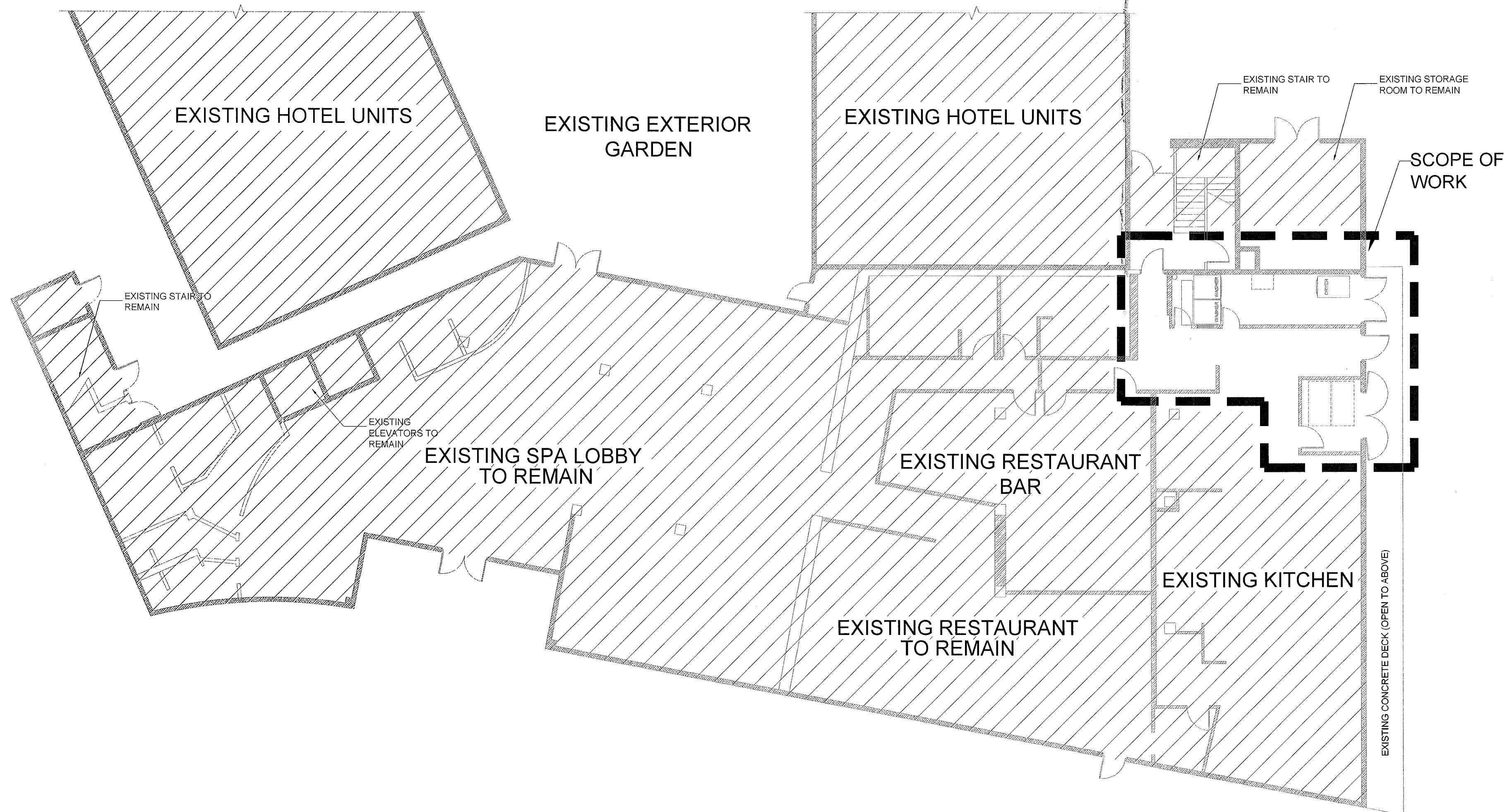
Fuel / Gas Floor Plan

SCALE: 1/4" = 1'

- PLUMBING KEY**
- EXISTING 4" CWI, B.F.F. FROM EXISTING KITCHEN TO REMAIN AS IS. FIELD VERIFY FOR EXACT LOCATION.
 - EXISTING 4" SANI, B.F.F. TO REMAIN AS IS. FIELD VERIFY FOR EXACT LOCATION.
 - CONNECT NEW TO EXISTING AT THIS POINT. FIELD COORDINATE EXACT LOCATION.
 - NEW 3" SANI, B.F.F. FIELD COORDINATE EXACT LOCATION.
 - NEW 3" SANI, B.F.F. FIELD COORDINATE EXACT LOCATION.
 - NEW 3" CWI, B.F.F. FIELD COORDINATE EXACT LOCATION.
 - NEW 2" D. WITH 3/4" W. TRAP PRIMER ATTACHED TO 3" SAN. PIPE. FIELD COORDINATE EXACT LOCATION. (2"U)
 - NEW LINT INTERCEPTOR BY ZURN, MODEL ZH185, 30 GPM OR APPROVED EQUAL. FIELD COORDINATE EXACT LOCATION.
 - NEW TWO WAY CLEAN OUT. FIELD COORDINATE EXACT LOCATION.
 - EXISTING 1200 GLS GREASE TRAP TO BE ABANDONED. FIELD COORDINATE EXACT LOCATION.
 - NEW 4" CWI, B.F.F. FIELD COORDINATE EXACT LOCATION.
 - NEW 4" SANI, B.F.F. FIELD COORDINATE EXACT LOCATION.
 - NEW GREASE TRAP BY SCHER, MODEL TSP-250, EQUAL TO TRADITIONAL 1200 GLS GREASE TRAP.
- NOTE: PROVIDE 3/4" W. TO FLOOR DRAIN.

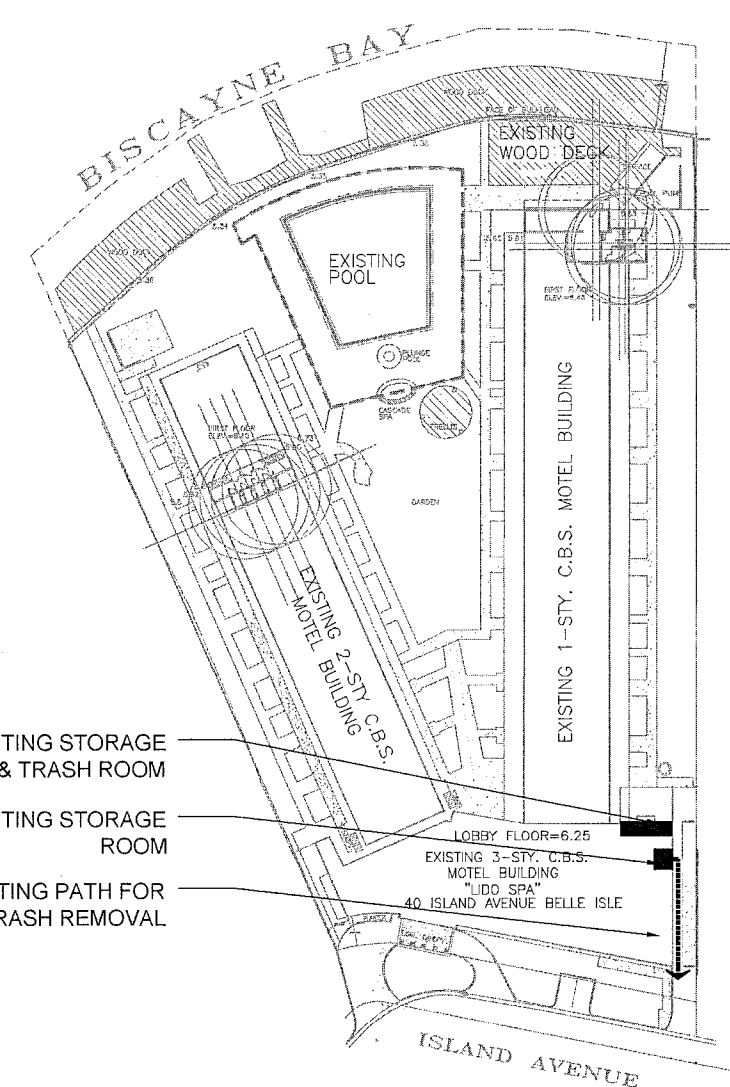
- PLUMBING KEY**
- EXISTING 1" CWI, B.F.F. AT CIG TO REMAIN AS IS. FIELD VERIFY FOR EXACT LOCATION.
 - CONNECT NEW TO EXISTING AT THIS POINT. FIELD COORDINATE EXACT LOCATION.
 - NEW SHUT OFF VALVE. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. B.F.F. AT CEILING. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. B.F.F. AT CEILING. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. B.F.F. AT APPROX. 32" A.F.F. TO FIXTURES. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. B.F.F. TO FIXTURE. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. LINE AT CEILING. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. LINE DOWN TO HOSE BIB. FIELD COORDINATE EXACT LOCATION.
 - NEW 3/4" W. HOSE BIB WITH S.O.V. AND VACUUM BREAKER. FIELD COORDINATE EXACT LOCATION.
 - EXISTING CEILING RECESS SPRINKLER HEAD TO BE REPLACED WITH NEW UPRIGHT TYPE SPRINKLER HEAD AT SAME LOCATION. FIELD COORDINATE EXACT LOCATION.
- NOTE: PROVIDE 3/4" W. TO FLOOR DRAIN.

- PLUMBING KEY**
- GAS LINE B.F.F. FROM GAS SERVICE PROVIDER TAP. FIELD COORDINATE EXACT LOCATION.
 - NEW GAS METER. FIELD COORDINATE EXACT LOCATION.
 - 3/4" GAS LINE FROM METER AT APPROX. 32" A.F.F. FIELD COORDINATE EXACT LOCATION.
 - GAS MAIN SHUT OFF VALVE. FIELD COORDINATE EXACT LOCATION.
 - 3/4" GAS LINE AT APPROX. 32" A.F.F. AGAINST WALL AND ENTER TO BUILDING. FIELD COORDINATE EXACT LOCATION.
 - 3/4" GAS LINE AT APPROX. 32" A.F.F. AGAINST WALL. FIELD COORDINATE EXACT LOCATION.
 - 3/4" GAS LINE TO FIXTURE. FIELD COORDINATE EXACT LOCATION.



EXISTING SPA GROUND FLOOR

SCALE: 3/32" = 1'



KEY PLAN

SCALE: N.T.S.



1	10.22.13	CITY COMM.
Δ	DATE	REVISION

DWG. TITLE

SANITARY SEWER,
DOMESTIC WATER AND
FUEL/GAS FLOOR PLANS

SCALE

AS SHOWN

PROJECT NO.

2013-20

DATE

08-19-13

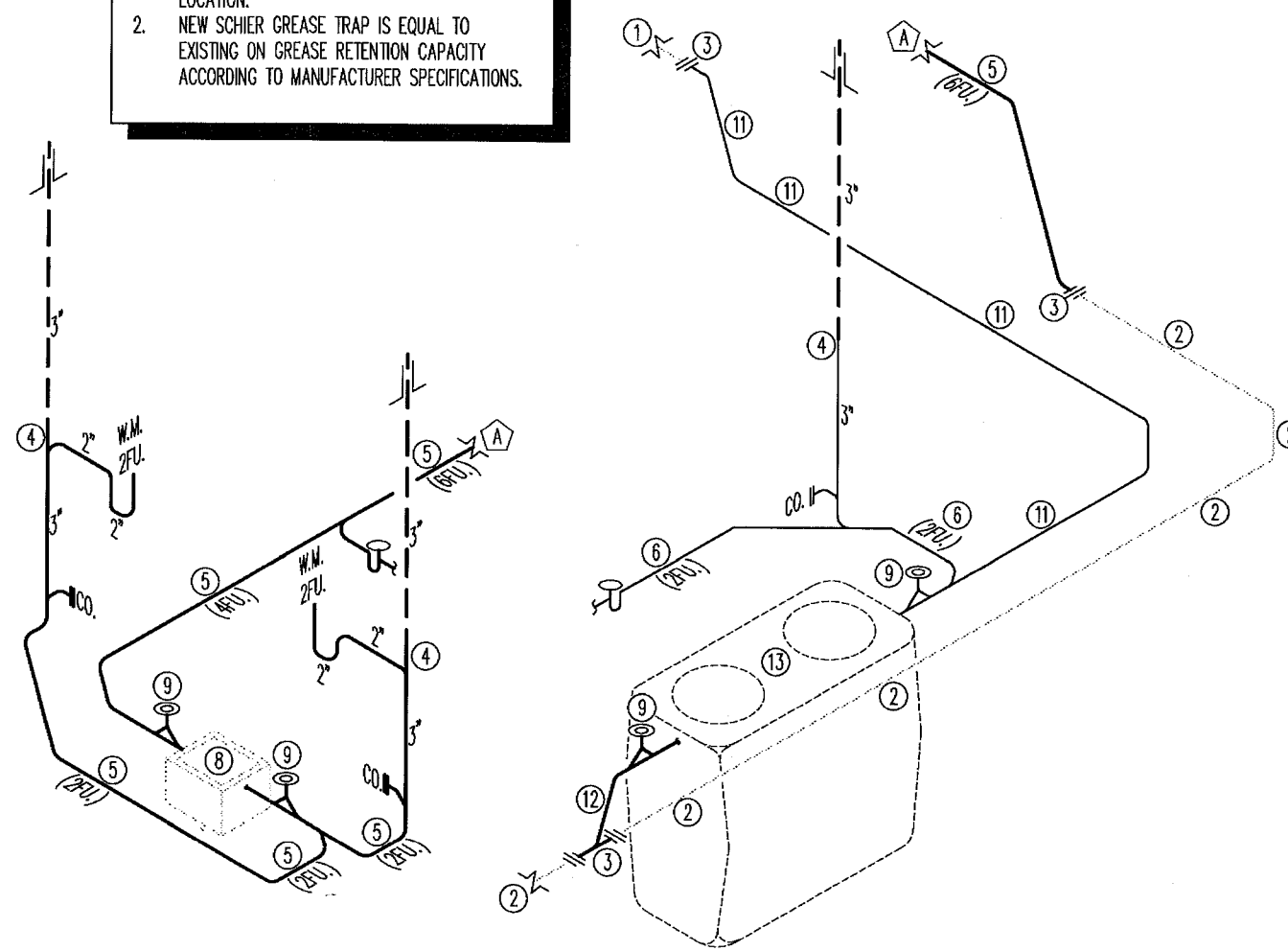
SHEET NUMBER

P-2.0

PLUMBING KEY
1 EXISTING 4" CW 40' FT. B.F.F. FROM EXISTING KITCHEN TO REMAIN AS IS. FIELD VERIFY FOR EXACT LOCATION.
2 EXISTING 4" SANI 40' FT. B.F.F. TO REMAIN AS IS. FIELD VERIFY FOR EXACT LOCATION.
3 CONNECT NEW TO EXISTING AT THIS POINT. FIELD COORDINATE EXACT LOCATION.
4 NEW 3" SANI/VENT STACK. FIELD COORDINATE EXACT LOCATION.
5 NEW 3" SANI 40' FT. B.F.F. FIELD COORDINATE EXACT LOCATION.
6 NEW 3" CW 40' FT. B.F.F. FIELD COORDINATE EXACT LOCATION.
7 NEW 2" D. WITH 3" CW TRAP PRIMER ATTACHED TO 3" SANI PIPE. FIELD COORDINATE EXACT LOCATION. (24")
8 NEW LINT INTERCEPTOR BY ZURN, MODEL 21185, 30 GPM OR APPROVED EQUAL. FIELD COORDINATE EXACT LOCATION.
9 NEW TWO WAY CLEAN OUT. FIELD COORDINATE EXACT LOCATION.
10 EXISTING 1200 QLS GREASE TRAP TO BE ABANDONED. FIELD COORDINATE EXACT LOCATION.
11 NEW 4" CW 40' FT. B.F.F. FIELD COORDINATE EXACT LOCATION.
12 NEW 4" SANI 40' FT. B.F.F. FIELD COORDINATE EXACT LOCATION.
13 NEW GREASE TRAP BY SCHER, MODEL 708-250, EQUAL TO TRADITIONAL 1200 QLS GREASE TRAP.

NOTE: PROVIDE 3/4" DIA. TO FLOOR DRAINS.

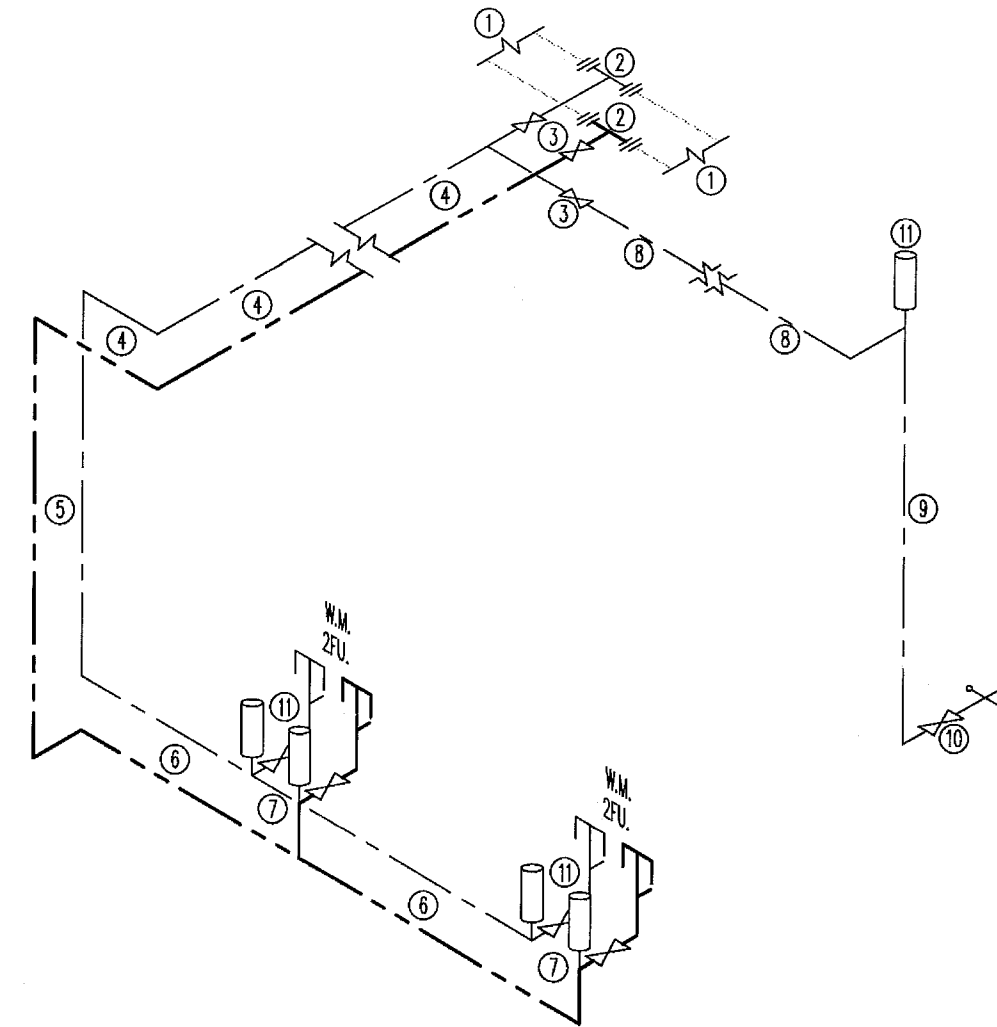
NOTES
1. EXISTING 1200 QLS TRADITIONAL GREASE TRAP TO BE ABANDONED. FIELD COORDINATE EXACT LOCATION.
2. NEW SCHER GREASE TRAP IS EQUAL TO EXISTING ON GREASE RETENTION CAPACITY ACCORDING TO MANUFACTURER SPECIFICATIONS.



Sanitary Sewer Isometric
SCALE: N.T.S.

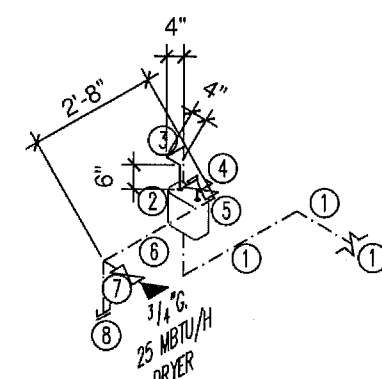
PLUMBING KEY
1 EXISTING 1" CW / PLW LINES AT CLG TO REMAIN AS IS. FIELD VERIFY FOR EXACT LOCATION.
2 CONNECT NEW TO EXISTING AT THIS POINT. FIELD COORDINATE EXACT LOCATION.
3 NEW SHUT OFF VALVE. FIELD COORDINATE EXACT LOCATION.
4 NEW 3/4" CW / PLW LINES AT CEILING. FIELD COORDINATE EXACT LOCATION.
5 NEW 3/4" CW / PLW LINES DOWN TO APPROX. 32" A.F.F. FIELD COORDINATE EXACT LOCATION.
6 NEW 3/4" CW / PLW AT APPROX. 32" A.F.F. TO FIXTURES. FIELD COORDINATE EXACT LOCATION.
7 NEW 3/4" CW / PLW TO FIXTURE. FIELD COORDINATE EXACT LOCATION.
8 NEW 3/4" CW LINE AT CEILING. FIELD COORDINATE EXACT LOCATION.
9 NEW 3/4" CW LINE DOWN TO HOSE BIB. FIELD COORDINATE EXACT LOCATION.
10 NEW 3/4" CW HOSE BIBB WITH S.O.V. AND VACUUM BREAKER. FIELD COORDINATE EXACT LOCATION.
11 WATER HAMMER ARRESTOR.

NOTE: PROVIDE 3/4" DIA. TO FLOOR DRAINS.



Domestic Water Isometric
SCALE: N.T.S.

PLUMBING KEY
1 GAS LINE 8" F.F. FROM GAS SERVICE PROVIDER TAP. FIELD COORDINATE EXACT LOCATION.
2 NEW GAS METER. FIELD COORDINATE EXACT LOCATION.
3 3/4" GAS LINE FROM METER AT APPROX. 32" A.F.F. FIELD COORDINATE EXACT LOCATION.
4 GAS MAIN SHUT OFF VALVE. FIELD COORDINATE EXACT LOCATION.
5 3/4" GAS LINE AT APPROX. 32" A.F.F. AGAINST WALL AND ENTER TO BUILDING. FIELD COORDINATE EXACT LOCATION.
6 3/4" GAS LINE AT APPROX. 32" A.F.F. AGAINST WALL. FIELD COORDINATE EXACT LOCATION.
7 SHUT OFF VALVE (S.O.V.)
8 DIRT LEG.



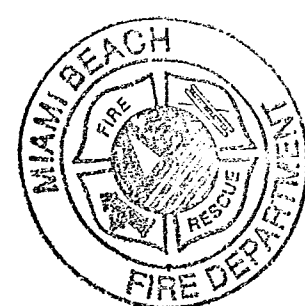
FUEL / GAS SCHEDULE

TOTAL GAS SERVICE LOAD: 25 MBTU/H
DISTANCE TO FURTHEST GAS APPLIANCE: 4' LIN.FT.
FURTHEST GAS APPLIANCE: 25 MBTU/H DRYER

SIZED PER F.B.C. 2010 FUEL/GAS SECTION
TABLE 402.4(2) SCHEDULE 40 METALLIC PIPE (0.5 P.S.I.)

Fule / Gas Isometric
SCALE: N.T.S.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



DATE REVISION

DWG. TITLE

SANITARY SEWER,
DOMESTIC WATER
AND FUEL / GAS
ISOMETRICS

SCALE

N.T.S.

PROJECT NO.

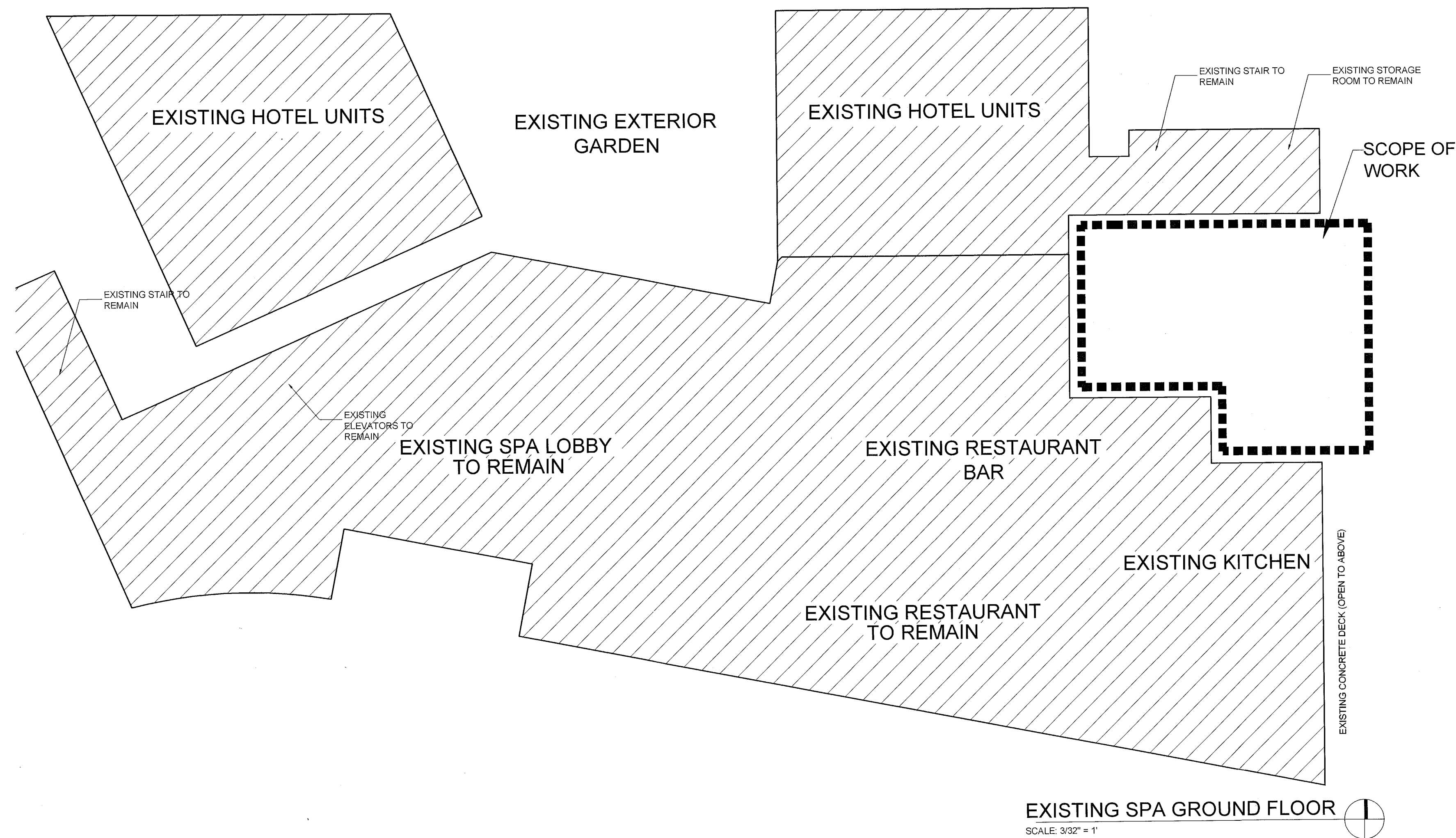
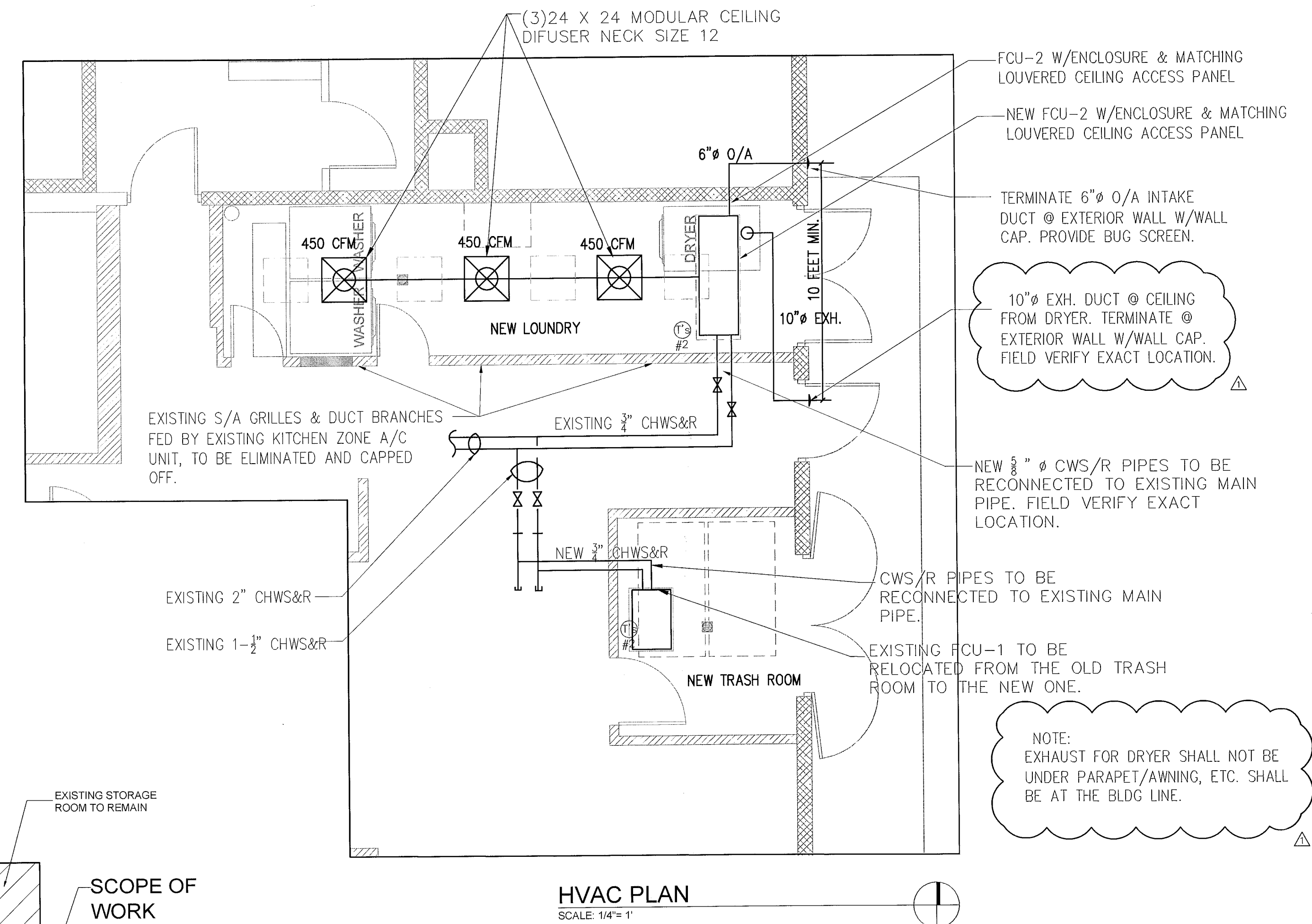
2013-20

DATE

08-19-13

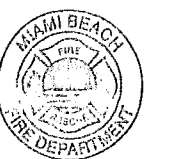
SHEET NUMBER

P-3.0



THE STANDARD HOTEL SPA
40 ISLAND AVENUE
MIAMI BECH, FL 33139

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



0.08.13	CITY COMM.
DATE	REVISION

3. TITLE

HVAC
PLAN

LE

AS SHOWN

SUBJECT NO. _____

2013-20

E

08-19-13

ET NUMBER

M-1

A-1

AIR CONDITIONING UNIT SCHEDULE													
UNIT NO. (WEIGHT)	MANUF. MOD. (POSITION OF MOUNTING)	TOTAL CAP. BTU/HR	SENSIBLE CAP. BTU/HR	EVAPORATOR AIR FLOW		COM. FLA Ø	OUT DOOR FAN FLA Ø	BLOW COIL FLA HP	REFRIG.	REFRIG./GRADE COPPER TUBING TYPE / SIZE	HEAT KW V ph Ø	COND. UNIT V ph Ø	
FCU-2 SEER=13.0 38 Lbs.	FIRST CO. 36 COXO HORIZONTAL RECESSED (OR SIMILAR)	36,000	27,000	1300	0.1	-	-	4.6 1/5	R-410A	V. (1) 1/4 L. (1) 1/2	-	208/240 1 15	
OUTDOOR CONDITIONS: 95°F DB, 79°F WB INDOOR CONDITIONS: 74°F DB, RELATIVE HUMIDITY = 50%													
V - VOLTS ph - NUMBER OF PHASES Ø - FUSE AMPS													

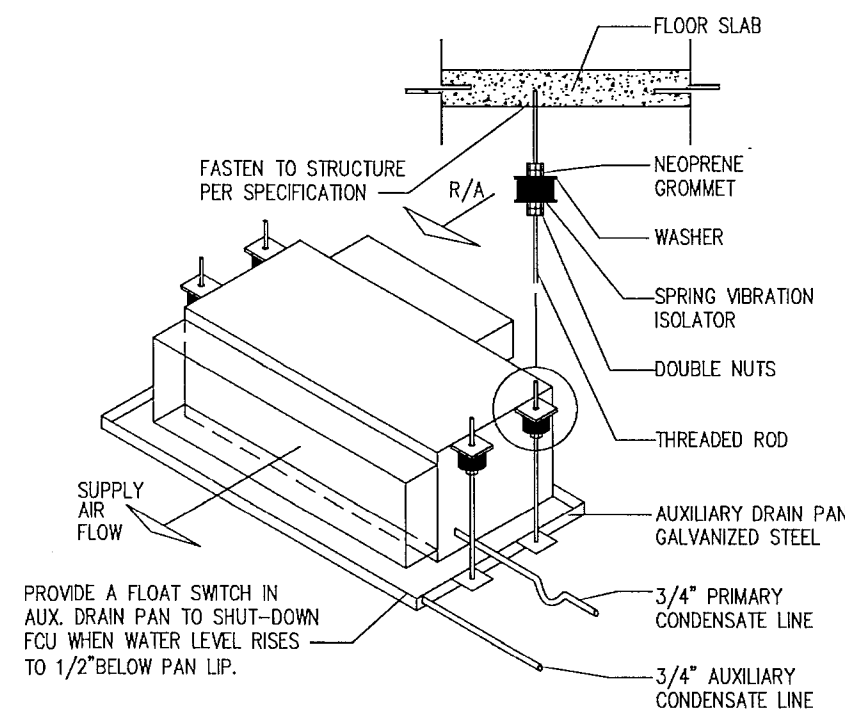
H.V.A.C. NOTES

- ALL WORK SHALL BE AS PER F.B.C. AND NFPA
- ALL HEATING AND AIR CONDITIONING DUCT WORK SHALL BE FIBERGLASS, ENDURA GOLD TYPE, AS MANUFACTURED BY OWENS-CORNING, W/BACTERIAL / FUNGAL GROWTH RESISTANCE, TYPE 800 (1.5" THICK R-8). ALL BATHROOM AND DRYER EXHAUST DUCTS SHALL BE 30 GA. GALV. METAL WITHOUT INSULATION. HOOD EXHAUST DUCT SHALL BE 26 GA. GALV. METAL WITHOUT INSULATION AND W/WIRE MESH.
- DUCT WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & ACCORDING TO ASHRAE & SMACNA STANDARDS AND IN COMPLIANCE WITH UL 181.
- DUCT DIMENSIONS ARE IN INCHES AND CORRESPOND TO INSIDE DIMENSIONS WIDTH x HEIGHT. DUCT SYSTEM SHALL COMPLY WITH NFPA STD. NO. 90A AND/OR 90B. DUCTWORK AND MATERIALS SHALL BE CLASS 1 MATERIALS IN ACCORDANCE WITH UL 181 TESTS.
- COORDINATE LOCATIONS, SIZES & OPENINGS W/OTHER TRADES ON THE JOB. A/C CONTRACTOR SHALL PROVIDE THE COMPLETE DUCT SYSTEM W/TURNING VANES AT ALL ELBOWS, SPLITTERS AND DAMPERS AS REQUIRED. A/C CONTRACTOR SHALL USE THE BEST PRACTICES OF THE TRADE IN THE FABRICATION AND INSTALLATION OF THE SYSTEM.
- ALL SUPPLY AIR AND RETURN AIR GRILLES/DIFFUSERS SHALL BE NEW, AND SHALL BE LOCATED AND BALANCED IN ORDER THAT THEY DELIVER THE REQUIRED CFM TO THE ENTIRE ROOM EVENLY & DRAFT FREE TO MAINTAIN THE FOLLOWING DESIGN CONDITIONS:

INSIDE	OUTSIDE	RELATIVE HUMIDITY
COOLING - 76 DB	90 DB - 79 WB	50% to 60%
HEATING - 72 DB	45 - DB	
- ALL TEMPERATURE CONTROLS SHALL BE DIGITAL PROGRAMMABLE THERMOSTAT MOUNTED WHERE SHOWN ON PLANS, AT 5'-0" A.F.F.
- ALL NEW GRILLES AND DIFFUSERS TO BE ALUMINUM CONSTRUCTION. DIFFUSERS SHALL HAVE HIDDEN OPPOSED BLADE DAMPERS. PROVIDE GASKETS ON ALL GRILLES & DIFFUSERS.
- PROJECT ARCH. SHALL REVIEW AND APPROVE ALL DIFFUSER TYPES & FINISHES PRIOR TO PURCHASE AND INSTALLATION.
- CONTRACTOR SHALL FIELD VERIFY/COORDINATE ALL CONDITIONS AND PARAMETERS W/OTHER TRADES INVOLVED W/THE PROJECT.
- REFRIGERANT PIPING (SUCTION) SHALL BE INSULATED WITH MINIMUM 3/4" THICK ARMAFLEX INSULATION.
- ALL AIR HANDLING UNITS SHALL BE INSTALLED WITH 4" CLEARANCE ALL AROUND INSIDE MECHANICAL CLOSET.
- PLACE ALL GRILLS MIN. 12" AWAY FROM WALLS TO ACCOMMODATE FOR DRYWALL AND MOLDINGS.
- HVAC SYSTEMS SPECIFIED ON THIS PLAN AND INSTALLED AT THE PROJECT SITE WILL NOT BE USED AND IN OPERATION DURING WOOD FLOOR SANDING PROCESS.
- UPON COMPLETION OF CONSTRUCTION, PRIOR TO THE DELIVERY OF THE HVAC SYSTEMS, ALL AIR HANDLING UNITS (COILS AND FAN SECTION) WILL BE CLEANED.
- AT THE TIME OF INITIAL HVAC SYSTEM START-UP, THE FOLLOWING STEPS WILL BE FOLLOWED:
 - COMPLETE HVAC SYSTEM WILL BE BALANCED AT EACH ZONE, WITHIN 5% OF SPECIFIED VALUES.
 - FAN SPEED SETTING AT EACH AIR HANDLING UNIT WILL BE VERIFIED AGAINST THE TOTAL AIR FLOW AND SUPPLY AIR TEMP. AT AHU DISCHARGE.
 - SUPPLY AIR TEMPERATURE READINGS WILL BE RECORDED AT AHU DISCHARGE AND AT THE REMOTEST SUPPLY AIR DIFFUSER / GRILLE.
 - RETURN AIR TEMPERATURE READINGS WILL BE RECORDED AT EACH AHU ZONE.
 - SUPPLY AND RETURN AIR DIFFERENTIAL IN THE RANGE OF 15 - 20 DEG. WILL BE OBSERVED; OTHERWISE, FAN SPEED SETTINGS WILL BE MODIFIED IN ORDER TO ACHIEVE SUCH READINGS.
 - ALL OF THE START-UP TESTS NOTED ABOVE WILL BE CARRIED OUT, AFTER THE SYSTEMS HAVE BEEN RUNNING FOR A PERIOD OF 24 HOURS.
 - AT THE CONCLUSION OF THE START UP TESTING, ALL DUCT WORK WITHIN THE ATTIC SPACE WILL BE OBSERVED FOR SIGN OF CONDENSATION ON DUCT SURFACE, DAILY, FOR A PERIOD OF ONE WEEK.
 - IN THE EVENT THAT TEMPERATURE READINGS AND / OR AIR FLOW QUANTITIES, ARE FOUND TO DIFFER FROM THE PARAMETERS NOTED ABOVE, AND / OR CONDENSATION IS OBSERVED ON THE DUCT SURFACE WITHIN THE ATTIC SPACE, PROJECT ARCHITECT AND ENGINEER WILL BE NOTIFIED FOR FURTHER EVALUATION AND IMPLEMENTATION OF CORRECTIVE MEASURES.

HVAC DESIGN SCHEDULE			
HVAC DESIGN REQUIRES:	YES	NO	REMARKS
DUCT SMOKE DETECTOR(S)		NO	
FIRE DAMPER(S)		NO	
SMOKE DAMPER(S)		NO	
FIRE RATED ENCLOSURE		NO	
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		NO	
FIRE STOPPING		NO	
SMOKE CONTROL		NO	

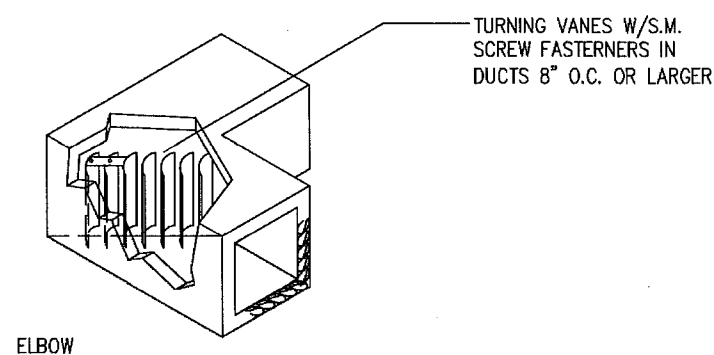
AIR DEVICE SCHEDULE				
MANUF./CAT NO.	TYPE	NECK	FRAME	FINISH
PRICE - 520	CD	0 - 125 CFM = 6" Ø 130 - 150 CFM = 6" Ø 160 - 275 CFM = 8" Ø 280 - 390 CFM = 10" Ø 400 - 500 CFM = 12" Ø	6 x 6 8 x 8 8 x 8 10 x 10 12 x 12	BAK. WHT. ENAMEL
PRICE - LBP CORE 168	LGB	2" WIDE	SEE PLANS	BAK. WHT. ENAMEL
PRICE - LBP CORE 168	RAG	3" WIDE	SEE PLANS	BAK. WHT. ENAMEL
PRICE - 80		700 - 800 CFM = 16" Ø	14 x 14	BAK. WHT. ENAMEL
DEVICE TYPE LEGEND: CD = CEILING DIFFUSER LGB = LINEAR DIFFUSER RAG = RETURN AIR GRILLE				
NOTES: 1. PROVIDE CEILING DEVICES WITH PROPER FRAME STYLE TO MATCH CEILING OR WALL TYPE AS CALLED FOR BY ARCHITECT. 2. DEVICES SHALL BE PROVIDED WITH FACTORY FINISH. 3. AIR DEVICES SHALL BE 4-WAY THROW UNLESS NOTED OTHERWISE OR SHOWN ON PLANS WITH DIRECTIONAL ARROWS. 4. IF NECESSARY, PROVIDE TOP HAT FOR GRILLES AND DIFFUSERS. 5. PROVIDE EQUALIZING GRID (TITUS MODEL ES) FOR DIFFUSERS TAPPED DIRECTLY FROM BOTTOM OF DUCT. 6. PROVIDE OPPOSED BLADE DAMPER (TITUS MODEL D-50) 7. WHERE 3-WAY THROW IS NOTED, INSTALL Baffles IN THE NECK OF DIFFUSERS. 8. PROVIDE OPPOSED BLADE DAMPER FOR REGISTERS.				



NOTE:
PROVIDE A FLOAT SWITCH IN SECONDARY DRAIN PAN, INTERCONNECTED W/AH START/STOP CONTROLS. FLOAT SWITCH IS TO SHUT DOWN AHU, WHENEVER WATER LEVEL IN DRAIN PAN RAISES TO 1/2" BELOW THE RIM OF PAN. (PER F.B.C. SECTION 307.2.4 CRITERIA)

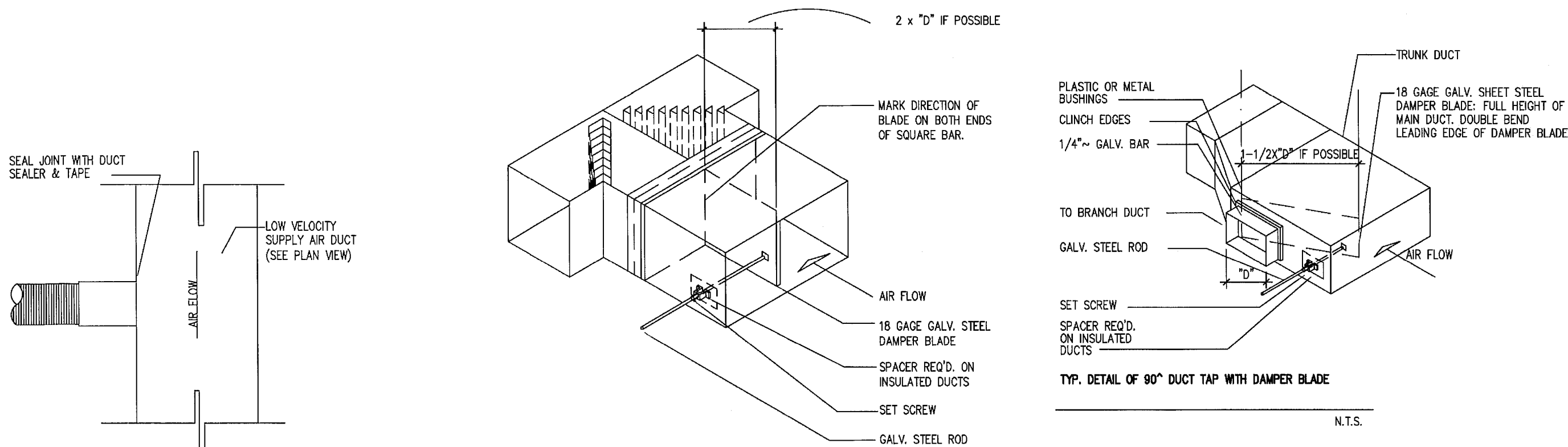
HORIZONTAL FAN COIL UNIT MOUNTING DETAIL

NTS



DUCT CONNECTION DETAILS

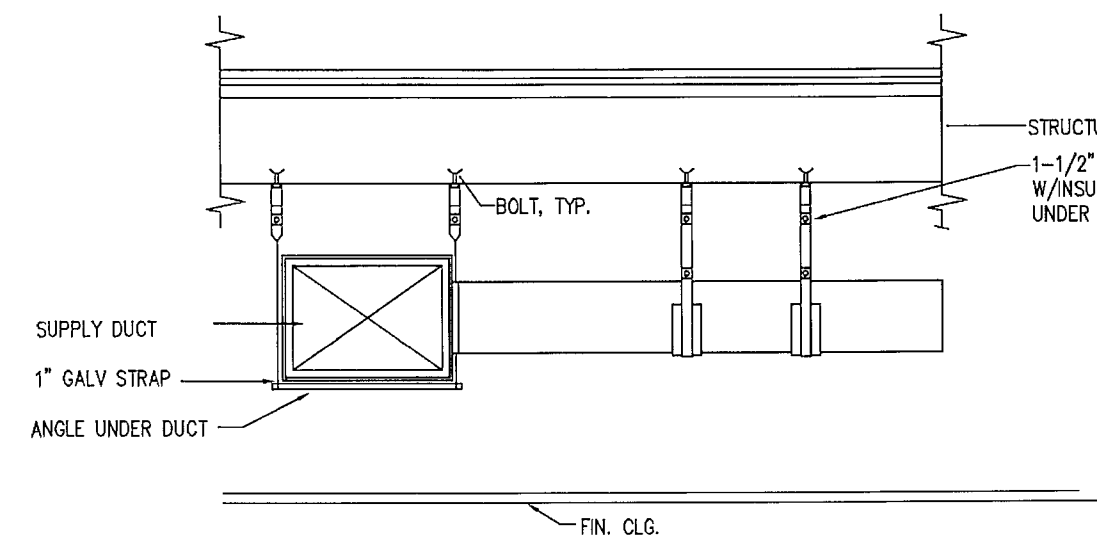
NTS



FLEXIBLE DUCT CONN. DETAIL (RES)

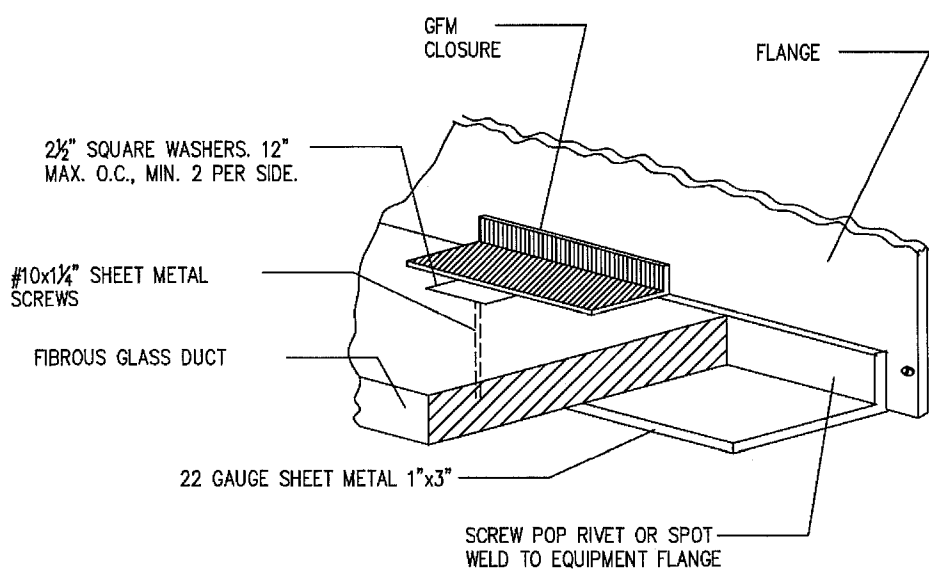
NTS

SPLITTER DAMPER



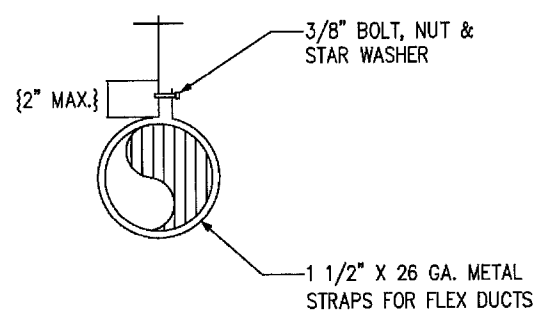
DUCT HANGING DETAIL

NTS



DUCT CONNECTION DETAIL

NOTE:
DUCT PLENUM SHALL BE SECURE TO TOP OF THE AHU W/ANGLES.



FLEXIBLE DUCT HANGER

NTS

U.C.

UNDERCUT DOOR 1" A.F.F. FOR RETURN AIR.

COOPER LIGHTING - METALUX®

DESCRIPTION

The accord™TM redefines fluorescent lighting by improving on aesthetics, comfort and energy savings. The accord™TM provides the right amount of light while eliminating surface shadows commonly found in parabolic. Therefore, accord™TM increases the comfort level while providing significant energy savings.

The accord™TM is the ideal solution for offices, schools, hospitals, retail and other applications.

SPECIFICATION FEATURES

A ... Construction

Shallow 3-1/2" deep housing is die formed of code gauge, prime cold rolled steel. Heavy gauge end plates are securely attached with screws for strength and rigidity and the elimination of gaps. Four auxiliary fixture end suspension points are provided. KVM for continuous row wiring. Large access plate for supply connection.

B ... Electrical*

Ballasts are Class "P" and are positively secured. Ratchet lamp holders ensure positive lamp retention. UCL/UL listed. Suitable for damp locations.

C ... Ballast Access

Ballast can be removed from below without tools.

D ... Finish

Durable cold rolled steel with multistage, iron phosphate primer and white enamel finish to ensure maximum bonding and rust inhibition.

E ... Reflectors

Reflector has high reflectance baked matte white enamel finish for luminous uniformity.

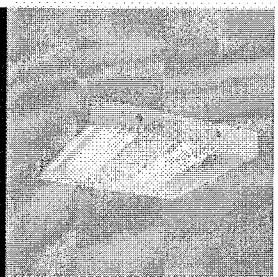
F ... Shielding

Positively retained frosted acrylic profile lenses provide a soft but effective distribution of light.

G ... Air Return

Optional Air Return model provides air flow through air slots in the housing.

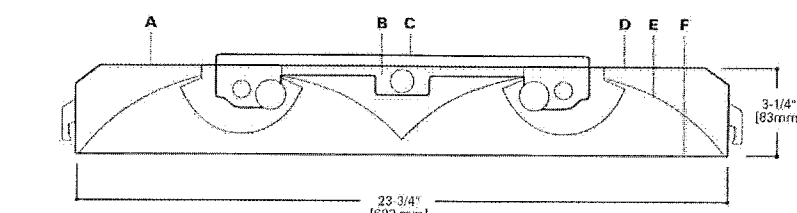
Catalog #	2AC-217-UNV-L8835-ER81	Type
Project		Date
Comments		
Prepared by		



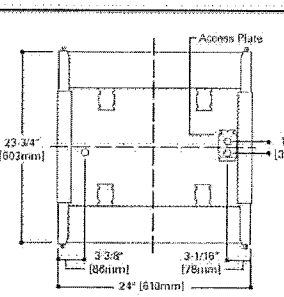
ZAC 217T8

2' x 2' recessed

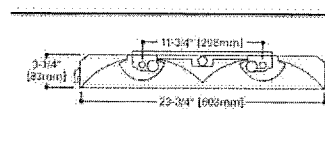
Troffer Series



MOUNTING DATA



LAMP CONFIGURATIONS



CEILING COMPATIBILITY

G	#	Ceiling	Type
Grid Lay In	48	Grid Lay In	Grid Lay In
Drop Ceiling	48	Drop Ceiling	Drop Ceiling

Specifications and Dimensions subject to change without notice.

PHOTOMETRICS

ZAC-217		Candela	
Beam Angle	Foot Candles	Beam Angle	Foot Candles
120°	1.0	120°	1.0
100°	1.5	100°	1.5
80°	2.5	80°	2.5
60°	4.0	60°	4.0
40°	9.0	40°	9.0
30°	16.0	30°	16.0
20°	36.0	20°	36.0
15°	64.0	15°	64.0
10°	144.0	10°	144.0
5°	576.0	5°	576.0
2.5°	2304.0	2.5°	2304.0
1.5°	5760.0	1.5°	5760.0
1.0°	9216.0	1.0°	9216.0
0.5°	36864.0	0.5°	36864.0
0.25°	147456.0	0.25°	147456.0
0.125°	589824.0	0.125°	589824.0
0.0625°	2359296.0	0.0625°	2359296.0
0.03125°	9437184.0	0.03125°	9437184.0
0.015625°	37748736.0	0.015625°	37748736.0
0.0078125°	150994944.0	0.0078125°	150994944.0
0.00390625°	603979776.0	0.00390625°	603979776.0
0.001953125°	2415919104.0	0.001953125°	2415919104.0
0.0009765625°	9663676416.0	0.0009765625°	9663676416.0
0.00048828125°	38654705664.0	0.00048828125°	38654705664.0
0.000244140625°	154618822656.0	0.000244140625°	154618822656.0
0.0001220703125°	618475290624.0	0.0001220703125°	618475290624.0
0.00006103515625°	2473901162560.0	0.00006103515625°	2473901162560.0
0.000030517578125°	9895604650240.0	0.000030517578125°	9895604650240.0
0.0000152587890625°	39582418600960.0	0.0000152587890625°	39582418600960.0
0.00000762939453125°	158337674403840.0	0.00000762939453125°	158337674403840.0
0.000003814697265625°	633350697615360.0	0.000003814697265625°	633350697615360.0
0.0000019073486328125°	2533402790461440.0	0.0000019073486328125°	2533402790461440.0
0.00000095367431640625°	10133611161847040.0	0.00000095367431640625°	10133611161847040.0
0.000000476837158203125°	40534446647388160.0	0.000000476837158203125°	40534446647388160.0
0.0000002384185791015625°	162137786589552640.0	0.0000002384185791015625°	162137786589552640.0
0.00000011920928955078125°	648551146358211360.0	0.00000011920928955078125°	648551146358211360.0
0.000000059604644775390625°	2594204585432845440.0	0.000000059604644775390625°	2594204585432845440.0
0.0000000298023223876953125°	10376818341731381760.0	0.0000000298023223876953125°	10376818341731381760.0
0.00000001490116119384765625°	41507273366925527040.0	0.00000001490116119384765625°	41507273366925527040.0
0.000000007450580596923828125°	166029093467702108160.0	0.000000007450580596923828125°	166029093467702108160.0
0.0000000037252902984619140625°	664116373870808432640.0	0.0000000037252902984619140625°	664116373870808432640.0
0.00000000186264514923095703125°	2656465495483233721600.0	0.00000000186264514923095703125°	2656465495483233721600.0
0.000000000931322574615478515625°	10625861981932934873600.0	0.000000000931322574615478515625°	10625861981932934873600.0
0.0000000004656612873077392578125°	42503447927731739494400.0	0.0000000004656612873077392578125°	42503447927731739494400.0
0.00000000023283064365386962890625°	170013791710926957984000.0	0.00000000023283064365386962890625°	170013791710926957984000.0
0.000000000116415321826934814453125°	680055166843707831936000.0	0.000000000116415321826934814453125°	680055166843707831936000.0
0.0000000000582076609134674072265625°	2720220667374831327744000.0	0.0000000000582076609134674072265625°	2720220667374831327744000.0
0.00000000002910383045673370361328125°	10880882669499325310720000.0	0.00000000002910383045673370361328125°	10880882669499325310720000.0
0.000000000014551915228366851806640625°	43523530677997299242944000.0	0.000000000014551915228366851806640625°	43523530677997299242944000.0
0.0000000000072759576141834259033203125°	174094122711989196969728000.0	0.0000000000072759576141834259033203125°	174094122711989196969728000.0
0.00000000000363797880709171295166015625°	696376490847956787878976000.0	0.00000000000363797880709171295166015625°	696376490847956787878976000.0
0.000000000001818989403545856475830078125°	2785505963391827151515904000.0	0.000000000001818989403545856475830078125°	2785505963391827151515904000.0
0.0000000000009094947017729282379150390625°	11142023853567308606063680000.0	0.0000000000009094947017729282379150390625°	11142023853567308606063680000.0
0.00000000000045474735088641161945751953125°	44568095414269234424254720000.0	0.00000000000045474735088641161945751953125°	44568095414269234424254720000.0
0.000000000000227373675443205809728759765625°	178272381657076937696999040000.0	0.000000000000227373675443205809728759765625°	178272381657076937696999040000.0
0.0000000000001136868377216029048643937890625°	713089526628307750787996800000.0	0.0000000000001136868377216029048643937890625°	713089526628307750787996800000.0
0.00000000000005684341886080145243219689453125°	28523581065132310031519872000000.0	0.00000000000005684341886080145243219689453125°	28523581065132310031519872000000.0
0.000000000000028421709430400726216098447265625°	114094324260529240126079488000000.0	0.000000000000028421709430400726216098447265625°	114094324260529240126079488000000.0
0.0000000000000142108547152003631060492236328125°	456377297042116960504318336000000.0	0.0000000000000142108547152003631060492236328125°	456377297042116960504318336000000.0
0.00000000000000710542735760018155302461131640625°	1825509188168467842017273664000000.0	0.00000000000000710542735760018155302461131640625°	1825509188168467842017273664000000.0
0.000000000000003552713678800090776512305568203125°	73020367526738713680690946560000000.0	0.000000000000003552713678800090776512305568203125°	73020367526738713680690946560000000.0
0.00000000000000177635683940004538825615278125°	2920814701069548547227637862400000000.0	0.00000000000000177635683940004538825615278125°	2920814701069548547227637862400000000.0
0.000000000000000888178419700022694128076390625°	116832736042781941889105514508800000000.0	0.000000000000000888178419700022694128076390625°	116832736042781941889105514508800000000.0
0.0000000000000004440892098500113470640381953125°	4673290241711277675564220580352000000000.0	0.0000000000000004440892098500113470640381953125°	4673290241711277675564220580352000000000.0
0.00000000000000022204460492500567353201909375°	186931609668451075022568823214080000000000.0	0.00000000000000022204460492500567353201909375°	186931609668451075022568823214080000000000.0
0.000000000000000111022302462502836766009546875°	7477264386738043000902752928563200000000000.0	0.000000000000000111022302462502836766009546875°	7477264386738043000902752928563200000000000.0
0.0000000000000000555111512312514183330047734375°	299090575469521720036110117142560000000000000.0	0.0000000000000000555111512312514183330047734375°	299090575469521720036110117142560000000000000.0
0.00000000000000002775557561562570916665023671875°	11163623018780886001445504705702400000000000000.0	0.00000000000000002775557561562570916665023671875°	11163623018780886001445504705702400000000000000.0
0.000000000000000013877787807812854583332513359375°	446544920751235440057820188228096000000000000000.0	0.000000000000000013877787807812854583332513359375°	446544920751235440057820188228096000000000000000.0
0.0000000000000000069388939039064272916662556796875°	17861796030049417602312807529123840000000000000000.0	0.0000000000000000069388939039064272916662556796875°	17861796030049417602312807529123840000000000000000.0
0.00000000000000000346944695195321364583312783984375°	714471841201976704092512301164953600000000000000000.0	0.00000000000000000346944695195321364583312783984375°	714471841201976704092512301164953600000000000000000.0
0.0000000000000000017347234759766068229166612789971875°	28578873648079068803650246023248640000000000000000000.0	0.0000000000000000017347234759766068229166612789971875°	28578873648079068803650246023248640000000000000000000.0
0.0000000000000000008673617379883034114583306394990625°	114315494592316275214601224090982400000000000000000000.0	0.0000000000000000008673617379883034114583306394990625°	114315494592316275214601224090982400000000000000000000.0
0.00000000000000000043368086899415170572916531974953125°	4572619783692651000584024481819648000000000000000000000.0	0.00000000000000000043368086899415170572916531974953125°	4572619783692651000584024481819648000000000000000000000.0
0.000000000000000000216840434497075852864582659874765625°	18286598918370625002920122409098240000000000000000000000.0	0.000000000000000000216840434497075852864582659874765625°	18286598918370625002920122409098240000000000000000000000.0
0.0000000000000000001084202172485379264322913294373828125°	731429945936826250014600620450961920000000000000000000000.0	0.0000000000000000001084202172485379264322913294373828125°	731429945936826250014600620450961920000000000000000000000.0
0.00000000000000000005421010862426896321614566471869140625°	2925724729684131250073003102254809600000000000000000000000.0	0.00000000000000000005421010862426896321614566471869140625°	2925724729684131250073003102254809600000000000000000000000.0
0.0000000000000000000271050543121344816080728323593453125°	11702823648420656250036501511274048000000000000000000000000.0	0.0000000000000000000271050543121344816080728323593453125°	11702823648420656250036501511274048

ELECTRICAL NOTES

1. General
- A. All work performed under this contract shall comply with all national, state and local codes having jurisdiction and with the requirements of the utility companies whose services shall be used. All modifications required by these codes shall be made by this contractor without additional charge.
- B. Drawings: Refer to all drawings for coordination of the electrical work.
- C. Arrange and pay for all permits, licenses, inspections and tests. Obtain the required certificates and present to owner.
- D. Guarantee: The completed installation shall be fully guaranteed against defective materials and/or improper workmanship for minimum of one year for material and labor.
2. Contractor is directed to review the building plans and specifications for limitations of constructions, identifications of materials and products, definition of workmanship. This contractor shall include his bid proposal all costs necessary for a complete and operational installation and shall visit the job site prior to a bid date. Contractor needs to establish a field liaison with project supervisor, prior to commencing work.
3. All required insurance shall be provided for protection against public liability and property damage for duration of the work.
4. It shall not be the intent of these plans and/or specifications to show every minor detail of construction. The electrical contractor shall be expected to furnish and install all items for a complete electrical system and provide all requirements necessary for equipment to be placed in proper working order.
5. Electrical contractor shall not scale drawings. Contractor shall refer to architectural plans and elevations for exact locations of all equipment unless otherwise noted.
6. All conduit runs are shown diagrammatically. Exact routing shall be determined in the field, unless otherwise noted.
7. Electrical contractor shall visit the job site and verify all conditions, locations, dimensions and counts as shown and/or noted on the drawings. This shall include any and all fabrications prior to installations.
8. As a minimum, all equipment shall meet applicable standards, for the type of equipment and intended use, of the following:
- a. American National Standards Institute (ASTM).
- b. Illuminating Engineers Society (IES).
- c. American Society for Testing and Materials (ASTM)
- d. National Electrical Manufacturer's Association (NEMA).
- Note: These standards are subordinate to codes, and standards set by UL.
9. All electrical equipment, devices, wire, ect. shall be listed, for the intended use, with Underwriter laboratories, Inc. (UL), where standards have been established by UL.
10. As-built drawings shall be furnished to the owner upon completion of work.
11. Wiring devices to be spec. grade.
12. Where more than one device is indicated at any location, these shall be ganged under one common cover plate.
13. Contractor shall coordinate with electric and telephone utility for service entrance location and any other requirements.
14. All connections to ground rods shall be made with UL approved welded connections, unless noted otherwise.
15. Provide a fuse holder and fuse in the primary side of each ungrounded conductor for all ballasts.
16. Unless noted as existing, all equipment, wiring, devices, etc. shall be new.
17. Contractor shall guarantee all materials and workmanship free from defects for a period of not less than (1) year from date of acceptance, unless indicated of specified otherwise.
18. Correction of any defects shall be completed without additional charge and shall include replacement or repair of any other phase of the installation which may have been damaged thereby.
19. Electrical contractor shall provide temporary service for use of all trades as required for construction.
20. Temporary wiring to be removed by contractor.
21. Electrical contractor shall verify requirements, exact location and type or outlet for all electrical fixtures, appliances and equipment.
22. Shop Drawings: Coordinate requirements with architect.
23. All wiring to have 600 volt insulation, type TW, THW, THWN, for branch circuits and type THW, THN for main feeders or as specified.
24. Design is based on copper conductor. Wire size #10 and smaller type "TW", wire size #8 and larger type "THW" or as specified.
25. Wire ways shall be sized as required, per NEC, unless otherwise noted.
26. All feeder, subfeeder and branch circuits shall be properly phase balanced.
27. All conductors shall be in conduits. All conduits shall be intermediate (IMC) or rigid galvanized steel (RGS) except that: (a) poly vinyl chloride (PVC) conduits may be used in concrete slabs at underground provided elbows and riser are RGS; (b) electrical metallic tubing (EMT) may be used in or on walls or ceilings where not subject to mechanical damage, damp conditions or corrosive conditions; (c) liquid tight flexible conduits where required; (d) flexible metallic conduit where required in dry locations. All conduit hazardous areas (per NEC) shall meet the requirements of NEC Chapter.
28. Apply bitumastic coating to all metallic conduits in slabs or underground.
29. Electrical contractor shall verify circuit protective device rating for equipment prior to construction.
30. Provide fuse recommended by equipment manufacturer.
31. Furnish and install disconnect switches and wiring for air conditioning systems as per manufacturer recommendations.
32. Controls are to be supplied by air conditioning contractor.
33. Install power and control wiring and required control components for air condition systems as shown/noted on these drawings and per other applicable drawings/instructions see A/C drawings.
34. Electrical contractor to run control wires for HVAC system as per HVAC drawings.
35. No conduits to be run in ductwork.
36. All electrical wiring must be in conduit (no Romex, BX, etc. is permitted unless specific permission is obtained from owner, engineering or local inspector).

Electrical Legend

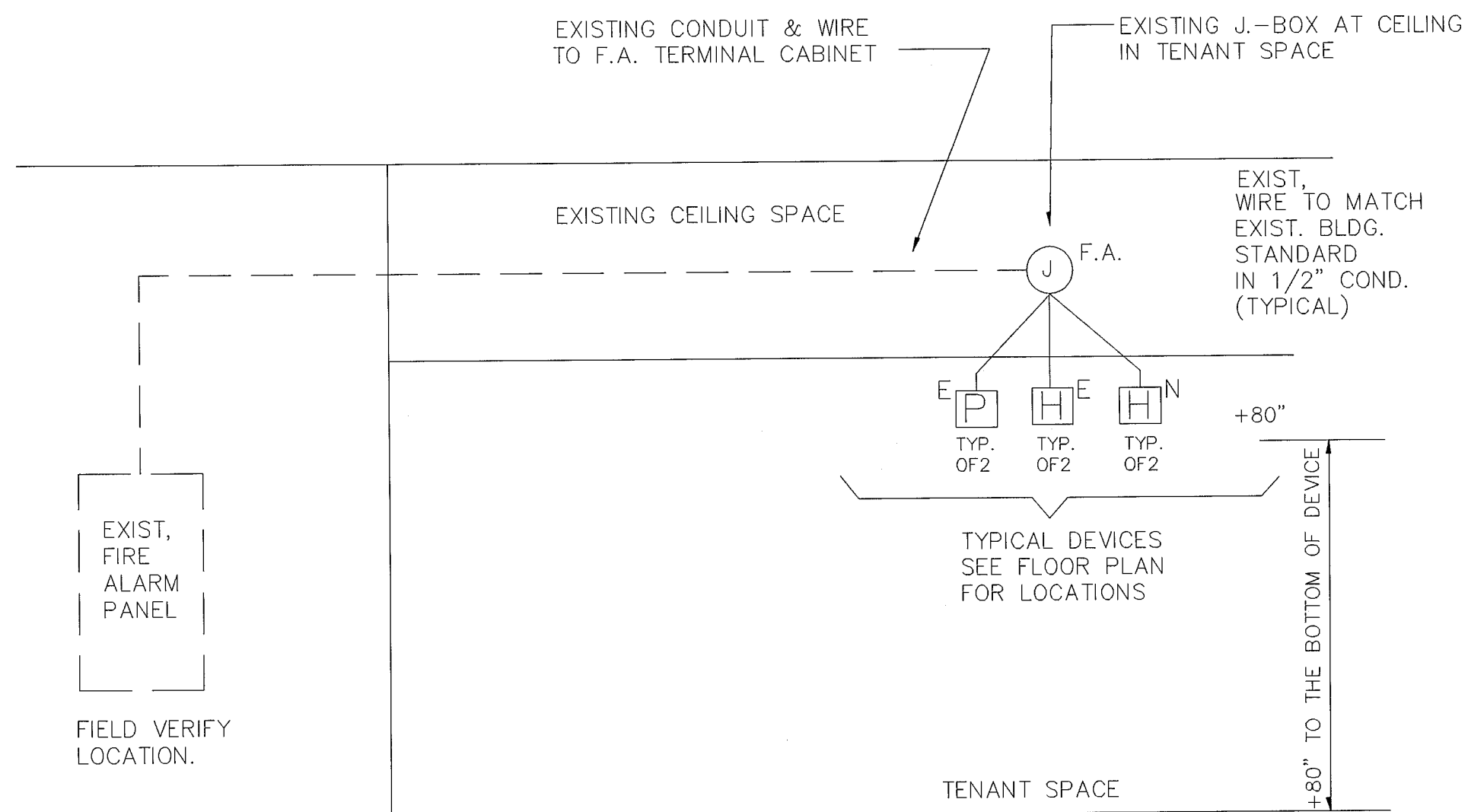
- ⊖ DUPLEX RECEPTACLE MOUNTED 18" AFF U.O.N.
- ⊖ DEDICATED DUPLEX RECEPTACLE MOUNTED 18" AFF U.O.N.
- ⊖ QUADRUPLE RECEPTACLE MOUNTED 18" AFF U.O.N.
- ⊖ DEDICATED QUADRUPLE RECEPTACLE MOUNTED 18" AFF U.O.N.
- ⊖ FLOOR MOUNTED DUPLEX RECEPTACLE
- ▲ 220V OUTLET MOUNTED 18" AFF U.O.N.
- ⊖ SPECIAL PURPOSE RECEPTACLE COORDINATE WITH TENANT
- ◀ TELEPHONE BOX WITH 1/2" CONDUIT EXTENDED 6" ABOVE ADJACENT CEILING. FACE PLATES JACKS AND CABLING TO BE BY TENANT
- ◀ DATA BOX WITH 1/2" CONDUIT EXTENDED 6" ABOVE ADJACENT CEILING. FACE PLATES, JACKS AND CABLING TO BE BY TENANT
- ◀ TELEPHONE AND DATA BOX WITH 1/2" CONDUIT EXTENDED 6" ABOVE ADJACENT CEILING. FACE PLATES, JACKS AND CABLING TO BE BY TENANT
- ◀ FLOOR MOUNTED TELEPHONE RECEPTACLE
- ◀ FLOOR MOUNTED DATA RECEPTACLE
- ◀ FLOOR MOUNTED TELEPHONE AND DATA RECEPTACLE
- ⊙ ELECTRIC JUNCTION BOX - VERIFY LOCATIONS AND MOUNTING HEIGHTS.
- ⊙ DATA/TELEPHONE JUNCTION BOX AND MOUNTING HEIGHTS.
- ⊙WS ELECTRIC JUNCTION BOX MOUNTED AT 6" AFF TO FEED WORKSTATION. PROVIDE ONE CIRCUIT FOR EVERY TWO WORKSTATIONS TENANT TO PROVIDE CONNECTION TO THEIR OFFICE FURNITURE SYSTEM
- ⊙ABV ELECTRIC JUNCTION BOX MOUNTED ABOVE CEILING
- ⊙ FLOOR MOUNTED ELECTRIC JUNCTION BOX VERIFY LOCATIONS
- ⊙D FLOOR MOUNTED DATA/TELEPHONE JUNCTION BOX VERIFY LOCATIONS
- ⊙ SMOKE DETECTOR
- ⊙ CO2 CARBON DIOXIDE DETECTOR
- ⊙ HVAC THERMOSTAT
- ⊙ FIRE ALARM HORN/STROBE
- ⊙ FIRE ALARM PULL STATION
- ▬ ELECTRICAL PANEL
- \$ SINGLE POLE LIGHT SWITCH
- \$3 3 WAY LIGHT SWITCH
- \$ LIGHT SWITCH WITH DIMMER
- ⊙ TV OUTLET
- ⊙ NOTE: ALL EMERGENCY GENERATOR OR HAVE BATTERY BACKUP RATED FOR 90 MINUTES
- ⊙ NOTE: ALL EXIT SIGNS GENERATOR OR HAVE BATTERY BACKUP RATED FOR 90 MINUTES
- ⊙ EMERGENCY/EXIT LIGHT COMBO GENERATOR OR HAVE BATTERY BACKUP RATED FOR 90 MINUTES
- ⊙ SWITCH DISCONNECTE
- ⊙ EXHAUST FAN

NOTE 1:
NEW TELEPHONE/DATA OUTLETS IN NEW PARTITIONS ARE PROVIDED WITH EMPTY 1/2" CONDUIT ONLY, STUBBED 6" ABOVE THE CEILING. EXISTING PARTITIONS RECEIVE EMPTY J-BOXES ONLY (NO CONDUIT PROVIDED). FACE PLATES, JACKS & CABLING BY TENANT.

NOTE 2:
ALL ITEMS AND SYSTEMS ARE NEW EXCEPT WHERE INDICATED OTHERWISE. REFER TO THE FOLLOWING NOMENCLATURE CONCERNING EXISTING ITEMS OR SYSTEMS.

TYPE _____ G.E. _____						MAIN BUS 250 A.						
SERVICE 3Ø 4W						MAINS M.L.O.						
VOLTAGE 120/208						A.I.C. : 10,000						
PANEL "DA"												
(EXISTING PANEL)												
CONN. KVA	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.		CKT. NO.	REMARKS	WIRE	CONN. KVA	
1.08	1	20	1/2"	#12	EXISTING LOAD	1	**	2	EXISTING LOAD	#12 1/2"	1.50	
1.50	1	20	1/2"	#12	EXISTING LOAD	3		4	EXISTING LOAD	#12 1/2"	1.08	
1.08	1	20	1/2"	#12	EXISTING LOAD	5		6	EXISTING LOAD	#12 1/2"	1.20	
1.08	1	20	1/2"	#12	EXISTING LOAD	7		8	EXISTING LOAD	#12 1/2"	1.08	
1.08	1	20	1/2"	#12	EXISTING LOAD	9		10	EXISTING LOAD	#12 1/2"	1.50	
1.50	1	20	1/2"	#12	EXISTING LOAD	11		12	EXISTING LOAD	#12 1/2"	1.08	
1.08	1	20	1/2"	#12	EXISTING LOAD	13		14	EXISTING LOAD	#12 1/2"	1.20	
1.08	1	20	1/2"	#12	EXISTING LOAD	15		16	EXISTING LOAD	#12 1/2"	1.08	
1.08	1	20	1/2"	#12	EXISTING LOAD	17		18	EXISTING LOAD	#12 1/2"	1.08	
1.50	1	20	1/2"	#12	EXISTING LOAD	19		20	EXISTING LOAD	#12 1/2"	1.20	
1.08	1	20	1/2"	#12	EXISTING LOAD	21		22	EXISTING LOAD	#12 1/2"	1.08	
						23		24	DRYER	#10 1"	20	1.49
0.69	3	20	1"	#10	WASHER MACHINE	25		26				
						27		28	GENERAL LIGHTING	#12 1/2"	20	1.00
						29		30				
0.69	3	20	1"	#10	WASHER MACHINE	31		32	EXIST. AHU#1 TRASH RM	#12 1/2"	20	0.90
						33		34	EXISTING LOAD	#12 1/2"	20	1.20
1.20	2	20	1/2"	#12	AHU #2	35		36	EXISTING LOAD	#12 1/2"	20	1.08
						37		38	SPACE			
					SPACE	39		40				
					SPACE	41		42				
15.72	TOTAL											
TOTAL DEMAND LOAD : 34,470 VA --- 96 AMPS.												
FEEDER: 4 # 250 MCM CU, THW IN 2-1/2" COND.												
EXISTING TO REMAIN AS IS FIELD VERIFY												

** HVAC LOAD BASED ON HEATING MODE
* ALL 120V, 15 & 20 AMP CIRCUITS WILL BE ARC-FAULT CURRENT PROTECTED



NOTE 1: PROVIDE ONE(1) NEW HORN/STROBE TO MATCH BLDG. STANDARDS AND RELOCATED EXISTING THREE(3) HORN/STROBE AS SHOWN ON SHEET E-2

PARTIAL FIRE ALARM RISER DIAGRAM

NTS

FIRE ALARM SYMBOL LEGEND:

- ⊙ HORN/STROBE LIGHT TO MATCH BUILDING STD.
E EXISTING DEVICES
N NEW DEVICES

ALL NEW COMPONENTS SHALL BE U.L. APPROVED
ALL CONDUCTORS SHALL BE THWN COPPER NO. 14 AWG IN 1/2" COND. (MIN.)
EXISTING ALARM SYSTEM IS NON-POWER LIMITED.
FIELD VERIFY PREVIOUS SSTART THE WORK.

NOTES:
1. ALL 120V, 15 AND 20 AMP RECEPTABLES INSTALLED SHALL BE USED TAMPERRESISTANT RECEPTABLES PER NEC 408.11
2. ALL 15 AND 20 AMP, 120V AND 240V NON-LOCKING RECEPTABLES INSTALLED AT EXTERIOR SHALL BE WEATHER RESISTANT TYPE PER NEC 408.8
3. ALL 120V SINGLE PHASE, 15 & 20 AMP CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY ROOM, DINING ROOM, LIVING ROOM, SOL. BED ROOMS, SUN ROOM, RECREATION ROOM, CLOSETS, HALLWAYS OR SHOWER ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC FAULT CROUIT INTERRUPTER COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

BEILINSON
GOMEZ

ARCHITECTURE AAC01082
JOSE L. GOMEZ AR0015416
8101 BISCAYNE BLVD.
SUITE 309
MIAMI FL 33138-4064
TEL (305) 559-1290
FAX (305) 551-1740
jgomez@architects.com

ENERGY SERVICES, INC.
CONSULTING ENGINEERS
DESIGN, ANALYSIS, SPEC., LEED
MECH. ELECTR. PLUMBING
11500 SW 11th Ave., Suite 200
Miami, FL 33156
Tel: (305) 444-7775
Fax: (305) 444-7775
www.esinc.com

THE STANDARD HOTEL SPA
40 ISLAND AVENUE
MIAMI BEACH, FL 33139

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



1 09-30-13 CITY COMMENT
DATE REVISION

DWG. TITLE

ELECTRICAL
RISER AND DIAGRAM

SCALE

N.T.S.

PROJECT NO.

DATE

08-19-13

SHEET NUMBER

Electrical Plans Examiner

E-2

B1306508

40 ISLAND AV



Product Specifications - Written

Product Name: Splash! Semi-Portable Lift System

Part Number: 300-0000/EU

It shall be battery powered, comply with Americans With Disabilities Act Access Guidelines (ADAAG), and have a lifting capacity of 400 pounds. Product shall include battery, charger, battery console cover, waterproof control, stainless steel anchor socket with cover and spanner key, footrest and seat belt assembly.

- a. Manufacturer to provide technical support and assistance to confirm pool lift satisfies pool geometry or if another Splash! Model is more appropriate (Extended Reach #370-0000, Extended Reach Hi/Lo #385-0000, Extended Reach Spa #395-0000, Spa #375-0000, Hi/Lo #350-0000).
- b. Have a LINAK (approved for medical applications) screw/spline type actuator to provide a safe and stable stop at any point in the lifting cycle. Capable of:
 - i. Not only having a stopping point that is a minimum of 16 inches and a maximum of 19 inches measured from the deck to the top of the seat surface when the seat is in the raised position (accessibility guidelines), but also providing additional stopping points at various heights to accommodate users of all ages and abilities.
 - ii. Submerging the seat a minimum of 18" below the surface of the water.
- c. Configured to facilitate ease in user transfer within clear deck space of 36 inches deep starting 12 inches from the back end of the seat (Ref. ADAAG).
- d. Have a 24-volt gear motor to power side to side rotation to allow for ample clear deck space for transfer on both sides of the lift.
- e. Seat:
 - i. Width of 18.5 inches (ADAAG Requires 16 inches).
 - ii. Back that extends 24 inches high (ADAAG Requires 12 inches).
- f. Be structurally capable of providing a stable user transfer and pass a static load test equal to 1.5 times the rated load capacity.
- g. Metallic parts (stainless steel and aluminum) to be passivated, pretreated and powder coated using a 5-step process. The process is to be validated by samples undergoing a 4,000 hour Salt Fog Test (ASTM D1654), by a recognized independent laboratory, and achieve a rating of 10 (highest possible rating). (Note: The test is the equivalent of 10 years exposure to this harsh environment.)
- h. Have a Manufacturer's Warranty:
 - i. Frame – 3 Years (except powder coated finish)
 - ii. Electronic Components – 2 Years (except battery)
 - iii. Battery – 1 Year, Pro-rated (90 days – 100%, 91 to 365 days – 50%)

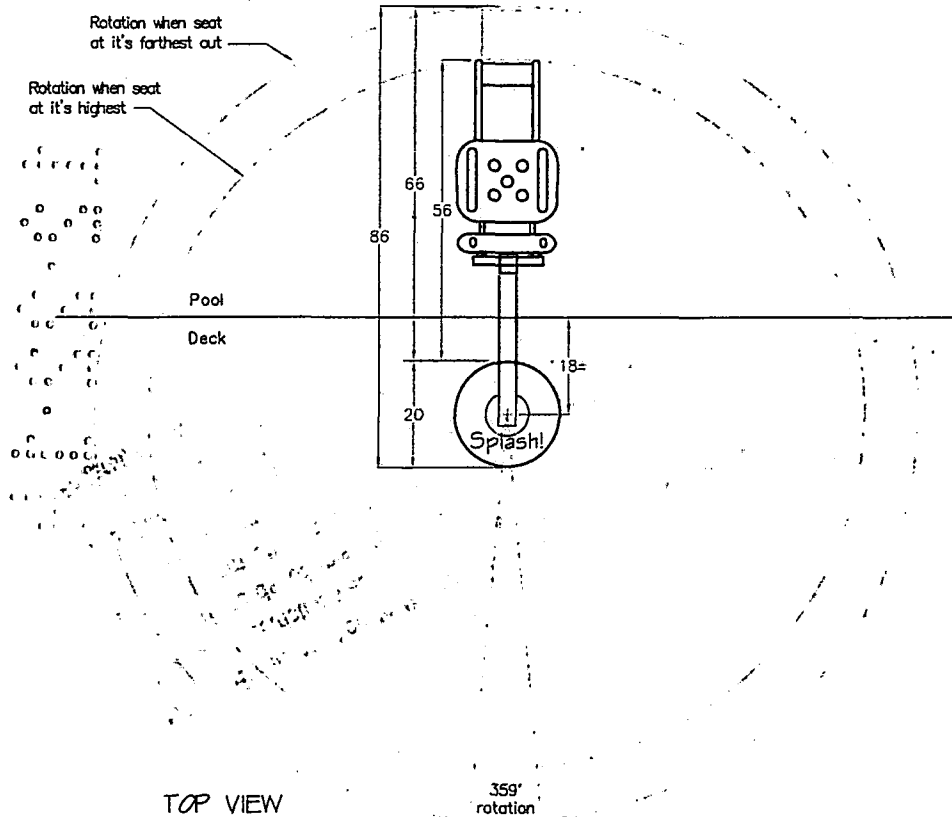
Have the following optional equipment:

Part #	Description	Part #	Description
900-2000	Stability Vest	170-1000	Arm Rest Assembly
500-1000	Spineboard Attachment	920-2000	Total Cover

Specification Number:			S.R. Smith P.O. Box 400, 1017 SW Berg Parkway Canby, Oregon 97013 Tel: (800) 824-4387 (503) 266-2231 Fax: (503) 166 4334 www.srsmith.com
Product Description:	Splash! Semi-Portable Lift System		
S.R. Smith Part Number:	300-0000/EU		
Revision:	B	Date: 08/09/13	
Written By:		Date:	
Approved By:		Date:	
Page 2 of 2	Proprietary and confidential: The information contained in this specification is the sole property of S.R. Smith LLC. Any reproduction in part or whole without the written consent of S.R. Smith LLC is prohibited.		

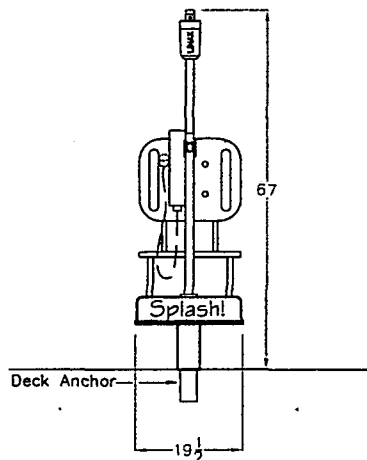


Product Specifications - Drawing

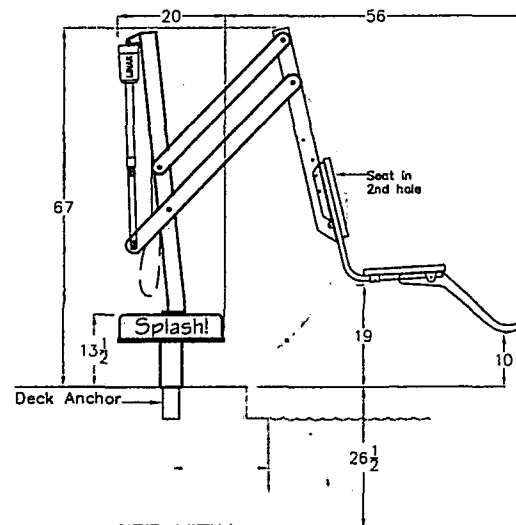


- NOTES:
1. DRAWINGS SHOW KEY VIEWS OF LIFT.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWINGS.

TOP VIEW



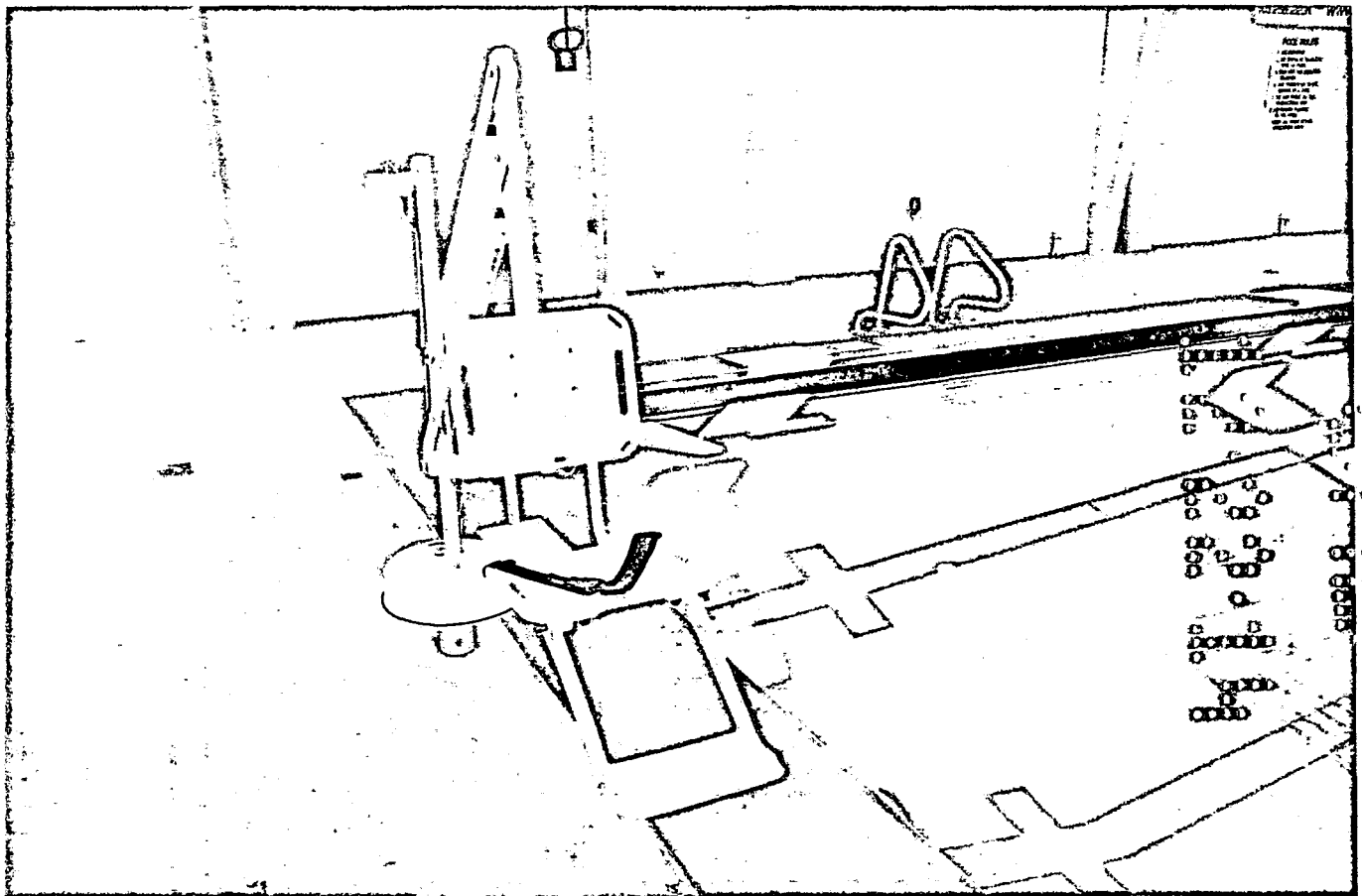
BACK VIEW



SIDE VIEW

Specification Number:			
Product Description:	Splash! Semi-Portable Lift System		
S.R. Smith Part Number:	300-0000/EU		
Revision:	B	Date:	08/09/13
Written By:		Date:	
Approved By:		Date:	
Page 1 of 2	Proprietary and confidential: The information contained in this specification is the sole property of S.R. Smith LLC. Any reproduction in part or whole without the written consent of S.R. Smith LLC is prohibited.		

S.R. Smith
P.O. Box 400, 1017 SW Berg Parkway
Canby, Oregon 97013
Tel: (800) 824-4387 (503) 266-2231
Fax: (503) 166 4334
www.srsmith.com



splash-semi-portable-lift-
system-specifications-0...

deck profile sheet pool lifts

1. Preferred Lift: ☐ PAL ☒ Splash! ☐ aXs

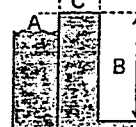
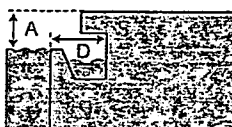
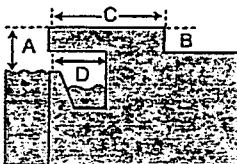
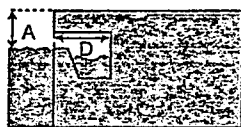
2. Gutter Configuration:

☐ Fully recessed gutter

☐ Fully recessed gutter w/ parapet

☐ Partially recessed gutter

☐ Above ground spa

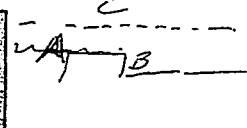
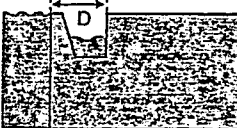
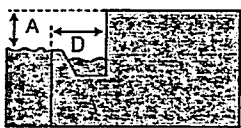


☐ Rollout gutter

☐ Flush gutter and deck w/ or w/o bullnose

☐ Standard backyard pool

☒ Other (please draw)



3. Deck Material (check one): ☐ Concrete ☒ Pavers

4. Distance from pool deck to water line (A): 0

If applicable:

5. Height of curb (B): 6

6. Width of curb (C): 26

7. Width of gutter (D): —

8. Decorative stone setback: —

The pool lift ordered is compatible with poolside configuration and measurements of the pool deck on which it will be installed.

Signature R. Perez

Print Name Ray Perez

Title owner

Date 12-10-14

Note: As pools may vary, please insert accurate measurements for your pool in the space provided. Manufacturer will configure the lift to match your unique poolside specifications. Order cannot be processed without the required fields entered above.

Fax this completed form to 503.266.4334 or email to sales@srsmith.com

Project Name

HORNER Express

City

miami

State

FL

Project Contact Name

NATIONAL HOTEL

Email

LS Pool

Phone

S.R.Smith Customer Name

Brilliant Blue LLC

PO Number

Contact Name

Ray Perez

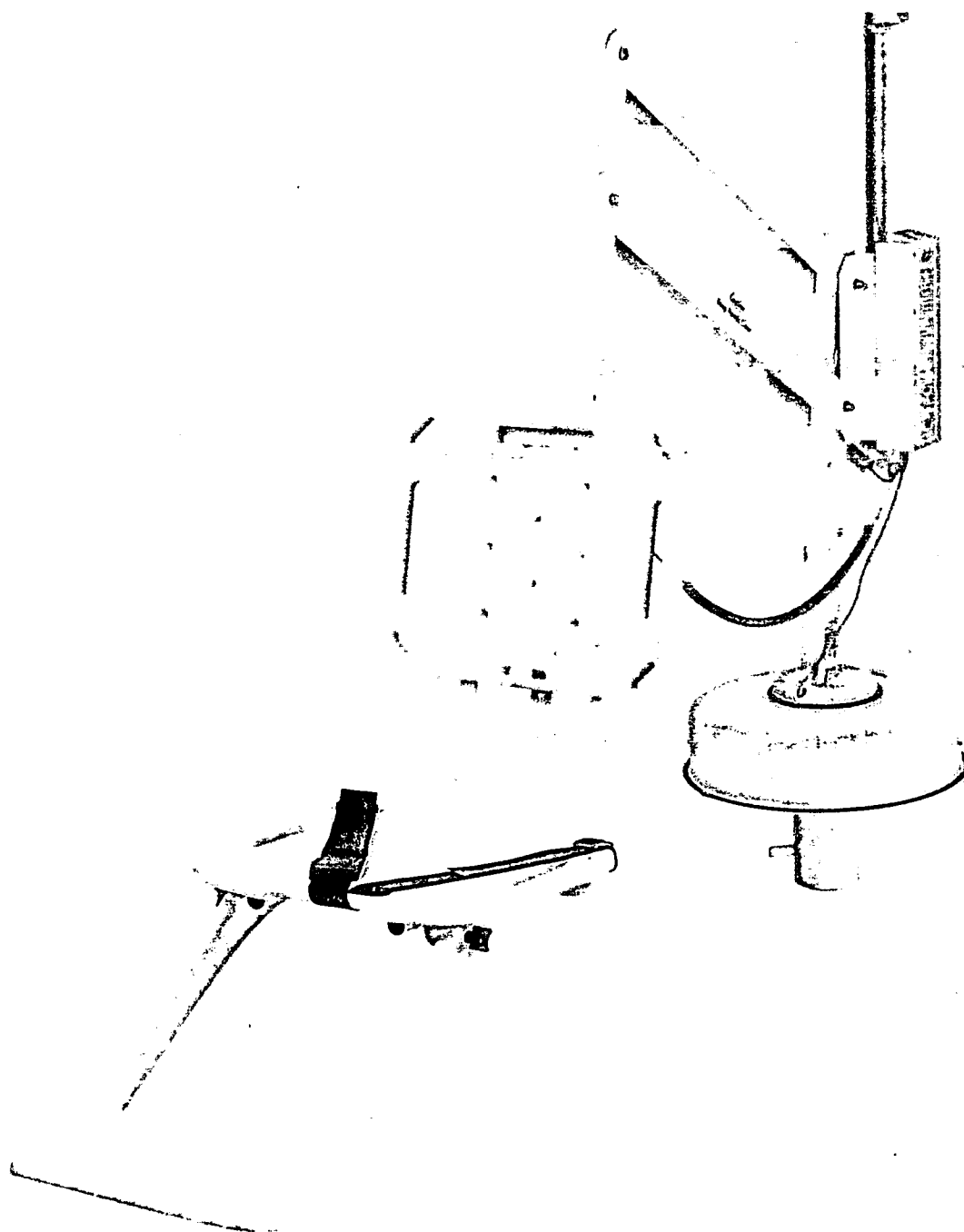
Email

rperez@BrilliantBluePools.com

Phone

toll free 800.824.4387
fax 503.266.4334
web www.poollifts.com

SR.Smith™



1
 2
 3
 4
 5
 6
 7
 8
 9
 10
 11
 12
 13
 14
 15
 16
 17
 18
 19
 20
 21
 22
 23
 24
 25
 26
 27
 28
 29
 30
 31
 32
 33
 34
 35
 36
 37
 38
 39
 40
 41
 42
 43
 44
 45
 46
 47
 48
 49
 50
 51
 52
 53
 54
 55
 56
 57
 58
 59
 60
 61
 62
 63
 64
 65
 66
 67
 68
 69
 70
 71
 72
 73
 74
 75
 76
 77
 78
 79
 80
 81
 82
 83
 84
 85
 86
 87
 88
 89
 90
 91
 92
 93
 94
 95
 96
 97
 98
 99
 100
 101
 102
 103
 104
 105
 106
 107
 108
 109
 110
 111
 112
 113
 114
 115
 116
 117
 118
 119
 120
 121
 122
 123
 124
 125
 126
 127
 128
 129
 130
 131
 132
 133
 134
 135
 136
 137
 138
 139
 140
 141
 142
 143
 144
 145
 146
 147
 148
 149
 150
 151
 152
 153
 154
 155
 156
 157
 158
 159
 160
 161
 162
 163
 164
 165
 166
 167
 168
 169
 170
 171
 172
 173
 174
 175
 176
 177
 178
 179
 180
 181
 182
 183
 184
 185
 186
 187
 188
 189
 190
 191
 192
 193
 194
 195
 196
 197
 198
 199
 200
 201
 202
 203
 204
 205
 206
 207
 208
 209
 210
 211
 212
 213
 214
 215
 216
 217
 218
 219
 220
 221
 222
 223
 224
 225
 226
 227
 228
 229
 230
 231
 232
 233
 234
 235
 236
 237
 238
 239
 240
 241
 242
 243
 244
 245
 246
 247
 248
 249
 250
 251
 252
 253
 254
 255
 256
 257
 258
 259
 260
 261
 262
 263
 264
 265
 266
 267
 268
 269
 270
 271
 272
 273
 274
 275
 276
 277
 278
 279
 280
 281
 282
 283
 284
 285
 286
 287
 288
 289
 290
 291
 292
 293
 294
 295
 296
 297
 298
 299
 300
 301
 302
 303
 304
 305
 306
 307
 308
 309
 310
 311
 312
 313
 314
 315
 316
 317
 318
 319
 320
 321
 322
 323
 324
 325
 326
 327
 328
 329
 330
 331
 332
 333
 334
 335
 336
 337
 338
 339
 340
 341
 342
 343
 344
 345
 346
 347
 348
 349
 350
 351
 352
 353
 354
 355
 356
 357
 358
 359
 360
 361
 362
 363
 364
 365
 366
 367
 368
 369
 370
 371
 372
 373
 374
 375
 376
 377
 378
 379
 380
 381
 382
 383
 384
 385
 386
 387
 388
 389
 390
 391
 392
 393
 394
 395
 396
 397
 398
 399
 400
 401
 402
 403
 404
 405
 406
 407
 408
 409
 410
 411
 412
 413
 414
 415
 416
 417
 418
 419
 420
 421
 422
 423
 424
 425
 426
 427
 428
 429
 430
 431
 432
 433
 434
 435
 436
 437
 438
 439
 440
 441
 442
 443
 444
 445
 446
 447
 448
 449
 450
 451
 452
 453
 454
 455
 456
 457
 458
 459
 460
 461
 462
 463
 464
 465
 466
 467
 468
 469
 470
 471
 472
 473
 474
 475
 476
 477
 478
 479
 480
 481
 482
 483
 484
 485
 486
 487
 488
 489
 490
 491
 492
 493
 494
 495
 496
 497
 498
 499
 500
 501
 502
 503
 504
 505
 506
 507
 508
 509
 510
 511
 512
 513
 514
 515
 516
 517
 518
 519
 520
 521
 522
 523
 524
 525

C

From: Ray Perez rperez@brilliantbluepools.com
Subject: No Subject
Date: December 10, 2014 at 4:43 PM
To: juantruss@aol.com
Cc: Jay Feilen jfeilen@brilliantbluepools.com, Mike McCartney mmccartney@brilliantbluepools.com

Jc,

Here is the info you need for the National Hotel.

The first lift to be installed will be the one on the Small Pool.

I'll get you the \$1250.00 on Friday.

Please get the paperwork for them to sign asap.

The owner is in town and can sign it fast. Remember to get the permits for both pools.

Thanks

Thanks

Ray

Floor Plan Survey of Pool
Area 295-303.pdf



ORDER NO.14473: APRIL 23, 2009, SURVEY UPDATED AND REVISED TO SHOW "SOVEREIGNTY SUBMERGED LANDS LEASE RENEWAL AND MODIFICATION TO REFLECT CHANGE IN UPLAND OWNERSHIP AND CLARIFY USE" FROM THE BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA TO FERRARO LLC, A DELAWARE LIMITED LIABILITY COMPANY AS RECORDED IN ORB 28549, PAGES 2203-2218, DATED 09/03/2008, THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LEGAL DESCRIPTION:
A PARCEL OF SOVEREIGNTY SUBMERGED LAND IN SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, IN BISCAYNE BAY, MIAMI-DADE COUNTY, CONTAINING 15,338 SQUARE FEET, MORE OR LESS, AS IS MORE PARTICULARLY DESCRIBED AND SHOWN ON ATTACHMENT A, DATED JULY 29, 1998, COMMENCE MAY 6, 2008, EXPIRE MAY 6, 2013.

REVISIONS:

ORDER NO. 13086: REVISED THIS 30th DAY OF AUGUST, 2002 TO UP-DATE AND RE-CERTIFY AS SHOWN.

ORDER NO. 13269: REVISED MAY 21, 2003, PER REVIEW OF LAWYER'S TITLE INSURANCE COMMITMENT NO. 52123456 LA. THIS SURVEY CERTIFIED TO THE FOLLOWING:
1) AB GREEN LIDO, LLC, A FLORIDA LIMITED LIABILITY COMPANY
2) LAWYERS TITLE INSURANCE CORPORATION
3) GREENBERG TRAUB, P.A.
4) MELLON UNITED NATIONAL BANK, A NATIONAL BANKING ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS.

ORDER NO. 13289: REVISED THIS 14th DAY OF JULY, 2003 TO SHOW ADDITIONAL ELEVATIONS. REF: F.B. 490-A PGS: 74-76

ORDER NO. 13327: REVISED SEPT. 08, 2003 TO UP-DATE SURVEY & RE-CERTIFY.

ORDER NO. 13631: REVISED DEC. 22, 2004, RE-CERTIFY TO THE ABOVE PARTIES LAWYERS TITLE INSURANCE COMPANY POLICY NO G 51-0004464, EFFECTIVE DATE NOV. 12, 2004

ORDER NO. 14010: REVISED JULY 25, 2006, UP-DATE SURVEY

ORDER NO. 14326: REVISED FEBRUARY 07, 2008 TO UPDATE SURVEY & SHOW SUBMERGED LAND LEASE.

ORDER NO. 14343: REVISED MARCH 26, 2008, RECOVER CORNERS, UPDATE SURVEY

ORDER NO. 14473: REVISED APRIL 28, 2009, UPDATE SURVEY

ORDER NO. 14601: REVISED JUNE 23, 2010, UPDATE SURVEY

LEGEND:

A.C. AIR CONDITIONER
BLDG. BUILDING
C.L. CENTER LINE
C.B.S. CONCRETE BLOCK STUCCO
CONC. CONCRETE
ENC. ENCROACHMENT
E/P. EDGE OF PAVEMENT
FD. FOUND
IP. IRON PIPE
N&D. NAIL & DISK
O.H. OVERHANG
P. PROPERTY LINE
R. REGISTERED LAND SURVEYOR No.
R/W. RIGHT OF WAY
WM. WATER METER

SKETCH OF SURVEY

"BELLE ISLE VILLAS, PART 2"
PB 42 PG 100

A. R. TOUSSAINT & ASSOCIATES, INC.
LAND SURVEYORS
FLORIDA CERTIFICATE OF
AUTHORIZATION No. LB-273
620 N.E. 126 ST. NORTH MIAMI, FLORIDA 33161

ORDER No. 12957 DATE: APRIL 25, 2002
FB: 490 A PGS: 62-64
FB:504 PG: 46
FB:508 PG: 13-17
ORDER No. 13631
FB: 508 PGS: 78-80
ORDER No. 14010
FB: 531 PGS: 68
ORDER No. 14326
FB: 531 PGS: 68
ORDER No. 14473
FB: 531 PGS: 76
ORDER No. 14601
DATE: DECEMBER 22, 2004
DATE: JULY 25, 2006
DATE: FEBRUARY 07, 2008
DATE: APRIL 28, 2009
DATE: JUNE 23, 2010

ENCROACHMENTS

PROPERTY LINE: C.B.S. ENTRANCE CANOPY SOUTH PROPERTY LINE
WOOD DOCK NORTH PROPERTY LINE
BUILDING SET-BACK LINE: 3-STY LOBBY BUILDING.

SURVEYOR'S NOTES:

- ALL ELEVATIONS, SHOWN HEREON, ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929 (N.G.V.D.) 29
- BEARINGS ARE ASSUMED CENTERLINE OF ISLAND AVENUE EQUAL "DUE EAST BEARING".

(3) FEDERAL FLOOD INSURANCE DATA:
COMMUNITY NO. 120651
MAP INDEX OF MIAMI 202500184J
PANEL 0184-4011
SUFFIX Prevention Division
FIRM MAP DATE: 07-17-95
REVISED PANEL DATE: 05-07-94
ZONE: "AE"
BASE FLOOD ELEV. 9.0 FEET (NGVD)

FLOOR ELEVATION INFORMATION:

FRONT BUILDING: LOBBY ELEV. 6.25'; RESTAURANT ELEV. 4.87';
SECOND FLOOR ELEV. 17.00'; THIRD FLOOR ELEV. 30.28'; WEST
WING FIRST FLOOR ELEV. 6.40'; SECOND FLOOR ELEV. 16.52'; EAST
WING FIRST FLOOR ELEV. 6.46'; SECOND FLOOR ELEV. 16.56'.

ZONING: "RM-2" RESIDENTIAL MULTIFAMILY MEDIUM INTENSITY.
BUILDING SETBACK REQUIREMENTS: FRONT 20 FEET
INTERIOR SIDES: 5 FEET OR 5% OF LOT WIDTH, WHICHEVER IS
GREATER; REAR-OCEAN FRONT: 5 FEET SEE CODE SUBDIVISION
IV, SECTION 142-218.

NOTE:

BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND
OF THE STATE OF FLORIDA SOVEREIGNTY SUBMERGED LANDS LEASE
(NO. 13000050T) RECORDED IN O.R. BOOK 19206 PG. 2753, THIS
LEASE COVERS 44.0 FEET FROM SEAWALL, FOR A PERIOD OF 5 YEARS
FROM MAY 6, 1998.
(NO. 13000050T) RECORDED IN O.R. BOOK 19206 PG. 2753, THIS
AREA: 103,978 SQ. FT. OR 2.387 AC. MEASURED
TO FACE OF SEAWALL CAP.

LEGAL DESCRIPTION:

PARCEL 1:
LOTS 39, 40, 41, AND 42, "AMENDED PLAT OF BELLE ISLE", ACCORDING TO
THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 11 OF THE
PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 2:

LEASEHOLD ESTATE CREATED UNDER THAT CERTAIN SOVEREIGNTY SUBMERGED
LANDS LEASE RENEWAL AND MODIFICATION TO REFLECT CHANGE IN UPLAND
OWNERSHIP, LEASE NO. 13000050T, BY AND BETWEEN THE BOARD OF
TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF
FLORIDA, LESSOR, AND AB GREEN LIDO, LLC, A FLORIDA LIMITED LIABILITY
COMPANY, LESSEE, RECORDED JULY 22, 2003 IN OFFICIAL RECORDS BOOK
21447, PAGE 3911, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,
FLORIDA, DEMISING THE PREMISES DESCRIBED THEREIN.

A PARCEL OF SOVEREIGN SUBMERGED LAND IN SECTION 33, TOWNSHIP 53
SOUTH, RANGE 42 EAST, IN BISCAYNE BAY, MIAMI-DADE COUNTY, CONTAINING
15,338 SQUARE FEET, MORE OR LESS, AS IS MORE PARTICULARLY DESCRIBED
AND SHOWN ON ATTACHMENT A, DATED JULY 29, 1998.

FOLIO NO.: 02-3233-004-0090

ADDRESS: 40 ISLAND AVENUE
MIAMI BEACH, FLORIDA 33139-1355

SURVEYOR'S CERTIFICATION:

WE HEREBY CERTIFY THAT THIS SURVEY TO IS TRUE AND
CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS
RECENTLY SURVEYED AND PLATTED UNDER OUR DIRECTION AND
THAT THIS SURVEY COMPLES WITH THE MINIMUM TECHNICAL
STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA,
UNDER CHAPTER 610.17-6, FLORIDA ADMINISTRATIVE CODE,
CHAPTER 122.00, FLORIDA STATUTES.

BUILDING: NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE

ZONING:

PLUMBING: A.R. TOUSSAINT & ASSOCIATES, INC.

ELECTRICAL: PRES.

MECHANICAL: PRES.

FIRE PREVENTION: PRES.

FLOOD: PRES.

PUBLIC WORKS: PRES.

STRUCTURAL: PRES.

ELEVATOR: PRES.

REVISED: 9-08-03
REVISED: 7-14-03
REVISED: 5-21-03
REVISED: 8-30-02
REVISED: 7-25-02
REVISED: 2-07-02
REVISED: 3-26-02
REVISED: 4-28-02
REVISED: 6-23-11

B150158~~79~~

1677 Collins Ave

000000

472021E

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
(305) 673-7610 Ext. 1436

Certificate of Completion

CERTIFICATE NO.: BCC07019

12-04-2006

Status: **APPROVED**

Site Address: 40 ISLAND AV MBCH

Parcel #: 32330040090

Class Code: R1

Date Applied: 11/01/2006
Date To Expire:

Date Approved: 12/04/2006
Extended:

Applicant: WAHAB CONSTRUCTION CO
818 SW 4TH AVE-2ND FLR
MIAMI, FL
33130

Owner: AB GREEN LIDO LLC
40 ISLAND AV.
MIAMI BCH FL

Issued For: CC FOR INT RENOVATION/TOTAL 40 ROOMS/EAST WING

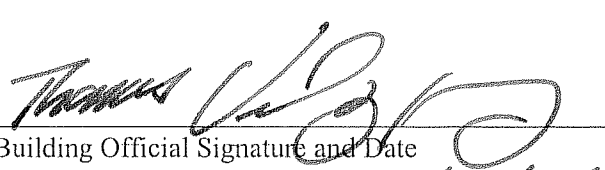
Building Permit #: B0304036

Temporary Expire Date:
Temporary/Partial Description:

Thsi is to certify that all work done in reference to the permit mentioned on this document have been completed according to the **SOUTH FLORIDA BUILDING CODE/ FLORIDA BUILDING CODE** and has been given final approval.

Applicable for Temporary Certificates Only

1. This **APPLICANT** must do everything necessary to obtain a **FINAL CERTIFICATE of COMPLETION** before the Expiration Date of this document.
2. This Certificate may be revoked by the Building Official upon 24 hours notice.
3. Special condition(s) may be applicable.


Building Official Signature and Date
THOMAS VELAZQUEZ

12/4/06

CITY OF MIAMI BEACH
BUILDING DEPARTMENT
1700 CONVENTION CENTER DR
2ND FLOOR - CITY HALL
MIAMI BEACH, FLORIDA 33139
(305) 673-7610

COMPLETE DESCRIPTION

DATE: 12-04-2006

PERMIT NUMBER: **BCC07019**

STATUS: APPROVED

JOB SITE ADDRESS: **40 ISLAND AV MBCH**

CONTRACTOR: WAHAB CONSTRUCTION CO

OWNER: AB GREEN LIDO LLC

DESCRIPTION

CC FOR INT RENOVATION/TOTAL 40 ROOMS/EAST WING CONSTRUCTION

BUILDING DEPARTMENT
1700 Convention Center Drive, 2nd Floor
Miami Beach, FL 33139
(305) 673-7610

LETTER OF BUILDING RECERTIFICATION
IN ACCORDANCE WITH ORDINANCE SECTION 8-11(f)

02-14-2007

AB GREEN LIDO LLC
% CONTROLLER
40 ISLAND AVE 331391355

RE: 40 ISLAND AV MBCH
Parcel #: 32330040090
Activity #: BR060058

Dear Owner:

This department has received the structural and electrical reports dated 02/11/2007 stating that an Architect/Engineer has examined the above referenced building and that he/she recommends it is structurally and electrically safe for its continued occupancy.

Based on acceptance of this report, we hereby grant this LETTER OF RECERTIFICATION for the above subject premises in accordance with Metropolitan Miami-Dade County Ordinance Section 8-11(f).

The expiration date 02/11/2017, of this approval as stated in said Ordinances, is 10 years from 02/11/2007. This recertification letter does not exclude the building from subsequent inspections as deemed necessary by the Building Official, as specified in Metropolitan Miami-Dade County Section 8-5.

As a routine matter, and in order to avoid possible misunderstanding, nothing in this letter should be construed directly, or indirectly, as a guarantee of the safety or any portion of the structure. However, based on the terms stated in the Ordinance Section 8-11(f), continued occupancy of the building will be permitted in accordance with the minimum procedural guidelines for recertification A/E structural report on file with this office.

Sincerely,


Thomas Velazquez
Director of Building Department

2/14/07

Rodriguez & Anglin Professional Design, Inc.
12735 SW 42 Terrace
Miami, FL 33175
Phone: 305-510-7322
Fax: 305-222-8855

February 11, 2007

*City of Miami Beach Building Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139
Telephone: 305-673-7610*

Attention: Building Dept. Official

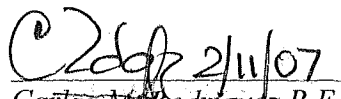
*In reference to: 40 Year Electrical Re-certification
The Standard Hotel
40 Island Avenue
Miami Beach, Florida 33139-1355*

On February 8, 2007, we performed a site investigation of the above-mentioned address to provide a 40-year electrical re-certification. To the best of my knowledge and ability based on the inspection carried out, the building is electrically safe for continual use.

I recommend the building for the 40 years electrical re-certification.

If you have any additional question or comments, please give me a call at (305) 510-7322.

Sincerely,


Carlos M. Rodriguez P.E.
Electrical Engineer
P.E. # 55488

**MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING
ELECTRICAL RECERTIFICATION**

INSPECTION COMMENCED
DATE: February 2, 2007

INSPECTION COMPLETED:
DATE: February 8, 2007

INSPECTION MADE BY:
SIGNATURE: [Signature] 2/11/07
PRINT NAME: Carlos M. Rodriguez, PE
TITLE: Electrical Engineer

MUST BE SIGNED AND SEALED
BY ARCHITECT OR ENGINEER

ADDRESS: Rodriguez & Anglin Prof. Design
12735 SW 42 Terraces
Miami, Florida 33175
Phone: (305) 510-7322

1. DESCRIPTION OF STRUCTURE:

- a. Name of Title: 40 Island Avenue
- b. Street Address: 40 Island Avenue, Miami Beach, Florida 33139-1355
- c. Legal Description: 33 53 42 BELLE ISLE PB 5-11 LOTS 39-40-41 & 42 AND
PROP INT IN & TO COMMON ELEMENTS NOT DEDICATED TO PUBLIC
LOT SIZE 101500 SQUARE FEET.
- d. Owner's Name: AB GREEN LIDO LLC
- e. Owner's Mail Address: 40 Island Avenue
Miami Beach, FL 33139-1355
- f. Building Official Folio Number: 02-3233-004-0090
- g. Building Code Occupancy Classification: Medium density residential.
- h. Present Use: Hotel.
- i. General Description, type of construction, size, number of stories and special features: Main Building, three stories. Concrete/masonry exterior walls with interior wood framing. West wing, two stories concrete/masonry exterior walls with roof wood framing. East wing, one-story concrete/masonry exterior walls with roof wood framing.
- j. Additions to original structures: No additions noted to structures.

2. **ELECTRIC SERVICE:**

- 2/11/07
- a. Size: Amperage (1200) Fuses () Breakers (X)
b. Phase: Three Phase (X) Single Phase ()
c. Condition: Good (X) Fair () Requires Correction ()
d. Comments: MDP-1. Located at Electrical Room ground floor main building north east corner.
- e. Size: Amperage (800) Fuses () Breakers (X)
f. Phase: Three Phase (X) Single Phase ()
g. Condition: Good (X) Fair () Requires Correction ()
h. Comments: MDP-2. Located at Electrical Room ground floor main building north east corner.
- i. Size: Amperage (500) Fuses () Breakers (X)
j. Phase: Three Phase (X) Single Phase ()
k. Condition: Good (X) Fair () Requires Correction ()
l. Comments: MDP. Located at Electrical Room ground floor west wing building.
- m. Size: Amperage (600) Fuses (X) Breakers ()
n. Phase: Three Phase (X) Single Phase ()
o. Condition: Good (X) Fair () Requires Correction ()
p. Comments: Ltg. Main disconnect. Located at Electrical Room east wing NE pass way.

3. **METER AND ELECTRIC ROOM:**

- a. Clearances: Good (X) Fair () Requires Correction ()
b. Comments: Meter located at electrical room east wing NE pass way. There are another three electrical rooms within the premises. On

4. **GUTTERS:**

- a. Location: Good (X) Requires Repair ()
b. Taps and Fills: Good (X) Requires Repair ()
c. Comments:

5. **ELECTRICAL PANELS:**

- a. Panel # (EL) Location: Electrical Room east wing building NE pass way.
Good (X) Needs Repair ()
Panel at 120/208v, MCB 125 Amps, 3 ph, 4 wires.
- b. Panel # (EC) Location: Electrical Room east wing building NE pass way.
Good (X) Needs Repair ()
Panel at 120/208v, MCB 125 Amps, 3 ph, 4 wires.
- c. Panel # (WJ) Location: West wing building pass way first floor.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.

02698
2/11/07

- d. Panel # (WA) Location: West wing building pass way second floor.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 125 Amps, 3 ph, 4 wires.
- e. Panel # (WB) Location: West wing building.
Good (X) Needs Repair ()
Panel at 120/208v, 3 ph, 4 wires.
- f. Panel # (WC) Location: Electrical room west wing building first floor.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- g. Panel # (WF) Location: Electrical room west wing building first floor.
Good (X) Needs Repair ()
Panel at 120/208v, 3 ph, 4 wires.
- h. Panel # (WG) Location: West wing building.
Good (X) Needs Repair ()
Panel at 120/208v, 3 ph, 4 wires.
- i. Panel # (WL) Location: Electrical room west wing building first floor.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- j. Panel # (MDP) Location: Electrical room west wing building first floor.
Good (X) Needs Repair ()
Panel at 120/208v, MCB 500 Amps, 3 ph, 4 wires.
- k. Panel # (EN) Location: Electrical room east wing building first floor SE pass way.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- l. Panel # (ES) Location: Electrical room east wing building first floor SE pass way.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- m. Panel # (P) Location: Pool pump house.
Good (X) Needs Repair ()
Panel at 120/208v, MCB 225 Amps, 3 ph, 4 wires.
- n. Panel # (PL) Location: Pool pump house.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- o. Panel # (DA) Location: Corridor from bar to kitchen.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.

C269A
2/11/07

- p. Panel # (DB) Location: Corridor from bar to kitchen.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- q. Panel # (K) Location: Kitchen.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- q. Panel # (K-1) Location: Kitchen.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- r. Panel # (A) Location: Office behind front desk.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- s. Panel # (B) Location: Office behind front desk.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 250 Amps, 3 ph, 4 wires.
- t. Panel (MDP-1) Location: Electrical room main building.
Good (X) Needs Repair ()
Panel at 120/208v, MCB 1200 Amps, 3 ph, 4 wires.
- u. Panel (MDP-2) Location: Electrical room main building.
Good (X) Needs Repair ()
Panel at 120/208v, MCB 800 Amps, 3 ph, 4 wires.
- v. Panel (DP) Location: Electrical room main building.
Good (X) Needs Repair ()
Panel at 120/208v, MLO 800 Amps, 3 ph, 4 wires.
- w. Panel (A3) Location: Third floor main building.
Good (X) Needs Repair ()
Panel at 120/208v, 3 ph, 4 wires.
- x. Panel (C3) Location: Third floor main building.
Good (X) Needs Repair ()
Panel at 120/208v, 3 ph, 4 wires.
- y. Comments:

02667
2/11/07

6. BRANCH CIRCUITS:

- a. Identified: Yes (☒) Must be Identified ()
b. Conductors: Good (☒) Deteriorated () Must be Replaced ()
c. Comments:

7. GROUNDING OF SERVICE:

- a. Condition: Good (☒) Repairs Required ()
b. Comments: Grounding system to grounding rods and C.W.P.

8. GROUNDING OF EQUIPMENT:

- a. Condition: Good (☒) Repairs Required ()
b. Comments:

9. SERVICE CONDUITS / RACEWAYS:

- a. Condition: Good (☒) Repairs Required ()
b. Comments:

10. SERVICE CONDUCTORS AND CABLES:

- a. Condition: Good (☒) Repairs Required ()
b. Comments: One set of 4 # 600 MCM MTW in each of three 4"C. for MDP-1.

c. Condition: Good (☒) Repairs Required ()
d. Comments: One set of 4 # 600 MCM MTW in each of two 4"C. for MDP-2.

e. Condition: Good (☒) Repairs Required ()
f. Comments: One set of 4 # 600 MCM THWN in one 4"C. for MDP.

g. Condition: Good (☒) Repairs Required ()
h. Comments: Two sets of 4 # 350 MCM TW for Ltg. Main Disconnect.

11. TYPES OF WIRING METHODS:

- a. Condition:
Conduit Raceways: Good (☒) Repairs Required ()
Conduit PVC: Good () Repairs Required ()
NM Cable: Good () Repairs Required ()
BX Cable: Good () Repairs Required ()

12. FEEDER CONDUCTORS:

- a. Condition: Good (☒) Repairs Required ()
b. Comments:

0249
2/11/07

13. EMERGENCY LIGHTING:

- a. Condition: Good (X) Repairs Required ()
b. Comments: Battery back up type.

14. BUILDING EGRESS ILLUMINATION:

- a. Condition: Good (X) Repairs Required ()
c. Comments:

15. FIRE ALARM SYSTEM:

- a. Condition: Good (X) Repairs Required ()
b. Comments: Fire Alarm Control Panel Notifier AFP-200, fully addressable. Located at main building behind front desk. Building fully sprinklered.

16. SMOKE DETECTORS:

- a. Condition: Good (X) Repairs Required ()
b. Comments:

17. EXIT LIGHTS:

- a. Condition: Good () Repairs Required ()
b. Comments: Battery back up type.

18. EMERGENCY GENERATOR:

- a. Condition: Good () Repairs Required ()
b. Comments: N/A.

19. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

- a. Condition: Good () Repairs Required ()
b. Comments: N/A

20. OPEN OR UNDERCOVER PARKING SURFACE AND SECURITY LIGHTING:

- a. Condition: Good () Repairs Required ()
b. Comments: N/A

02607
2/11/07

21. SWIMMING POOL WIRING:

a. Condition: Good (X)
b. Comments:

Repairs Required ()

22. WIRING OF MECHANICAL EQUIPMENT:

a. Condition: Good (X)
b. Comments:

Repairs Required ()

23. GENERAL ADDITIONAL COMMENTS:

ACB2 Engineering Inc.
Engineering & Construction Services
P.O. Box 823612
Pembroke Pines FL 33082
Dade: 786-286-7574 Broward: 954-450-3219
antonio2@stis.net

February 12, 2007

City of Miami Beach
Building Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, FL 33139

Re: The Standard Hotel located at 40 Island Avenue, Miami Beach, FL 33139

To Building Official:

A 40 years structural re-certification inspection was made to the above referenced property on February 9, 2007. All the required structural elements were visually inspected as per the Minimum Inspection Procedural Guidelines for Building's Structural Re-certification (copy attached).

This letter is my certification that to the best of my knowledge and ability, the referenced hotel buildings are structurally safe for continued use with the present occupancy.

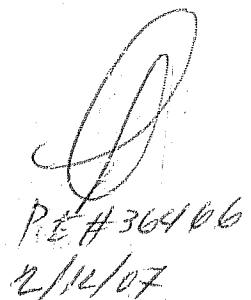
In order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability; the report attached to this letter represents an accurate appraisal of the present condition of the buildings based upon careful evaluation of observed conditions, to the extent reasonably possible.

Respectfully,

ACB2 Engineering Inc.



Antonio Acevedo, P.E., CGC
President



PE #36406
2/12/07

**MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING
STRUCTURAL RECERTIFICATION**

1. Description of Structure:

- a. Name of title: THE STANDARD HOTEL
- b. Street address: 40 ISLAND AVE. MIAMI BEACH, FL 33139
- c. Legal description: 33 53 42 BELLE ISLE PDS-11 LOTS
39-40-41 & 42 AND PROP INT IN & TO COMMON ELEMENTS
NOT DEDICATED TO PUBLIC LOT SIZE 101,500 SQUARE FEET
- d. Owner's name: THE STANDARD HOTEL/AB GREENLID LLC
- e. Owner's mailing address: 40 ISLAND AVE MIAMI BEACH, FL 33139
- f. Building Official Folio Number: 023233004 0090
- g. Building Code Occupancy Classification: MEDIUM DENSITY RESIDENTIAL
- h. Present use: HOTEL
- i. General description, type of construction, size, number of stories, and special features. THE HOTEL HAS 104 UNITS. THERE ARE 3 BUILDINGS
ONE BUILDING IS 3 STORIES, ANOTHER BUILDING (WEST WING)
IS 2 STORIES AND THIRD BUILDING IS ONE STORY (EAST WING)
ALL BUILDINGS ARE MASONRY & REINFORCED CONCRETE ELEMENTS, THE
3 LEVEL BUILDING HAS LOBBY, DINNING, KITCHEN SERVICE AREA, SPA & GYM.
AND OFFICE. THE OTHER TWO BUILDINGS ARE ROOMS. THERE IS A JAZZ BOAT POOL DECK
- j. Additions to original structure: NONE OBSERVED

2. Present Condition of Structure:

- a. General alignment (note good, fair, poor, explain if significant)
1. Bulging: I did NOT OBSERVE BULGING
2. Settlement: " SETTLEMENT
3. Defections: " DEFLECTIONS
4. Expansion: " EXPANSIONS
5. Contraction: " CONTRACTIONS

- b. Portions showing distress (note, beams, columns, structural walls, floors, roofs, other).

I did NOT observe AREAS with distress.

- c. Surface conditions - describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration & stains.

BUILDINGS APPEAR RECENTLY PAINTED, I did NOT observe CRACKS OF CONCERN OR SIGNS OF MOISTURE PENETRATION SPALLING OR PEELING.

- d. Cracks - note location in significant members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1 mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm.

ONLY MINOR HAIRLINE CRACKS OBSERVED

- e. General extent of deterioration - cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood.

I did NOT observe SPALLING, ROT WOOD OR OXIDATION OF METALS.

- f. Previous patching or repairs: PREVIOUS REPAIRS OF SHINGLES OBSERVED ON THE 2 STORIES AND 1 STORY BUILDING.

- g. Nature of present loading - indicate residential, commercial, other estimate magnitude.

COMMERCIAL LOADING AS ORIGINALLY DESIGNED

3. Inspections:

- a. Date of notice of required inspection: FEBRUARY 9, 2007

- b. Date(s) of actual inspection: FEBRUARY 9, 2007

- c. Name and qualification of individual submitting inspection report:
ANTONIO ACEVEDO LICENSED PROFESSIONAL ENGINEER
AND LICENSED GENERAL CONTRACTOR IN THE STATE
OF FLORIDA (P.E. #36466)
- d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures.

NO FORMAL TESTING REQUIRED

- e. Structural repair - note appropriate line:

1. None required NONE REQUIRED
2. Required (describe and indicate acceptance) N/A

4. Supporting data:

- a. _____ sheets written data
- b. SEE ATTACHED PHOTOS photographs
- c. _____ drawings or sketches

5. Masonry Bearing Walls - indicate good, fair, poor on appropriate lines:

- a. Concrete masonry units good condition
- b. Clay tile or terra cotta units N/A
- c. Reinforced concrete tie columns good condition
- d. Reinforced concrete tie beams good condition
- e. Lintels good condition
- f. Other type bond beams good condition
- g. Masonry finishes - exterior:
1. Strucco good condition
 2. Veneer NONE OBSERVED
 3. Paint only good condition
 4. Other (describe) _____

h. Masonry finishes - interior:

1. Vapor barrier good condition
2. Furring and plaster "
3. Panelling "
4. Paint only "
5. Other (describe) N/A

i. Cracks:

1. Location - note beams, columns, other I did NOT observe cracks of concern.
2. Description MINOR HAIRLINE CRACKS OBSERVED
VIA MASONRY WALLS

j. Spalling:


1. Location - note beams, columns, other I did NOT observe spalling.
2. Description N/A

k. Rebar corrosion - check appropriate line:

1. None visible I did NOT observe rebar corrosion
2. Minor - patching will suffice N/A
3. Significant - but patching will suffice N/A
4. Significant - structural repairs required
(describe) N/A

l. Samples chipped out for examination in spall areas:

1. No NO SAMPLES REQUIRED
2. Yes - describe color texture, aggregate, general quality N/A


P.I. #36406
2/12/07

6. Floor and Roof Systems:

a. Roof:

1. Describe (flat, slope, type roofing, type roof deck, condition):

3 STORY BUILDING HAS FLAT ROOF WITH ASPHALT MEMBRANE

2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports:

COOLING TOWER STEEL SUPPORT STRUCTURE IS IN GOOD CONDITION.

3. Note types of drains and scuppers and condition:

DRAINS AND SCUPPERS IN GOOD CONDITION

b. Floor system(s):

1. Describe (type of system framing, material, spans, condition):

CAST IN PLACE REINFORCED CONCRETE SLABS.

- c. Inspection - note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.

I OPENED CEILING AREAS IN THE 2-STORY AND ONE STORY BUILDINGS (EAST & WEST WINGS) FOR INSPECTION OF WOOD DECK & WOOD JOISTS AND RAFTERS.

7. Steel Framing Systems: (ONLY FOR COOLING TOWERS)

- a. Description: STEEL FRAMING THAT SUPPORTS THE COOLING TOWER

- b. Exposed Steel - describe condition of paint & degree of corrosion:

EXPOSED STEEL IN GENERAL GOOD CONDITION. I OBSERVED VERY MINOR SURFACE/FILM RUST ON 2 STEEL BEAMS.

- c. Concrete or other fireproofing - note any cracking or spalling, and note where any covering was removed for inspection: N/A

- d. Elevator sheave beams & connections, and machine floor beams - note condition:
ELEVATOR SYSTEM IN GOOD CONDITION

8. Concrete Framing Systems:

- a. Full description of structural system: MASONRY BEARING WALLS WITH REINFORCED CONCRETE BEAMS AND COLUMNS SUPPORT BY A PILE SYSTEM
- b. Cracking:
1. Not significant: I did NOT OBSERVE SIGNIFICANT CRACKS
 2. Location and description of members affected and type cracking: N/A
- c. General condition: good CONDITION
- d. Rebar corrosion - check appropriate line:
1. None visible: I did NOT OBSERVE REBAR CORROSION
 2. Location and description of members affected and type cracking: N/A
 3. Significant but patching will suffice: N/A
 4. Significant - structural repairs required (describe): N/A
- e. Samples chipped out in spall areas:
1. No.: IT WAS NOT NECESSARY TO CHIP OUT CONCRETE
 2. Yes describe color, texture, aggregate, general quality:
N/A

9. Windows:

- a. Type (Wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Windows in 3-story Building
ALL SINGLE AND DOUBLE HUNG WINDOWS IN 2- & 1 STORY BUILDING
ARE JALOUSIE TYPE WINDOWS.
- b. Anchorage - type & condition of fasteners and latches: good Condition
- c. Sealants - type & condition of perimeter sealants & at mullions: good Cond.
- d. Interior seals - type & condition at operable vents: good Cond.
- e. General condition: good cond.

10. Wood Framing: (FOR ROOF OF 1 AND 2 STORY BUILDINGS)

- a. Type - fully describe if mill construction, light construction, major spans, trusses: WOOD PATTERNS, JOIST AND WOOD DECK
- b. Note metal fittings i.e., angles, plates, bolts, split pintles, pintles, other, and note condition: good CONDITIONS OF CONNECTIONS
- c. Joints - note if well fitted and still closed: good CONDITION OBSERVED
- d. Drainage - note accumulations of moisture: ROOF WITH PROPER PITCH
- e. Ventilation - note any concealed spaces not ventilated: PROPER VENTILATION PROVIDED
- f. Note any concealed spaces opened for inspection: NONE



