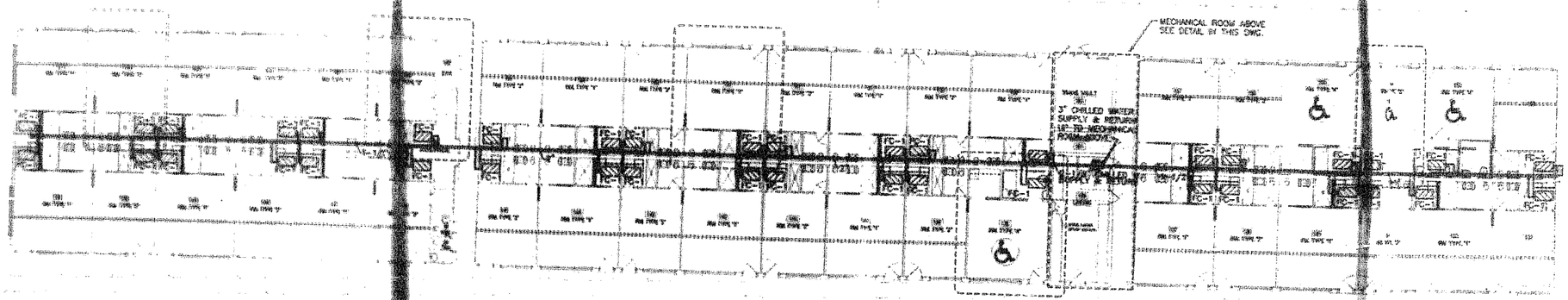
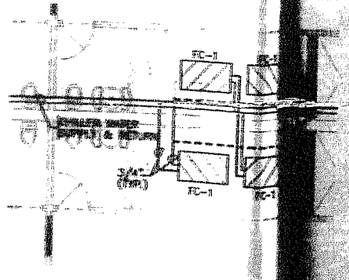
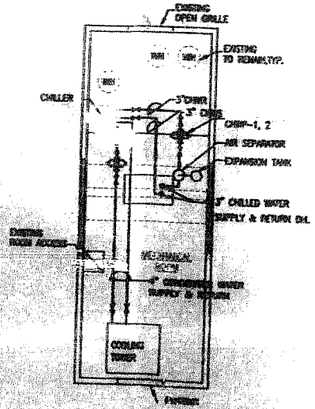


EAST WING H.V.A.C PIPING PLAN



PIPING PLAN (TY

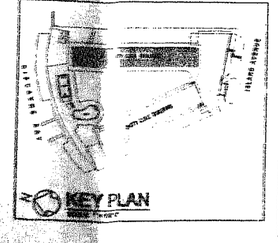


MECH. ROOM

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE



KEY PLAN

PROJECT #: 0304-053
PREPARED BY:

UCI Engineering Inc.
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R. I. MIRANDA PE NO. 55578
DAVID A. MELSKY PE NO 37254
Professional Electrical/Mechanical Engineers

PROJECT ARCHITECT
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305-438-1200 fax 305-438-1221

SEAL

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
H.V.A.C PIPING PLAN

DRAWN BY M.G.
CHECKED BY R.I.M.

ISSUES

SHEET NO.
M-1A

AIR HANDLING UNIT SCHEDULE

UNIT NUMBER	BLOWER SECTION: SUPPLY CFM	TOT. S.P.	O.A. CFM	FAN TYPE	HP	VOLT	Ø	COOLING COIL: ENT. DEG. °F D.B.	ENT. DEG. °F W.B.	LEAVING DEG °F D.B.	LEAVING DEG °F W.B.	AIR PRESS. DROP IN. W.G.	FACE VEL. (FT./MIN.)	TOTAL CAP. (MBH)	SENSIBLE CAP. (MBH)	CHILLED WATER: TYPE	ENT. TEMP.	LEAVING TEMP.	GPM	COIL CONSTRUCTION: ROWS	FINS PER INCH	CIRCUIT TYPE	FILTERS: FILTER TYPE	FILTER AREA	FACE VELOCITY	MANUFACTURER & MODEL	PIPING BRANCH DIAMETER	ACCESSORIES	REMARKS
FC-1	540	.25	50	FC	1/8	208	1	80.0	67.00	59.6	57.8			16.0	11.9	FW	45	55	3.0	3	—	—	T.A.	—	—	YORK MODEL 6YPHBC-3	3/4"	PROVIDE WITH A 1.0 K.W. HEATER	HORIZONTAL CONCEALED

.c: CONTRACTOR SHALL PROVIDE SUBMITTALS OF ALL A/C EQUIPMENT AND CONTROL VALVES TO ENGINEER FOR REVIEW BEFORE INSTALLATION

CHILLER SCHEDULE

CHILLER NUMBER	NOMINAL CAPACITY TONS	VOLTAGE/ PHASE	EVAPORATOR SECTION: QUANTITY GPM	TEMP. ENTERING DEG. F	TEMP. LEAVING DEG. F	% GLYCOL MIXTURE	PRESSURE DROP Psig/Ft H2O	NUMBER OF CIRCUITS	CONDENSER SECTION: TEMP. ENTERING DEG. F	TEMP. LEAVING DEG. F	NUMBER OF ROWS/CKT	FINS PER INCH	FACE AREA	COND. FAN TYPE	COND. FAN QUANTITY	COND. FANS FLA	COMPRESSOR ELECTRIC DATA / COMPRESSOR NUMBER: MCA	MOPD	RLA	LRA	MANUFACTURER & MODEL	REMARKS	ACCESSORIES
CH-1	50	208V/3ø	120	55	45	0%	6.5/15	2	95	—							171	247	152	476	CLIMA COOL MODELMC2-50-A	1,647 lbs.	

PUMP SCHEDULE

PUMP NO.	GPM	HEAD	HP	VOLTS/PHASE	MODEL	MANUFACTOR	IMPELLER	COMMENTS
CWP-1,2	120	55 FT.	5.0	208V/3ø	4382, 3x3x8	ARMSTRONG	7.76 IN.	DUPLEX PUMP ARRANGEMENT W/CONTROL FOR ALTERNATE USE
CTP-1,2	150	55 FT.	5.0	208V/3ø	4382, 3x3x8	ARMSTRONG	8.04 IN.	DUPLEX PUMP ARRANGEMENT W/CONTROL FOR ALTERNATE USE

1- PROVIDE SUCTION GUIDE ARMSTRONG MODEL SG-33. 3 IN. INELT AND OUTLET SIZE.
2- PROVIDE FLOTREX ARMSTRONG MODEL FTV-2.5A-F, 2.5 IN. INLET & 3 IN OULTET SIZE.
3- PROVIDE EXPANSION TANK ARMSTRONG MODEL AX-40V.
4- PROVIDE A VORTEX AIR SEPARATOR ARMSTRONG MODEL VA-3.

FAN SCHEDULE

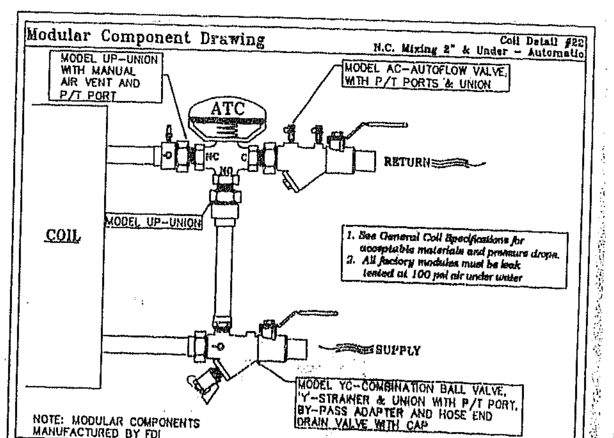
FAN	CFM	S.P	HP	VOLT/PHASE	MODEL	M.F.R	ACCESORIES
EF-1	50	0.1"	1/4	120V/1ø	SP-5	GREENHECK	

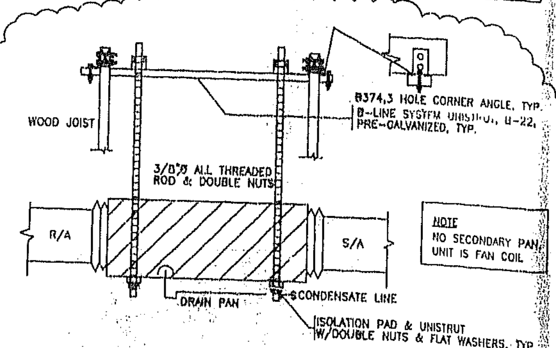
SUPPLY/RETURN AIR DIFFUSER SCHEDULE

DIFFUSER	NECK SIZE	PATTERN	MANUFACTURER	CATALOG	COMMENTS
A			TITUS	300FL	16x6 SUPPLY REGISTER
B			TITUS	300FL	12x6 SUPPLY REGISTER
1			TITUS	350FL	18x6 RETURN REGISTER
2			TITUS	350FL	12x6 RETURN REGISTER

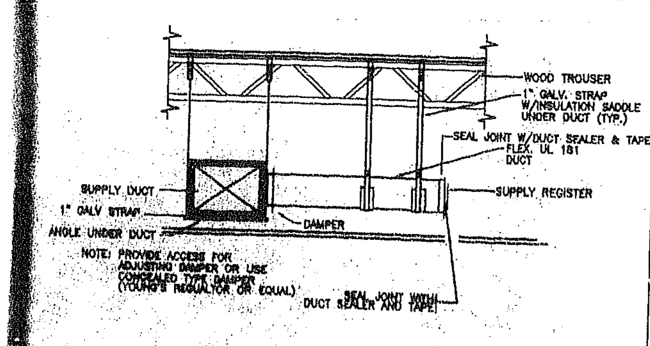
COOLING TOWER SCHEDULE

	UNIT DESIGNATOR	—
	LOCATION	MECHANICAL ROOM
	TOWER TYPE	SIDE DISCHARGE
	NUMBER OF CELLS	1
	OPERATING WEIGHT, LBS.	2948
PERFORMANCE	NOMINAL CAPACITY, TONS	50
PERFORMANCE	WATER FLOW, GPM	150
PERFORMANCE	ENTERING/LEAVING WATER TEMP. °F	95/85
PERFORMANCE	AMBIENT AIR TEMP. °F	--
PERFORMANCE	STATIC LIFT REQ'D FT H2O	7.89
FAN SECTION	DRIVE	—
FAN SECTION	NUMBER OF FANS	1
FAN SECTION	FAN WHEEL TYPE & DIAMETER	4 BLADES, 4 FT
FAN SECTION	FAN MOTOR TYPE	—
FAN SECTION	FAN MOTOR HP	2
FAN SECTION	FAN MOTOR SPEED, RPM	495
FAN SECTION	ELECTRICAL SERVICE ø/Hz/V	3/60/208
	VIBRATION ISOLATOR TYPE (BY TOWER MFR.)	
	MIN. STATIC DEFLECTION, IN.	—
	MANUFACTURER AND MODEL	MARLEY AQUATOWER
	MODEL	494A

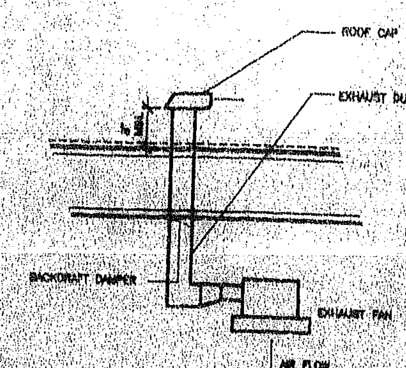




HORIZONTALLY MOUNTED FAN COIL DETAIL
N.T.S.

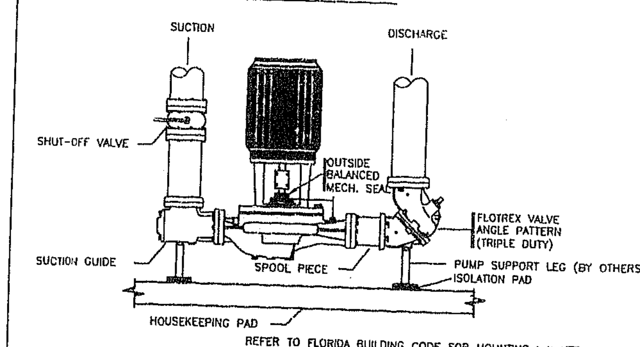


DUCT CONNECTION DETAIL
N.T.S

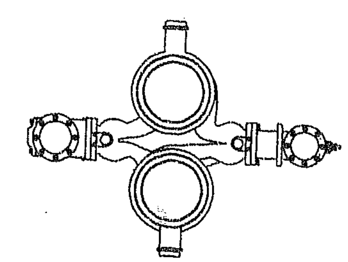


DETAIL AT ROOF CAP
N.T.S.

V.I.L. PIPE MOUNTED



VERTICAL IN-LINE PUMP INSTALLATION DETAIL
NOT TO SCALE



VERTICAL IN-LINE PUMP TOP VIEW
NOT TO SCALE

DWG.# D-980010

TYPICAL SPECIFICATIONS

MODEL "AX-15V" ASME PRE-CHARGED DIAPHRAGM EXPANSION TANK
WORKING PRESSURE: 125psig
TANK SHALL BE PROVIDED WITH A HEAVY-DUTY BUTYL DIAPHRAGM. TANK SHALL BE PROVIDED WITH A RING BASE, LIFTING RINGS, AND A NPT SYSTEM CONNECTION. AN AIR CHARGING VALVE CONNECTION (STANDARD TIRE VALVE) SHALL BE ALSO PROVIDED TO FACILITATE ADJUSTING PRE-CHARGE PRESSURE, TO MEET THE ACTUAL SYSTEM CONDITIONS.

TYPICAL SPECIFICATIONS

VORTEX AIR SEPARATOR — VA-3 MODEL
WORKING PRESSURE: 80PSI
120 G.P.M.

GENERAL NOTES

A- SCOPE OF WORK
WORK SHALL INCLUDE ALL LABOR, EQUIPMENT AND PERFORMING ALL OPERATIONS IN CONNECTION WITH THE FURNISHING OF ALL AIR CONDITIONING, HEATING AND VENTILATION WORK AS SHOWN ON DRAWINGS, HEREIN SPECIFIED AND/OR EQUAL EQUIPMENT FOR APPROVAL.

B- CHILLED WATER PIPING AND INSULATION
MAIN HORIZONTAL RUNS IN COPPER TYPE "L" WITH 1-1/2" FOAMGLASS INSULATION, RUN OUTS TO FAN COIL UNITS MUST BE SOFT COPPER WITH 1" ARMAFLEX INSULATION. CONNECTIONS BETWEEN THE MAIN RUN AND THE SOFT COPPER HAVE VICTAULIC CONNECTIONS.

C- GUARANTEE
CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE COVERING ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

D- CONTRACTOR SHALL PROVIDE POSITIVE MEANS FOR BALANCING EACH INDIVIDUAL AIR CONDITIONING SUPPLY AIR OUTLET, AS PER SCHEDULES AND DRAWING. SYSTEMS SHALL BE BALANCED AGAINST THE ACTUAL INSTALLED STATIC PRESSURE.

E- BEFORE SUBMITTING HIS FINAL PROPOSAL, THE CONTRACTOR SHALL EXAMINE THE SITE OF THE PROPOSED WORK TO DETERMINE THE EXISTING CONDITIONS THAT MAY AFFECT HIS WORK AS HE WILL BE RESPONSIBLE FOR ANY ASSUMPTIONS MADE BY HIM IN REGARDS THERETO.

F- ANY APPARATUS, APPLIANCE, MATERIALS, WORK OR INCIDENTAL ACCESSORIES OR MINOR DETAILS NOT SHOWN BUT NECCESARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NO PARTICULARLY SPECIFIED SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL EXPENSE FOR THE OWNER.

G- DUCTWORK
1) DUCTWORK SHALL BE FIBERBOARD FOR INDOOR AIR CONDITIONED SUPPLY AND RETURN DUCTWORK AND METAL FOR EXHAUST, AND NON-CONDITIONED OUTSIDE.
2) GLASS FIBER DUCTWORK SHALL BE ?OWENS-CORNING? RECTANGULAR DUCT SYSTEM TYPE HD-FR OR EQUAL, 1-1/2" INSULATION R-6.5, CONFORMING TO APPLICATION MANUAL PUB.# 5-GL-2024 & DESIGN GUIDE, PUB.# 5-IN-2617.
3) METAL DUCTS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE LOW VELOCITY DUCT CONSTRUCTION STANDARDS, PUBLISHED BY THE "SHEET METAL AND AIR CONDITIONED CONTRACTORS NATIONAL ASSOCIATION, INC." AND THE LATEST PUBLICATION OF GUIDE & DATA BOOK OF THE "AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS".

H- CONTRACTOR SHALL ASUME RESPONSIBILITY FOR ALL COSTS INCURRED RESULTING FROM SUBSTITUTION OF EQUIPMENT AS WELL AS THE PERFORMANCE OF SUCH EQUIPMENT.

I- VIBRATION ISOLATION
PROVIDE SUPPORTS OR MOUNTS FOR ALL EQUIPMENT LOCATED WITHIN THE BUILDING STRUCTURE POWERED BY ONE HORSEPOWER OR LARGER MOTOR. FLEXIBLE PIPING CONNECTIONS SHALL BE PROVIDED FOR ALL PIPING CONNECTED TO EQUIPMENT MOUNTED OR SUPPORTED BY VIBRATION ISOLATORS.

J- TESTS
ALL TESTS SHALL BE PERFORMED AS REQUIRED DURING THE DIFFERENT STAGES OF WORK AND A FINAL 24 HOURS MINIMUM RUNNING TEST SHALL BE DONE AFTER ALL OTHER TESTS AND BALANCING OPERATIONS HAVE BEEN DONE.

K- CONDENSATE PIPING
CONDENSATE PIPING SHALL BE PVC SCHED. 40 EXCEPT IN RETURN AIR PLENUM SPACES WHERE COPPER PIPING MUST BE USED

L- TEST AND BALANCE OF ALL EQUIPMENT SHALL BE PERFORMED BY AN INDEPENDENT TEST AND BALANCE COMPANY WITH A MINIMUM OF 5 YEARS EXPERIENCE IN PROJECTS OF THIS SIZE OR LARGER. THREE COPIES OF THE TEST AND BALANCE REPORT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.

HVAC DESIGN REQUIRES	YES	NO
DUCT SMOKE DETECTOR		X
FIRE DAMPERS		X
SMOKE DAMPERS		X
FIRE RATED ENCLOSURE		X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		X
FIRE STOPPING	X	
SMOKE CONTROL		X

Zoning 9/23/03 interior work only

PROJECT #: 0304-053

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY M.G.
CHECKED BY R.J.M
ISSUES
PERMIT SET
B.O.G.

SHEET NO.
M-2

AIR HANDLING UNIT SCHEDULE

UNIT NUMBER	BLOWER SECTION: SUPPLY CFM	TOT. S.P.	O.A. CFM	FAN TYPE	HP	VOLT	Ø	ENT. DEG. °F D.B.	ENT. DEG. °F W.B.	LEAVING DEG °F D.B.	LEAVING DEG °F W.B.	AIR PRESS. DROP IN. W.G.	FACE VEL. (FT./MIN.)	COOLING COIL: TOTAL CAP. (MBH)	SENSIBLE CAP. (MBH)	CHILLED WATER: TYPE	ENT. TEMP.	LEAVING TEMP.	GPM	COIL CONSTRUCTION: ROWS	FINS PER INCH	CIRCUIT TYPE	FILTERS: FILTER TYPE	FILTER AREA	FACE VELOCITY	MANUFACTURER & MODEL	PIPING: BRANCH DIAMETER	ACCESSORIES	REMARKS
1	540	.25	50	FC	1/6	208	1	80.0	67.00	59.6	57.8			16.0	11.9	FW	45	55	3.0	3	———	———	T.A.	———	———	YORK MODEL 6YPH0C-3	3/4"	PROVIDE WITH A 1.0 K.W. HEATER	HORIZONTAL CONCEALED

NOTE: CONTRACTOR SHALL PROVIDE SUBMITTALS OF ALL A/C EQUIPMENT AND CONTROL VALVES TO ENGINEER FOR REVIEW BEFORE INSTALLATION.

CHILLER SCHEDULE

CHILLER NUMBER	NOMINAL CAPACITY TONS	VOLTAGE/ PHASE	EVAPORATOR SECTION: QUANTITY GPM	TEMP. ENTERING DEG. F	TEMP. LEAVING DEG. F	% GLYCOL MIXTURE	PRESSURE DROP Psig/Ft H2O	NUMBER OF CIRCUITS	TEMP. ENTERING DEG. F	TEMP. LEAVING DEG. F	CONDENSER SECTION: NUMBER OF ROWS/CKT	FINS PER INCH	FACE AREA	COND. FAN TYPE	COND. FAN QUANTITY	COND. FANS FLA	COMPRESSOR ELECTRIC DATA: COMPRESSOR NUMBER: MCA	MOPD	RLA	LRA	MANUFACTURER & MODEL	REMARKS	ACCESSORIES
CH-1	50	208V/3ø	120	55	45	0%	6.9/15	2	95								171	247	152	476	CLIMA COOL MODELMC2-50-A		

PUMP SCHEDULE

PUMP NO.	GPM	HEAD	HP	VOLTS/PHASE	MODEL	MANUFACTOR	IMPELLER	COMMENTS
CWP-1,2	120	55 FT.	5.0	208V/3ø	4382, 3x3x8	ARMSTRONG	7.76 IN.	DUPLEX PUMP ARRANGEMENT W/CONTROL FOR ALTERNATE USE
CTP-1,2	150	55 FT.	5.0	208V/3ø	4382, 3x3x8	ARMSTRONG	8.04 IN.	DUPLEX PUMP ARRANGEMENT W/CONTROL FOR ALTERNATE USE

1- PROVIDE SUCTION GUIDE ARMSTRONG MODEL SG-33, 3 IN. INLET AND OUTLET SIZE
2- PROVIDE FLOTREX ARMSTRONG MODEL FTV-2.5A-F, 2.5 IN. INLET & 3 IN OUTLET SIZE.
3- PROVIDE EXPANSION TANK ARMSTRONG MODEL AX-407.
4- PROVIDE A VORTEX AIR SEPARATOR ARMSTRONG MODEL VA-3.

FAN SCHEDULE

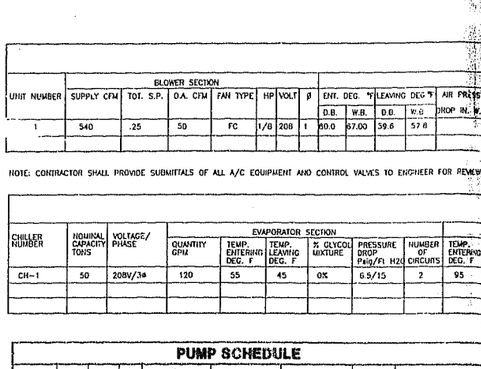
FAN	CFM	S.P	HP	VOLT/PHASE	MODEL	M.F.R	ACCESORIES
EF-1	50	0.1"	1/4	120V/1ø	SP-5	GREENHECK	

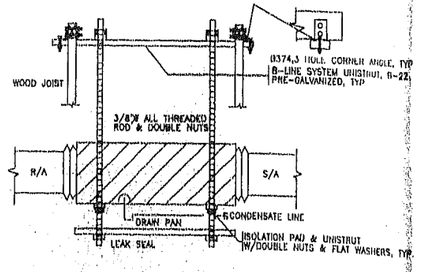
SUPPLY/RETURN AIR DIFFUSER SCHEDULE

DIFFUSER	NECK SIZE	PATTERN	MANUFACTURER	CATALOG	COMMENTS
A			TITUS	300FL	16x8 SUPPLY REGISTER
B			TITUS	300FL	12x6 SUPPLY REGISTER
1			TITUS	350FL	16x6 RETURN REGISTER
2			TITUS	350FL	12x6 RETURN REGISTER

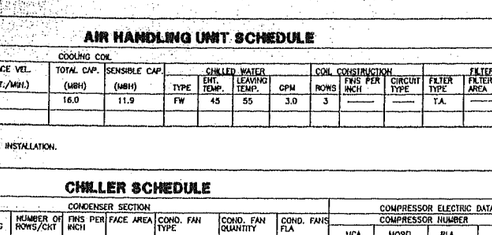
COOLING TOWER SCHEDULE

	UNIT DESIGNATOR	-
	LOCATION	MECHANICAL ROOM
	TOWER TYPE	SIDE DISCHARGE
	NUMBER OF CELLS	1
	OPERATING WEIGHT, LBS.	2948
PERFORMANCE	NOMINAL CAPACITY, TONS	50
PERFORMANCE	WATER FLOW, GPM	150
PERFORMANCE	ENTERING/LEAVING WATER TEMP. °F	95/85
PERFORMANCE	AMBIENT AIR TEMP. °F	-
PERFORMANCE	STATIC LIFT REQ'D FT H2O	7.89
FAN SECTION	DRIVE	-
FAN SECTION	NUMBER OF FANS	1
FAN SECTION	FAN WHEEL TYPE & DIAMETER	4 BLADES, 4 FT
FAN SECTION	FAN MOTOR TYPE	-
FAN SECTION	FAN MOTOR HP	2
FAN SECTION	FAN MOTOR SPEED, RPM	495
FAN SECTION	ELECTRICAL SERVICE #/Hz/V	3/60/208
	VIBRATION ISOLATOR TYPE (BY TOWER MFR.)	
	MIN. STATIC DEFLECTION, IN.	-
	MANUFACTURER AND MODEL	MARLEY AQUATOWER
	MODEL	494A

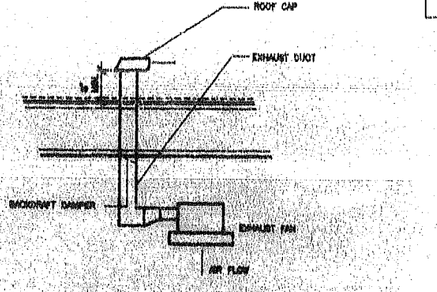




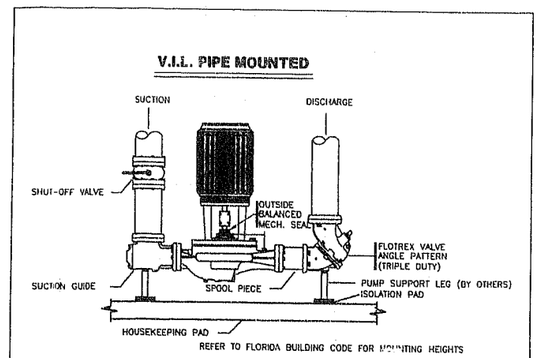
HORIZONTALLY MOUNTED AHU DETAIL
N.T.S.



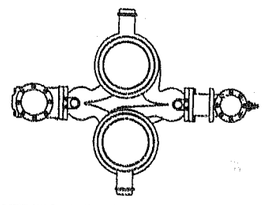
DUCT CONNECTION DETAIL
N.T.S



DETAIL AT ROOF CAP
N.T.S.



VERTICAL IN-LINE PUMP INSTALLATION DETAIL.
NOT TO SCALE



VERTICAL IN-LINE PUMP TOP VIEW
NOT TO SCALE

DWG.#G-99081A

TYPICAL SPECIFICATIONS

[illegible] STEEL [illegible] ASME PRE-CHARGED DIAPHRAGM EXPANSION TANK WORKING PRESSURE) 125psig. TANK SHALL BE PROVIDED WITH A HEAVY-DUTY BUTYL DIAPHRAGM, TANK SHALL BE PROVIDED WITH A RING BASE, LIFTING RINGS, AND A HOT SAFETY CONNECTION. AN AIR CHARGING VALVE CONNECTION (SCHRADER TYPE VALVE) SHALL BE ALSO PROVIDED TO FACILITATE ADJUSTING PRE-CHARGE PRESSURE, TO MEET THE ACTUAL SYSTEM CONDITIONS.

TYPICAL SPECIFICATIONS

[illegible] AIR SEPARATOR - VA-3 MODEL
WORKING PRESSURE: 600PSI
[illegible] G.P.M.

GENERAL NOTES

A- [illegible] OF WORK
[illegible] SHALL INCLUDE ALL LABOR, EQUIPMENT AND PERFORMING ALL [illegible]ERATIONS IN CONNECTION WITH THE FURNISHING OF ALL [illegible] CONDITIONING, HEATING AND VENTILATION WORK AS SHOWN ON [illegible]WINGS, HEREIN SPECIFIED AND/OR EQUAL EQUIPMENT FOR [illegible]ROVAL.

B- [illegible]D WATER PIPING AND INSULATION
[illegible] HORIZONTAL RUNS IN COPPER TYPE "L" WITH 1-1/2" FOAMGLASS INSULATION. RUN OUTS TO FAN COIL UNITS MUST BE SOFT COPPER [illegible] 1" ARMAFLEX INSULATION. CONNECTIONS BETWEEN THE [illegible]N RUN AND THE SOFT COPPER HAVE VICTAULIC CONNECTIONS.

C- [illegible]ARANTEE
CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE COVERING ALL [illegible]RKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM [illegible]TE OF ACCEPTANCE.

D- CONTRACTOR SHALL PROVIDE POSITIVE MEANS FOR BALANCING EACH INDIVIDUAL AIR CONDITIONING SUPPLY AIR OUTLET, AS PER SCHEDULES AND DRAWING, SYSTEMS SHALL BE BALANCED AGAINST THE ACTUAL INSTALLED STATIC PRESSURE.

E- BEFORE SUBMITTING HIS FINAL PROPOSAL, THE CONTRACTOR SHALL EXAMINE THE SITE OF THE PROPOSED WORK TO DETERMINE THE EXISTING CONDITIONS THAT MAY AFFECT HIS WORK AS HE WILL BE RESPONSIBLE FOR ANY ASSUMPTIONS MADE BY HIM IN REGARDS THERETO.

F ANY APPARATUS, APPLIANCE, MATERIALS, WORK OR INCIDENTAL ACCESSORIES OR MINOR DETAILS NOT SHOWN BUT NECCESARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NO PARTICULARLY SPECIFIED SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL EXPENSE FOR THE OWNER

G DUCTWORK
1) DUCTWORK SHALL BE FIBERBOARD FOR INDOOR AIR CONDITIONED SUPPLY AND RETURN DUCTWORK AND METAL FOR EXHAUST, AND NON-CONDITIONED OUTSIDE.
2) GLASS FIBER DUCTWORK SHALL BE TOWENS-CORNING? RECTANGULAR DUCT SYSTEM TYPE ND-FR OR EQUAL, 1-1/2" INSULATION R-6.5, CONFORMING TO APPLICATION MANUAL PUB.# 5-CL-2024 & DESIGN GUIDE, PUB.# 5-ML-2017.
3) METAL DUCTS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE LOW VELOCITY DUCT CONSTRUCTION STANDARDS, PUBLISHED BY THE "SHEET METAL AND AIR CONDITIONED CONTRACTORS NATIONAL ASSOCIATION, INC." AND THE LATEST PUBLICATION OF GUIDE & DATA BOOK OF THE "AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS".

I- CONTRACTOR SHALL ASUME RESPONSIBILITY FOR ALL COSTS INCURRED RESULTING FROM SUBSTITUTION OF EQUIPMENT AS WELL AS THE PERFORMANCE OF SUCH EQUIPMENT.

J VIBRATION ISOLATION
PROVIDE SUPPORTS OR MOUNTS FOR ALL EQUIPMENT LOCATED WITHIN THE BUILDING STRUCTURE POWERED BY ONE HORSEPOWER OR LARGER MOTOR. FLEXIBLE PIPING CONNECTIONS SHALL BE PROVIDED FOR ALL PIPING CONNECTED TO EQUIPMENT MOUNTED OR SUPPORTED BY VIBRATION ISOLATORS.

TESTS
ALL TESTS SHALL BE PERFORMED AS REQUIRED DURING THE DIFFERENT STAGES OF WORK AND A FINAL 24 HOURS MINIMUM RUNNING TEST SHALL BE DONE AFTER ALL OTHER TESTS AND BALANCING OPERATIONS HAVE BEEN DONE.

CONDENSATE PIPING
CONDENSATE PIPING SHALL BE PVC SCHED. 40 EXCEPT IN RETURN AIR PLENUM SPACES WHERE COPPER PIPING MUST BE USED

TEST AND BALANCE OF ALL EQUIPMENT SHALL BE PERFORMED BY AN INDEPENDENT TEST AND BALANCE COMPANY WITH A MINIMUM OF 5 YEARS EXPERIENCE IN PROJECTS OF THIS SIZE OR LARGER. THREE COPIES OF THE TEST AND BALANCE REPORT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.

DESIGN REQUIRED	YES	NO
SMOKE DETECTION		X
AMPERES		X
DAMPERS		X
RATED ENCLOSURE		X
RATED ROOF/FLOOR ASSEMBLY		
JUMPING	X	
CONTROL		

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	7/24/03
ZONING:	
DRI/PPB:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

As per Florida Building Code Section 104.5.3
PROJECT REVIEWED FOR CODE COMPLIANCE

PREPARED BY:

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ALISON SPEAR, A.I.A.
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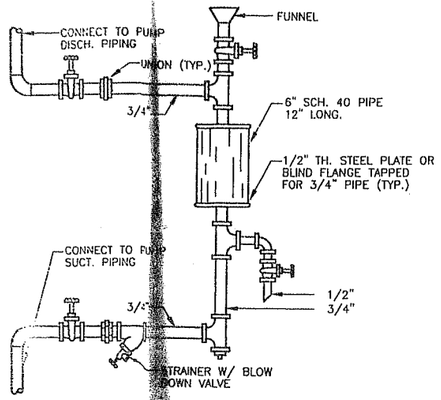
PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY M.G.
CHECKED BY R.J.M
ISSUES
07/11/03 PERMIT SET

SHEET NO.
M-2



CHEMICAL FEEDER DETAIL

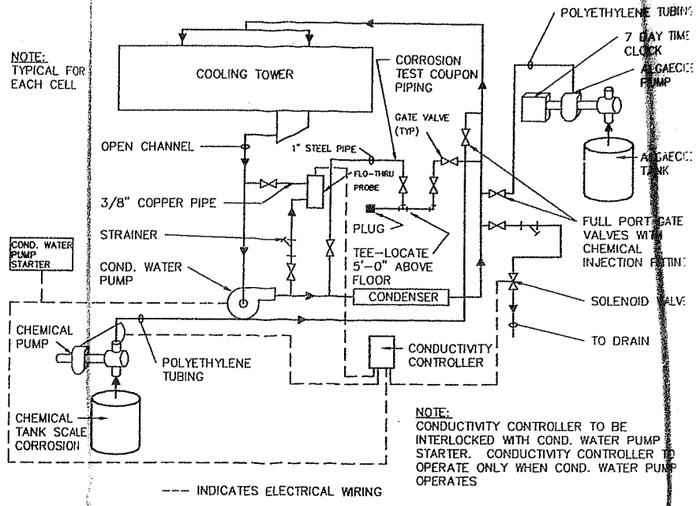
N.T.S.

1– PROVIDE BYPASS TYPE CHEMICAL FEEDER FOR CHILLED WATER SYSTEM AS MANUFACTURED BY WOLFE MODEL 5.LP

2– CHEMICALS SHALL BE EPA REGISTERED.

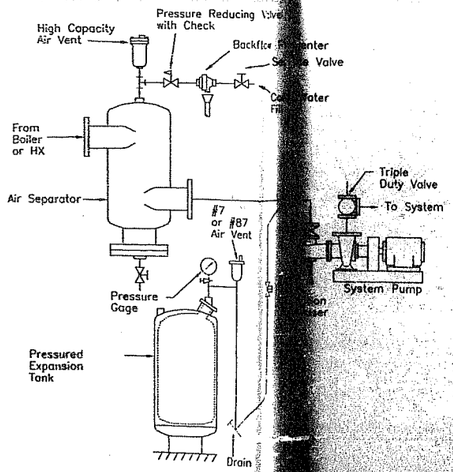
3– PROVIDE SUPPORT STAND.

4– INSULATED SHOT FEEDER SUPPLY AND DISCHARGE LINES FOR A DISTANCE OF 6 FEET FROM THE CHILLED WATER LINE TAP.



WATER TREATMENT DIAGRAM

N.T.S.



EXPANSION TANK & AIR SEPARATOR INSTALLATION

N.T.S.

ASHRAE STANDARD 62-1989 OUTSIDE AIR CALCULATIONS

Project # 0304-053

Date: 5/15/2003

Name: LIDO SPA HOTEL/ EAST WING

Address: 40 ISLAND AVENUE
MIAMI BEACH, FL. 33139

Application: ROOM

Area:	230 sq.ft.	Area factor:	100.00%
Occupancy:	P/1000 sq.ft.	Total Occupancy:	People
Outdoor Air	30 cfm/room	Total Outside Air:	30 cfm

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FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

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H.V.A.C NOTES AND DETAILS

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CHECKED BY R.J.M

ISSUES

07/11/03	PERMIT SET

SHEET NO.
M-3

SPECIFIC MECHANICAL NOTES.

EAST WING

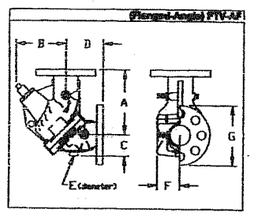
1. Fire Damper/ Smoke Damper shall be provided for each supply and return air vent location for each guest room in the East Wing. Each smoke section shall be operated via the fire alarm system, which will be retrofitted with a new hardwired smoke detector within the guest room.
2. Each guest room bathroom shall be provided with a new toilet exhaust fan with exhaust ductwork taken to its own roof cap. No two-toilet exhaust fans shall be tied together.
3. Existing ductwork shall be inspected by mechanical contractor and shall be repaired or replaced as necessary. Each of the guest rooms shall be balanced with a supply air amount of 450cfm, and each shall guest room with 350cfm. Each grille, supply and return shall be replaced with new bar grille with OBD, "Air-Guide" or equal.
4. Contractor shall field verify condition of existing ductwork and shall repair or replace as required. Contractor shall field measure size and shall change any section of supply ductwork that exceeds 0.1" e.s.p. with the air flow indicated in #3 above. The return air ductwork has been sized at 0.08" e.s.p. Each guest room shall be balanced with a return air amount that is 30cfm less than its supply.
5. Existing East Wing mechanical room AHU shall be taken apart or replaced as necessary to provide a minimum total cooling capacity of 489,000 btuh, sensible capacity of 412,000 btuh, and 35kw heating at a min of 2.5" e.s.p. The unit shall be repaired, if it can be reused, by removing the existing plywood boards, which currently make up the side panels and shall be replaced with painted steel panels. Proper seals shall be provided for the panels. The existing pan drain shall be repaired or replaced.
6. Since the room will become an outside air plenum, all existing PVC piping shall be replaced with metallic piping. All debris and combustable material shall be removed.
7. Contractor shall provide condenser water reheat or utilize the strip heaters controlled by a humidistat for humidity control since current system has no available temperature control for the guest rooms.
8. Contractor shall verify capacity of existing AHU water cooled compressors and shall refurbish or replace to provide capacities stated in #5 above. Existing cooling tower shall be refurbished or replace to allow for AHU cooling capacities stated.
9. New duct smoke detector shall be installed in the main supply and return ductwork at the AHU.
10. Any changes made to the existing equipment, which might require additional power shall be consulted with UCI Engineering, Inc..
11. Contractor shall submit, at the end of the refurbishment of the existing system, a complete test and balance report indicating obtained cooling and heating capacities, static pressures, GPM to tower, air flow for guest rooms and any warrantees provided by any equipment suppliers.

Typical Specifications
Suction Guides

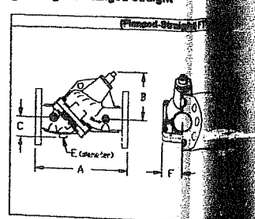
Furnish and install on the suction of each pump, an Armstrong Suction Guide with Cast Iron Body, Outlet Guide Vanes, Removeable Stainless Steel Strainer and Fine Mesh Start-up Strainer. The mechanical contractor shall inspect the Strainer prior to start-up of pump and shall remove the Fine Mesh Strainer after a short running period. Space shall be provided for removal of Strainer and location of blowdown valve.

ARMSTRONG **FLO-TREX VALVES**
Model: FTV-AF & FTV-SF
Style: Flanged-Angle & Flanged-Straight

(Flanged-Angle) FTV-AF



(Flanged-Straight) FTV-SF



Size	Flange	A	B Open	C	D	E	F	G
2.5 in	125 lbs	7.375 in	7 in	2.75 in	4.625 in	1 in	2.563 in	7 in
3.0 in	125 lbs	8.188 in	7.313 in	2.438 in	3.875 in	1 in	3 in	7.5 in

Size	Flange	A	B Open	C	D	E	F	G

Typical Specifications
Flanged Flo-Trex Combination Valves

Furnish and install on the discharge side of each pump an Armstrong Model FTV Flo-Trex Combination Valve incorporating three functions in one body: tight shut-off, spring-closure type silent non-slam check and flow measurement/throttling.

Valve body shall be cast iron with 125 psi ANSI flanged ends. The body shall have two ¼" NPT connections on each side of the valve seat. Two connections to have brass pressure and temperature metering ports, with Nordel check valves and gasketed caps. Two other connections to be supplied with brass drain plugs. Metering ports are to be interchangeable with drain ports to allow for measurement flexibility when installed in tight locations.

The valve disc shall be bronze plug disc type with high impact engineered resin seat to ensure tight shut-off and silent check valve operation.

The valve stem shall be stainless steel with flat surfaces provided for adjustment with open end wrench.

The valve shall be selected and installed in accordance with the manufacturer's instructions and be suitable for the pressure and temperature encountered.

Insulation (2½" - 6")

Each valve shall be furnished with a pre-formed removeable PVC insulation jacket to meet ASTM D 1784/class 14333-C, MEA #7-87, ASTM-E-84, and ASTM-136 with a flame spread rating of 25 or less and a smoke development rating of 50 or less. There will be provided sufficient mineral fiberglass insulation to meet ASHRAE 90.1-1999 specifications in operating conditions with maximum Fluid Design Operating Temperature Range of 141F-200°F and Mean Rating Temperature of 125°F.

Typical Specifications
Series 4382 Close Coupled Vertical In-Line Pump

Tag No.	Service	Location	Size	Motor	Min Speed	Electrics
CWP-1, 2 09/3/2008	Chilled Water Pump		3x3x8	5 hp	1800 rpm	

Supply and Installation shown on the plans and specifications, Armstrong Series 4382 close coupled type Vertical In-Line centrifugal pumping unit. The cast casing with equal size suction and discharge flanges, having separate [illegible] but less than pressure gauge connections, shall incorporate two radially split, single stage [illegible] pump. Each pump shall have a cast bronze dynamically balanced impeller, bronze shaft [illegible] and maintenance free single spring mechanical seal. Each pump shall be complete with a factory furnished [illegible] and vent. Each driving motor shall be an industry standard vertical solid shaft, squirrel cage [illegible] for, built to NEMA standards (Premium Efficiency motors may be specified). The motor shall [illegible] proof enclosure and be suitable for a 60 Hz 3 Ph 208 Volts power supply. The inlet and outlet ports [illegible] one size larger than the single pump size, so that both units may operate in [illegible] with no loss of single pump efficiency. Each port shall be fitted with a stainless steel isolation valve [illegible] to allow the units to operate in parallel, or standby, yet may be used to isolate one pumping unit for [illegible] removal, with the other pump still operating.

Typical Specifications
Series 4382 Close Coupled Vertical In-Line Pump

Tag No.	Service	Location	Size	Motor	Min Speed	Electrics
CTP-1, 2 09/3/2008	Condensing Tower Pump		3x3x8	5 hp	1800 rpm	

Supply and Installation shown on the plans and specifications, Armstrong Series 4382 close coupled type Vertical In-Line centrifugal pumping unit. The cast casing with equal size suction and discharge flanges, having separate [illegible] but less than pressure gauge connections, shall incorporate two radially split, single stage [illegible] pump. Each pump shall have a cast bronze dynamically balanced impeller, bronze shaft [illegible] and maintenance free single spring mechanical seal. Each pump shall be complete with a factory furnished [illegible] at vent line. Each driving motor shall be an industry standard vertical solid shaft, squirrel cage [illegible] for, built to NEMA standards (Premium Efficiency motors may be specified). The motor shall have [illegible] proof enclosure and be suitable for a 60 Hz 3 Ph 208 Volts power supply. The inlet and outlet ports [illegible] one size larger than the single pump size, so that both units may operate in [illegible] with no loss of single pump efficiency. Each port shall be fitted with a stainless steel isolation valve [illegible] to allow the units to operate in parallel, or standby, yet may be used to isolate one pumping unit for [illegible] removal, with the other pump still operating.

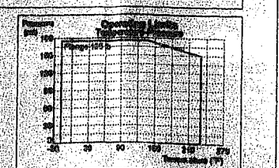
ARMSTRONG **FLO-TREX VALVES**
Model: FTV-SF & FTV-AF
Style: Flanged: Straight & Angle

Project: 0304-053

Project Number: 0304-053	Representative: UCI Engineering
Name: Lido Spa	13780 SW 56th. Street Suite 215, Miami, Fl
Reference:	Phone: 3053839999, Fax: 3053839949
Location: Miami Beach	Order No: Date:
Engineer: UCI Engineering	Submitted by: Ray Miranda Date: 9/12/2003
Contractor:	Approved by: Date:

Tag	Qty	Size	Flange Rating	P.Drop	Attached Pump Description
CWP-1, 2	1	FTV-3.5/4-F	Flange 125 lb	7.8 ft	CWP-1, 2 Series 4382 3x3x8, 1750 usgpm @ 80 ft
CTP-1, 2	1	FTV-5/4-F	Flange 125 lb	3.8 ft	CTP-1, 2 Series 4382 3x3x8, 1750 usgpm @ 80 ft

Valve Body	Cast Iron ASTM A126 Class B
Disc	Bronze ASTM B62
Seat	Nordel
Stem	Stainless Steel AISI/ASTM Type 416
Spring	SS ASTM A313 Type 302
O-Rings	Nordel
Metering Ports (2)	¼" FPT Brass Body with EPT Gasket and Gasketed Cap
Drain Tappings (2)	¼ in FPT Brass Plug
Insulation	Optional



9/19/2003, 10:01:03, Ray Miranda, UCI Engineering, 3053839999, Fax: 3053839949

Page 7 / 8

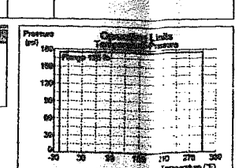
ARMSTRONG **SUCTION GUIDES**
Model: SG
Style: Angle

Project: 0304-053

Project Number: 0304-053	Representative: UCI Engineering
Name: Lido Spa	13780 SW 56th. Street Suite 215, Miami, Fl
Reference:	Phone: 3053839999, Fax: 3053839949
Location: Miami Beach	Order No: Date:
Engineer: UCI Engineering	Submitted by: Ray Miranda Date: 9/12/2003
Contractor:	Approved by: Date:

Tag	Qty	Model	System	Pump	P.Drop	Attached Pump Description
CWP-1, 2	1	SG-35	3 in	3 in	0.6 ft	CWP-1, 2 Series 4382 3x3x8, 1750 usgpm @ 80 ft
CTP-1, 2	1	SG-35	3 in	3 in	1 ft	CTP-1, 2 Series 4382 3x3x8, 1750 usgpm @ 80 ft

ANSI Flange Rating	125 lb. (Cast Iron)
Valve Body	Cast Iron (A48-30)
Strainer	Stainless Steel, 0.18 in Dia. Openings
Start-up Strainer	Fine Mesh Brass
Guide Vanes	Steel



9/19/2003, 13:00:57, Ray Miranda, UCI Engineering, 3053839999, Fax: 3053839949

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CONCURRENCY:
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FIRE PREVENTION:
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PUBLIC WORKS:
STRUCTURAL:
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ELEVATOR:

As per Florida Building Code Section 104.3.1
REVIEWED FOR CODE COMPLIANCE

PROJECT #: 0304-053
PREPARED BY:

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PROJECT ARCHITECT

SEAL

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40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY M.G.
CHECKED BY R.J.M.

ISSUES

DATE	ISSUE
07/11/03	PERMIT SET

SHEET NO.
M-4

PLUMBING NOTES

1.– ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA PLUMBING CODE, UNLESS AS SHOWN OR NOTED ON THE PLANS.

2.– THE INSPECTION FEES, INSPECTIONS AND TESTS AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION IN THIS LOCALITY.

3.– THE WORK UNDER THIS CONTRACT SHALL BE PERFORMED IMMEDIATELY UPON START OF OTHER TRADES, SO AS TO NOT DELAY THE OVERALL PROGRESS OF THE WORK.

4.– THE CONTRACTOR SHALL VISIT THE PREMISES AND FAMILIARIZE SAME WITH THE CONDITIONS AND SPECIFICATIONS AND SATISFY HIMSELF OF THE CONDITIONS EXISTING AT THE BUILDING BEFORE SUBMISSION OF HIS PROPOSAL. NO ADDITIONAL ALLOWANCE WILL BE MADE TO THE CONTRACTOR DUE TO HIS NEGLECT OR FAILURE TO COMPLY WITH THE STATED REQUIREMENTS.

5.– EXCAVATION OF EARTH PAVEMENT WORK SHALL BE PERFORMED AND COMPLETED UNDER THE SUPERVISION OF THE BANK.

6.– EXISTING/PREVIOUSLY EXISTING PIPING NOT REQUIRED, OR IN CONFLICT WITH NEW CONSTRUCTION, SHALL BE CUT, CAPPED, FILLED WITH CONCRETE, AND ABANDONED IN PLACE. REMOVE/RE-LOCATE WHENEVER NEEDED TO SUIT NEW ARCHITECTURAL LAYOUT.

7.– MATERIALS SHALL BE ALL NEW AND AS FOLLOWS:

a) SEWER/WASTE PIPING: NO HUB CAST IRON, EPS 301 OF ANSI/ASTM, SCH 40.
b) WATER PIPING: TYPE L COPPER, PIPES ERECTED WITH ASPHALT, & BURIED UNDER GROUND, TYPE K, DW IN COPPER UNDER GROUND.
c) A/C CONDENSATE DRAIN PVC SCH 40, EXCEPT IN PLENUM WHICH SHALL BE COPPER.
d) PLUMBING FIXTURES: AMERICAN STANDARD, KOHLER, CRANE OR EQUAL.
e) GAS PIPING: BLACK IRON, SCHEDULE 40.

8.– CAP EXISTING ABANDONED WATER, WASTE, VENT, AND GAS PIPING AT A POINT THAT DOES NOT INTERFERE WITH NEW CONSTRUCTION, I.E. BELOW FINISHED FLOOR, BEHIND FINISHED WALLS, OR ABOVE FINISHED CEILING.

9.– THE WORK SHALL INCLUDE THE DISCONNECTING OF ALL EXISTING PLUMBING FIXTURES, EQUIPMENT, ETC. AS REQUIRED FOR THE EXECUTION OF THE WORK, AND THEIR RECONNECTION, TOGETHER WITH SUCH TEMPORARY CONNECTIONS AS MAY BE REQUIRED.

10.– EXISTING FIXTURES, MATERIALS AND EQUIPMENT TO BE REMOVED SHALL BE SALVAGED OR DISPOSED OF AS DIRECTED BY THE OWNER.

11.– ANY WORK NOT SHOWN ON THE DRAWINGS OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ADDITIONAL CHARGE.

12.– CONTRACTOR SHALL DO HIS OWN CUTTING AND REMOVAL OF ALL HIS RELATED WORK IN ALL LOCATIONS WHERE REQUIRED, EXCEPT WHERE OTHERWISE SHOWN ON THE DRAWINGS.

13.– DO NOT SCALE THIS LAYOUT. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL PIPES.

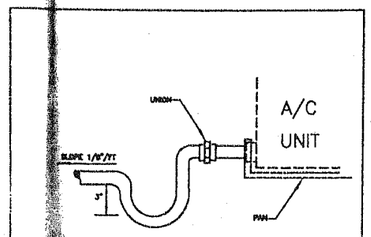
14.– ALL FLOOR DRAINS TO BE RECESSED, EXCEPT OTHERWISE NOTED.

NOTE:
CONTRACTOR SHALL VERIFY EXACT LOCATION AND SIZES OF ALL EXISTING LINES AND EXTEND AS REQUIRED.

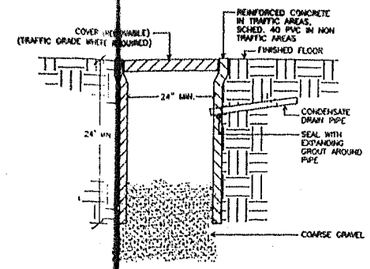
NO JOINTS ALLOWED UNDER SLAB FOR WATER LINES.

SIZE AND GRADE HORIZONTAL DRAINAGE PIPING 2" AND SMALLER 1/4" AND 3" ABOVE 1/8" SLOPE PER FEET.

PROVIDE ANTI-SCALD VALVE TO THE BATH TUBS, SHOWERS, SINKS AND LAVATORIES.



CONDENSATE TRAP DETAIL
NOT TO SCALE



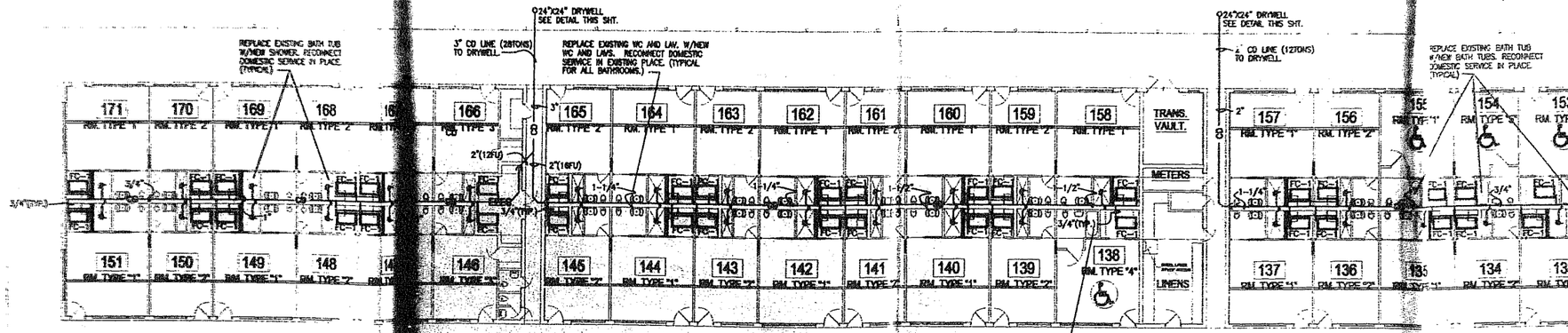
DRYWELL DETAIL
NOT TO SCALE

PLUMBING LEGEND

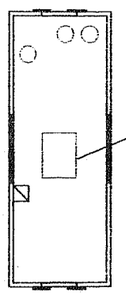
SYMBOL	DESCRIPTION	
	SAN	SANITARY LINE
——CD——	CD	CONDENSATE LINE
⊘	FD	FLOOR DRAIN
	AFF	ABOVE FINISH FLOOR

NOTE:

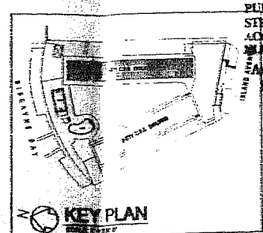
PROVIDE FLOAT SWITCH IN PAN TO SHUT DOWN UNIT UPON ACTIVATION.



EAST WING PLUMBING FLOOR PLAN
SCALE: 3/32"=1'-0"



2nd FLR. MECH. ROOM
SCALE: 3/32"=1'-0"



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PROJECT #: 0304-053

PREPARED BY:

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PROJECT ARCHITECT
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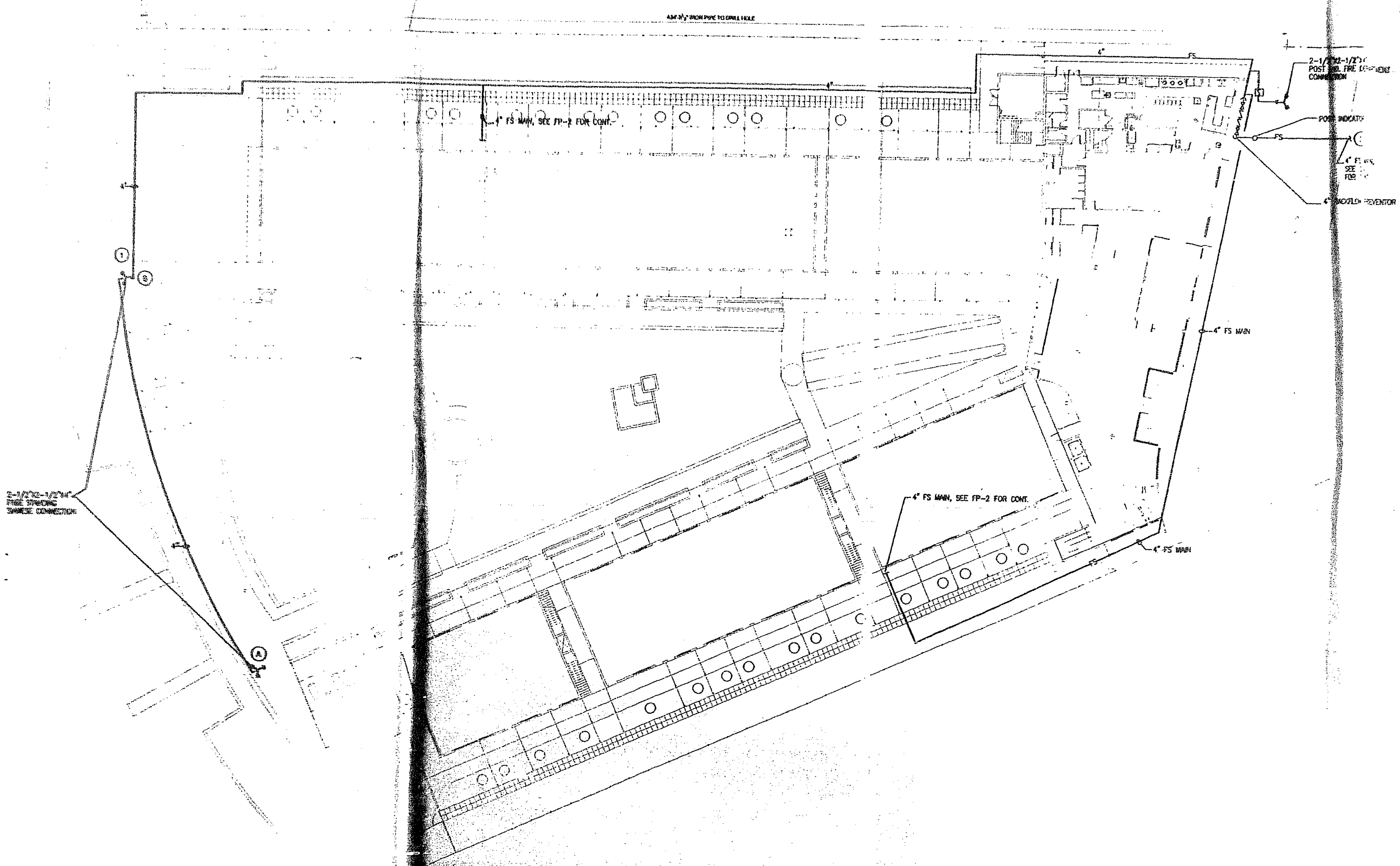
SEAL

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

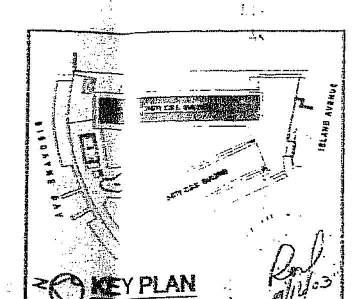
DRAWING TITLE
EAST WING
PLUMBING FLOOR PLAN

DRAWN BY I.B.
CHECKED BY R.J.M.
ISSUES

SHEET NO.
P-1



SITE PLAN
SCALE: 1" = 20'-0"



KEY PLAN

PROJECT #: 0304-053

ucIengineering

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PROJECT ARCHITECT

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SEAL

PROJECT TITLE

LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

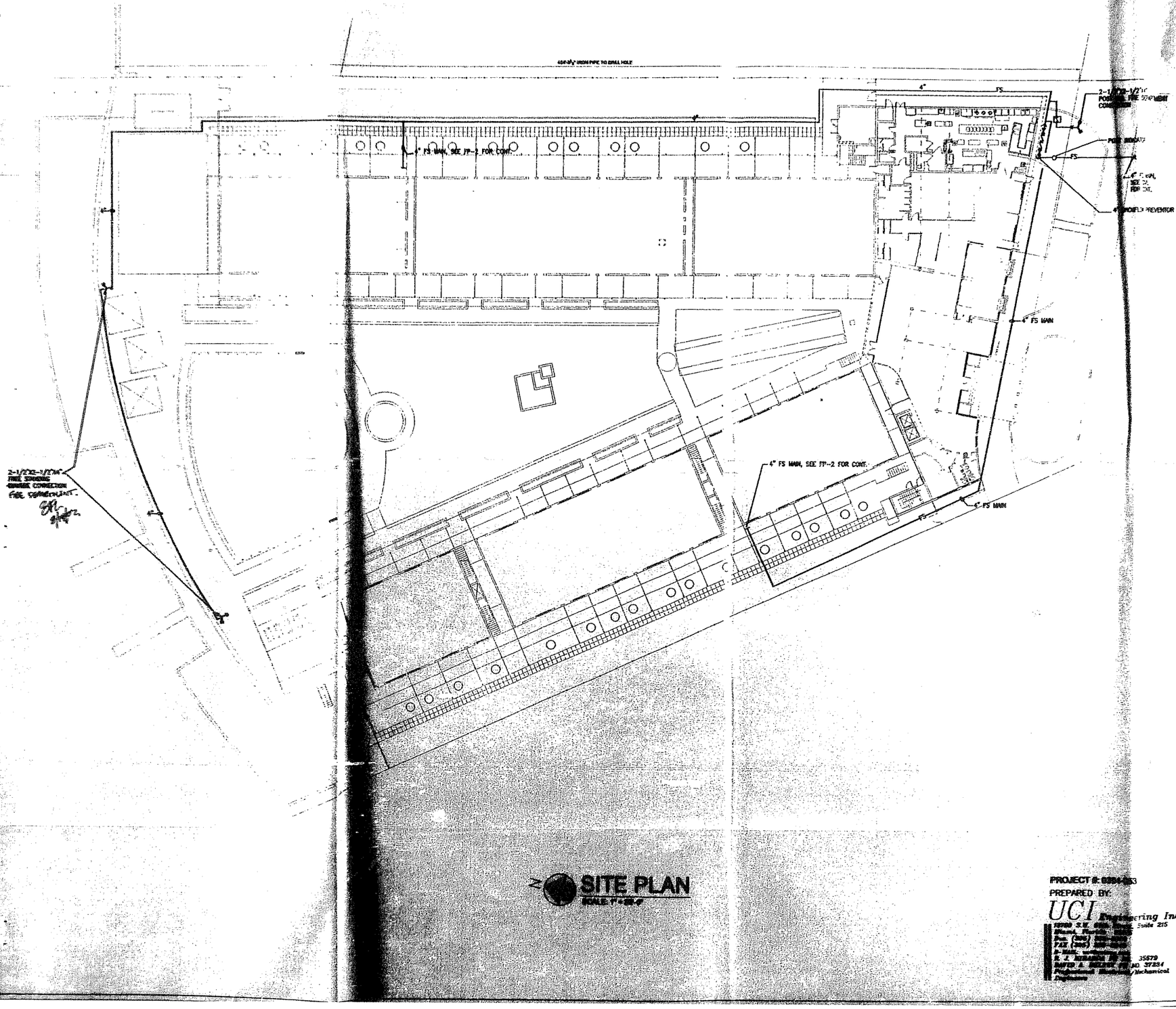
SITE PLAN - LOCATION SKETCH

DRAWN BY	E.Z.
CHECKED BY	R.J.M.

ISSUES

SHEET NO.

FP-1



SITE PLAN
SCALE: 1"=10'-0"

KEY PLAN
SCALE: 1"=100'-0"

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BUILDING:
ZONING: 7/21/15
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

PROJECT #: 0384.03
PREPARED BY:
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[illegible] 35879
[illegible] 37254
Plumbing / Electrical / Mechanical
Designer

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SEAL

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33

DRAWING TITLE
SITE PLAN - LOCATION SKETCH

DRAWN BY EZ
CHECKED BY R.J.M.
ISSUES

SHEET NO.
FP-1

EAST FIRE PROTECTION FLOOR PLAN

SCALE: 3/32"=1'-0"

2nd FLR. MECH. ROOM

SCALE: 3/32"=1'-0"

KEY PLAN

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MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE
PROJECT #: 0304-053

PREPARED BY:
uciengineering
From Vision to Reality

PROJECT ARCHITECT
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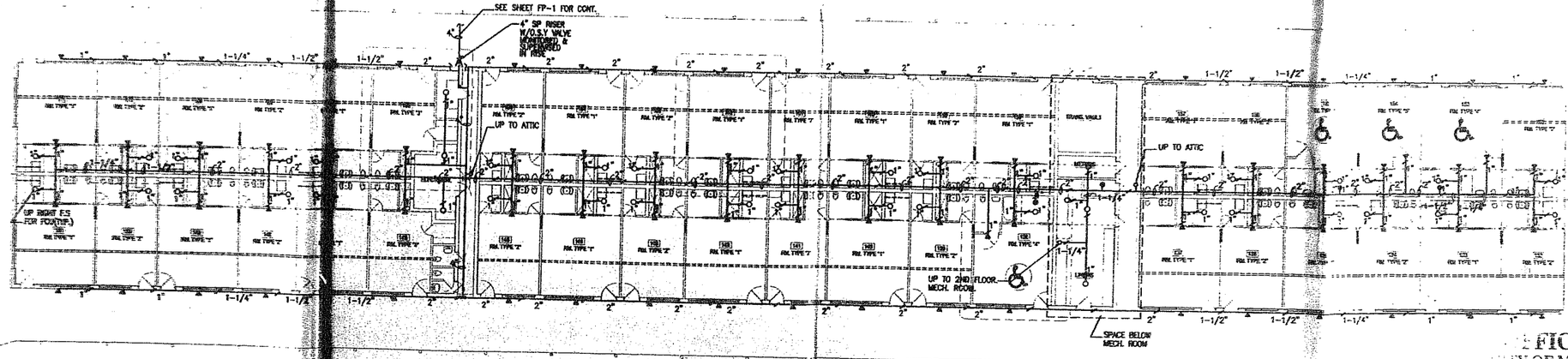
PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
FIRE PROTECTION PLAN

DRAWN BY E.Z.
CHECKED BY R.J.M.
ISSUES

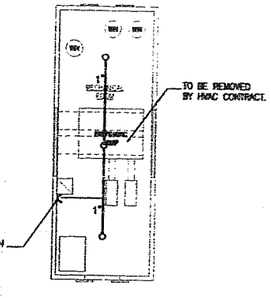
ISSUES	SHEET DATE

SHEET NO.
FP-2



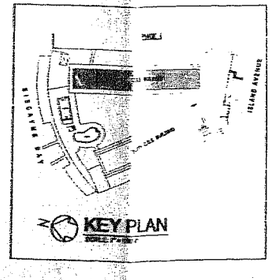
EAST FIRE PROTECTION FLOOR PLAN

SCALE: 3/32"=1'-0"



2nd FLR. MECH. ROOM

SCALE: 3/32"=1'-0"



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FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5.3
PROJECT APPROVED FOR CODE COMPLIANCE

PREPARED BY:

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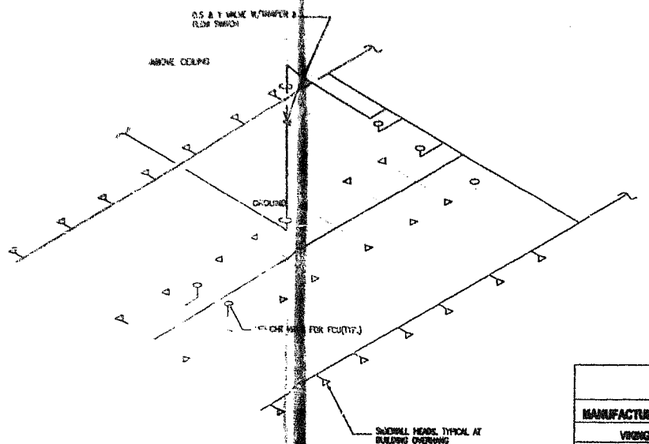
PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
FIRE PROTECTION PLAN

DRAWN BY E.Z
CHECKED BY R.J.M

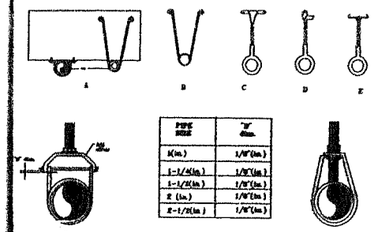
ISSUES

SHEET NO.
FP-2



RISER DIAGRAM DETAIL

SCALE: N.T.S



A - Type hangers for branch
B - Split ring or ground U-hook
C - Adjustable clip for branch lines
D - Steel beam adjustable hanger.
E - Adjustable coach screw clip for branch lines
F - Clevis hanger.
G - Adjustable swivel loop hanger.

SPRINKLER HANGER DETAILS

FIRE SPRINKLER LEGEND

- RECESSED CONCEALED SPRINKLER HEAD
- UPRIGHT SPRINKLER HEAD
- SPRINKLER HEAD WALL TYPE
- FIRE DEPARTMENT CONNECTION. SIZED AS SHOWN ON PLAN.
- BACKFLOW PREVENTOR
- FIRE
- PIPE TURNED DOWN
- PIPE RISE.
- PIPE CAP.
- F.D.C. VALVE

FIRE SPRINKLER SCHEDULE

MANUFACTURER	STYLE	SIZE	GPM	PSI	K	MODEL #	COMMENTS
VIKING	CONCEALED	1/2"			4.1	B-3	RESIDENTIAL CONCEALED
VIKING	SIDEWALL	1/2"	21	14.7	5.5	M	RESD. MTD 4'-6" BEL. CEIL
VIKING	UPRIGHT	1/2"		7	5.5	MICROMATIC	EXPOSED EQUIPMENT
							COVERAGE

FIRE SPRINKLER NOTES

1.- ALL FIRE PROTECTION SYSTEM SHALL BE IN COMPLIANCE WITH THE LOCAL FIRE CODES AND ORDINANCES AND AS PER N.F.P.A. 13 REQUIREMENTS
2.- MAKE ALL OFFSETS REQUIRED AS PER FIELD CONDITIONS
3.- CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES BEFORE INSTALLING SPRINKLER SYSTEM
4.- PROVIDE APPROVED FLOW AND TAMPER SWITCHES AT CONTROL VALVE LOCATIONS
5.- CONTRACTOR SHALL PROVIDE AND TURN OVER TO THE OWNER AT LEAST (6) SPARE SPRINKLERS OF SAME TYPE AND TEMPERATURE RATINGS BEING INSTALLED
6.- SYSTEM IS DESIGNED FOR LIGHT AND ORDINARY HAZARD OCCUPANCY
7.- INSTALL PIPING TIGHT TO STRUCTURAL SLAB AS PER POSSIBLE
8.- SPRINKLER SYSTEM SHALL BE INSTALLED BY A STATE CERTIFIED FIRE SPRINKLER CONTRACTOR.
9.- CONTRACTOR SHALL PROVIDE FLUSHING CONNECTIONS AND SHOW ON SHOP DRAWING SUBMITTALS.
10.- ALL SPRINKLER HEADS SHALL BE CENTERED AND PRESENT A NEAT AND BALANCED CEILING PATTERN.
11.- SPRINKLER PIPING SHALL BE SCHEDULE 40 BLACK STEEL A.S.T.M. / A. 53 FOR ORDINARY HAZARD AND CPVC SCH 40 FOR LIGHT HAZARD
12.- SPRINKLER HEADS SHALL BE A MINIMUM OF 12" FROM ANY FLOOR OBSTRUCTION, SHELVES, OR CABINETS
13.- SPRINKLERS NEXT TO COLUMNS SHALL BE 3 TIMES WIDTH OF COLUMN AWAY
14.- INSPECTORS TEST VALVE SHALL BE LOCATED 7'-0" A.F.F.
15.- SHOP DRAWING PIPE SIZES TO BE HYDRAULICALLY CALCULATED, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER AND SUBMITTED BY CONTRACTOR TO AUTHORITIES FOR REVIEW PRIOR TO THE INSTALLATION OF THE SYSTEM.
16.- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.

DETAILS AND NOTES

NONE N.T.S

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MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

PROJECT #: 0384-069 Florida Building Code Section 104.2.3
PREPARED BY: REVIEWED FOR CODE COMPLIANCE

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SEAL

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

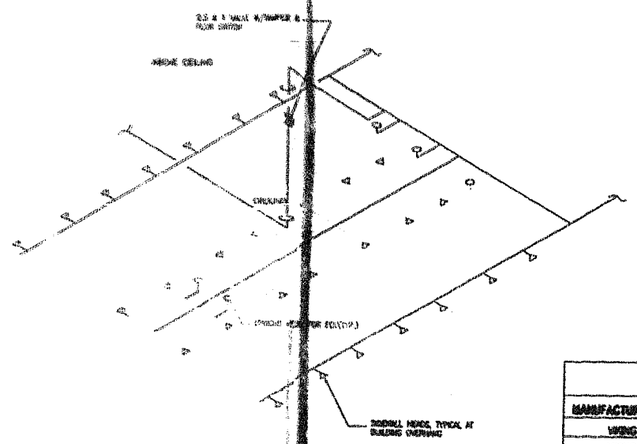
DRAWING TITLE
EAST WING
ATTIC AND RISER DIAGRAM

DRAWN BY EZ
CHECKED BY R.J.M.

ISSUES

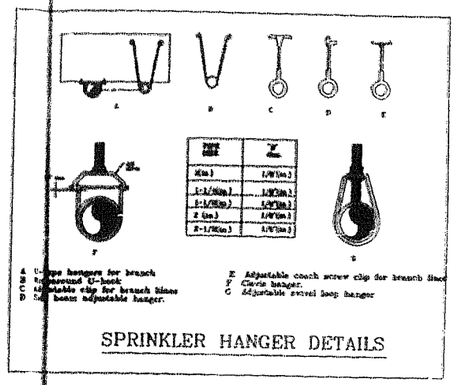
NO.	DESCRIPTION	ISSUE DATE

SHEET NO.
FP-3



RISER DIAGRAM DETAIL

SCALE: N.T.S.



FIRE SPRINKLER LEGEND

- ● RECESS RECESSED SPRINKLER HEAD
- ○ UPRIGH UPRIGHT SPRINKLER HEAD
- ◀ SPRINK SIDEWALL TYPE
- PIPE DI ATTACHMENT CONNECTION SIZED AS SHOWN ON PLAN.
- BACKFL BACKFLOW PREVENTOR
- FIRE
- PIPE TY DOWN
- PIPE R
- PIPE E CAP
- GATE & VALVE

FIRE SPRINKLER SCHEDULE

MANUFACTURER	STYLE	SIZE	GPM	PSI	K	MODEL #	COMMENTS
VIKING	CONCEALED	1/2"			4.1	B-3	RESIDENTIAL CONCEALED
VIKING	SIDEWALL	1/2"	2	14.7	5.5	M	RESID. MTD 4"-8" BEL. CEIL
VIKING	UPRIGHT	1/2"		7	5.5	MICROMATIC	EXPOSED EQUIPMENT COVERAGE

FIRE SPRINKLER NOTES

1.- ALL FIRE PROTECTION SYSTEM SHALL BE IN COMPLIANCE WITH THE LOCAL FIRE CODES AND ORDINANCES AND AS PER NFPA REQUIREMENTS
2.- MAKE ALL OFFSETS REQUIRED AS FIELD CONDITIONS
3.- CONTRACTOR SHALL COORDINATE WORK WITH HVAC AND OTHER TRADES BEFORE INSTALLING SPRINKLER SYSTEM
4.- PROVIDE APPROVED FLOW AND TAMPER SWITCH AT CONTROL VALVE LOCATIONS
5.- CONTRACTOR SHALL PROVIDE AND TURN OVER TO THE OWNER AT LEAST (6) SPARE SPRINKLERS OF SAME TYPE AND TEMPERATURE RATINGS BEING INSTALLED
6.- SYSTEM IS DESIGNED FOR LIGHT AND ORDINARY HAZARD OCCUPANCY
7.- INSTALL PIPING RIGHT TO STRUCTURE WHERE POSSIBLE
8.- SPRINKLER SYSTEM SHALL BE INSTALLED BY A STATE CERTIFIED FIRE SPRINKLER CONTRACTOR.
9.- CONTRACTOR SHALL PROVIDE FLUSHING CONDITIONS AND SHOW ON SHOP DRAWING SUBMITTALS.
10.- ALL SPRINKLER HEADS SHALL BE CENTERED TO PRESENT A NEAT AND BALANCED CEILING PATTERN.
11.- SPRINKLER PIPING SHALL BE SCHEDULE 40 BLACK STEEL A S T M / A 53 FOR ORDINARY HAZARD AND GPMC TUBING OF LIGHT HAZARD
12.- SPRINKLER HEADS SHALL BE A MINIMUM OF 18" FROM ANY FLOOR OBSTRUCTION, SHELVES, OR CABINETRY.
13.- SPRINKLERS NEXT TO COLUMNS SHALL BE 3 TIMES WIDTH OF COLUMN AWAY
14.- INSPECTORS TEST VALVE SHALL BE LOCATED 7'-0" A.F.F.
15.- SHOP DRAWING PIPE SIZES TO BE HYDRAULICALLY CALCULATED, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER AND SUBMITTED BY CONTRACTOR TO AUTHORITIES FOR REVIEW PRIOR TO THE INSTALLATION OF THE SYSTEM.
16.- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.

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ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
PROJECT ADMIN:

PREPARED per Florida Building Code Section 104.5.3 COMPLIANCE

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DETAILS AND NOTES

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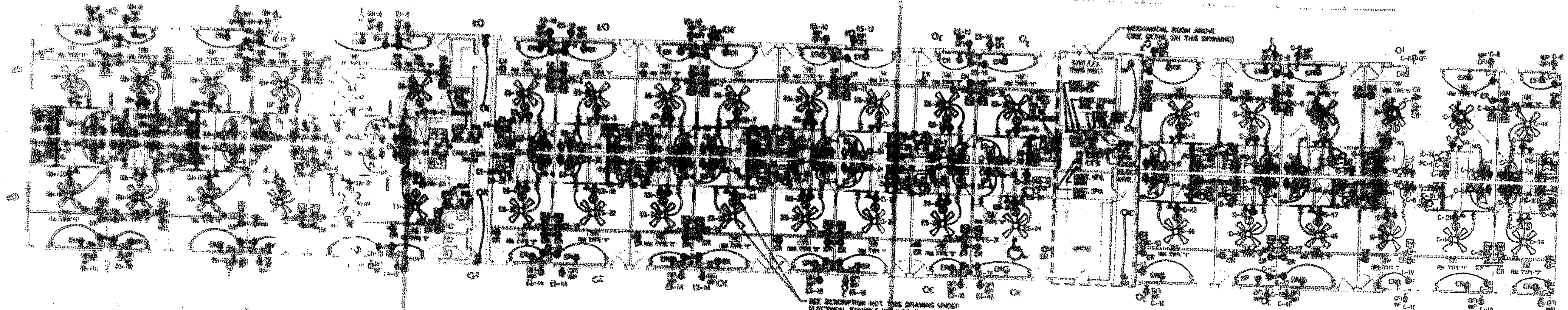
SEAL

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING
ATTIC AND RISER DIAGRAM

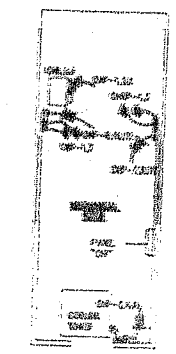
DRAWN BY EZ
CHECKED BY R.J.M
ISSUES

SHEET NO.
FP-3



EAST WING PROPOSED FLOOR PLAN

NOTE: GUEST ROOMS AND SUITES SPECIFICALLY REQUIRED AND EQUIPPED TO ACCOMMODATE HEARING IMPAIRED INDIVIDUALS SHALL BE PROVIDED WITH A SMOKE STATION OR SYSTEM DEVICE CAPABLE OF VISUAL AS WELL AS AUDIBLE NOTIFICATION



MECH. ROOM DETAIL

ELECTRICAL GENERAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR EXACT LOCATION OF EQUIPMENT. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY DETAIL. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND ACCEPTABLE WORKING INSTALLATION PER CODE.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST [illegible] OF THE NEC AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
3. ALL MATERIAL SHALL BE NEW AND SHALL BEAR UL LABEL [illegible]
4. CIRCUITS SHOWN ON THESE PLANS ARE SYMBOLICALLY SHOWN TO [illegible]
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE POWER UTILITY TO OBTAIN TEMPORARY POWER [illegible]
6. THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY TO OBTAIN PERMANENT POWER [illegible]
7. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE COMPANY [illegible]
8. IF APPLICABLE, THE CONTRACTOR SHALL COORDINATE WITH THE CABLE TV COMPANY [illegible]
9. [illegible]
10. THE CONTRACTOR SHALL THOROUGHLY REVIEW THESE DRAWINGS AND [illegible]
11. ELECTRICAL DESIGN IS BASED UPON THE BEST AVAILABLE [illegible]
12. ALL CONDUCTORS SHALL BE COPPER WITH THHN INSULATION.
13. ALL PANELS SHALL BE CLEARLY LABELED ON THE OUTSIDE FOR QUICK AND EASY IDENTIFICATION. ALL CIRCUITS IN ALL PANELS SHALL BE CLEARLY IDENTIFIED AND SHALL APPEAR WITH COMPLETE INFORMATION (DESCRIPTION OF CIRCUIT, BREAKER SIZE, NUMBER OF POLES AND BREAKER POSITION NUMBER) [illegible]. IN ADDITION, THE VOLTAGE, PHASE AND AMP RATING OF EACH PANEL SHALL CLEARLY BE IDENTIFIED ON THE INSIDE DOOR. [illegible] APPLIES FOR ANY AND ALL EXISTING TO REMAIN PANEL [illegible] AND CIRCUITS.
14. PLANS SHOWING AS-BUILT CHANGES SHALL BE DELIVERED TO [illegible] OWNER'S REPRESENTATIVE UPON COMPLETION OF WORK.
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THIS INSTALLATION IN COMPLIANCE WITH ALL FIRE PREVENTION CODES [illegible] ALL DRAWINGS, SPECIFICATIONS AND NOTES. THE CONTRACTOR SHALL COMMUNICATE AND COORDINATE WITH THE FIRE [illegible] AND SHALL PROVIDE ALL NECESSARY INFORMATION NEEDED TO [illegible] THAT LIFE SAFETY SYSTEMS ARE TO LOCAL CODE [illegible].
16. ALL SERVICE ENTRANCE EQUIPMENT IS TO BE RATED AT 100,000 AIC [illegible] TO PROVIDE SERVICE ENTRANCE [illegible] WITH LOWER RATINGS THE CONTRACTOR SHALL PROVIDE IN [illegible] INFORMATION FROM THE POWER UTILITY VERIFYING THAT [illegible] FAULT CURRENTS ARE AT AN ACCEPTABLE LEVEL TO [illegible] THE LOWER RATED EQUIPMENT. IF SERVICE ENTRANCE [illegible] IS EXISTING, THE CONTRACTOR SHALL VERIFY THAT AIC [illegible] OF EXISTING EQUIPMENT ARE PROPER. THE CONTRACTOR [illegible] COORDINATE WITH THE POWER UTILITY AND THE ENGINEER PRIOR TO BID.
17. ALL EXTERIOR EQUIPMENT, OUTLETS, LIGHTING FIXTURES, [illegible] ETC. SHALL BE WEATHERPROOF.
18. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED CONNECTIONS FOR ALL OTHER TRADES.
19. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
20. [illegible] EXACT LOCATION AND MOUNTING HEIGHTS OF ALL [illegible] LIGHTS AND ELECTRICAL FIXTURES SHALL BE DETERMINED BY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL [illegible] AND LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO BID [illegible] INSTALLATION.
21. [illegible] CONTRACTOR SHALL PROVIDE ROUTING FOR ALL FLOOR MOUNTED [illegible] AND OTHER [illegible] AND CONNECTIONS NOT READILY [illegible] VIA WALL OR CEILING. THE CONTRACTOR SHALL [illegible] WITH ARCHITECT AND OWNER TO DETERMINE THE METHOD [illegible] SUCH AREAS (I.E. TRENCHING, CORE AND BORING, POWER [illegible] ETC.) PRIOR TO BID.
22. ALL [illegible] AND PIPES PLACED IN OR THROUGH ANY CONCRETE [illegible] CONDUIT OR PIPE OF ANY OTHER SERVICE.
23. ALL [illegible] LARGER THAN 2 INCHES IN [illegible] SHALL BE GALVANIZED RIGID STEEL. PVC SCH 40 WILL [illegible] IF APPROVED BY LOCAL REGULATIONS [illegible] ALL OTHER RACEWAYS 2" AND SMALLER IN DIAMETER [illegible]
24. [illegible] BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS AND [illegible] WITH THREADED HUBS IN WET OR DAMP LOCATIONS.
25. [illegible] SWITCHES SHALL BE HORSEPOWER RATED, HEAVY DUTY, [illegible] QUICK BREAK, IN NEMA 1 OR NEMA 3R ENCLOSURES AS [illegible] BY EXPOSURE.
26. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY [illegible] NEC REQUIREMENTS AND STATE AND LOCAL CODE [illegible]
27. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT.
28. IT IS NOT THE INTENTION OF THESE DRAWINGS TO ESTABLISH LIGHTING LEVELS OF ANY KIND. THE NUMBER, STYLE AND LOCATION OF LIGHTING FIXTURES ARE DETERMINED BY THE ARCHITECT AND/OR THE OWNER. THE LIGHTING FIXTURE SCHEDULE IF APPEARING ON THESE DRAWINGS IS FOR INFORMATIONAL PURPOSES AND HAS BEEN DEVELOPED BY THE ARCHITECT AND/OR OWNER. FOR DETAILED QUESTIONS REGARDING LIGHTING FIXTURES CONTACT THE ARCHITECT OR OWNER.
29. EXISTING LIGHTING FIXTURES WHEN REUSED ARE TO BE RECIRCUITED AND RECONNECTED. THE ARCHITECT AND/OR OWNER SHALL BE INFORMED OF AND SHALL APPROVE THE REUSE OF ALL REUSED LIGHT FIXTURES. ALL REUSED LIGHTING FIXTURES SHALL BE RELAMPED, CLEANED AND REPAIRED IF NECESSARY. ANY EXISTING LIGHTING FIXTURE BEYOND REPAIR SHALL BE REPLACED. ALL LIGHTING FIXTURES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR.
30. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ELECTRICAL SERVICES TO MECHANICAL EQUIPMENT IS ACCOUNTED FOR PRIOR TO BID. IN ADDITION, ALL MECHANICAL EQUIPMENT SUBSTITUTIONS ARE TO BE ACCOUNTED FOR PRIOR TO BID AND SHALL BE COORDINATED ELECTRICALLY.
31. FOR HVAC EQUIPMENT THE MECHANICAL CONTRACTOR SHALL PROVIDE THE SMOKE DETECTOR, IF REQUIRED, AND THE ELECTRICAL CONTRACTOR SHALL INSTALL THE SMOKE DETECTOR.
32. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR INSTALLATION OF ALL MECHANICAL CONTROLS.
33. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FORWARD ANY SHOP DRAWINGS TO THE ARCHITECT/OWNER. SHOP DRAWINGS ARE NOT SOLICITED BY THE ENGINEER.
34. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FIRE STOPPING MEASURES ARE PROVIDED PER LOCAL BUILDING DEPT. REQUIREMENTS. THE FIRE STOPPING MATERIAL AND ITS INSTALLATION SHALL BE UL APPROVED. ALL FIRE STOPPING MATERIAL SHALL BE NON WATER SOLUBLE.

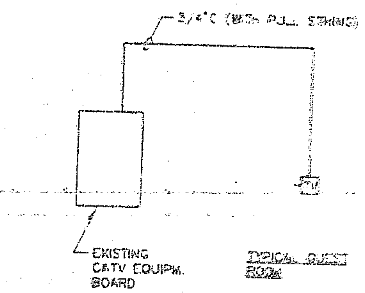
LOAD DATA (208Y/120V - 3PH-4W SERVICE)

A/C MAIN LOAD	
NEW PANEL "CHP"	46,095 VA (128A)
LIGHTING MAIN LOAD	
NEW PANEL "EN"	26,592 VA
NEW PANEL "ES"	28,064 VA
NEW PANEL "C"	31,932 VA
NEW PANEL "EL"	17,988 VA
EXST. OTHER LTG. LOAD	95,000 VA
TOTAL LTG. CONN. LOAD	200,136 VA (556 A)
TOTAL BDG. CONN. LOAD	286,291 VA (795 A)

ELECTRICAL SYMBOLS

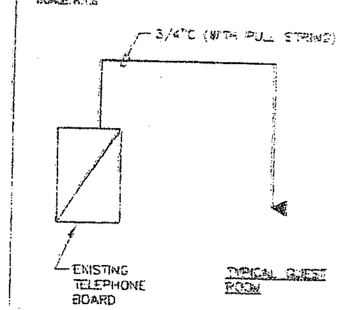
- GFI DUPLEX RECEPTACLE, 20A, 120V GROUND TYPE, WALL MTD., WITH GROUND FAULT INTERRUPT, 18" A.F.F. (OR 48" A.F.F. ABOVE SINKS).
- DUPLEX RECEPTACLE, 20A, 120V GROUND TYPE, WALL MOUNTED 18" A.F.F.
- QUADRUPLEX RECEPTACLE, 20A, 120V, GROUND TYPE, WALL MTD. 18" A.F.F.
- WP SAME AS ABOVE, BUT WEATHER PROOF
- SINGLE RECEPTACLE, 20A, 120V GROUND TYPE, WALL MTD.
- TV OUTLET, WALL MOUNTED
- TELEPHONE OUTLET, WALL MTD.
- LIGHTING SWITCH
- CEILING MOUNTED LIGHTING FIXTURE OUTLET
- WALL MOUNTED LIGHTING FIXTURE OUTLET
- PADDLE FAN
- 120V SMOKE DETECTOR WITH BATTERY PACK
- EXIT SIGN
- EMERGENCY BATTERY PACK
- ELECTRIC MOTOR
- E EXISTING TO REMAIN
- ER EXISTING TO BE REPLACED

NOTE:
LIGHTING FIXTURES LOCATION SHOWN AS ABOVE FOR CLARITY. SEE ARCHITECT'S REFLECTED CEILING DRAWINGS AND INTERIOR ELEVATION 2 ON SHEETS A2.03 THROUGH A2.04 FOR EXACT LOCATION AND DIMENSIONAL CRITERIA ON WALL MOUNTED LIGHTING FIXTURES AND OTHER ELECTRICAL [illegible]



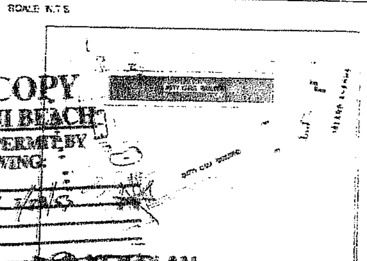
CATV RISER DIAGRAM

SCALE: N.T.S.



TELEPH. RISER DIAGRAM

SCALE: N.T.S.



KEY PLAN

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

PROJECT #: 2304-053
PREPARED BY:
UCI Engineering Inc.

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
EAST WING ELECTRICAL FLOOR PLAN, RISERS, NOTES AND SYMBOLS

DRAWN BY C.P.
CHECKED BY R.J.M.
ISSUES

SHEET NO.
E-1

DADE COUNTY DEPT. OF ENVIRONMENTAL RESOURCES MANAGEMENT
WASTEWATER SECTION
SEWER CAPACITY ALLOCATION

DATE: 10/7/03 ALLOCATION No. ____

☐ APPROVED WITH CONDITIONS
See Letter Attached

☒ ALLOCATION NOT REQUIRED

Kirk T. Wong

For John W. Renfrow, P.E.
Director, DERM

Note: This approval is not a building Permit

Derm Number: 2003-1003-1540-0247
Contact Name: MR JEFF WELOFF
Contact Phone: (305)345-9649
Folio: 02-3233-004-0090
Project Name: LIDO SPA & HOTEL EAST WINK
Date Received: 10/03/2003
Reviewer Name: KIRK WONG

DEPT. OF [illegible] RESOURCES MANAGEMENT
OFFICE OF PLAN REVIEW SERVICES

PLAN PROCESS [illegible] D

REVIEW TYPE	[illegible]		[illegible]	DATE
ENV CORE	KW	10/7/03	KW	10/6/03
FLOOD PLAIN				
INDUSTRIAL [illegible]				
ASBESTOS	[illegible]	10/6/03		
PAVING/DRAINAGE				
STORAGE TANK				
WASTE REG				
PRETREATMENT				
WATER SUPPLY				
WASTEWATER				
AIR				
AGRICULTURE				
AIRPORT				
UPLAND & [illegible]				
OTHER				

Kirk T. Wong 10/7/03

*PERMIT IS NOT [illegible] APPROVAL IS ISSUED [illegible] PLAN REVIEW SERVICES

BD304D36
40 ISLAND AVE
"EAST WING"

LASON

PERMIT #

B03044433

LIDO SPA HOTEL

40 ISLAND AVE, MIAMI BEACH, FL 33139

WEST WING - RENOVATION
PHASE TWO OF CONSTRUCTION

DEVELOPMENT	PROJECT DESIGNER	ARCHITECTURE
HotelsAB 295 Lafayette Street, Suite 708, New York, NY 10012 phone: 646.792.6165 fax: 212.219.8027	SHAWN HAUSMAN DESIGN 1265 N. Crescent Hts. Blvd., Los Angeles, CA 90046 phone: 323.656.0898 fax: 323.650.4591	ALISON SPEAR, A.I.A. 180 NE 39th St., SUITE 222, MIAMI, FL 33137 phone: 305.438.1200 fax: 305.438.1221

MECHANICAL / ELECTRICAL / PLUMBING	CONSTRUCTION	CODE COMPLIANCE CONSULTANT
UCI ENGINEERING, INC. 13780 SW 56th Street, Suite 215 Miami, FL. 33175 phone: 305-383-8989 fax: 305-383-9949	WAHAB CONSTRUCTION, INC. 818 SW 4th Avenue, Upstairs Miami, FL. 33130 phone: 305-854-8480 fax: 305-854-8490	R.D. HALE, INC. 7382 Gary Avenue Miami Beach, FL. 33141 phone: 305-868-9650 fax: 305-868-9648

INDEX OF DRAWINGS

ARCHITECTURE

SHEET NUMBER		PERMIT ISSUE
A-0.00	INDEX, GENERAL NOTES, SCOPE OF WORK & VACINITY MAP	•
A-0.01	SITE PLAN	•
A-1.00	PROPOSED FLOOR PLANS (FIRST & SECOND FLOOR)	•
A-1.01	PROPOSED ELEVATIONS	•
A-2.00	ROOM TYPE '1' - PLANS, ELEVATIONS & DETAILS	•
A-2.01	ROOM TYPE '2' - PLANS, ELEVATIONS & DETAILS	•
A-2.03	ROOM TYPE '4' - PLANS, ELEVATIONS & DETAILS	
A-2.04	ROOM TYPE '5' - PLANS, ELEVATIONS & DETAILS	•
A-2.05	ROOM TYPE '6' - PLANS, ELEVATIONS & DETAILS	•
A-2.06	ROOM TYPE '6A' - PLANS, ELEVATIONS & DETAILS	•
A-3.00	ROOM TYPE - DETAILS	•
A-4.00	DOOR SCHEDULE	
A-4.01	FINISH SCHEDULE	

STRUCTURAL ENGINEERING

MECHANICAL & ELECTRICAL ENGINEERING

REFER TO M.E.P. DRAWINGS

SCOPE OF WORK

THE SCOPE OF THE WORK INCLUDES THE RENOVATION OF THE ABOVE MENTIONED BUILDING COMPRISING OF: NEW FINISHES IN GUESTROOMS & BATHROOMS, REPLACEMENT OF FIXTURES IN BATHROOMS. NEW MECHANICAL SYSTEM AND LIFE SAFETY SYSTEM.

LEGAL DESCRIPTION

LEGAL DESCRIPTION:
LOTS 39, 40, 41, AND 42, OF "AMENDED PLAT OF BELLE ISLE", ACCORDING TO THE PLAT THEROF RECOVERDED IN PLAT BOOK 5 AT PAGE 11 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND BEING SITUATED ON BELLE ISLAND, ON VENETIAN CAUSEWAY, WHITHIN THE CITY LIMITS OF MIAMI BEACH, FLORIDA.

FOLIO NO.: 02-3233-004-0080

GENERAL NOTES

01- ALL WORK LISTED ON THE CONSTRUCTION DOCUMENT NOTES AND SHOWN OR IMPLIED ON ALL DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED ON DRAWINGS. IT IS EXPECTED THAT THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THE WORK OF ALL SUBCONTRACTORS TO ASSURE ALL CONSTRUCTION SCHEDULES ARE MET.

02- ALL WORK SHALL COMPLY WITH THE REGULATIONS THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLEMENTAL TO ALL LAWS & CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS. ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIALLY NOTED IN THE CONSTRUCTION DOCUMENTS. HOWEVER, THIS SHOULD NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS CAN BE MODIFIED BECAUSE THEY ARE NOT SPECIFICALLY NOTED BY SUCH CODES OF LAWS.

03- ALL DRAWINGS AND NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL.

04- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE OR SHE CANNOT COMPLY WITH ANY AND/OR ALL INCLUDED CONSTRUCTION DOCUMENTS.

05- BEFORE COMMENCING ANY WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THE CONSTRUCTION NOTES AND FIELD CONDITIONS.

06- WHERE THE TERM "APPROVED" OR "APPROVED EQUAL" IS USED IN THE CONSTRUCTION NOTES, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGMENT OF AND PROPOSED SUBSTITUTE SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL.

07- THE GENERAL CONTRACTOR SHALL FURNISH THE ARCHITECT WITH PROGRESS SCHEDULES FOR ALL PHASES OF CONSTRUCTION.

08- ALL CORRESPONDENCE TO PROFESSIONAL RELATED TO THIS PROJECT, AND TO THE CLIENT SHALL BE FORWARDED IN COPIES TO ALL PARTIES INVOLVED.

09- THE GENERAL CONTRACTOR SHALL SUBMIT FOR APPROVAL ALL SHOP DRAWINGS, SCHEDULES AND FIXTURE CUTS IN TRIPLICATE, ONE COPY IN SEPIA FORM. ALL DOCUMENTS MARKED "APPROVED" SHALL SUPERSEDE THE ORIGINALS.

10- ALL SHOP DRAWINGS SHALL BE FILED BY THE GENERAL CONTRACTOR. IN ADDITION, ALL ENGINEERING DRAWINGS SHALL BE FILED BY THE RESPECTIVE ENGINEERING/CONTRACTOR.

11- THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS LISTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR REQUESTING ANY ADDITIONAL DETAIL DRAWINGS REQUIRED TO INTERPRET AND EXPLAIN THE CONSTRUCTION DOCUMENTS AND OTHER INFORMATION DEEMED NECESSARY TO PERFORM WORK. IT SHALL BE UNDERSTOOD THAT THIS ADDITIONAL DATA SHALL BE CONSIDERED AS FORMING A PART OF THESE NOTES AS THEY RELATE.

12- THE USE OF THE WORDS "SUPPLIED BY" OR "PROVIDED", IN CONNECTION WITH ANY ITEM SPECIFIED IT IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED, INSTALLED AND CONNECTED WHERE SO REQUIRED (UNLESS OTHERWISE NOTED).

13- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY OF THE CONSTRUCTION SITE UNTIL THE SPACE IS TURNED OVER TO THE CLIENT.

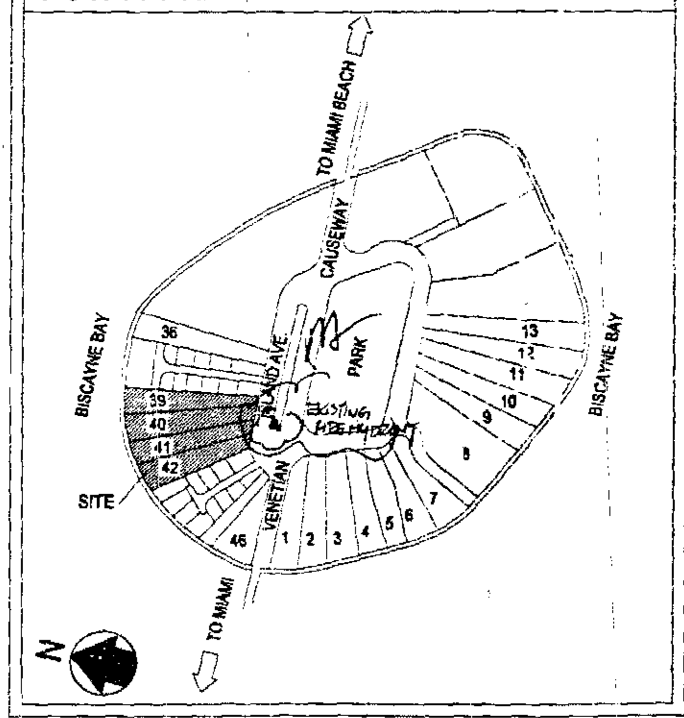
14- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE CONSTRUCTION FLOOR DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES. A SET INDICATING AS-BUILT CONDITIONS SHALL BE FORWARDED TO THE ARCHITECT UPON PROJECT COMPLETION.

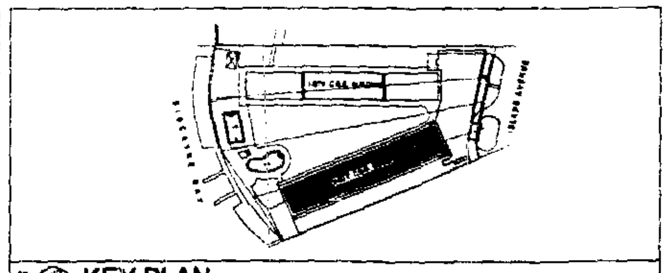
15- UPON JOB COMPLETION, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION FROM THE REQUIRED LOCAL AUTHORITIES AND OBTAIN CERTIFICATES OF COMPLETED INSPECTION.

16- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION OF PUBLIC AREAS AND SHALL BE RESPONSIBLE FOR KEEPING THESE AREAS CLEAN AND FREE OF MATERIALS AT ALL TIMES.

17- PROJECT EXIST/NEW/NEW TO BE CONSIDERED SINGLE BLDG EXCEPT OCCUPANCY SEPARATIONS

VICINITY MAP





KEY PLAN

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
DRB HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

MIAMI-DADE COUNTY APPROVED

PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL

PROJECT TITLE

LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

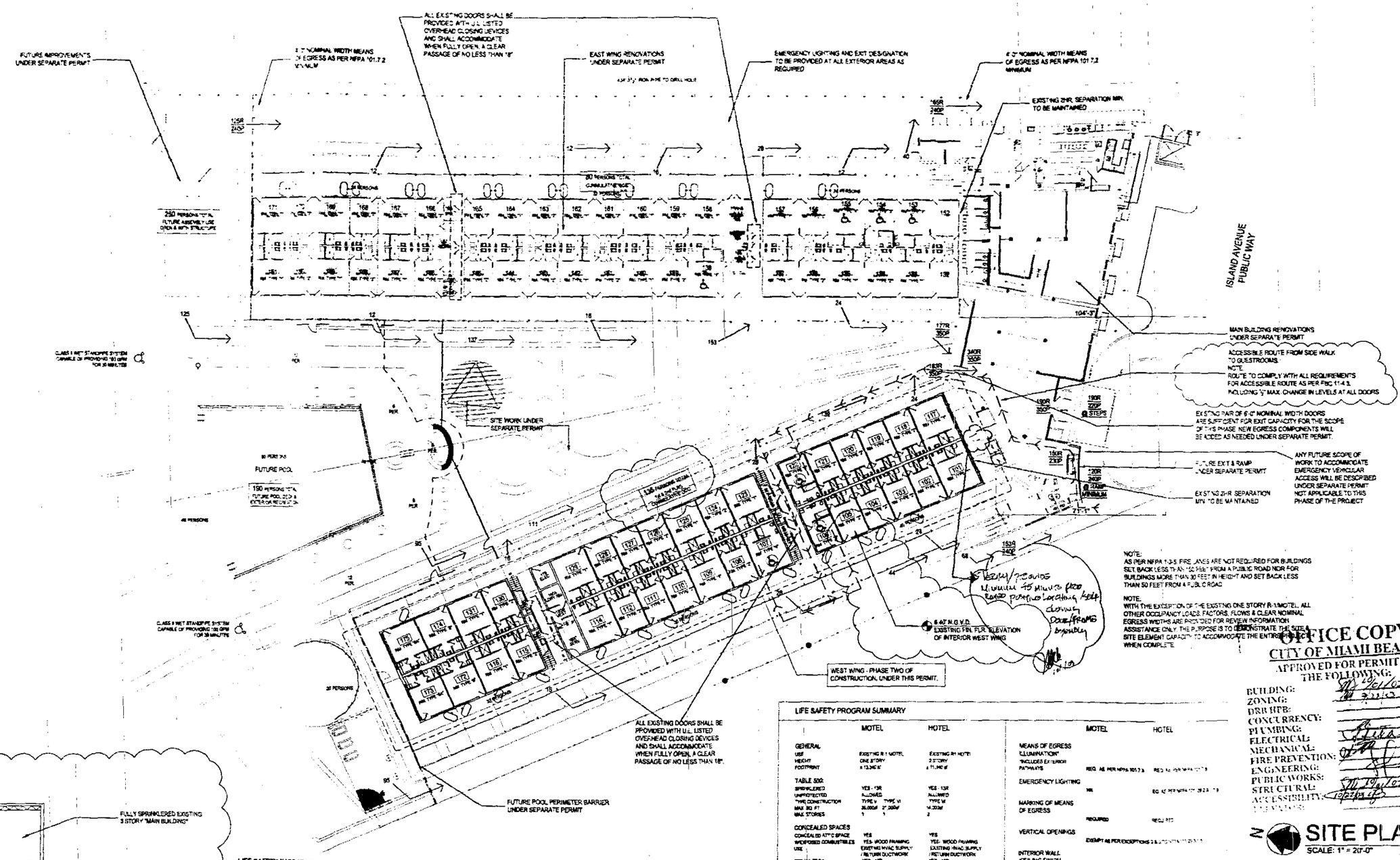
DRAWING TITLE

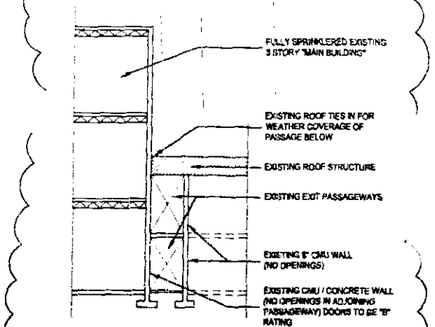
DWG. INDEX, GENERAL NOTES, LOCATION MAP

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-23-03	PERMIT ISSUE

SHEET NO.

A-0.00





SCHEMATIC SECTION BETWEEN MAIN BUILDING AND WEST WING

LIFE SAFETY NARRATIVE

ANALYSIS OF R-1 BUILDING REQUIREMENTS BY EXISTING HEIGHT AND EXISTING BUILDING AREA.

THE EAST (1) SINGLE STORY MOTEL
SUMMARY: THE EXISTING, NO GRADE, SINGLE STORY, APPROXIMATELY 12,380 SQ.FT. / 40 UNIT MOTEL WING HAS AND WILL MAINTAIN DIRECT EXIT / MEANS OF ESCAPE ACCESS TO THE EXTERIOR / OUTSIDE AT GRADE FOR THIS PROJECT ALL EXISTING ATTIC CONCEALED SPACES ARE TO BE MAINTAINED IN ORDER TO ACCOMMODATE NEW NON-DUAL / INDEPENDENT HVAC COMPONENTS FOR EACH ROOM / SUITE. THE EXISTING HVAC SYSTEM IS TO BE REMOVED IN ITS ENTIRETY, HOWEVER THIS EXISTING CONCEALED SPACE IS TO BE SPRINKLERED AS PART OF AN ENGINEERED NFPA 13R SYSTEM THAT WILL INCLUDE THE MOTEL DWELLING UNITS IN ADDITION TO PROVIDING AUTOMATIC SPRINKLER PROTECTION FOR EACH UNITS EXTERIOR PRIVACY AREA. AS SUCH, AND AS PERMITTED BY ALLOWABLE CHARACTERISTICS FOR SPRINKLERED TYPE V OR IV CONSTRUCTION, COMPARTMENTATION IS NOT REQUIRED

AS PER TABLE 602 WHEN SPRINKLERED, EITHER TYPE V OR TYPE VI UNPROTECTED CONSTRUCT ION PARAMETERS ARE ACCEPTABLE WHERE EXISTING SPRINKLERED SPACES ARE PART OF THE TENANT SEPARATION IT IS CONSIDERED AS THE AIR SPACE PORTION (J) OF THE ASSEMBLY.

REGARDING TENANT SEPARATION, 2(1) - ONE HOUR IS REQUIRED IN ANY CASE

REGARDING COMBUSTIBLES IN CONCEALED SPACES WITH SPRINKLERS IN EITHER TYPE V OR TYPE VI CONSTRUCTION EXPOSED COMBUSTIBLES IN CONCEALED SPACES ARE ALLOWED.

NOTE: AS PER FBC 20[illegible] 602.4 TYPE V AND TYPE VI CONSTRUCTION, PARTITIONS MAY BE OF ANY MATERIAL

MEANS OF EGRESS / COMPONENTS
• ALL MEANS OF EGRESS, INCLUDING THE EXISTING OPEN STAIRS ARE EXTERIOR MEANS OF EXIT ACCESS
MAXIMUM ALLOWABLE TRAVEL DISTANCE TO AN EXIT IS NEVER REACHED.
• DUE TO MULTIPLE REMOTE STAIRS FOR EXIT ACCESS AND LACK OF DEAD ENDS, PROTECTION OF THE EXISTING EXTERIOR STAIRS IS NOT REQUIRED
• PROTECTION OF OPENINGS BETWEEN THE INTERIOR OF THE DWELLING UNITS AND THE EXTERIOR MEANS OF EXIT ACCESS IS NOT REQUIRED.

SITE EMERGENCY ACCESS LANES
NOT REQUIRED

ELEVATORS
NOT APPLICABLE TO EXISTING HOTEL/MOTEL AS PART OF THIS SCOPE OF WORK.

DETECTION, ALARM, COMMUNICATIONS SYSTEM
NOT REQUIRED. HOWEVER, SEE MECHANICAL DRAWINGS FOR SMOKE/FIRE DAMPER MONITORING/SUPERVISION DETAIL. THE 13R SYSTEM SHALL ALSO BE MONITORED/SUPERVISED

MARINA / DOCK
CLASS 2 STANDPIPE REQUIRED. 100 GPM @ 30 MINUTES SUPPLY.

LIFE SAFETY PROGRAM SUMMARY

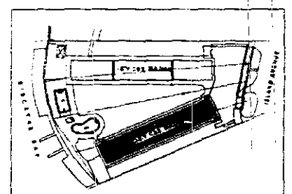
	MOTEL	HOTEL
GENERAL		
USE	EXISTING R-1 MOTEL	EXISTING R-1 HOTEL
HEIGHT	ONE STORY	3 STORY
FOOTPRINT	± 13,240 S.F.	± 11,240 S.F.
TABLE 500		
SPRINKLERED	YES - 13R	YES - 13R
UNPROTECTED	ALLOWED	ALLOWED
TYPE CONSTRUCTION	TYPE V TYPE VI	TYPE VI
MAX. SQ. FT.	36,000# 3" 36,000#	14,000#
MAX. STORIES	3 3	3
CONCEALED SPACES		
CONCEALED ATTIC SPACE	YES	YES
PROPOSED COMBUSTIBLES USE	YES- WOOD FRAMING EXISTING HVAC SUPPLY / RETURN DUCTWORK	YES- WOOD FRAMING EXISTING HVAC SUPPLY / RETURN DUCTWORK
SPRINKLERED	YES - 13R	YES - 13R
EXPOSED COMBUSTIBLES ALLOWED	YES AS PER FBC 707	YES AS PER FBC 707
TENANT SEPARATION		
BETWEEN UNITS	1-HR. FBC 704 3.2.1	1-HR. FBC 704 3.2.1
DRAFT STOPS @ ATTIC	YES @ 3000sf AS PER FBC 2306.2	YES @ 1000'sf AS PER FBC 2306.3
ALARM / DETECTION COMMUNICATION		
SEE MEP DRAWINGS FOR SMOKE CONTROL HVAC REQUIREMENTS	* NR	* NR
PARKING	NA	NA
SEPARATION OF HAZARDOUS AREAS	AS PER NFPA 101 28 3.3.2.2	AS PER NFPA 101 28 3.2.2.
DISCHARGE OF EXITS	152'-0" TO PUBLIC WAY	152'-0" TO PUBLIC WAY

	MOTEL	HOTEL
MEANS OF EGRESS ILLUMINATION *INCLUDES EXTERIOR PATHWAYS	REQ. AS PER NFPA 101 7.8.	REQ. AS PER NFPA 101 7.8
EMERGENCY LIGHTING	NR	REQ. AS PER NFPA 101 28.2.8 - 7.9
MARKING OF MEANS OF EGRESS	REQUIRED	REQUIRED
VERTICAL OPENINGS	EXEMPT AS PER EXCEPTIONS 2 & 3	EXEMPT AS PER EXCEPTIONS 2 & 3
INTERIOR WALL /CEILING FINISH	CLASS A, B, OR C	CLASS A, B, OR C
SMOKE ALARM PROVIDED BY AN AUTOMATIC DETECTION SYSTEM THROUGOUT	REQUIRED	REQUIRED
PORTABLE FIRE EXTINGUISHERS	AS PER NFPA 10	AS PER NFPA 10
SUPERVISION OF BUILDING SPACES (SMOKE BARRIERS)	N.R.	N.R.
OPERATING FEATURES		
HOTEL EMERGENCY EMPLOYEE DRILLS	REQUIRED	REQUIRED
EMERGENCY INSTRUCTIONS FOR RESIDENTS OR GUESTS AS PER NFPA 101 28.7.4	REQUIRED QUARTERLY	REQUIRED QUARTERLY
	REQUIRED	REQUIRED

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: 9/21/02
ZONING: 9/23/02
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL: 9/20/02
ACCESSIBILITY: 10/22/02
LANDSCAPE:

N SITE PLAN
SCALE: 1" = 20'-0"



PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

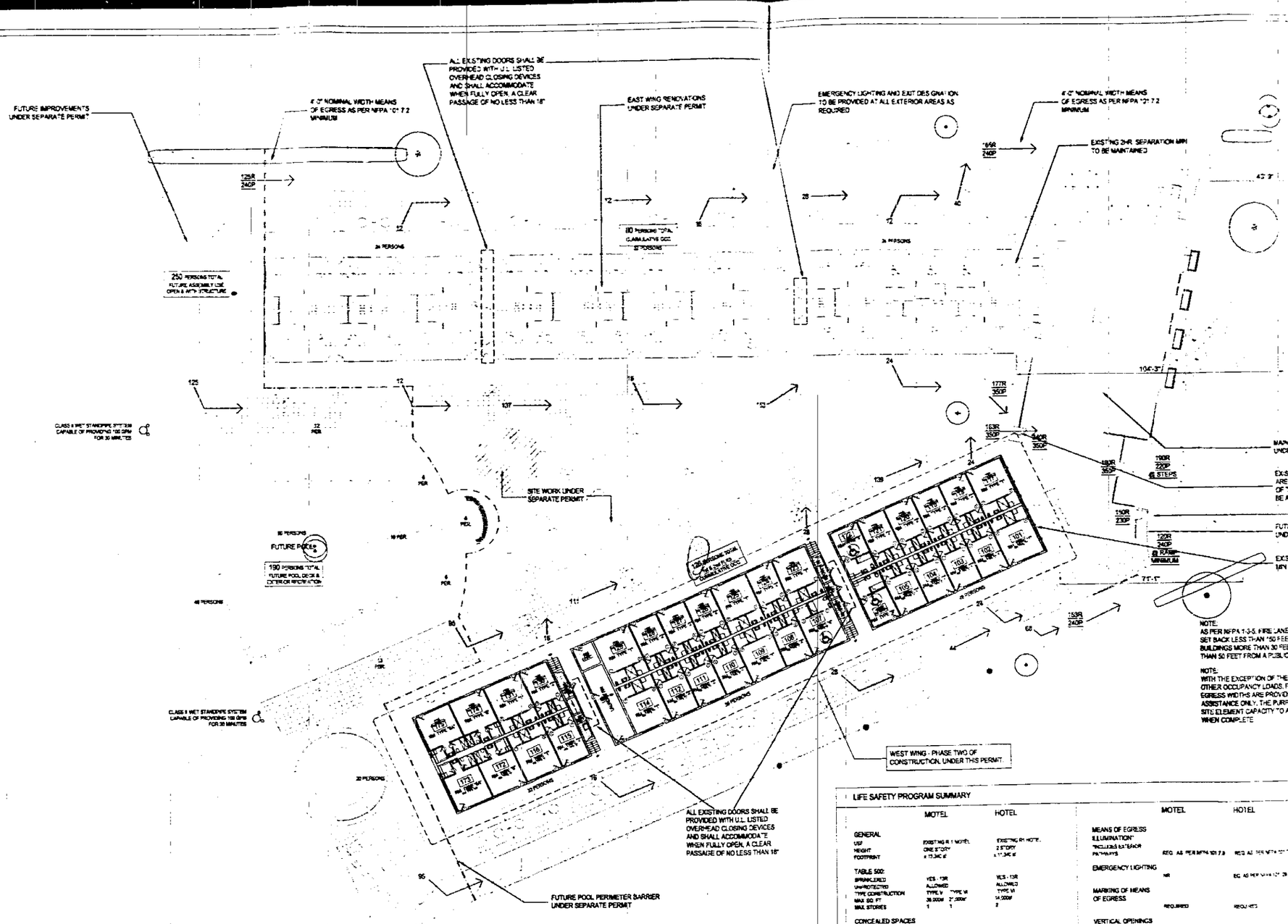
SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
SITE PLAN - LOCATION SKETCH

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES
07-23-02 PERMIT ISSUE

SHEET NO.
A-0.01



LIFE SAFETY NARRATIVE

ANALYSIS OF R-1 BUILDING REQUIREMENTS BY EXISTING HEIGHT AND EXISTING BUILDING AREA

THE EAST (1) SINGLE STORY MOTEL
SUMMARY: THE EXISTING 'AT-GRADE', SINGLE STORY, APPROXIMATELY 12,360 SQ.FT. / 40 UNIT MOTEL WING HAS AND WILL MAINTAIN DIRECT EXIT / MEANS OF ESCAPE ACCESS TO THE EXTERIOR / OUTSIDE AT GRADE. FOR THIS PROJECT ALL EXISTING ATTIC CONCEALED SPACES ARE TO BE MAINTAINED IN ORDER TO ACCOMMODATE NEW INDIVIDUAL / INDEPENDENT HVAC COMPONENTS FOR EACH ROOM / SUITE. THE EXISTING HVAC SYSTEM IS TO BE REMOVED IN ITS ENTIRITY. HOWEVER THIS EXISTING CONCEALED SPACE IS TO BE SPRINKLERED AS PART OF AN ENGINEERED NFPA 13R SYSTEM THAT WILL INCLUDE THE MOTEL DWELLING UNITS IN ADDITION TO PROVIDING AUTOMATIC SPRINKLER PROTECTION FOR EACH UNIT'S EXTERIOR PRIVACY AREA, AS SUCH, AND AS PERMITTED BY ALLOWABLE CHARACTERISTICS FOR SPRINKLERED TYPE V OR VI CONSTRUCTION, COMPARTMENTATION IS NOT REQUIRED.

AS PER TABLE 509: WHEN SPRINKLERED, EITHER TYPE V OR TYPE VI UNPROTECTED CONSTRUCTION PARAMETERS ARE ACCEPTABLE. 1HR-E/NE EXISTING SPRINKLERED SPACES ARE PART OF THE TENANT SEPARATION IT IS CONSIDERED AS THE AIR SPACE PORTION OF THE ASSEMBLY

REGARDING TENANT SEPARATION: 7(1) - ONE HOUR IS REQUIRED IN ANY CASE

REGARDING COMBUSTIBLES IN CONCEALED SPACES: WITH SPRINKLERS IN EITHER TYPE V OR TYPE VI CONSTRUCTION EXPOSED COMBUSTIBLES IN CONCEALED SPACES ARE ALLOWED.

MEANS OF EGRESS / COMPONENTS
- ALL MEANS OF EGRESS, INCLUDING THE EXISTING OPEN STAIRS ARE EXTERIOR MEANS OF EXIT ACCESS.
- MAXIMUM ALLOWABLE TRAVEL DISTANCE TO AN EXIT IS NEVER REACHED.
- DUE TO MULTIPLE REMOTE STAIRS FOR EXIT ACCESS AND LACK OF DEAD ENDS, PROTECTION OF THE EXISTING EXTERIOR STAIRS IS NOT REQUIRED.
- PROTECTION OF OPENINGS BETWEEN THE INTERIOR OF THE DWELLING UNITS AND THE EXTERIOR MEANS OF EXIT ACCESS IS NOT REQUIRED.

SITE EMERGENCY ACCESS LANES:
NOT REQUIRED

ELEVATORS:
NOT APPLICABLE TO EXISTING HOTEL/MOTEL AS PART OF THIS SCOPE OF WORK.

DETECTION, ALARM, COMMUNICATIONS SYSTEM
NOT REQUIRED. HOWEVER, SEE MECHANICAL DRAWINGS FOR SMOKE/FIRE DAMPER MONITORING/SUPERVISION DETAIL. THE 13R SYSTEM SHALL ALSO BE MONITORED/SUPERVISED

MARINA / DOCK
CLASS II STANDPIPE REQUIRED. 100 GPM @ 30 MINUTES SUPPLY.

LIFE SAFETY PROGRAM SUMMARY

	MOTEL	HOTEL
GENERAL		
USE	EXISTING R-1 MOTEL	EXISTING R-1 HOTEL
HEIGHT	ONE STORY	2 STORY
FOOTPRINT	± 13,340 sf	± 11,340 sf
TABLE 500:		
SPRINKLERED	YES - 13R	YES - 13R
Un-PROTECTED	ALLOWED	ALLOWED
TYPE CONSTRUCTION	TYPE V TYPE VI	TYPE VI
MAX. SQ. FT.	36,000sf 21,000sf	14,000sf
MAX. STORIES	1 1	2
CONCEALED SPACES		
CONCEALED ATTIC SPACE	YES	YES
ENCAPSULED COMBUSTIBLES USE	YES - WOOD FRAMING EXISTING HVAC SUPPLY / RETURN DUCTWORK	YES - WOOD FRAMING EXISTING HVAC SUPPLY / RETURN DUCTWORK
SPRINKLERED EXPOSED COMBUSTIBLES ALLOWED	YES - 13R YES AS PER FBC 707	YES - 13R YES AS PER FBC 707
TENANT SEPARATION		
BETWEEN UNITS	1-HR. FBC 704.3.2.1	1-HR. FBC 704.3.2.1
DRAFT STOPS @ ATTIC	YES @ 3000sf AS PER FBC 2905.2	YES @ 3000sf AS PER FBC 2905.2
ALARM / DETECTION COMMUNICATION		
*SEE NEW DRAWINGS FOR SMOKE CONTROL HVAC REQUIREMENTS	* NR	* NR
PARKING	NA	NA
SEPARATION OF HAZARDOUS AREAS	AS PER NFPA 101 28.3.2.2	AS PER NFPA 101 28.3.2.2
DISCHARGE OF EXITS	150'-0" TO PUBLIC WAY	150'-0" TO PUBLIC WAY

	MOTEL	HOTEL
MEANS OF EGRESS ILLUMINATION *INCLUDES EXTERIOR PATHWAYS	REQ. AS PER NFPA 101 7.8	REQ. AS PER NFPA 101 7.8
EMERGENCY LIGHTING	NR	REQ. AS PER NFPA 101 28.2.8 - 7.8
MARKING OF MEANS OF EGRESS	REQUIRED	REQUIRED
VERTICAL OPENINGS	EXEMPT AS PER EXCEPTIONS 2 & 3 TO NFPA 101 28.3.1	
INTERIOR WALL /CEILING FINISH	CLASS A, B, OR C	CLASS A, B, OR C
SMOKE ALARM PROVIDED BY AN AUTOMATIC DETECTION SYSTEM THROUGOUT	REQUIRED	REQUIRED
PORTABLE FIRE EXTINGUISHERS	AS PER NFPA 10	AS PER NFPA 10
SUPERVISION OF BUILDING SPACES (SMOKE BARRIERS)	N.R.	N.R.
OPERATING FEATURES HOTEL EMERGENCY EMPLOYEE DRILLS EMERGENCY INSTRUCTIONS FOR RESIDENTS OR GUESTS AS PER NFPA 101 28.7.4	REQUIRED REQUIRED QUARTERLY REQUIRED	REQUIRED REQUIRED QUARTERLY REQUIRED

SITE PLAN
SCALE: 1" = 20'-0"

KEY PLAN

CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL

OWNER OF DOCUMENTS NOTICE
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PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
SITE PLAN - LOCATION SKETCH

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES
07-23-03 PERMIT ISSUE

SHEET NO.
A-0.01

SCOPE of NFPA 1:
The scope of NFPA 1 applicable to the Lido Spa Project includes, but is not limited to, the following:
- Inspections.
- Review of design and construction plans, drawings, and specifications for fire safety systems, fire protection systems, private water supplies, processes, and hazardous materials and other fire and life safety issues.
- Existing occupancies and conditions, the design and construction of new buildings, remodeling of existing buildings, and all of and to dwelling buildings
- Design, alteration, modification, construction, maintenance, and testing of fire protection systems and equipment.
- Access requirements for fire department operations
- Hazards from outside fires in vegetation, trash, building debris, and other materials.
- Interior finish, decorations, furnishings, and other combustibles that contribute to fire spread, fire load, and smoke production.

PURPOSE of NFPA 1:
The purpose of NFPA 1 applicable to the Lido Spa is to prescribe minimum requirements necessary to establish a reasonable level of fire and life safety and property protection from the hazards created by fire, explosion, and dangerous conditions.

APPLICATION of NFPA 1:
The application of NFPA 1 wished to the Lido Spa is that it shall apply to both new and existing conditions.

CONFLICTS with NFPA 1:
When a requirement differs between this NFPA 1 and a referenced document, the requirement of this Code shall apply.
When a conflict between a general requirement and a specific requirement occurs, the specific requirement shall apply.
Multiple Occupancies. Where two or more classes of occupancy occur in the same building or structure and are so intermingled that separate safeguards are impracticable, means of egress facilities, construction, protection, and other safeguards shall comply with the most restrictive fire safety requirements of the occupancies involved.
Buildings. Buildings permitted for construction after the adoption of this Code shall comply with the provisions stated herein for new buildings.
Buildings in existence or permitted for construction prior to the adoption of this Code shall comply with the provisions stated herein or referenced for existing buildings.
Statutes, ordinances, ordinances, reconstructions, change of occupancy, and additions to buildings shall conform with NFPA 101®, Life Safety Code®, and the adopted building code of the jurisdiction.
Newly introduced equipment, materials, and operations regulated by the Code shall comply with the requirements for new construction or processes.
EQUIVALENCIES, ALTERNATIVES, AND MODIFICATIONS:
Equivalencies: Provided technical documentation is submitted to the AHJ to demonstrate equivalency, systems, methods, and or devices deemed equivalent for the intended purposes may be accepted and approved.
Alternatives: The specific requirements of this Code shall be permitted to be waived by the AHJ to allow alternative methods that will assure equivalent fire safety, but in no case shall the alternative afford less fire safety than, in the judgment of the AHJ, that which would be provided by compliance with the provisions contained in this Code.
Modifications: The AHJ is authorized to modify any of the provisions of this Code upon application in writing by the owner or lessee or a duly authorized representative where there are practical difficulties in the way of carrying out the provisions of the Code, provided that the intent of the Code shall be complied with, public safety secured, and substantial justice done.
Buildings with equivalency, alternative or modification approved by the AHJ shall be considered as conforming with this Code.

DEFINITIONS:
Approved. Acceptable to the authority having jurisdiction.
Authority Having Jurisdiction (AHJ). The organization, office, or individual responsible for approving equipment, materials, an installation, or a procedure.
Code. A standard that is an extensive compilation of provisions covering broad subject matter or that is suitable for adoption into law independently of other codes and standards.
Guide. A document that is advisory or informative in nature and that contains only nonmandatory provisions. A guide may contain mandatory statements such as when a guide can be used, but the document as a whole is not suitable for adoption into law. Recommended Practice. A document that is similar in content and structure to a code or standard but that contains only nonmandatory provisions using the word "should" to indicate recommendations in the body of the text.
Shall. Indicates a mandatory requirement.
Should. Indicates a recommendation or that which is advised but not required.
Access Box. An approved secure box, accessible by the authority having jurisdiction's master key or control, containing entrance keys or other devices to gain access to a structure or area.
Addition. An increase in the building area, aggregate floor area, height or number of stories of a structure.
Alternative. A system, condition, arrangement, material, or equipment submitted for approval to the authority having jurisdiction and the fire chief as a substitute for a code requirement.
ANSI/ASME. The designation for American National Standards Institute publication, sponsored and published by the American Society of Mechanical Engineers.
Existing Building. A building erected or officially authorized prior to the effective date of the adoption of this edition of this Code by the agency or jurisdiction
Common Path of Travel. The portion of exit access that must be traversed before two separate and distinct paths of travel to two exits are available
Fire Compartment. A space within a building that is enclosed by fire barriers on all sides, including the top and bottom.
Smoke Compartment. A space within a building enclosed by smoke barriers on all sides, including the top and bottom.
Construction Documents. Documents that consist of scaled design drawings and specifications for the purpose of construction of new facilities or modification to existing facilities.
Existing. The "what" is already in existence on the date this edition of the Code goes into effect.
Existing Condition. A situation, circumstance, or physical makeup of any structure, premises, or process that was lawfully in effect prior to the adoption of the Code.
Flame Spread. The propagation of flame over a surface.
Flame Spread Rating. The comparative performance of fire travel over the surface of a material when tested in accordance with the provisions of NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials
Noncombustible Material. A material that, in the form in which it is used and under the conditions anticipated, will not ignite, burn, support combustion, or release flammable vapors when subjected to fire or heat. Materials that are reported as passing ASTM E 136 Standard Test Method for Behavior of Materials in a Vertical Tube Furnace at 750°C, shall be considered noncombustible materials.
Means of Egress. A continuous and unobstructed way of travel from any point in a building or structure to a public way consisting of three separate and distinct parts: (1) the exit access, (2) the exit, and (3) the exit discharge
Mezzanine. An intermediate level between the floor and the ceiling of any room or space.
Occupancy. The purpose for which a building or portion thereof is used or intended to be used.
Assembly Occupancy. An occupancy (1) used for a gathering of 50 or more persons for deliberation, worship, entertainment, eating, drinking, amusement, awaiting transportation, or similar uses; or (2) used as a special amusement building, regardless of occupant load.
Hotel. A building or groups of buildings under the same management in which there are sleeping accommodations for more than 16 persons and primarily used by transients for lodging with or without meals.
Public Way. A street, alley, or other similar parcel of land essentially open to the outside air deeded, dedicated, or otherwise permanently appropriated to the public for public use and having a clear width and height of not less than 120 in. (3050 mm).
Smoke Barrier. A continuous membrane, or a membrane with discontinuities created by protected openings, where such membrane is designed and constructed to restrict the movement of smoke.
Smoke Partition. A continuous membrane that is designed to form a barrier to limit the transfer of smoke.
Fire Alarm System. A system or portion of a combination system that consists of components and circuits arranged to monitor and annunciate the status of fire alarm or supervisory signal-initiating devices and to initiate the appropriate response to those signals.
Fire Protection System. Any fire alarm device or system or fire extinguishing device or system, or their combination, that is designed and installed for detecting, controlling, or extinguishing a fire or otherwise alerting occupants or the fire department, or both, that a fire has occurred.
Standpipe System. An arrangement of piping, valves, hose connections, and allied equipment installed in a building or structure with the hose connections located in such a manner that water can be discharged in streams or spray patterns through attached hose and nozzles, for the purpose of extinguishing a fire, thereby protecting a building or structure and its contents in addition to protecting the occupants. This is accomplished by means of connections to water supply systems or by means of pumps, tanks, and other equipment necessary to provide an adequate supply of water to the hose connections.

GENERAL REQUIREMENTS:
The goals of NFPA 1 are to provide a reasonable level of safety, property protection, and public welfare from the hazards created by fire, explosion, and other hazardous conditions.

The fire protection methods of this Code shall assume that there will not be multiple simultaneous fire incidents.
The single fire source assumption shall not preclude the evaluation of multiple design fire scenarios.

FUNDAMENTAL REQUIREMENTS:
Every new and existing building or structure shall be constructed, arranged, equipped, maintained, and operated in accordance with the Code so as to provide a reasonable level of life safety, property protection, and public welfare from the actual and potential hazards created by fire, explosion, and other hazardous conditions.
Life Safety Code. Every new and existing building shall comply with this Code and NFPA 101®, Life Safety Code®
Building Code. Where a building code has been adopted, all new construction shall comply with this Code and with the building code adopted by the AHJ.
Interior Finish.
Interior finish in buildings and structures shall meet the requirements of NFPA 101®, Life Safety Code®, and this Code.
Furnishings, Contents, Decorations, and Trusted Finishes.
Furnishings, contents, decorations, and trusted finishes in buildings and structures shall meet the requirements of NFPA 101 ®, Life Safety Code®, and this Code
Smoke Partitions.
Where required elsewhere in this Code, smoke partitions shall be provided to limit the transfer of smoke. Note: Not required for the Lido Spa Project.

Smoke Dampers. Where a smoke barrier is penetrated by a duct or air transfer opening, a smoke damper designed, and tested in accordance with the requirements of UL 555S shall be installed. Where a smoke barrier is also constructed as a fire barrier, a combination fire/smoke damper designed and tested in accordance with the requirements of UL 555 and UL 555S shall be installed.
Smoke Damper Exemptions. Smoke dampers shall not be required under any of the following conditions:

(1) Where specifically exempted by provisions in Chapter 12 through Chapter
(2) Where ducts or air transfer openings are part of an engineered smoke 42 of NFPA 101®control system
(3) Where the air in ducts constantly is moved and the air handling systems interlocked or arranged to prevent recirculation of exhausted or return air under the emergency conditions.
(4) Where the air inlet or outlet openings or ducts are limited to a single smoke compartment.
(5) Where ducts penetrate floors that serve as smoke barriers.

Air-conditioning, heating, ventilating equipment, and related equipment, including smoke dampers and combination fire and smoke dampers, shall be installed in accordance with NFPA 90A, Standard for the Installation of Air Conditioning and Ventilating Systems.
Standpipe Systems. Not required for this project.
Automatic sprinkler protection. Not required for this project.
Fire Alarm, Detection, and Communications Systems. Not required for this project.

SCOPE of NFPA 101:
The scope of NFPA applicable to the Lido Spa includes, but is not limited to Chapter 28 - Existing Hotels and Dormitories. Note: The 3-story hotel use structural requirements are listed independently and elsewhere in these drawings.

GENERAL REQUIREMENTS
Application of Chapter 28:
The requirements of this chapter apply to existing buildings or portions thereof currently occupied as hotel or dormitory occupancies. The terms hotel, wherever used in this Code, shall include a hotel, inn, club, motel, bed and breakfast, or any other structure meeting the definition of hotel.

Definitions:
Guest Room: An accommodation containing living, sleeping, sanitary, and storage facilities within a compartment.
Guest Suite: An accommodation with two or more contiguous rooms comprising a compartment, with or without doors between such rooms, that provides living, sleeping, sanitary, and storage facilities.
Hotel: A building or groups of buildings under the same management in which there are sleeping accommodations for more than 16 persons and primarily used by transients for lodging with or without meals

Classification of Occupancy: Hotel

Classification of Hazard of Contents: Ordinary

Classification of Contents for
The Purpose of Sprinkler Design: Light

Minimum Construction Requirements: None

Occupant Load Factors:

Use	8(2) (per person)
Assembly Use	
Concentrated use, without fixed seating	7 net
Less concentrated use, without fixed seating	15 net
Bench-type seating	1 person/18 linear in.
Fixed seating	Number of fixed seats
Kitchens	100
Swimming pools	50 - of water surface
Swimming pool decks	30
Exercise rooms with equipment	50
Exercise rooms without equipment	15
Residential Use	
Hotels	200
Business Use	100

1 All factors expressed in gross area unless marked "net".
2 Not applicable. The occupant load shall be not less than the maximum probable number of occupants present at any time.

MEANS OF EGRESS REQUIREMENTS
General.
Means of egress from guest rooms or guest suites to the outside of the building shall be in accordance with Chapter 7 of NFPA 101.
Means of escape rather the guest room or guest suite shall comply with the provisions of NFPA 101 - Section 24.2 for one- and two-family dwellings. For the purpose of application of this requirements of Chapter 24, the terms guest room and guest suite shall be synonymous with the terms dwelling or living unit.

Means of Egress Components.
Doors. General.
Shall comply with 7.2.1
No door in any means of egress shall be locked against egress when the building is occupied.

Exception: Delayed-egress locks complying with 7.2.1.8.1 shall be permitted, provided that not more than one such device is located in any one egress path.

Exception: Access-controlled egress doors complying with 7.2.1.6.2 shall be permitted.

Locks, if provided, are not to require the use of a key, a tool, or special knowledge or effort for operation from the egress side of the building. This requirement prohibits double-cylinder locks and chain locks that require a key to operate the door from the inside and requires the use of a simple operation to open a door; locks that require two-handed knobs and similar operations are prohibited.

Hotel room doors provide security for the occupants in the room. Recognizing this additional function, Chapter 7 permits the use of security chains or rods, as well as locks, on hotel room doors and also permits releasing devices in addition to the doorknob or lever. Two additional actions are permitted in existing buildings.

Doors. Width.
Minimum Width.
Door openings in means of egress shall be not less than 32 in. (81 cm) in clear width.

Exception No. 1: N.A.

Exception No. 2: Doors serving a building or portion thereof not required to be accessible to persons with severe mobility impairments shall be permitted to be 28 in. in door leaf width.

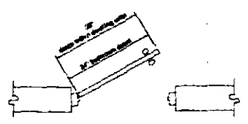
Exception No. 3: In existing buildings, the existing door leaf width shall be not less than 28 in.

Exception No. 4: N.A.

Exception No. 5: The requirement shall not apply to interior doors as provided in Chapter 24.
Chapter 24 - one- and two family dwellings.
Doors in the path of travel of a means of escape shall be not less than 28 in. wide.

Exception: Bathroom doors shall be not less than 24 in. wide.

Note: Although Chapter 7 requires 32 in. clear width doors in new construction and 28-in. wide doors in existing buildings, 24.2.4.1 allows the use of 28-in. wide doors (24 in. for bathrooms) in both new and existing buildings. This measurement, as illustrated in Exhibit 24.5,



is a leaf width measurement of the door, not a clear width measurement of the door opening). This requirement applies to doors in one- and two-family dwellings and within the guest rooms and guest suites of lodging and rooming houses, hotels and dormitories, and dwelling units of apartment buildings.

Doors shall be not less than 6 ft 8 in. in nominal height.
Every guest door latch shall be such that children can open the door from inside the room.
Every bathroom door shall be designed to allow opening from the outside during an emergency when locked.
Doors shall be swinging or sliding.
No door in any means of escape shall be locked against egress when the building is occupied. All locking devices shall impede or prohibit egress or shall cannot be easily disengaged shall be prohibited.
It is the intent of this requirement that security measures, where installed, do not prevent egress.

Stairs.
Stairs complying with 7.2.2 shall be permitted.
Note: The Existing Outside stairs adjacent to the hotel internal buildings at the Lido Spa are unenclosed and are considered part of the exit access where serving occupants of the second floor, with the user reaching the exit and exit discharge simultaneously at the base of the last riser flight.

Existing stairs shall comply with the following.

Feature	Class A	Class B
Minimum width 36 in. where total occupant load of all stories served by stairways a fewer than 50	44 in.	44 in.
Maximum height of risers	7 1/2 in.	8 in.
Minimum tread depth	10 in.	9 in.
Minimum headroom	6 ft 8 in.	6 ft 8 in.
Maximum height between landings	12 ft	12 ft

Smokeproof Enclosures / Horizontal Exits: N.A.

Ramps: See FBC 2001 - Chapter 11 Code Summary
Ramps complying with 7.2.5 shall be permitted

Exit Passageways / Escalators / Fire Escape Stairs / Fire Escape Ladders / Alternating Tread Devices / Areas of Refuge: N.A.

Capacity of Means of Egress: For the Lido Spa, capacity of means of egress is based on a 200 sf / person factor; however, the existing exterior means of egress and stairway facilities are well in excess of minimum requirements for existing as well as new hotel minimum requirements.

For this project, antedicted occupant assembly calculations at level (north) side have been considered. However, for this project, the capacity of means of egress for all existing, altered, or new conditions shall be in accordance with Section 7.3.

Number of Exits.
Not less than two exits shall be accessible from every floor.

Arrangement of Means of Egress:
Common paths of travel shall not exceed 35 ft. Travel within a guest room or guest suite shall not be included when calculating common path of travel.

Exception: In buildings protected throughout by an approved, supervised automatic sprinkler system in accordance with 29.3.5, common path of travel shall not exceed 50 ft.

Dead-end corridors shall not exceed 20 ft.
Travel distance within a guest room or guest suite to a corridor door shall not exceed 75 ft.
Exception: A travel distance not exceeding 125 ft shall be permitted in buildings protected by an approved automatic sprinkler system.

Travel distance from the corridor door of any guest room or guest suite to the nearest exit shall not exceed 100 ft.

Exception No. 1: The permitted travel distance to exits shall not exceed 200 ft for exterior ways of exit access.

Exception No. 2: The permitted travel distance to exits shall not exceed 200 ft where the exit access and any portion of the building that is tributary to the exit accesses are protected throughout by an approved automatic sprinkler system. In addition, the portion of the building in which the 200-ft travel distance is permitted shall be separated from the remainder of the building by construction having a fire resistance rating of not less than 1 hour, for buildings not more than three stories in height, and 2 hours, for buildings more than three stories in height.

Travel distance limitations are divided into the following two portions of the overall travel distance:
(*) Travel within a room or suite of rooms to the room door
(2) Travel from the corridor door to the nearest exit

Discharge from Exits.
Exit discharge a compliance with Section 7.7 shall be permitted.
Where open stairways or escalators are permitted, they are considered as exit access to exits rather than as exits, and the requirements for travel distance to exits include the travel on such stairs and escalators.
The distance of travel from the termination of the exit enclosure to an exterior door leading to a public way shall not exceed 150 ft in buildings protected throughout by an approved automatic sprinkler system and shall not exceed 100 ft in all other buildings.

Illumination of Means of Egress.
Means of egress shall be illuminated in accordance with Section 7.8

Emergency Lighting.
Emergency lighting shall be provided in all buildings with more than 25 rooms.

Marking of Means of Egress.
Means of egress shall have signs in accordance with Section 7.10

PROTECTION
Protection of Vertical Openings.
As per 8.2.5.
The enclosure of vertical openings in existing hotels is provided by means of a performance approach. Openings must be either enclosed in accordance with 8.2.5, or they must satisfy the objectives of 4.5.5.

Protection from Hazards.
As per 9.4 and Tackle 29.3.2.2.

Hazardous Area Description	Separation/Protection
Boiler and fuel-fired heater rooms serving more than a single guest room or guest suite	1 hour or sprinklers
Employee locker rooms	1 hour or sprinklers
Gift or retail shops >100 ft2	1 hour or sprinklers†
Bulk laundries	1 hour or sprinklers
Guest laundries >100 ft2 outside of guest rooms or guest suites	1 hour or sprinklers†
Maintenance shops	1 hour and sprinklers

Rooms or spaces used for storage of combustible supplies and equipment in quantities deemed hazardous by the authority having jurisdiction: 1 hour or sprinklers

Trash collection rooms: 1 hour and sprinklers

†Where automatic sprinkler protection is provided, no enclosure shall be required.
‡Where storage areas not exceeding 24 ft2 (2.2 m2) are directly accessible from the guest room or guest suite, no separation or protection shall be required.

Interior Finish.
Interior finish shall be in accordance with Section 10.2
Interior Wall and Ceiling Finish.
Interior wall and ceiling finish materials shall be permitted as follows:
(1) Exit enclosures - Class A or Class B
(2) Lobbies and corridors that are part of an exit access - Class A or Class B
(3) Other spaces - Class A, Class B, or Class C FIRE SPREAD

Interior Floor Finish.
Interior floor finish in accordance with 10.2.7 shall be in accordance with Table 29.3.3.5

Table 29.3.3.5 Interior Floor Finish

Location	Sprinklered	Nonsprinklered
Corridors	No requirement	Class II
Exits	No requirement	Class II

Furnishings and Decorations.
New draperies, curtains, and other similar loosely hanging furnishings and decorations in hotels shall be in accordance with the provisions of 10.3.1

In nonsprinklered hotels, combustible or upholstered furniture located in corridors or areas not separated from corridors by corridor walls, as specified in the Code, shall be tested in accordance with NFPA 261, Standard Method of Test for Determining Resistance of Mock-Up Upholstered Furniture Material Assemblies to Ignition by Smoldering Cigarettes. The char length is not to exceed 11/2 in.), and should be labeled to indicate such compliance.
For nonsprinklered hotels and dormitories, the cigarette ignition resistance of new furniture be proven by testing.

Detection, Alarm, and Communications Systems.
Not Required as per exception to NFPA 101 29.3.4.1.
Exception: Buildings where each guest room has exterior exit access in accordance and the building does not exceed three stories in height.

Smoke Alarms. An approved, single-station smoke alarm shall be installed in every guest room and every living area and sleeping room within a guest suite. These alarms shall not be required to be interconnected. Single-station smoke alarms without a secondary (standby) power source shall be permitted.

Portable fire extinguishers shall be provided as specified in 9.7.4.1 in hazardous areas addressed by 29.3.2.2

Exception: In buildings protected throughout with an approved automatic sprinkler system in accordance with Section 9.7.
Note: Portable fire extinguishers are not required as per the exception to 29.3.5.5.

Corridors.
Walls.
Exit access corridor walls shall consist of fire barriers that have not less than a 1/2 hour fire resistance rating

Exception: In buildings protected throughout by an approved automatic sprinkler system, no fire resistance rating shall be required, but the walls and all openings therein shall resist the passage of smoke.

Doors.
Doors that open onto exit access corridors shall have not less than a 20-minute fire protection rating.
Corridor walls are required only to resist the passage of smoke in existing buildings with automatic sprinklers.

NFPA 90A, Standard for the Installation of Air-Conditioning and Ventilating Systems, prohibits corridors in hotels from being used as a portion of the system for supply, return, or exhaust air.

Subdivision of Building Spaces.*
Every guest room floor shall be divided into not less than two smoke compartments of approximately the same size by smoke barriers.
Smoke compartments shall not be reduced.

Additional smoke barriers shall be provided so that the travel distance from a guest room corridor door to a smoke partner shall not exceed 150 ft.

Exception No. 1: Buildings protected throughout by an approved automatic sprinkler system or a corridor sprinkler system.

Exception No. 2: Smoke barriers shall not be required where each guest room is provided with not less than two ways of exit access.

Exception No. 3: Smoke barriers shall not be required where the aggregate corridor length on each floor is not more than 150 ft.

* Not applicable to the scopes of work described under this permit application for a one story-existing motel

Special Protection Features.
(Reserved.)

SPECIAL PROVISIONS
High-Rise Buildings. N.A.

BUILDING SERVICES
Utilities.
Utilities shall comply with the provisions of Section 9.1

Elevators, Escalators, and Conveyors.
Elevators, escalators, and conveyors shall comply with the provisions of Section 9.4.

Rubbish Chutes, Incinerators, and Laundry Chutes.
Rubbish chutes, incinerators, and laundry chutes shall comply with the provisions of Section 9.5

RESERVED

OPERATING FEATURES
Hotel Emergency Organization.
Employees of hotels shall be instructed and drilled in the duties they are to perform in the event of fire, panic, or other emergency.
Employers are obligated to determine the degree to which employees are to participate in emergency activities. Regulations of the U.S. Department of Labor (OSHA) govern these activities and provide options for employers, from total evacuation to aggressive structural fire fighting by employee brigades.
Drills of the emergency organization shall be held at quarterly intervals and shall cover such points as the operation and maintenance of the available first aid fire appliances, the testing of devices to alert guests, and a study of instructions for emergency duties.
Emergencies should be assumed to have arisen at various locations in the occupancy in order to train employees in logical procedures.
Emergency Duties.
Upon discovery of a fire, employees shall carry out the following duties:
(1) Activate the facility fire protection signaling system, if provided.
(2) Notify the public fire department
(3) Take other action as previously instructed

Emergency Instructions for Residents or Guests.
A floor diagram reflecting the actual floor arrangement, exit locations, and room identification shall be posted in a location and manner acceptable to the authority having jurisdiction on, or immediately adjacent to, every guest room door in hotels.

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
APPLICABLE NFPA
LIFE SAFETY CODE

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES
07-23-03 PERMIT ISSUE

SHEET NO.
A-0.02

SCOPE OF FBC 2001 - CHAPTER 11
The scope of FBC 2001 - Chapter 11 applicable to The ...ido Spa Project includes, but is not limited to the following:
- All new or altered buildings
- To residential buildings

PURPOSE OF FBC 2001 - CHAPTER 11
To establish standards for accessibility to places of public accommodation and commercial facilities by individuals with disabilities.

DEFINITIONS
If, If ...then. Denotes a specification that applies only when the conditions described are present.
may. Denotes an option or alternative.
shall. Denotes a mandatory specification or requirement.
should. Denotes an advisory specification or recommendation.
Accessible. Describes a site, building, facility, or portion thereof that complies with these guidelines.
Accessible Element. An element specified by the guidelines (for example: telephone, curbing, and the like).
Accessible Route. A continuous unobstructed path connecting all accessible elements and spaces of a building or facility. Interior accessible route may include corridors, floors, ramps elevators, lifts, and clear floor space at fixtures. Exterior accessible routes may include parking access aisles, curb ramps, crosswalks at vehicular ways, walks, ramps, and lifts.
Adaptability. The ability of certain building spaces and elements to be added or altered so as to accommodate the needs of persons with different types or degrees of disability.
Alteration. An alteration is a change to a building or facility for the use of a public accommodation or commercial facility that could affect the usability of the facility. Changes to mechanical and electrical systems are not alterations unless they affect the usability of the building or facility.
Ramp. A walking surface which has a running slope greater than 1:20.
Transient Lodging. A building, facility, or portion thereof housing impatient medical care facilities, that contains one or more dwelling units or sleeping accommodations. Transient lodging may include, but is not limited to, resorts, groups homes, hotels, motels, and dormitories.

GENERAL:
Alterations to existing buildings and facilities shall comply with the following:
- No alteration shall be undertaken which decreases or has the effect of decreasing accessibility or usability of a building or facility below the requirements for new construction at the time of alteration.
- If existing elements, spaces or portion areas are altered, then each such altered element, space, feature, or area shall comply with the applicable provisions of 11-4.1.1 to 11-4.1.3, Minimum Requirements for New Construction. If the applicable provision for new construction requires that an element, space or portion area be on an accessible route, the altered element, space or common area is not required to be as provided in 11-4.1.6(2) (Alterations to an Area Containing a Primary Function).
- If alterations of single elements, when considered together, amount to an alteration of a room or space in a building or facility, the entire space shall be made accessible.
- No alteration of an existing element, space, or area of a building or facility shall impose a requirement for greater accessibility than that which would be required for new construction. For example, if the elevators and stairs in a building are being altered and the elevators are, in turn, being made accessible, then no accessibility modifications are required to the stairs connecting levels connected by the elevator. If stair modifications to correct unsafe conditions are required by other codes, the modifications shall be done in compliance with these guidelines unless technically infeasible.
- Nothing in this section shall be construed to relieve the owner of any building, structure or facility from the duty to provide vertical accessibility to all levels above and below occupiable grade level, regardless of whether the code requires an elevator to be installed in such building, structure or facility.

TECHNICALLY INFEASIBLE:
- Means, with respect to an alteration of a building or a facility, that it has little likelihood of being accomplished because existing structural conditions would require removing or altering a load-bearing member which is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces, or features which are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

DISPROPORTIONALITY:
- Alterations made to provide an accessible path of travel to altered areas shall be deemed disproportionate to the overall alteration when the cost exceeds 20 percent of the cost of the alteration to the primary function area.
- When the cost of alterations necessary to make the path of travel to the altered area fully accessible is disproportionate to the cost of the overall alteration, the path of travel shall be made accessible to the extent that it can be made accessible without incurring disproportionate costs.
- In choosing which accessible elements to provide, priority should be given to those elements that will provide the greatest access, the following order:
  - An accessible entrance.
  - An accessible route to the altered area.
  - At least one accessible restroom for each sex or a single unisex restroom.
  - Accessible telephones.
  - Accessible drinking fountains; and
  - When possible, additional accessible elements such as parking, storage, and alarms.

SPECIAL TECHNICAL PROVISIONS FOR ALTERATIONS TO EXISTING BUILDINGS AND FACILITIES:
- A slope between 1:10 and 1:12 is allowed for a maximum rise of 6 inches.
- A slope between 1:8 and 1:10 is allowed for a maximum rise of 3 inches. A slope steeper than 1:8 is not allowed.
- Stairs. Full extension of handrails at stairs shall be required in alterations where such extensions would be hazardous or impossible due to plan configuration.
- Elevators. In no case shall the inside car area be smaller than 48 in by 48 in.
- Doors. Where it is technically infeasible to comply with clear opening width requirements of 11-4.1.3.5, a projection of 7 in maximum will be permitted for the latch side stop.
- If existing thresholds are ¾ in high or less, and have (or are modified to have) a beveled slope on each side, they may remain.

SPACE ALLOWANCE AND REACH RANGES:
- The minimum clear width for single wheelchair passage shall be 32 in at a point and 36 in.
- The minimum width for two wheelchairs to pass is 60 in.
- The space required for a wheelchair to make a 180-degree turn is a clear space of 60 in diameter T-shaped space.
- The minimum clear floor or ground space required to accommodate a single, stationary wheelchair and occupant is 30 in by 48 in.
- The minimum clear floor or ground space for wheelchairs may be positioned for forward or parallel approach to an object.
- Clear floor or ground space for wheelchairs may be part of the knee space required under some objects.
- The maximum high forward reach allowed shall be 48 in.
- The minimum low forward reach is 15 in.
- The maximum high side reach allowed shall be 54 in.
- The low side reach shall be no less than 9 in.

ACCESSIBLE ROUTE:
- At least one accessible route within the boundary of the site shall be provided from public transportation stops, accessible parking, and accessible passenger loading zones, and public streets or side walks to the accessible building entrance they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public.
- At least one accessible route shall connect accessible buildings, facilities, elements, and spaces that are on the same site.
- At least one accessible route shall connect accessible building or facility entrance with all accessible spaces and elements and with all accessible dwelling units within the building or facility.
- An accessible route shall connect at least one accessible entrance of each accessible dwelling unit with those exterior and interior spaces and facilities that serve the accessible dwelling unit.
- The minimum clear width of an accessible route shall be 36 in.

STAIRS:
- To comply with NFPA 101

ELEVATORS:
- Accessible elevators shall be on an accessible route and shall comply with the ASME A17.1-1990, Safety Code for Elevators and Escalators.
- Elevator operation shall be automatic and shall be equipped with a self-leveling feature that will automatically bring the car to floor landings within a tolerance of ½ inch (13 mm) under rated loading to zero loading conditions.
- Call buttons in elevator lobbies and halls shall be centered at 42 inches above the floor.

DOORS:
- Doorways shall have a minimum clear opening of 32 inches with the door open 90 degrees, measured between the face of the door and the opposite stop.
- Doors not requiring full user passage, such as shallow closets, may have the clear opening reduced 1.20 inches minimum.

ACCESSIBLE TRANSIENT LODGING:
- A minimum number of sleeping accommodations shall be provided for persons with hearing impairments.
- In order to provide persons with disabilities a range of options equivalent to those available to other persons served by the facility, sleeping rooms and suites required to be accessible shall be dispersed among the various classes of sleeping accommodations available to patrons of the portion of transient lodging. Factors to be considered include room size, cost, amenities provided, and the number of beds provided.
- Alterations to accessible units, sleeping rooms, and / or suites shall be accommodated on the basis of at least one fully accessible unit for each 25 sleeping rooms, including at least one sleeping room or suite for each 25 sleeping rooms that complies with the requirements for visual alarms, notification devices, and telephones.

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SEAL
ALISON SPEAR, AIA
AR# 0016680

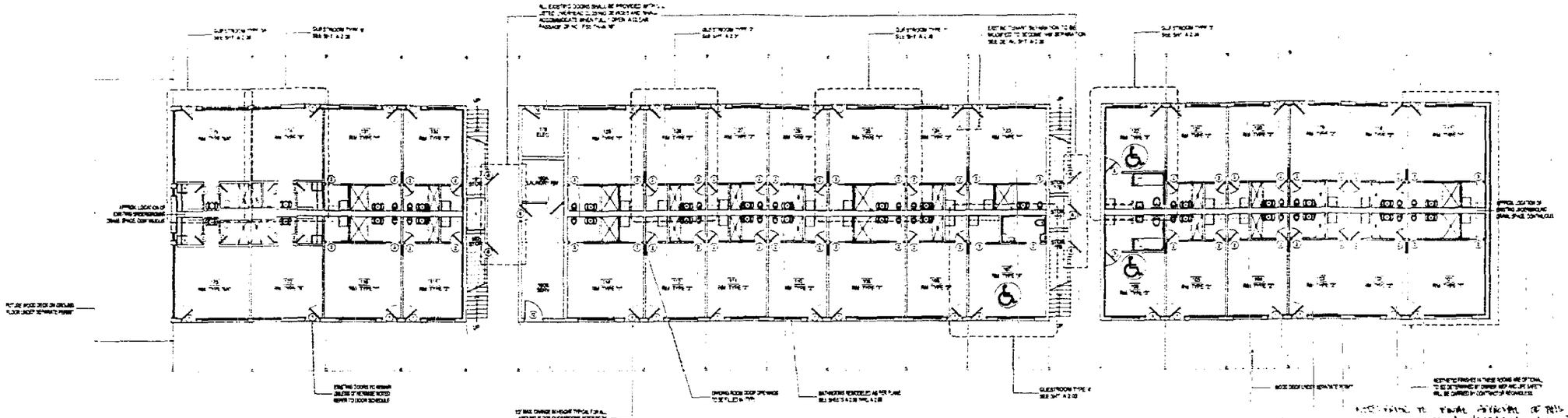
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
APPLICABLE FBC

DRAWN BY B.F.L.
CHECKED BY A.S.

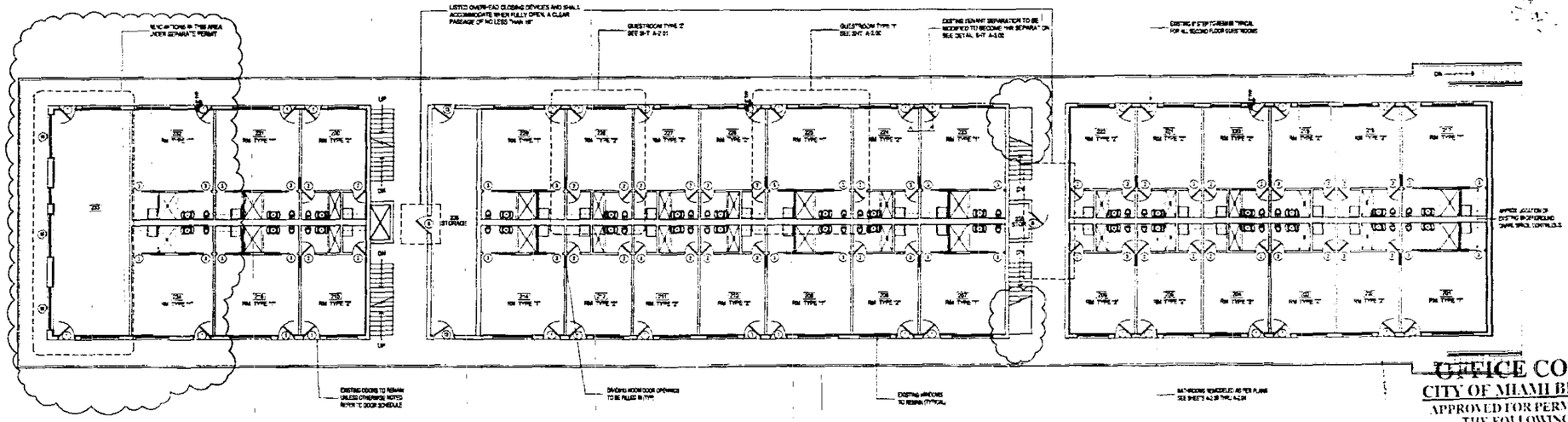
ISSUES
07-13-03 PERMIT ISSUE

SHEET NO.
A-0.03



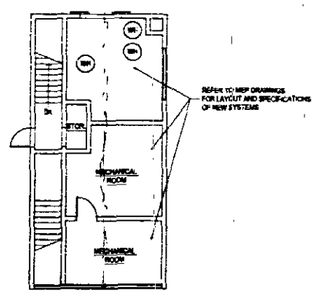
WEST WING - GROUND FLOOR - PROPOSED FLOOR PLAN

SCALE: 3/32"=1'-0"



WEST WING - SECOND FLOOR - PROPOSED FLOOR PLAN

SCALE: 3/32"=1'-0"



3RD FLR. MECHANICAL ROOM

SCALE: 3/32"=1'-0"

NOTE:
BOTH MOTEL AND HOTEL FACILITIES WILL BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13R, INCLUDING ALL GUESTROOMS/SUITES, EXISTING CONCEALED ATTIC SPACES & GUESTROOM COVERED TERRACES. SEE MEP DRAWINGS FOR DETAILS.

NOTES:
1. NEW EXTERIOR DOORS REQUIRE MIAMI DADE PRODUCT APPROVAL - UNDER SEPARATE PERMIT.
2. NEW EXTERIOR DOORS REQUIRE LARGE MISSILE IMPACT RESISTANCE OR HURRICANE SHUTTERS - UNDER SEPARATE PERMIT.

NOTE: PRIOR TO FINAL APPROVAL OF THIS PHASE, ALL STAIRS & HANDRAILS SHALL BE FIELD MEASURED WITH A REPORT OF THE RESULTS NOTED ON THE DRAWINGS WITH ANY REQUIRED CORRECTIONS IF REQUIRED.

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CITY OF MIAMI BEACH
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BUILDING:
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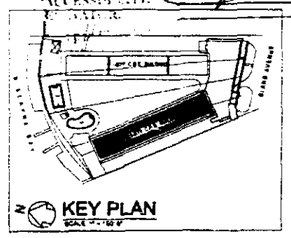
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:



KEY PLAN

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
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SEAL:

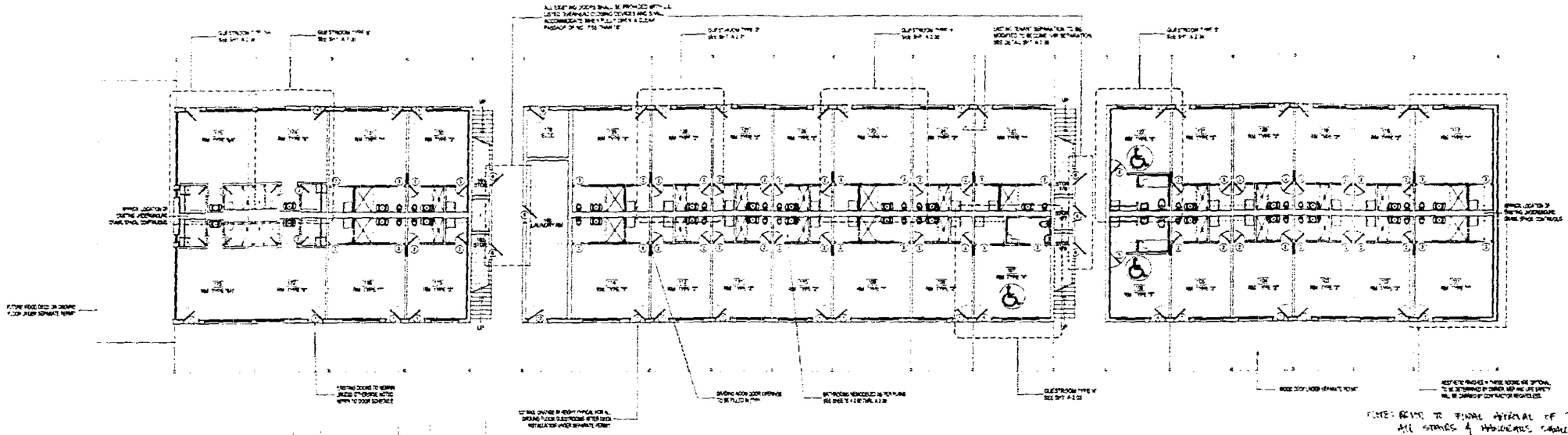
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PROPOSED FLOOR PLANS

DRAWN BY B.F.L.
CHECKED BY A.S.

ISSUES
07.25.03 PERMIT ISSUE
08.27.03 REVISION BLDG DEPT COMMTS

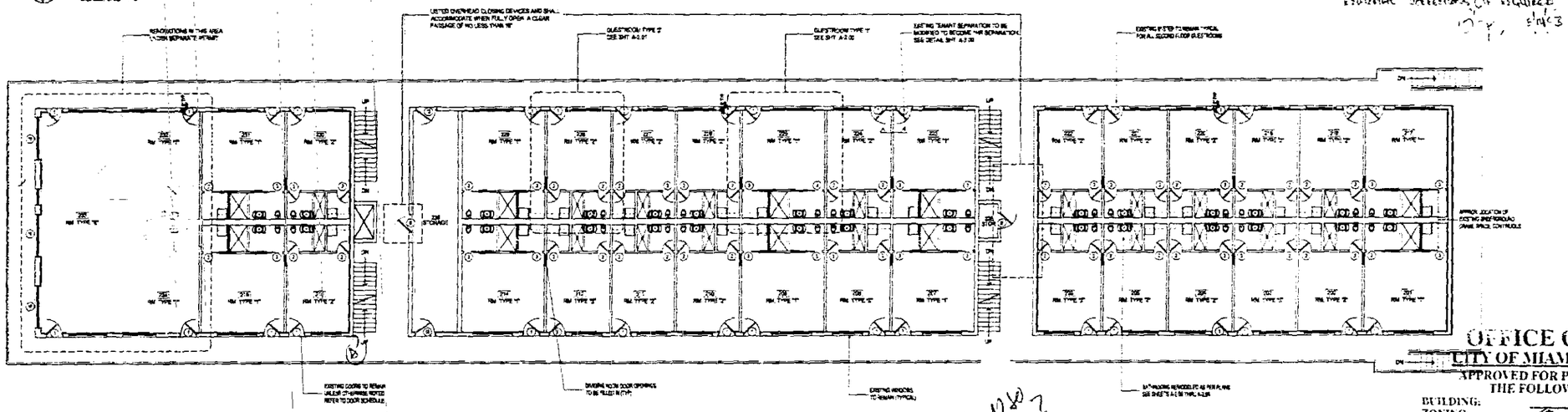
SHEET NO.
A-1.00



WEST WING - GROUND FLOOR - PROPOSED FLOOR PLAN

SCALE: 3/32"= 1'-0"

NOTE: PRIOR TO FINAL APPROVAL OF THE WORK ALL STAIRS & HANDRAILS SHALL BE FIELD MEASURED WITH A REPORT OF THE RESULTS NOTED ON THE DRAWINGS WITH ANY EXCEPTIONS (IF REQUIRED)



WEST WING - SECOND FLOOR - PROPOSED FLOOR PLAN

SCALE: 3/32"= 1'-0"

NOTE:
BOTH MOTEL AND HOTEL FACILITIES WILL BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13R INCLUDING ALL GUESTROOMS/SUITES, EXISTING CONCEALED ATTIC SPACES & GUESTROOM COVERED TERRACES. SEE MEP DRAWINGS FOR DETAILS.

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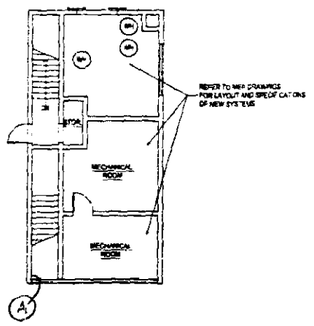
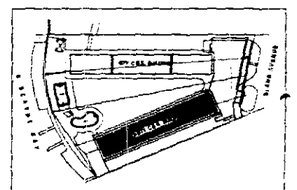
#4940 sheet 3



3RD FLR. MECHANICAL ROOM

SCALE: 3/32"= 1'-0"



KEY PLAN

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MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

PROJECT ARCHITECT
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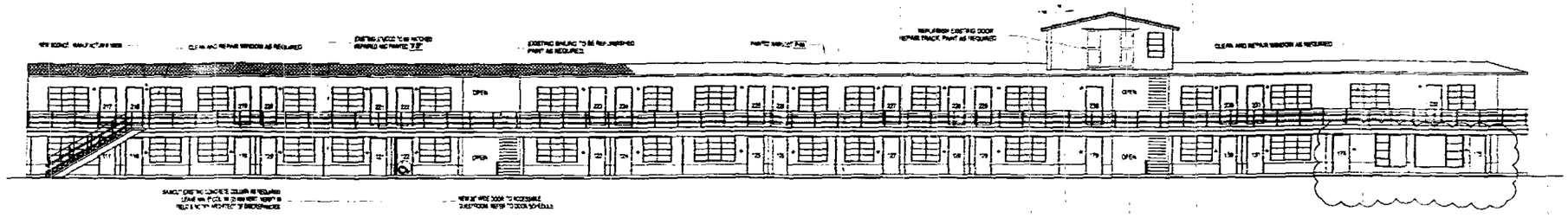
SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

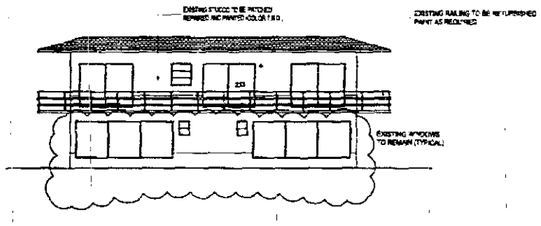
DRAWING TITLE
WEST WING
PROPOSED FLOOR PLANS

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-23-03	PERMIT ISSUE

SHEET NO.
A-1.00



WEST WING - EAST ELEVATION (PROPOSED)
SCALE: 3/32"=1'-0"



WEST WING - NORTH ELEVATION (PROPOSED)
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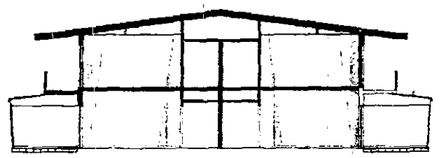

WEST WING - SECTION "1"
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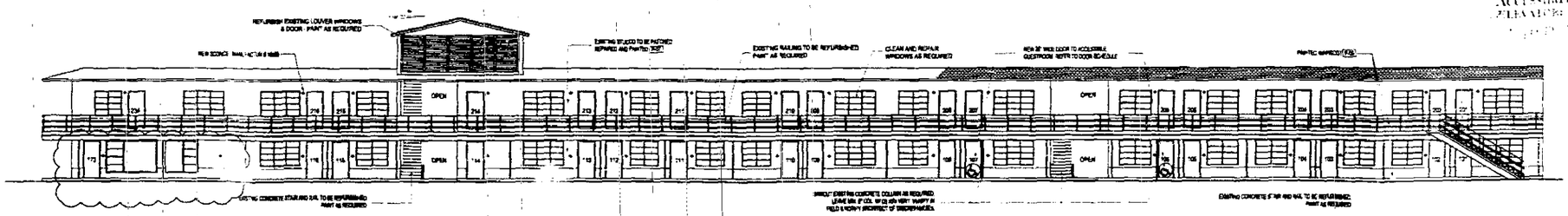

WEST WING - WEST ELEVATION (PROPOSED)
SCALE: 3/32"=1'-0"

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ACCESSIBILITY:
ELEVATOR:

PROJECT ARCHITECT
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SEAL
8-22-03

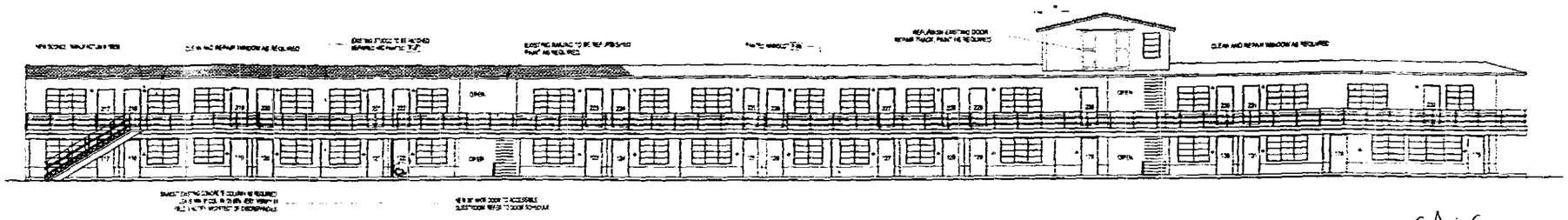
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PROPOSED ELEVATIONS

DRAWN BY B.F.L.
CHECKED BY A.S.

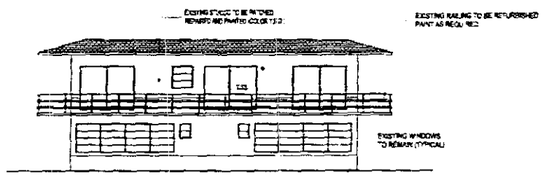
ISSUES
07-23-03 PERMIT ISSUE
08-27-03 REVISION BLDG DEPT COMM'S

SHEET NO.
A-1.01



WEST WING - EAST ELEVATION (PROPOSED)

SCALE: 3/32"=1'-0"



WEST WING - NORTH ELEVATION (PROPOSED)

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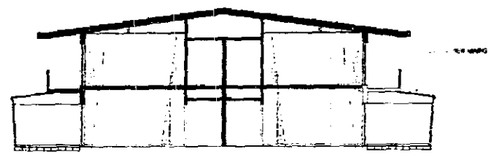
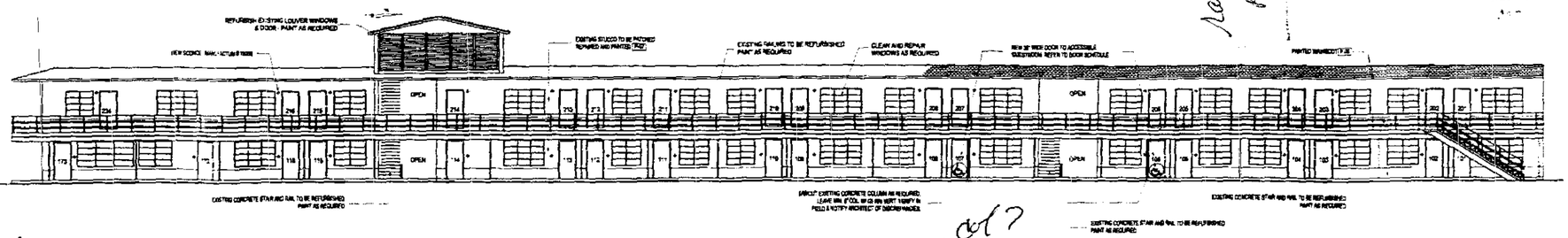


WEST WING - SECTION "1"

SCALE: 3/32"=1'-0"



WEST WING - WEST ELEVATION (PROPOSED)

SCALE: 3/32"=1'-0"

CITY OF MIAMI BEACH
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ELEVATOR:

PROJECT ARCHITECT
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SEAL

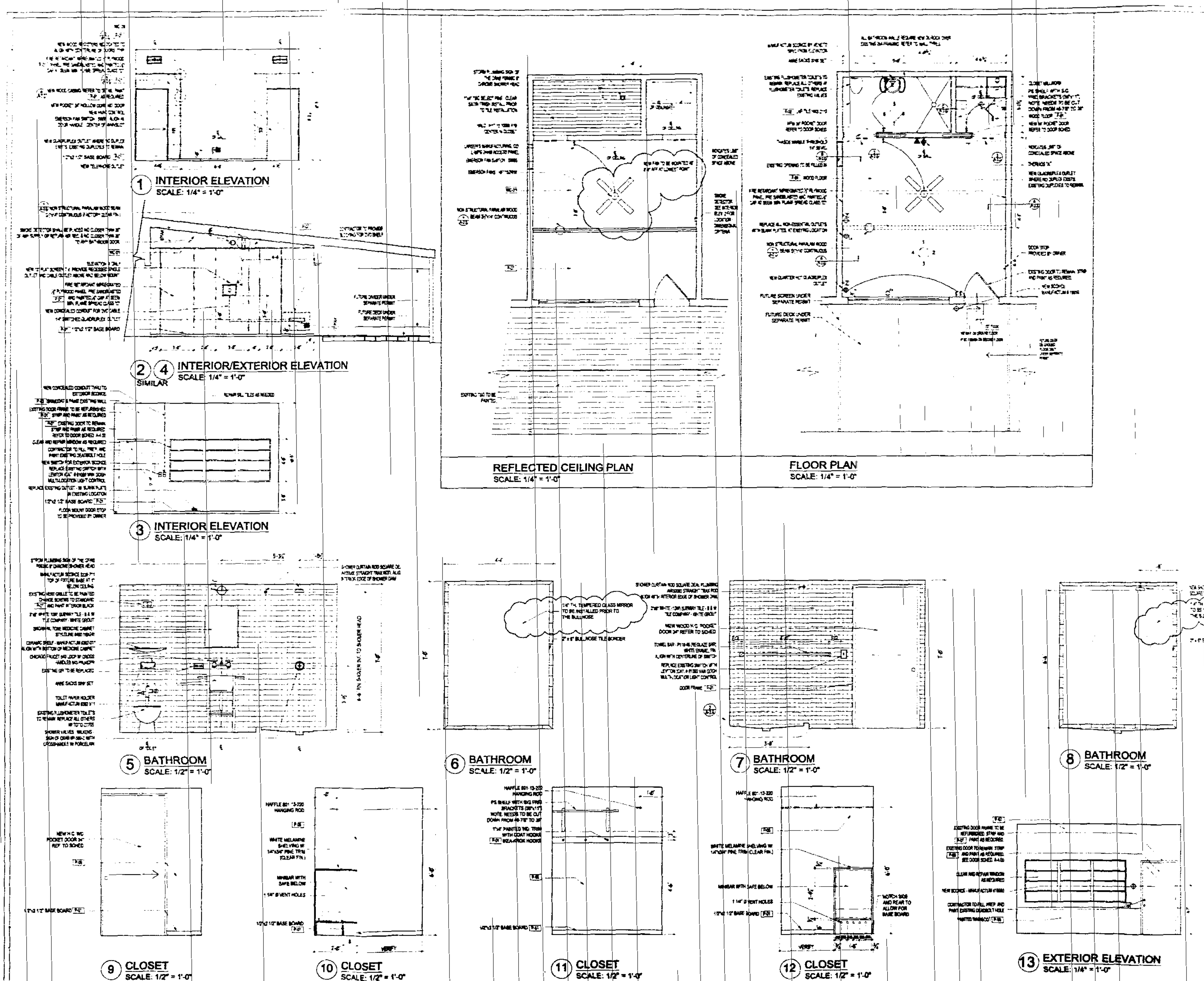
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PROPOSED ELEVATIONS

DRAWN BY B.F.L.
CHECKED BY A.S.

ISSUES
07.23.03 PERMIT ISSUE

SHEET NO.
A-1.01



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ACCESSIBILITY:
ELEVATOR:

NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C.'S REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.
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SEAL
ALISON SPEAR, AIA
ARN 0016650

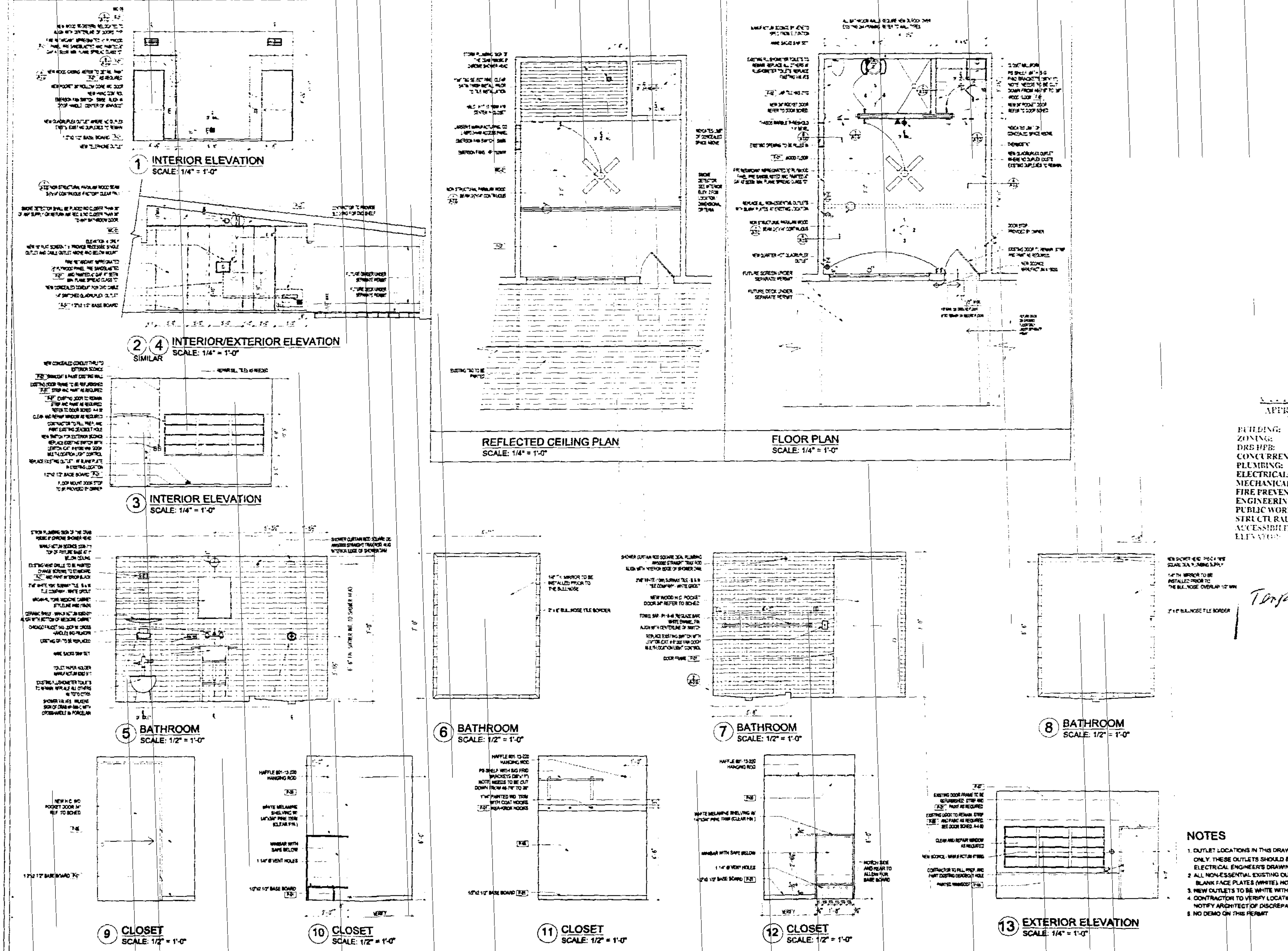
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM TYPE "1"

DRAWN BY	B.F.L.
CHECKED BY	A.S.

ISSUES

SHEET NO
A-2.00



CITY OF MIAMI BEACH
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BUILDING:
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CONCURRENCY:
PLUMBING:
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PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

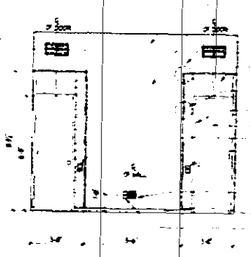
SEAL
ALISON SPEAR, AIA
AR# 0016663

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

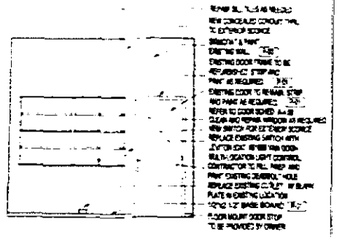
DRAWING TITLE
TYPICAL ROOM TYPE "I"

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-23-03	PERMIT ISSUE

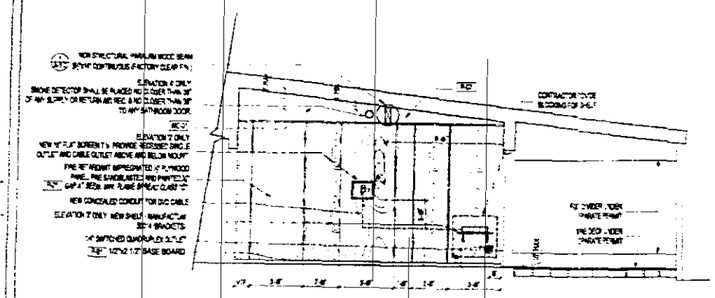
SHEET NO.
A-2.00



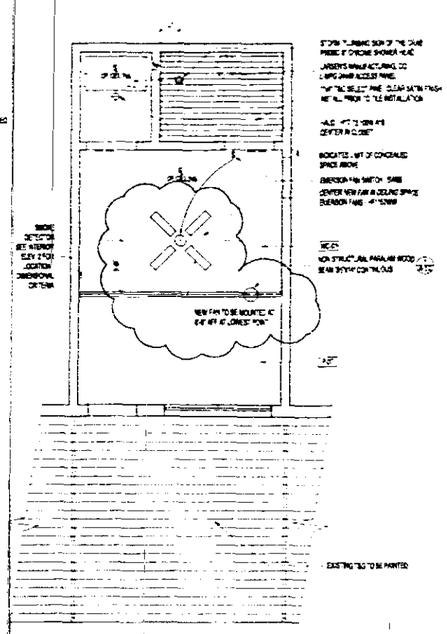
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



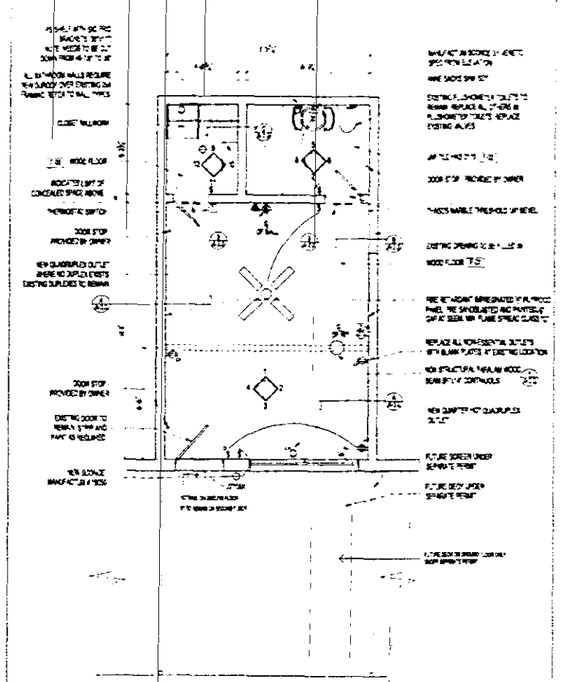
3 INTERIC ELEVATION
SCALE: 1/4 1'-0"



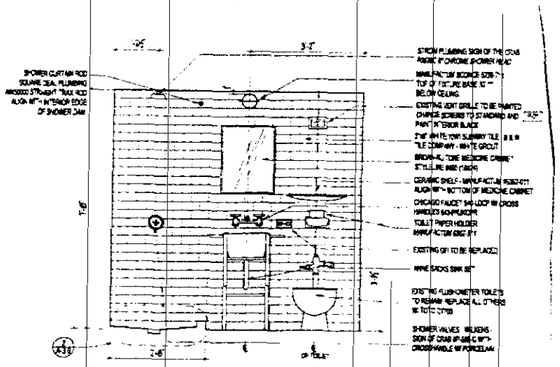
2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



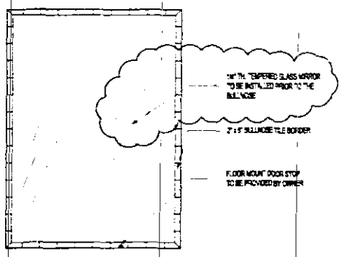
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 BATHROOM
SCALE: 1/2" = 1'-0"



6 BATHROOM
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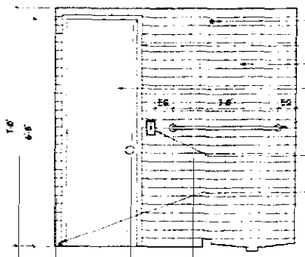
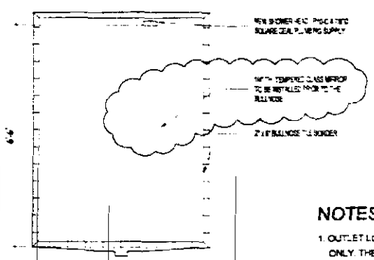
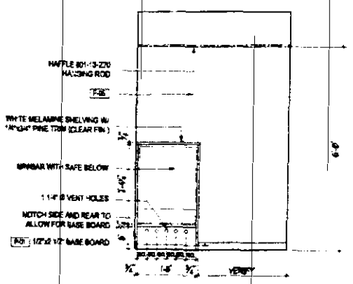


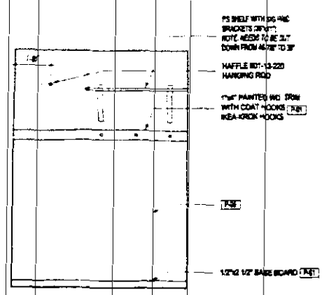
7 BATHROOM
SCALE: 1/2" = 1'-0"



8 BATHROOM
SCALE: 1/2" = 1'-0"



9 CLOSET
SCALE: 1/2" = 1'-0"



10 CLOSET
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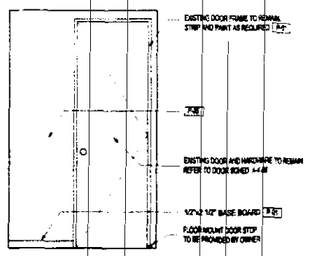
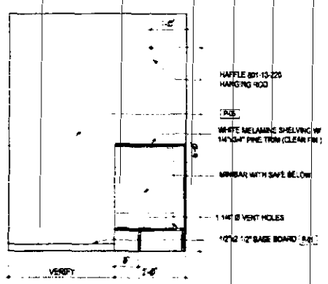
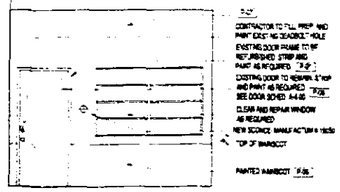


11 CLOSET
SCALE: 1/2" = 1'-0"



12 CLOSE
SCALE: 1/2" = 1'-0"



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOTES

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4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES
5. NO DEMO ON THIS PERMIT.

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-436-1200 fax 305-436-1221

SEAL
ALISON SPEAR, AIA
AR# 0016600

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

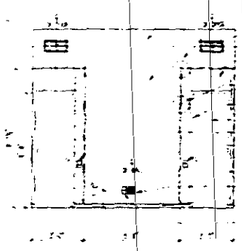
DRAWING TITLE
TYPICAL ROOM
TYPE "2"

DRAWN BY	B.F.L.
CHECKED BY	A.S.

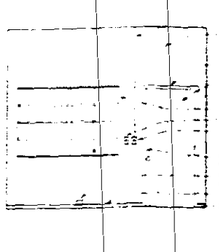
ISSUES

09-27-06	PERMIT ISSUE
08-27-07	REVISION 1 BLDG DEPT CMTS

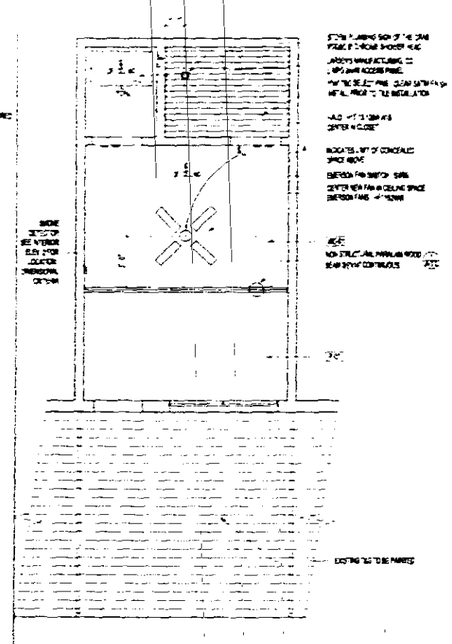
SHEET NO
A-2.01



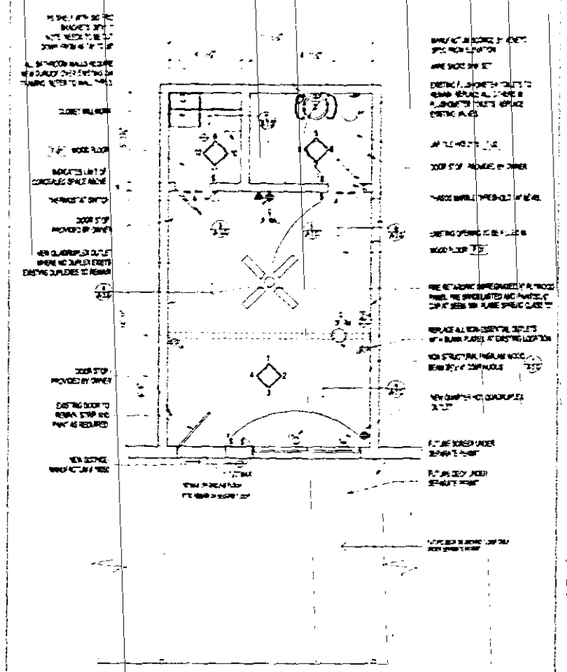
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



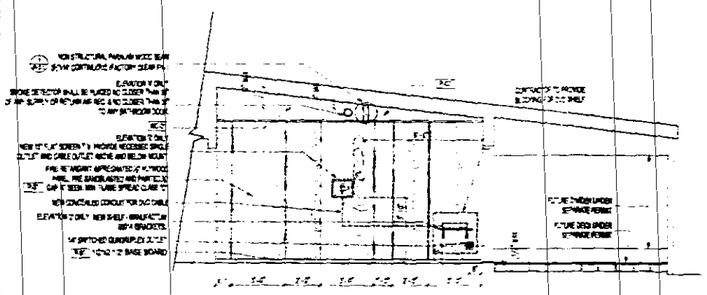
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



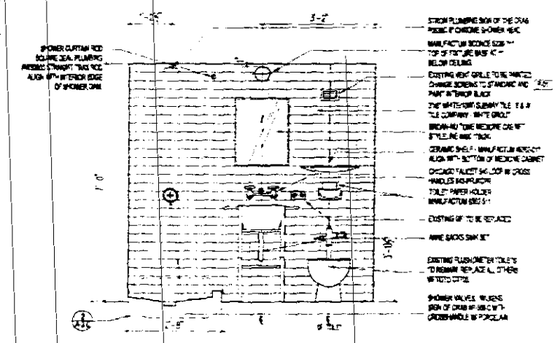
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



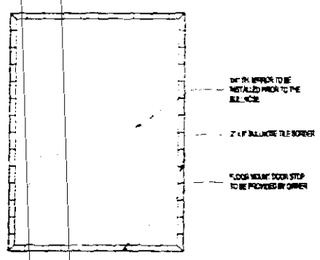
FLOOR PLAN
SCALE: 1/4" = 1'-0"



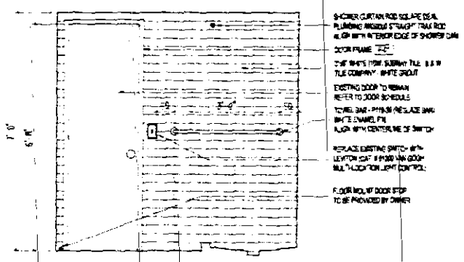
2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



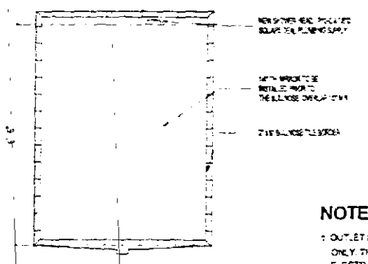
5 BATHROOM
SCALE: 1/2" = 1'-0"



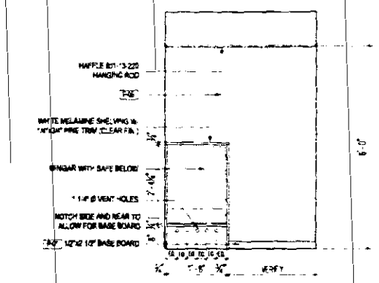
6 BATHROOM
SCALE: 1/2" = 1'-0"



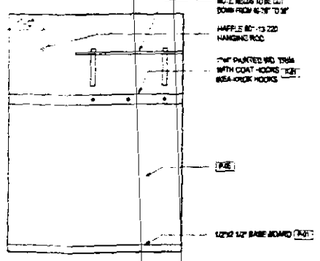
7 BATHROOM
SCALE: 1/2" = 1'-0"



8 BATHROOM
SCALE: 1/2" = 1'-0"



9 CLOSET
SCALE: 1/2" = 1'-0"



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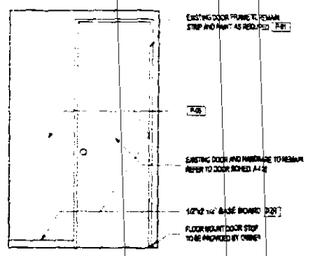
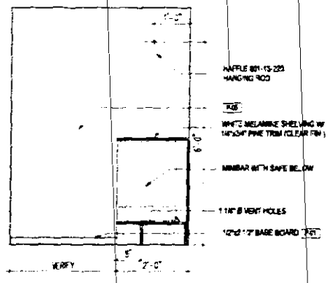
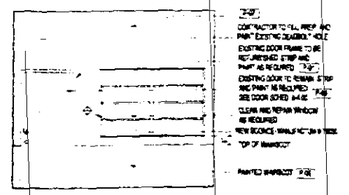
SCALE: 1/2" = 1'-0"



11 CLOSET
SCALE: 1/2" = 1'-0"



12 CLOSET
SCALE: 1/2" = 1'-0"



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOTES

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4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES
5. NO DEMO ON THIS PERMIT.

CITY OF MIAMI BEACH
APPROVED FOR ISSUANCE
THE FOLLOWING:

BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
FLETCHER:

PROJECT ARCHITECT
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305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
- AR0010680

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

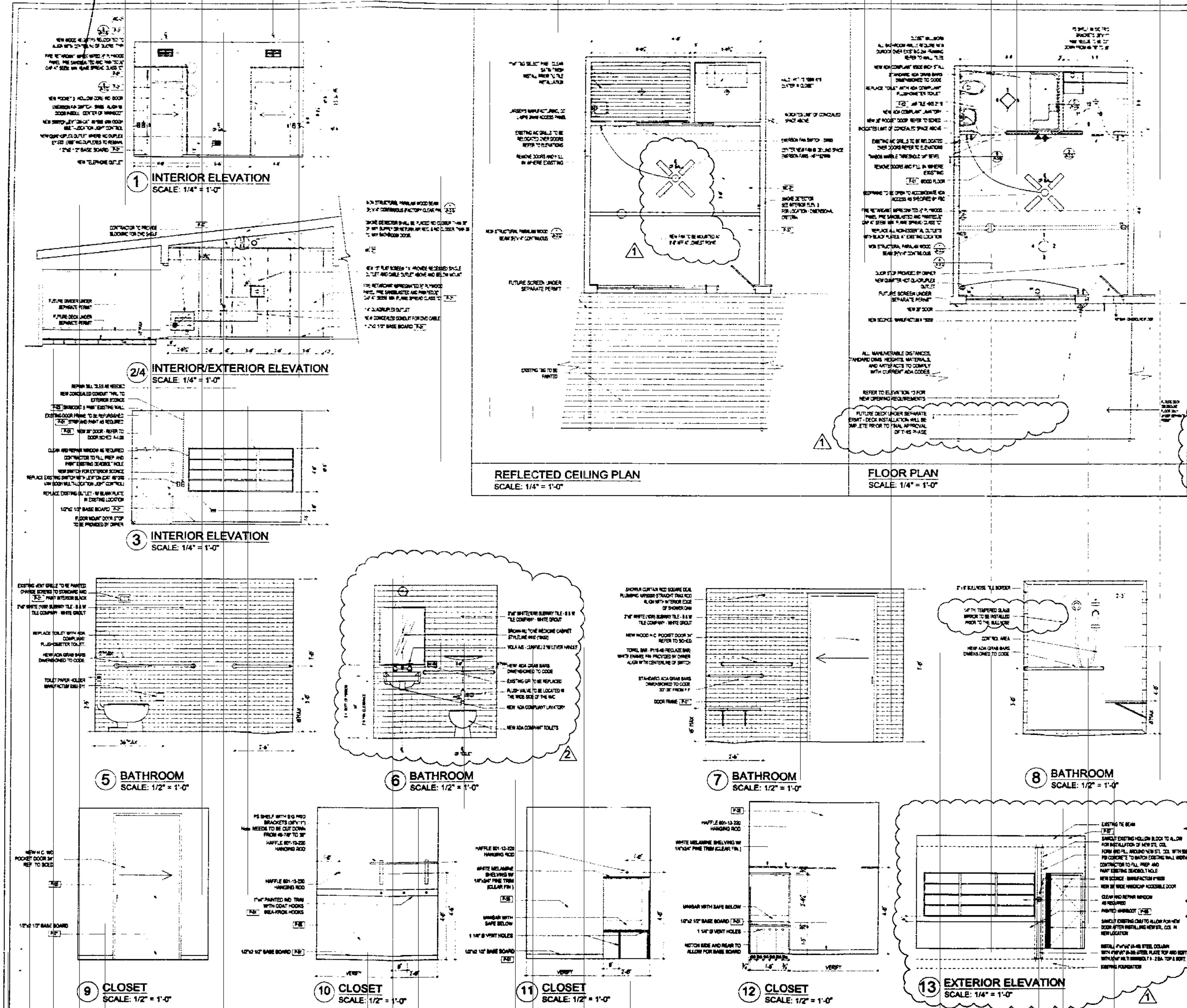
DRAWING TITLE
TYPICAL ROOM
TYPE "2"

DRAWN BY	B.F.L.
CHECKED BY	A.S.

ISSUES

12-23-03 PERMIT ISSUE

SHEET NO.
A-2.01



1 INTERIOR ELEVATION SCALE: 1/4" = 1'-0"

2/4 INTERIOR/EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"

3 INTERIOR ELEVATION SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"

FLOOR PLAN SCALE: 1/4" = 1'-0"

5 BATHROOM SCALE: 1/2" = 1'-0"

6 BATHROOM SCALE: 1/2" = 1'-0"

7 BATHROOM SCALE: 1/2" = 1'-0"

8 BATHROOM SCALE: 1/2" = 1'-0"

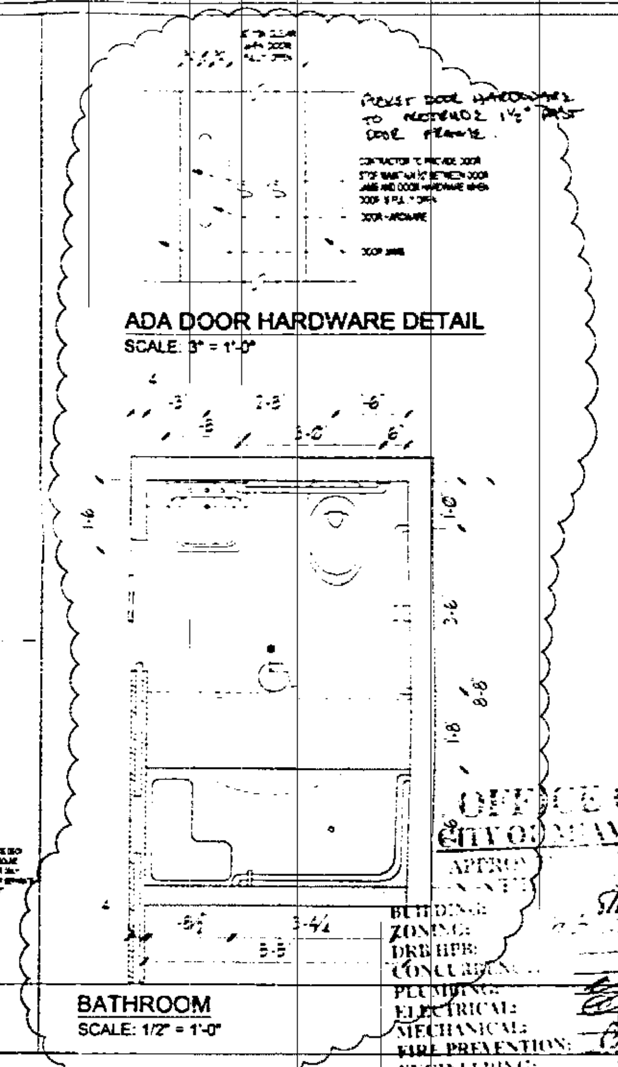
9 CLOSET SCALE: 1/2" = 1'-0"

10 CLOSET SCALE: 1/2" = 1'-0"

11 CLOSET SCALE: 1/2" = 1'-0"

12 CLOSET SCALE: 1/2" = 1'-0"

13 EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"



ADA DOOR HARDWARE DETAIL SCALE: 3" = 1'-0"

BATHROOM SCALE: 1/2" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
PERMIT BY
BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
As per Florida Bull...
REVIEWED FOR CO...

HANDICAP GENERAL NOTES

A. LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 29" A.F.F. TO BOTTOM OF APRON

B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP.

C. FAUCETS TO BE LEVER-OPERATED, PUSH-TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS.

D. SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP.

E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" HIGH.

F. ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS

G. DOOR THRESHOLD NOT TO EXCEED 1/4".

H. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 38" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5LBF.

I. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS.

J. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 36" CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED. EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS

K. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ ROD MOUNTED AT 46" A.F.F.

L. OUTLETS @ 15" TO CENTER LINE.

M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.

N. TYPICAL ACCESSIBLE UNIT'S FURNITURE:
DESK WITH KNEE CLEARANCE
ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
OPEN FRAME BED
DOORS NOT OBSTRUCTED.

NOTES

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5. NO DEMO ON THIS PERMIT

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
AR# 0016660

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

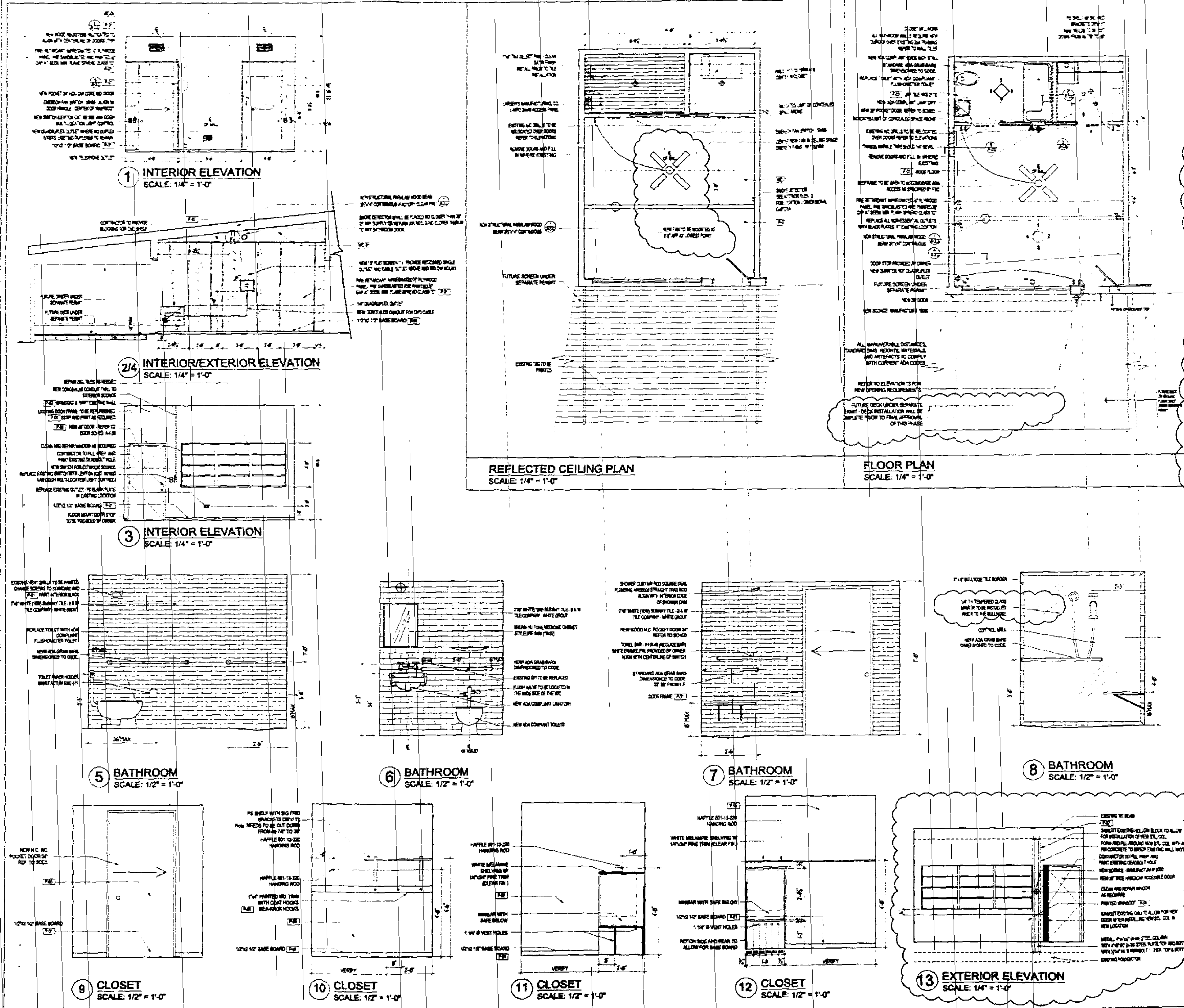
DRAWING TITLE
TYPICAL ROOM
TYPE "4"

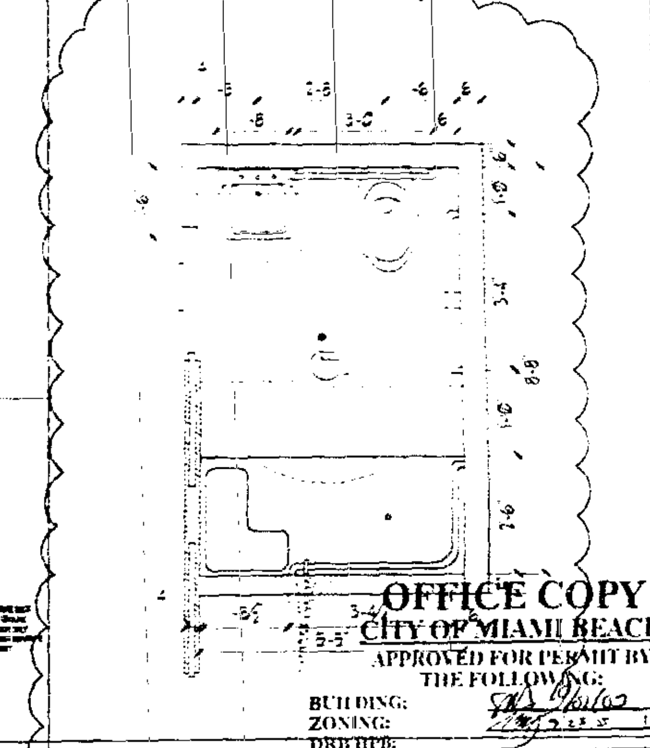
DRAWN BY	B.F.L.
CHECKED BY	A.S.

ISSUES

07-23-03	PERMIT ISSUE
08-27-03	REVISION 1 BLDG DEPT CMTS.
10-03-03	REVISION 2 BLDG DEPT CMTS.

SHEET NO.
A-2.03





OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
As per Florida Building Code Section 104.5.3 ... ED FOR CODE COMPLIANCE

HANDICAP GENERAL NOTES

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F. ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS
G. DOOR THRESHOLD NOT TO EXCEED 1/4".
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K. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ ROD MOUNTED AT 46" A.F.F.
L. OUTLETS @ 15" TO CENTER LINE.
M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
N. TYPICAL ACCESSIBLE UNIT'S FURNITURE.
DESK WITH KNEE CLEARANCE
ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
OPEN FRAME BED
DOORS NOT OBSTRUCTED.

NOTES

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5. NO DEMO ON THIS PERMIT

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

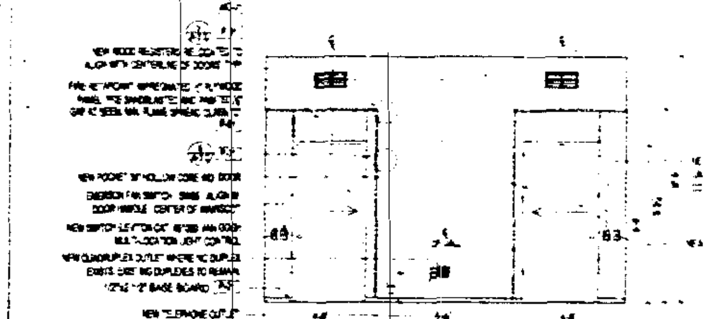
SEAL
ALISON SPEAR, AIA
AR# 0016660

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

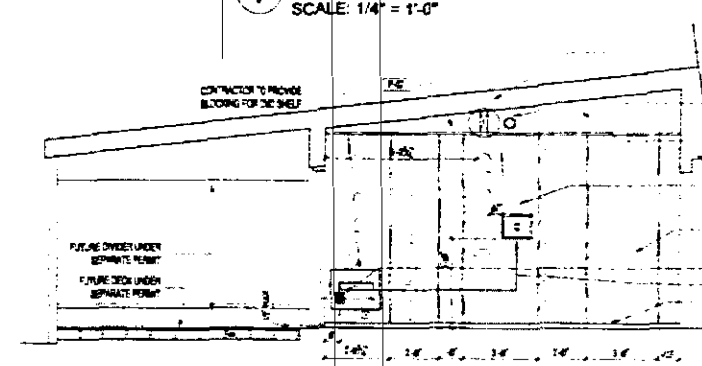
DRAWING TITLE
TYPICAL ROOM TYPE "4"

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-23-03	PERMIT ISSUE
08-27-03	REVISION / BLDG DEPT COMMENTS

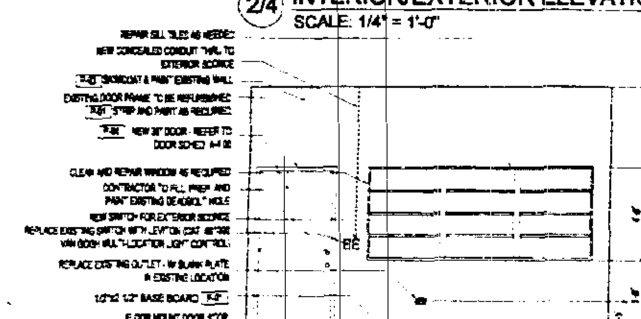
SHEET NO.
A-2.03



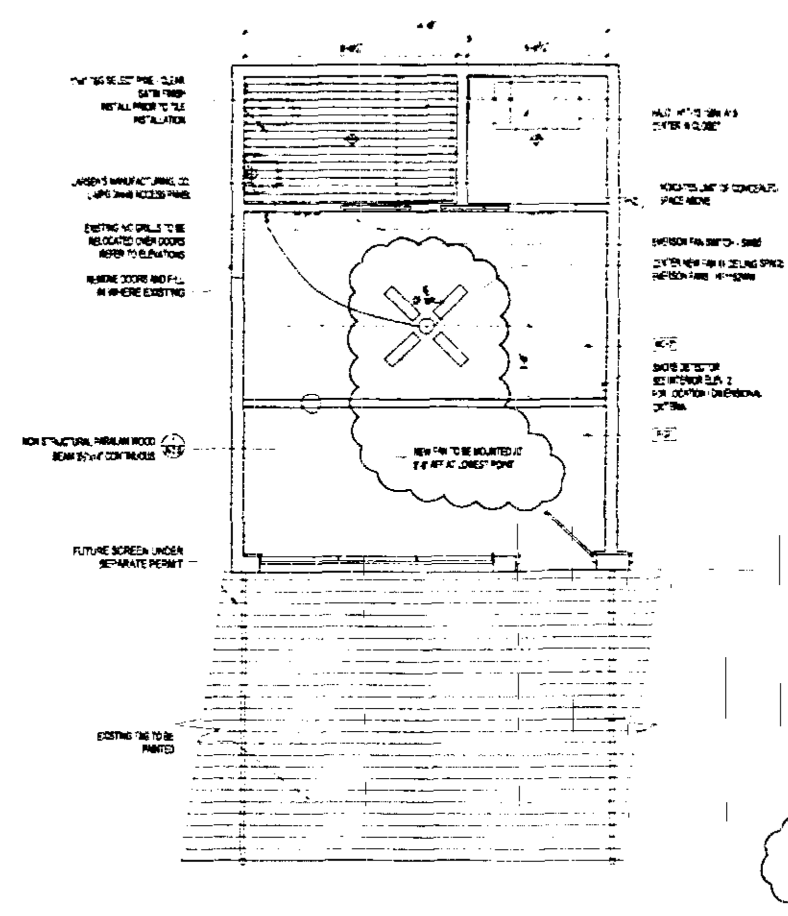
(1) INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



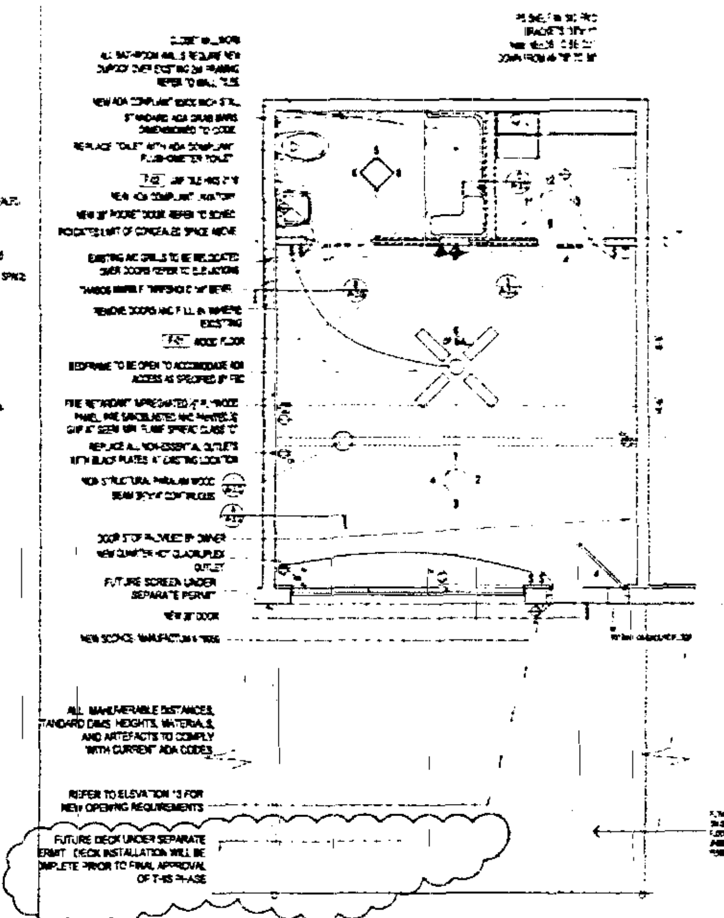
(2/4) INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



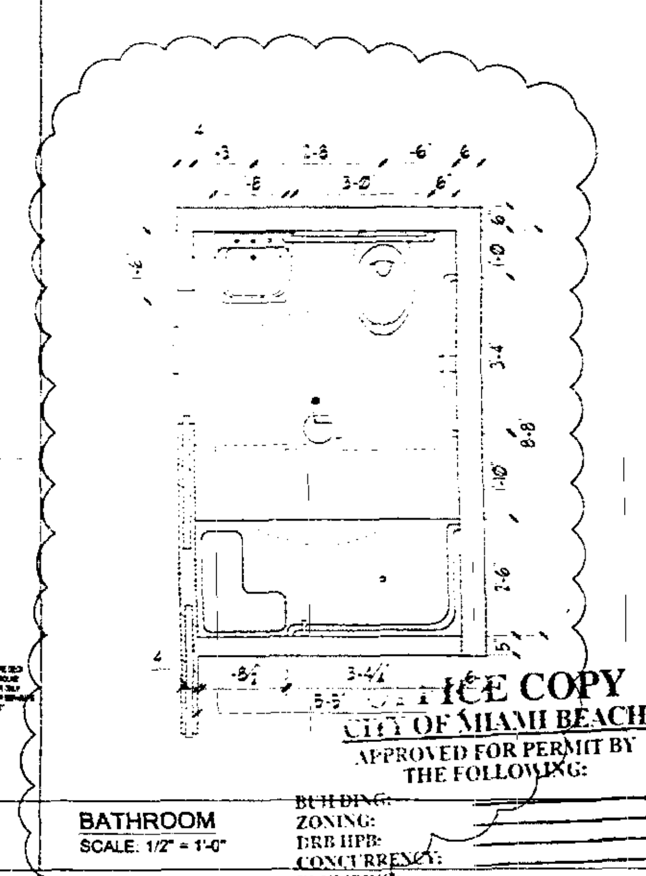
(3) INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

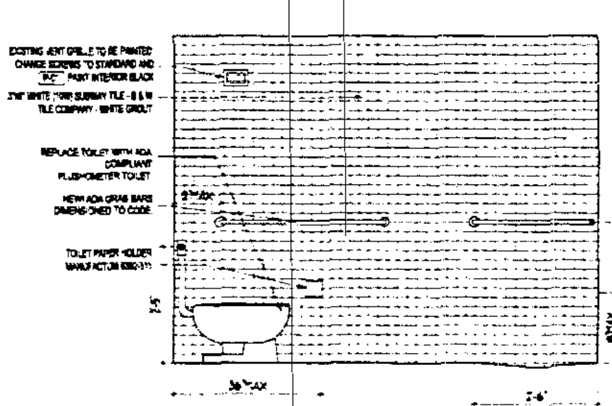


BATHROOM
SCALE: 1/2" = 1'-0"

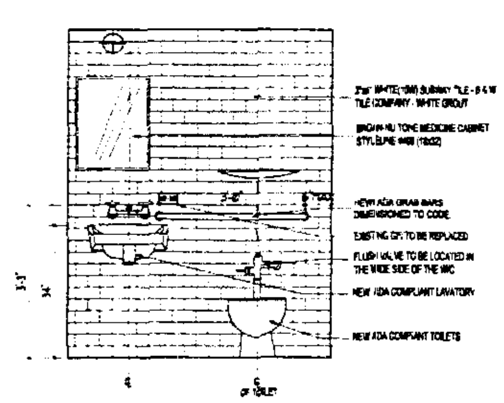
...ICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRB HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
As per Florida Buil...
REVIEW...

HANDICAP GENERAL NOTES

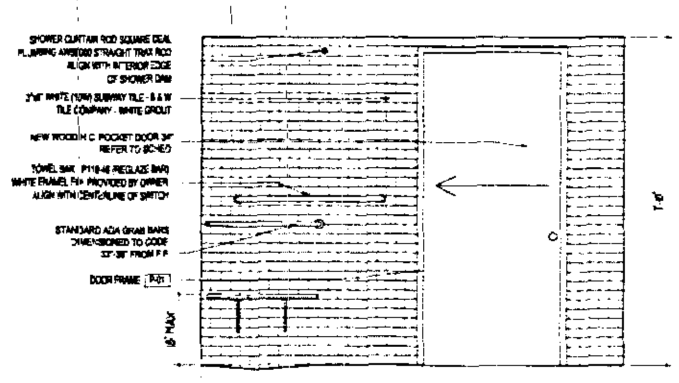
A. LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 29" A.F.F. TO BOTTOM OF APRON.
B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP.
C. FAUCETS TO BE LEVER OPERATED, PUSH-TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS.
D. SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP.
E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" HIGH.
F. ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS.
G. DOOR THRESHOLD NOT TO EXCEED 1/4".
H. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 38" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5LBF.
I. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS.
J. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 36" CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS.
K. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ ROD MOUNTED AT 45" A.F.F.
L. OUTLETS @ 15" TO CENTER LINE.
M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
N. TYPICAL ACCESSIBLE UNIT'S FURNITURE:
DESK WITH KNEE CLEARANCE
ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
OPEN FRAME BED
DOORS NOT OBSTRUCTED.



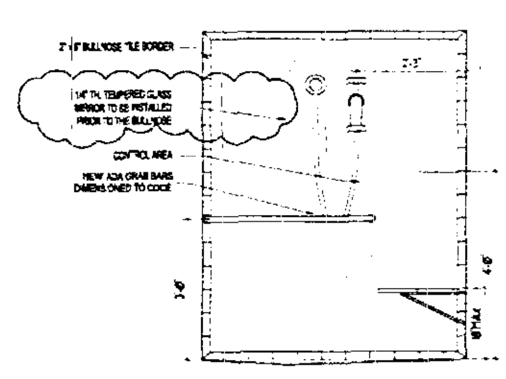
(5) BATHROOM
SCALE: 1/2" = 1'-0"



(6) BATHROOM
SCALE: 1/2" = 1'-0"



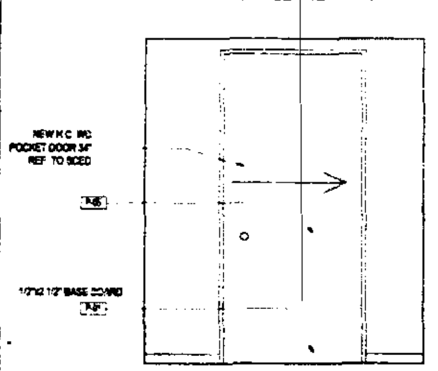
(7) BATHROOM
SCALE: 1/2" = 1'-0"



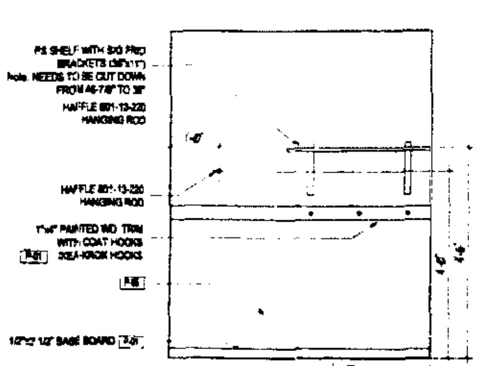
(8) BATHROOM
SCALE: 1/2" = 1'-0"

NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C.'s REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT



(9) CLOSET
SCALE: 1/2" = 1'-0"



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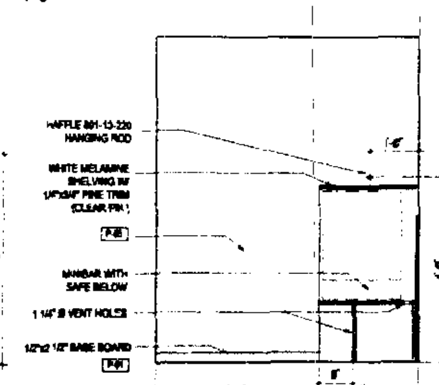

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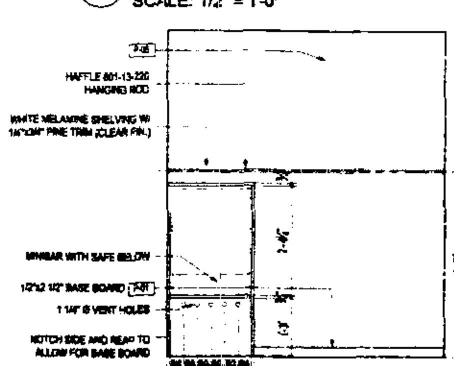

(12) CLOSET
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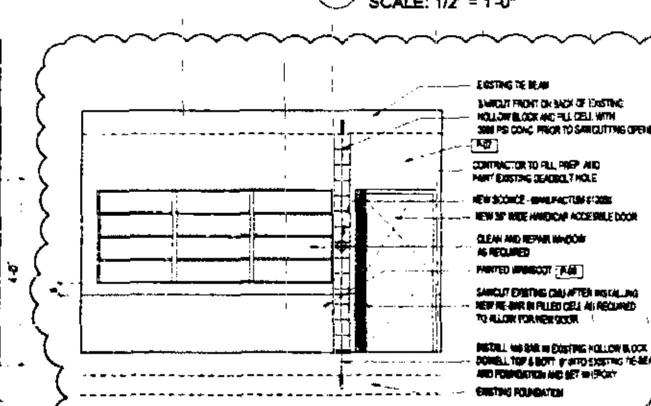


(13) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

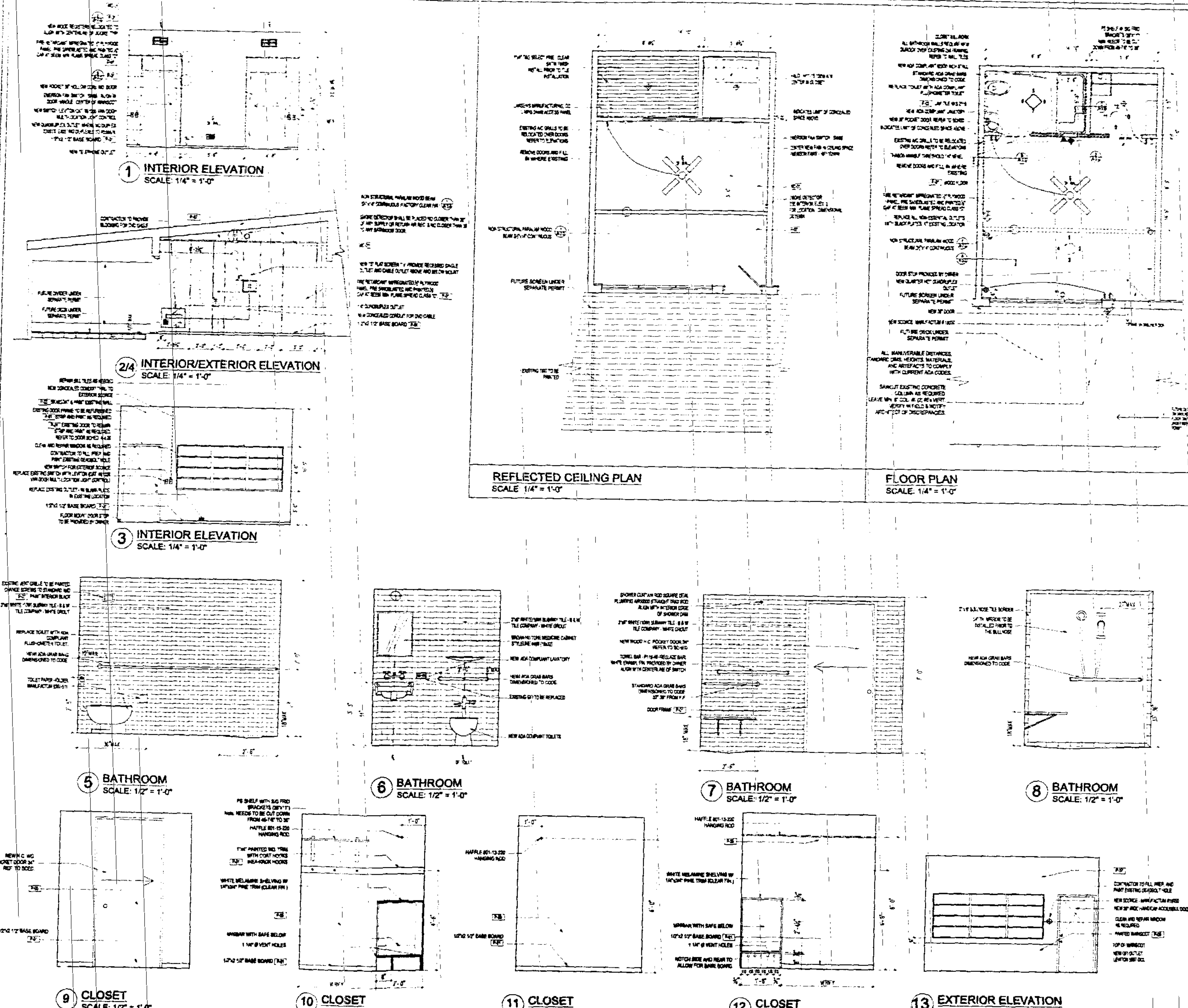
SEAL
ALISON SPEAR, AIA

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM TYPE "4"

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES

SHEET NO.
A-2.03



MIAMI BEACH

CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:

HANDICAP GENERAL NOTES

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L. OUTLETS @ 15" TO CENTER LINE.
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N. TYPICAL ACCESSIBLE UNIT'S FURNITURE:
DESK WITH KNEE CLEARANCE
ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
OPEN FRAME BED
DOORS NOT OBSTRUCTED.

NOTES

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3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT

SEAL
ALISON SPEAR, AIA
AR# 0016650

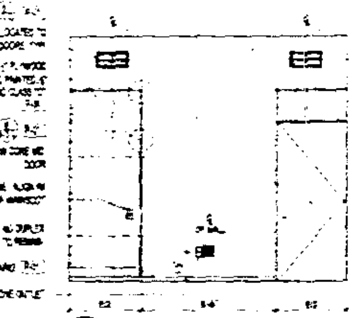
PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

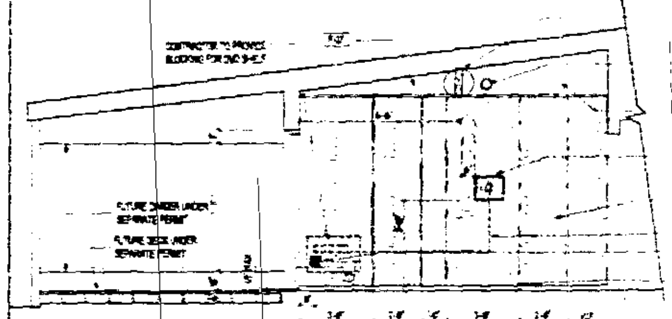
DRAWING TITLE
TYPICAL ROOM
TYPE "4"

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-25-03	PERMIT ISSUE

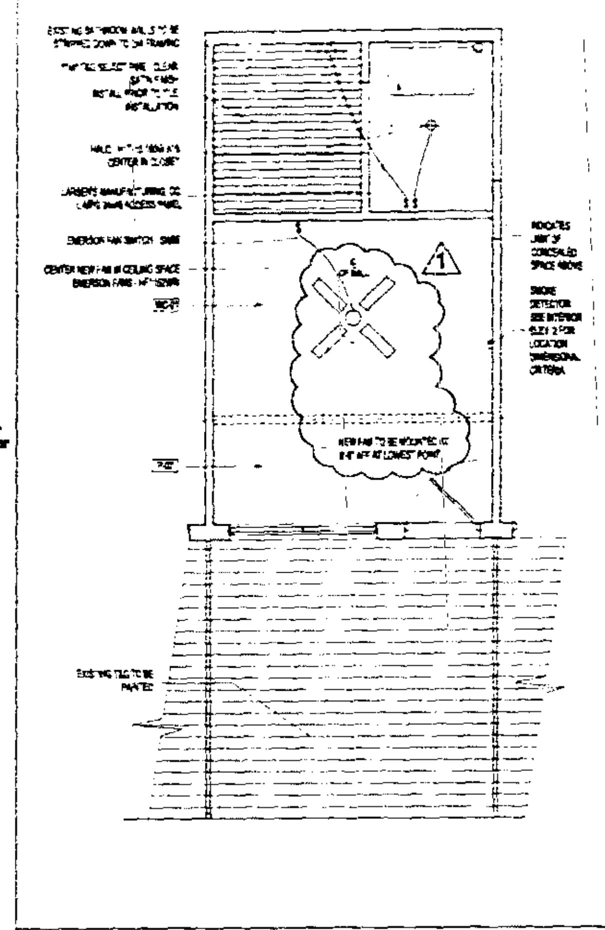
SHEET NO.
A-2.03



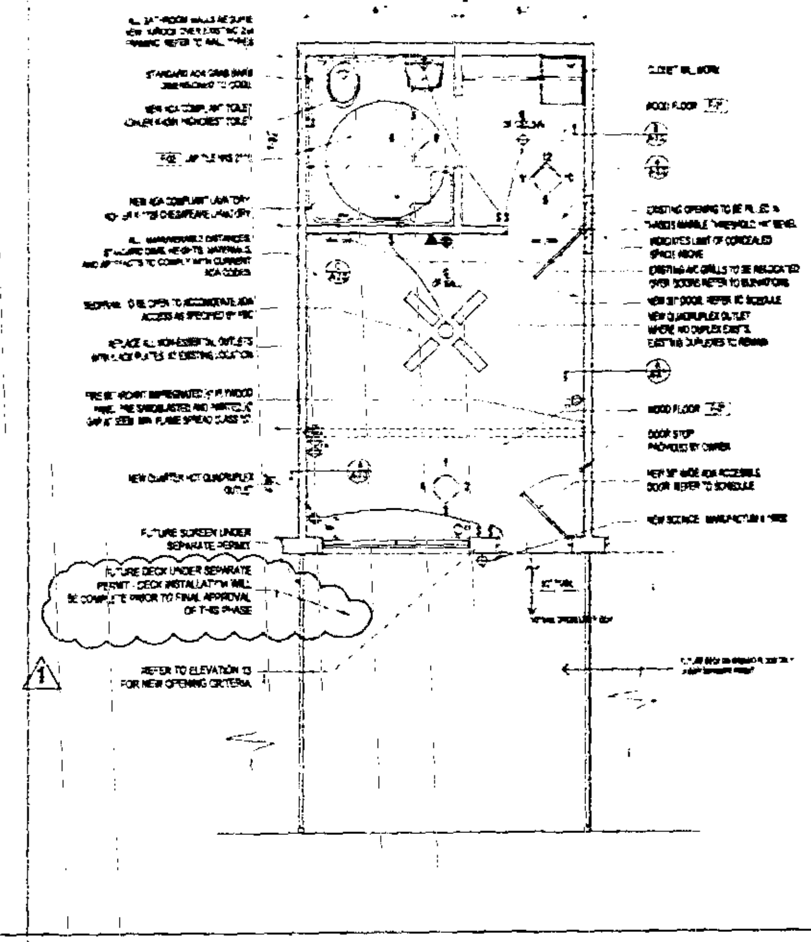
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



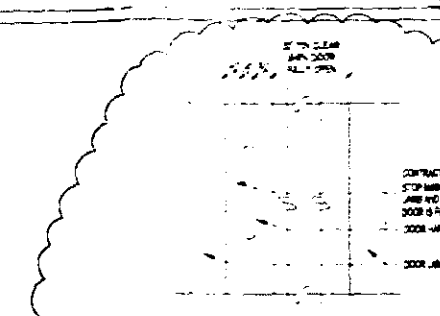
2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



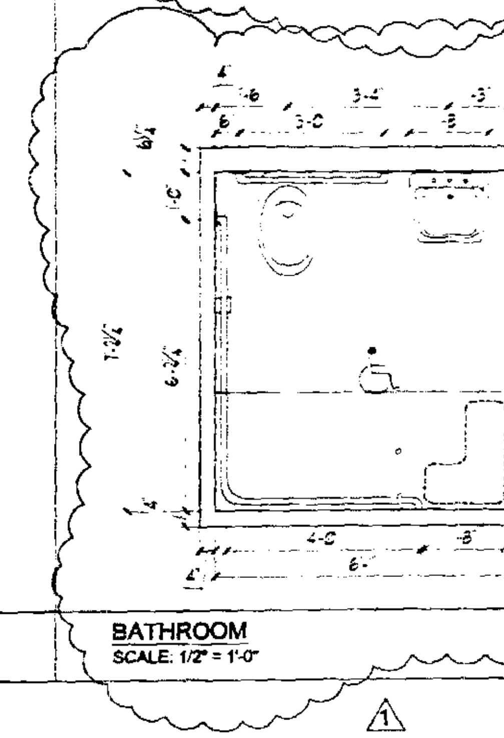
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



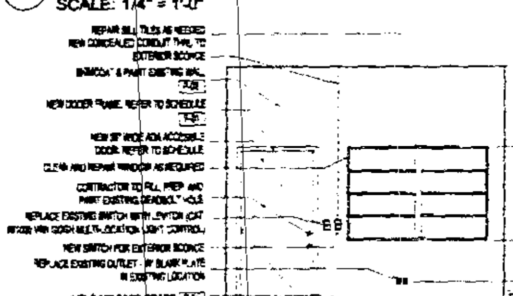
FLOOR PLAN
SCALE: 1/4" = 1'-0"



ADA DOOR HARDWARE DETAIL
SCALE: 3" = 1'-0"



BATHROOM
SCALE: 1/2" = 1'-0"



3 INTERIOR ELEVATION
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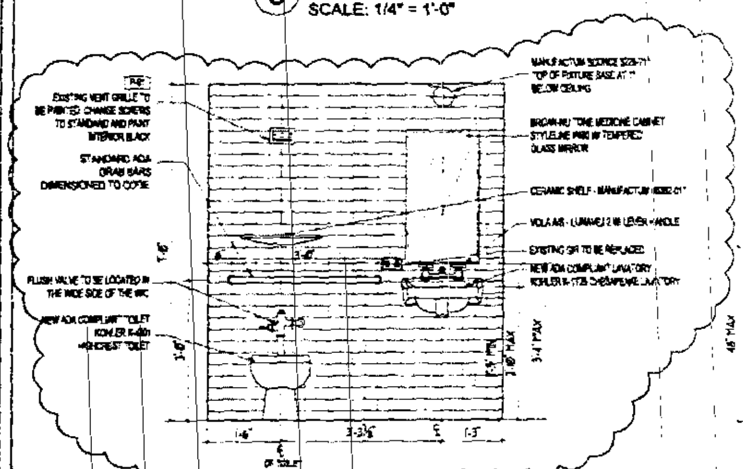
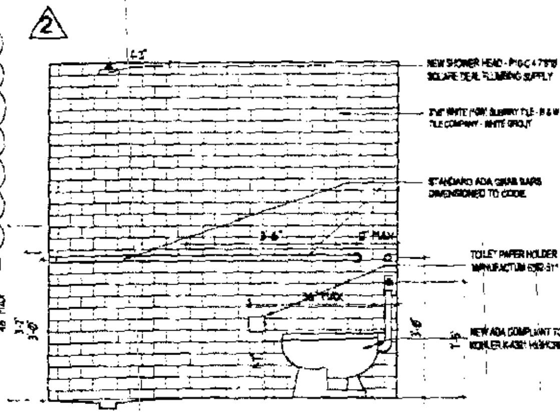
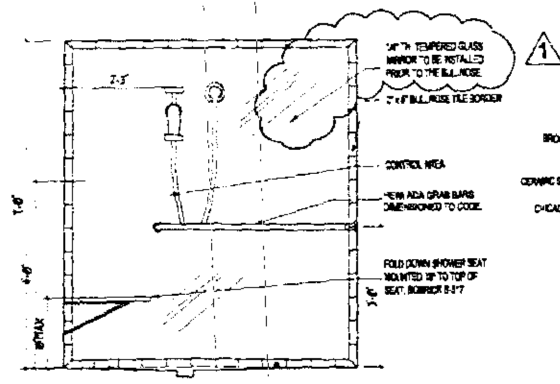


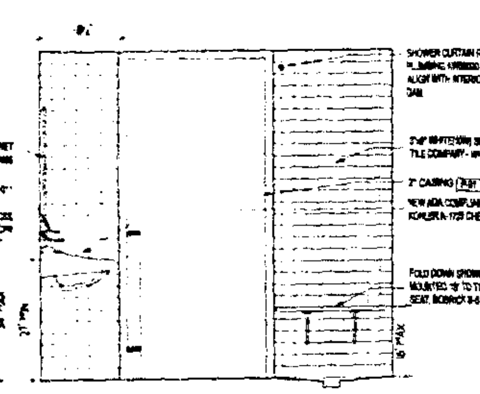
5 BATHROOM
SCALE: 1/2" = 1'-0"



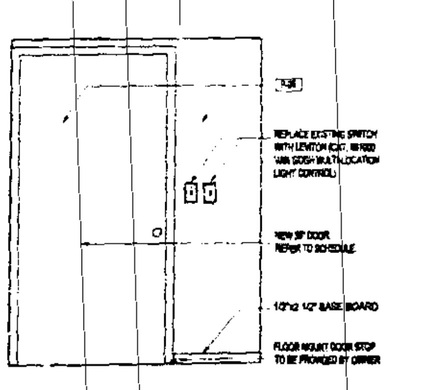
6 BATHROOM
SCALE: 1/2" = 1'-0"



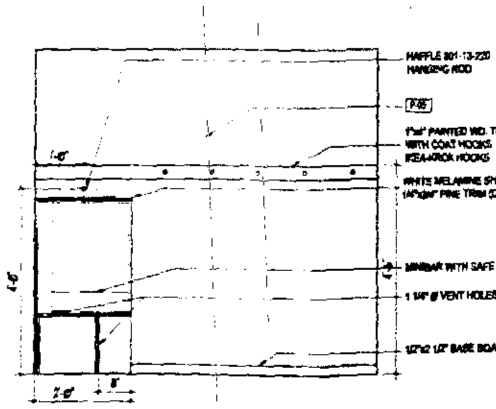
7 BATHROOM
SCALE: 1/2" = 1'-0"



8 BATHROOM
SCALE: 1/2" = 1'-0"



9 CLOSET
SCALE: 1/2" = 1'-0"



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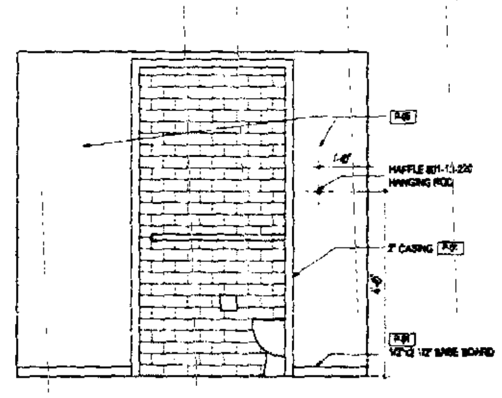
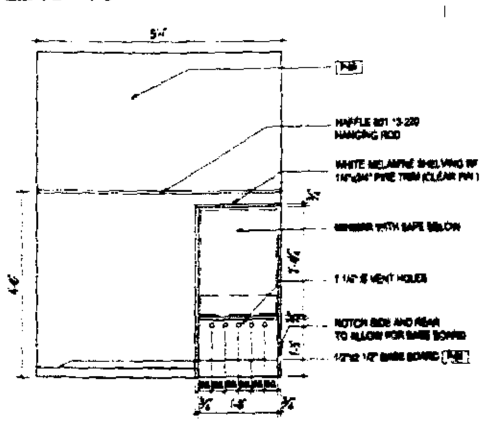
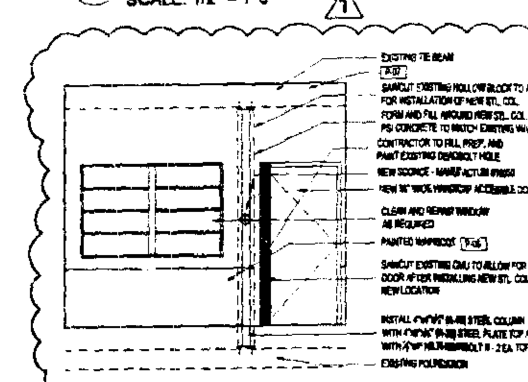
SCALE: 1/2" = 1'-0"



11 CLOSET
SCALE: 1/2" = 1'-0"



12 CLOSET
SCALE: 1/2" = 1'-0"



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

HANDICAP GENERAL NOTES

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L. OUTLETS @ 18" TO CENTER LINE.
M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
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DESK WITH KNEE CLEARANCE
ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
OPEN FRAME BED
DOORS NOT OBSTRUCTED.

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4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St, SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
AR# 0016660

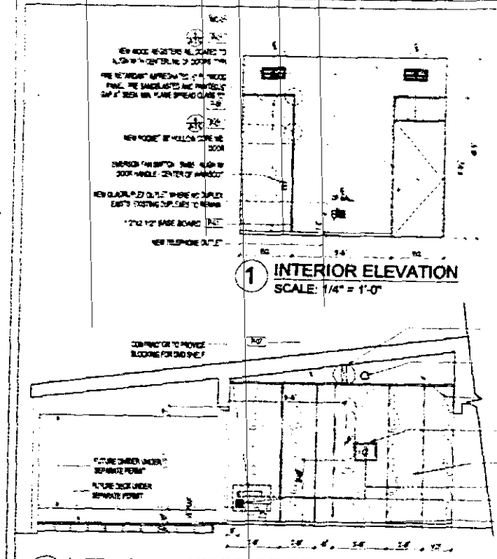
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM TYPE "5"

DRAWN BY	B.F.L.
CHECKED BY	A.S.

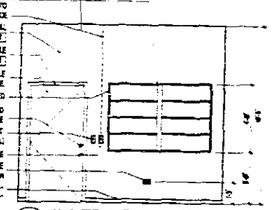
ISSUES

SHEET NO
A-2.04

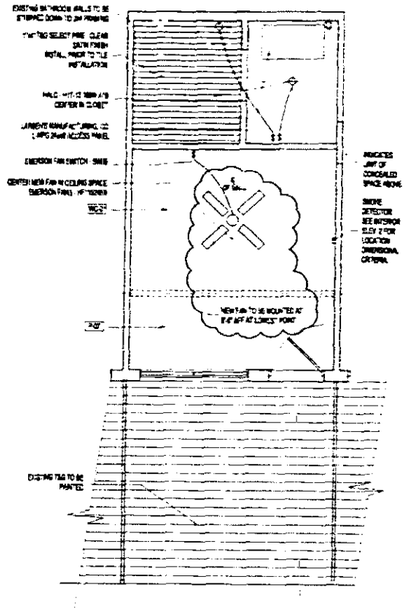


1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

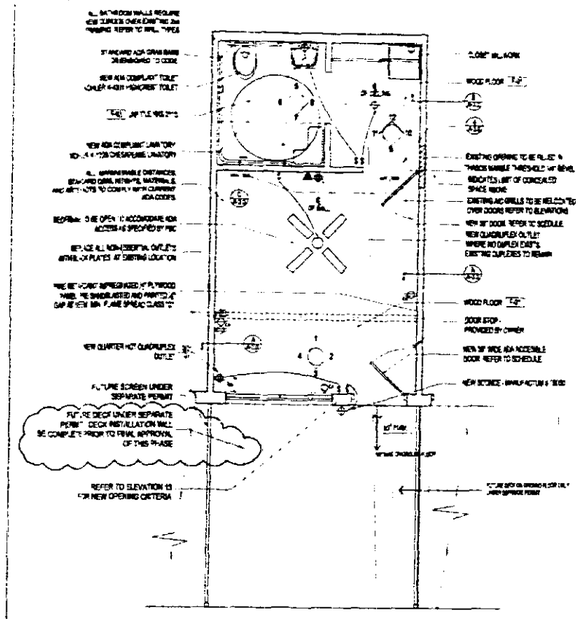
2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



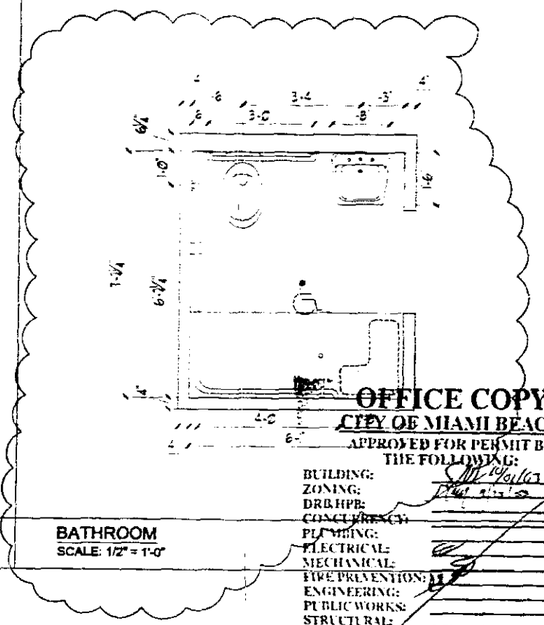
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



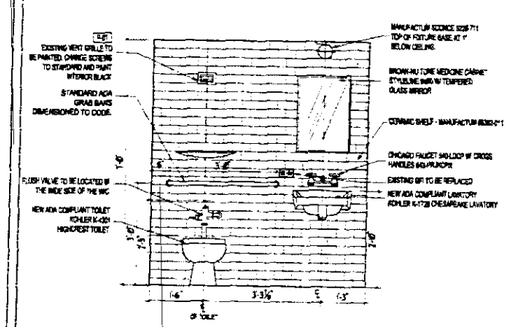
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



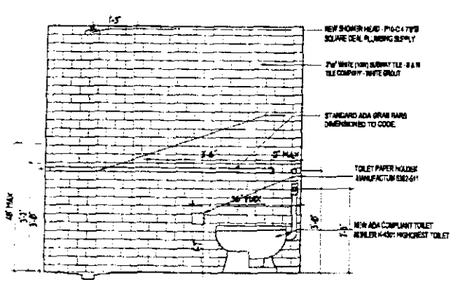
FLOOR PLAN
SCALE: 1/4" = 1'-0"



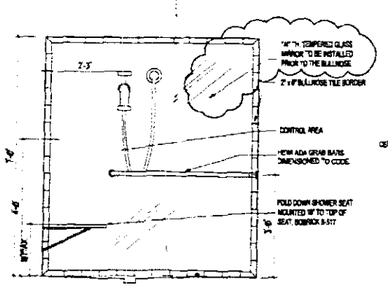
BATHROOM
SCALE: 1/2" = 1'-0"



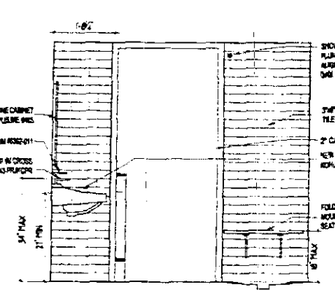
5 BATHROOM
SCALE: 1/2" = 1'-0"



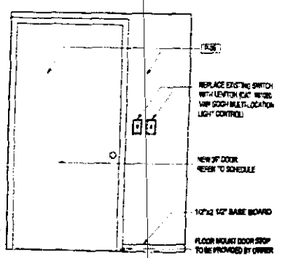
6 BATHROOM
SCALE: 1/2" = 1'-0"



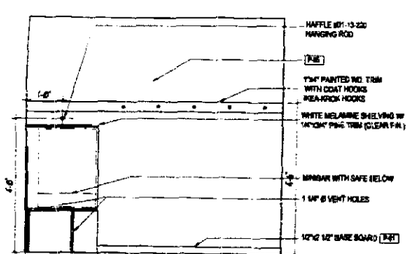
7 BATHROOM
SCALE: 1/2" = 1'-0"



8 BATHROOM
SCALE: 1/2" = 1'-0"



9 CLOSET



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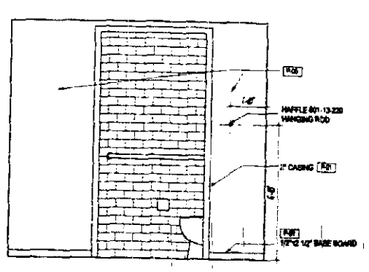

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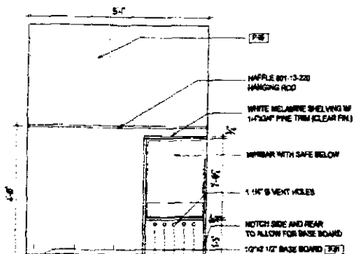
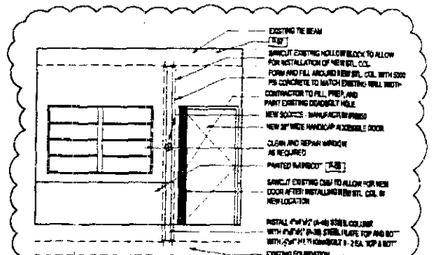


12 CLOSET



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

HANDICAP GENERAL NOTES

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B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP.
C. FAUCETS TO BE LEVER-OPERATED, PUSH-TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS.
D. SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP.
E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" HIGH.
F. ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS.
G. DOOR THRESHOLD NOT TO EXCEED 1/4".
H. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 38" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5LBF.
I. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS.
J. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 36" CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS.
K. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ ROD MOUNTED AT 46" A.F.F.
L. OUTLETS @ 15" TO CENTER LINE.
M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS
N. TYPICAL ACCESSIBLE UNITS FURNITURE:
DESK WITH KNEE CLEARANCE
ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
OPEN FRAME BED
DOORS NOT OBSTRUCTED

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4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
As per Florida Building Code Section 104.5.3

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
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305-438-1200 fax 305-438-1221

SEAL
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AR# 0018950

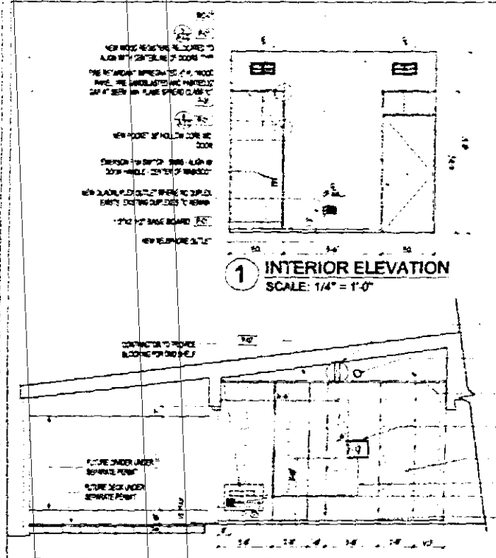
OWNER OF DOCUMENTS NOTICE

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM
TYPE "S"

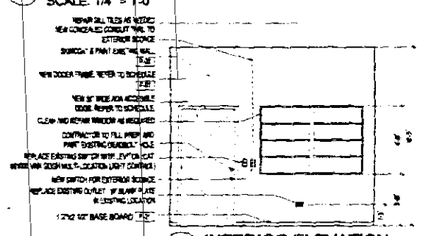
DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES
07-23-03 PERMIT ISSUE
09-17-03 REVISION / BLDG DEPT COMM

SHEET NO.
A-2.04

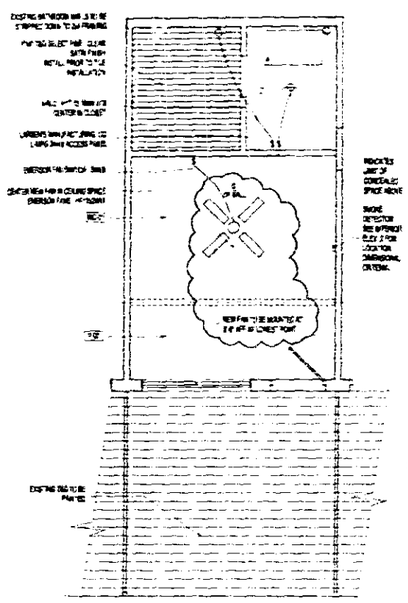


1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

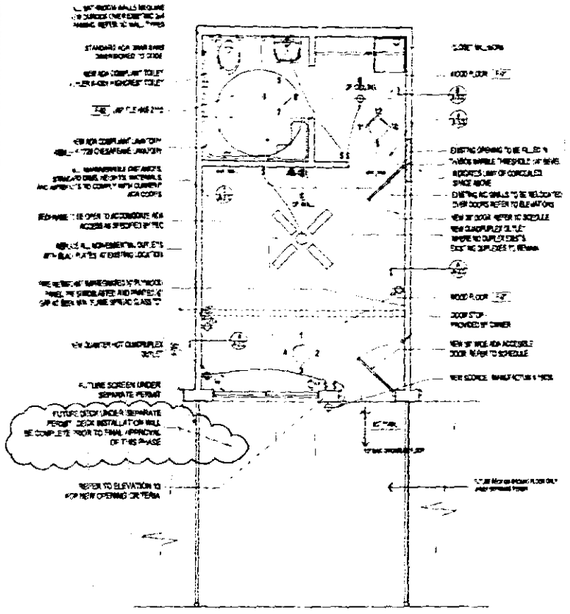
2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



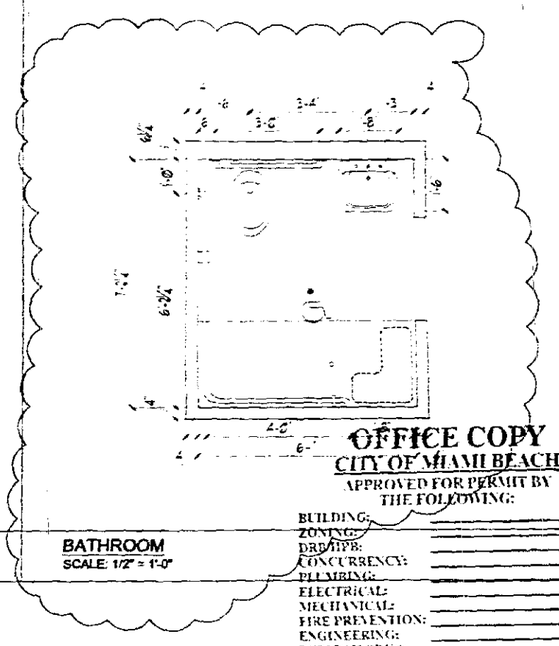
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



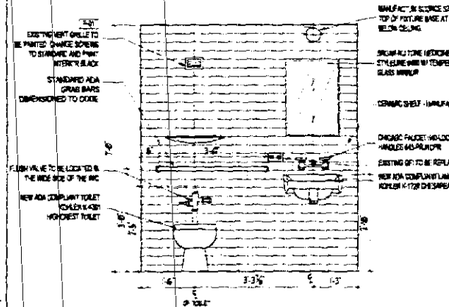
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



BATHROOM
SCALE: 1/2" = 1'-0"



5 BATHROOM
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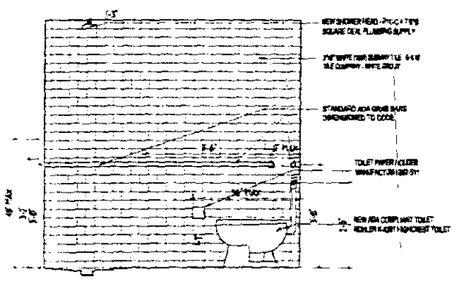
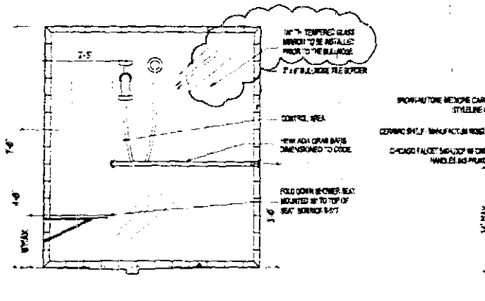
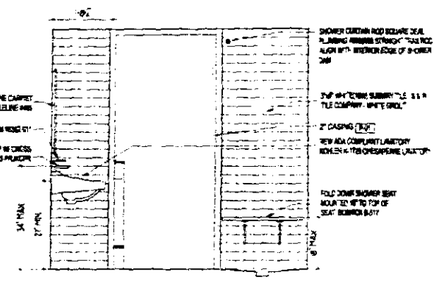


6 BATHROOM
SCALE: 1/2" = 1'-0"



7 BATHROOM
SCALE: 1/2" = 1'-0"



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SCALE: 1/2" = 1'-0"

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THE FOLLOWING:

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305-438-1200 fax 305-438-1221

SEAL
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AR# 0016699

OWNER OF DOCUMENTS NOTICE

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

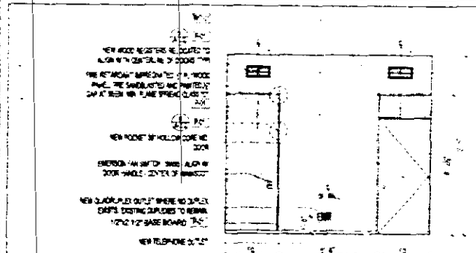
DRAWING TITLE
TYPICAL ROOM
TYPE "S"

DRAWN BY B.F.L.
CHECKED BY A.S.

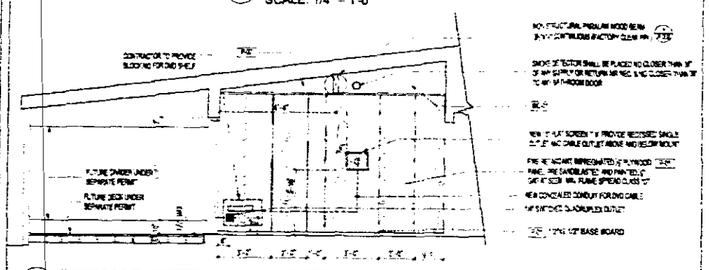
ISSUES

07-23-08	PERMIT ISSUE
09-27-05	REVISION / BLDG DEPT COMM

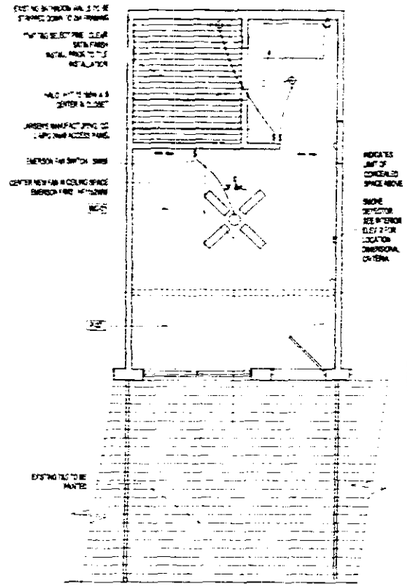
SHEET NO.
A-2.04



1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
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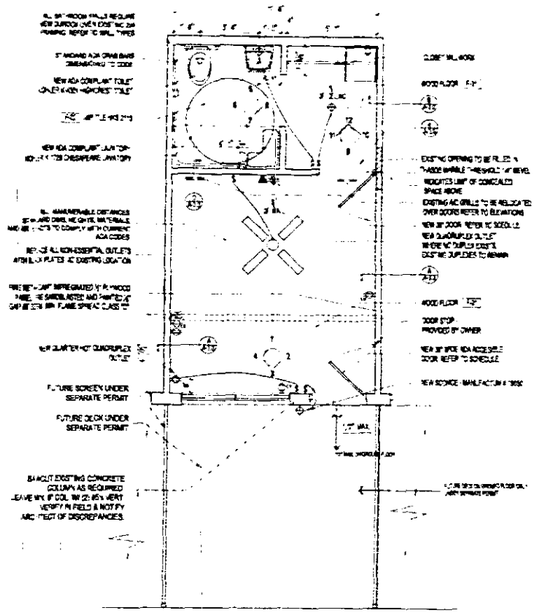

FLOOR PLAN
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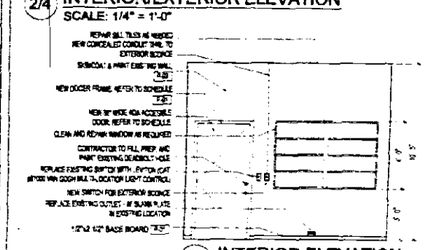

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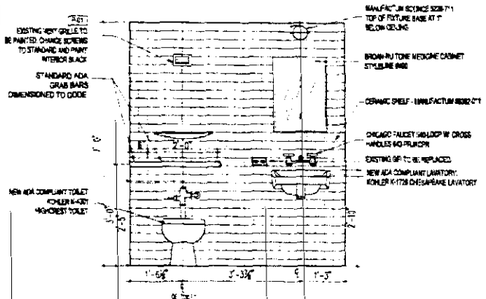
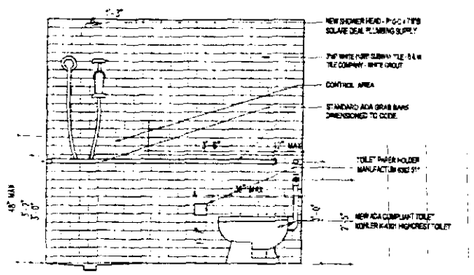


5 BATHROOM
SCALE: 1/2" = 1'-0"



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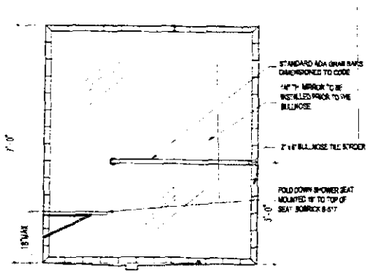

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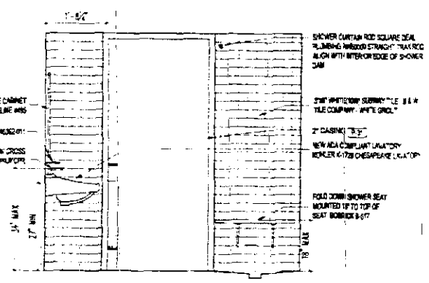

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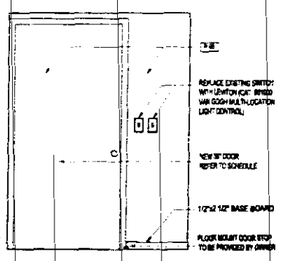
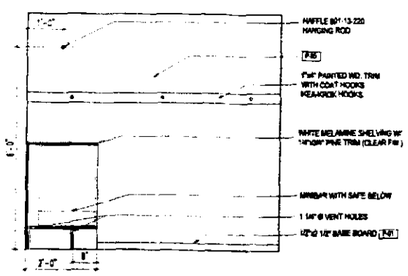


9 CLOSET



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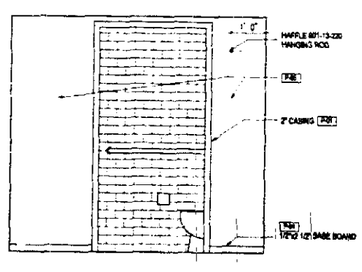

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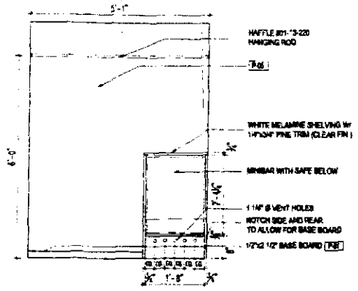

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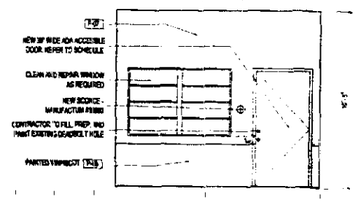

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CITY COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	8/27/03
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
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SEAL
ALISON SPEAR
7-23-03
ALISON SPEAR, AIA
AR# 0016660

PROJECT TITLE
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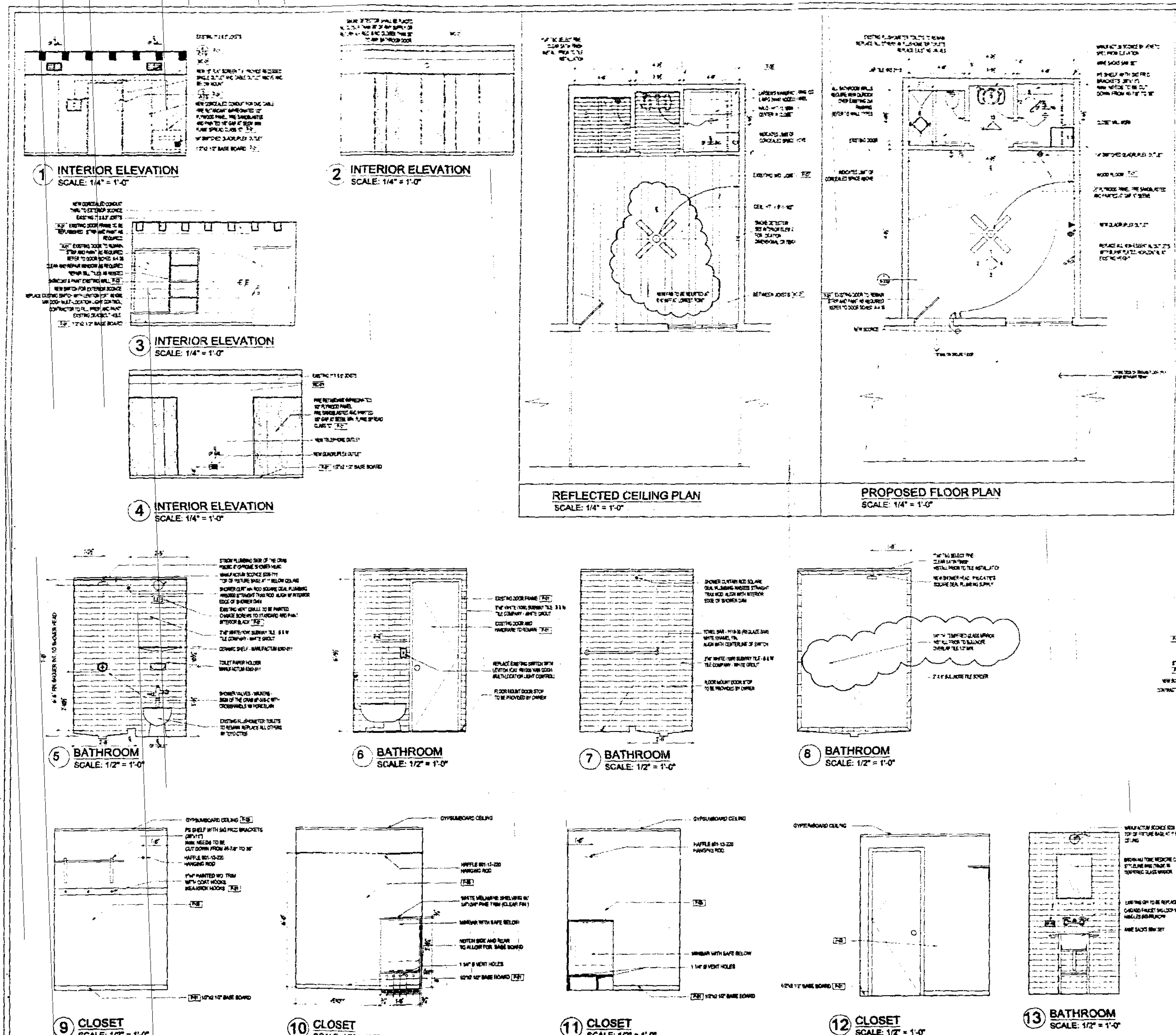
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

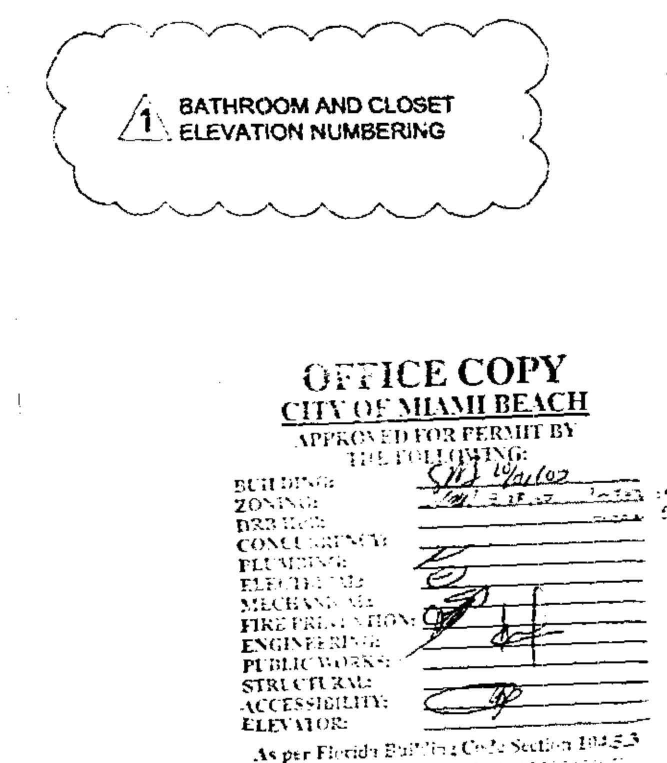
DRAWING TITLE
TYPICAL ROOM
TYPE "S"

DRAWN BY	B.F.L.
CHECKED BY	A.S.

ISSUES
7-23-03 PERMIT ISSUE

SHEET NO.
A-2.04





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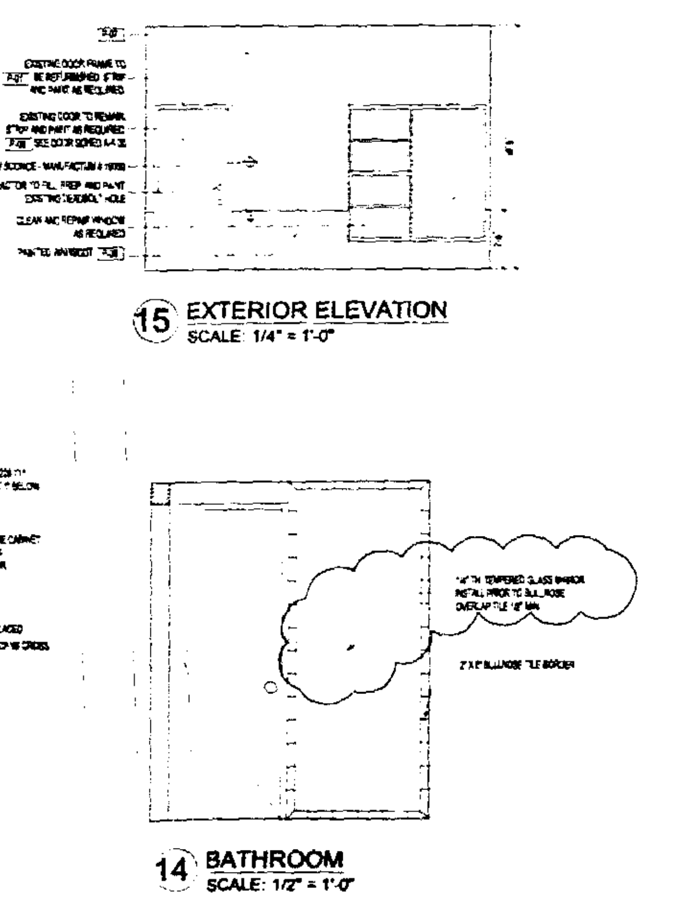

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305-438-1200 fax 305-438-1221

SEAL

ALISON SPEAR, AIA
AR# 0015680
8-27-03

OWNER OF DOCUMENT'S NOTICE

PROJECT TITLE

LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

TYPICAL ROOM TYPE "6"

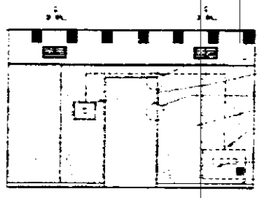
DRAWN BY	B.F.L.
CHECKED BY	A.S.

ISSUES

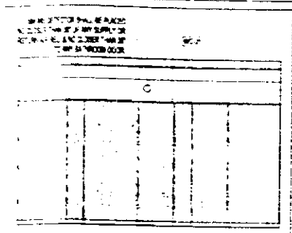
07-21-03	PERMIT ISSUE
08-27-03	REVISION 1 BLDG DEPT. CMTS

SHEET NO.

A-2.05



1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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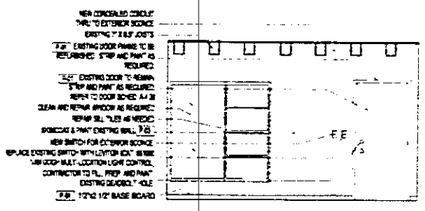
SCALE: 1/4" = 1'-0"



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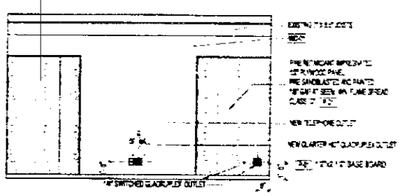
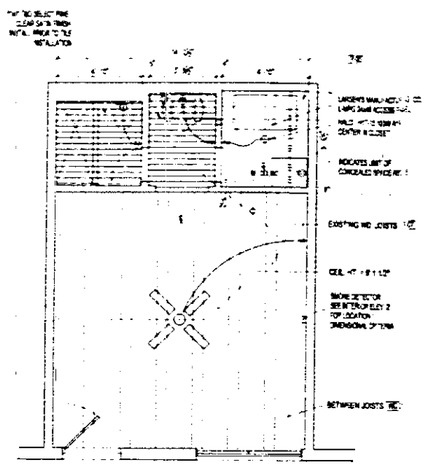
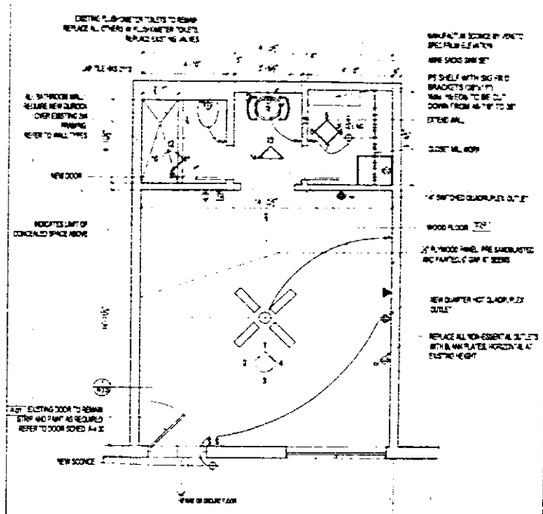
SCALE: 1/4" = 1'-0"



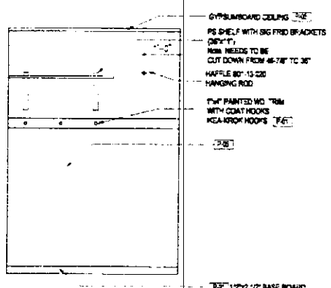
4 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



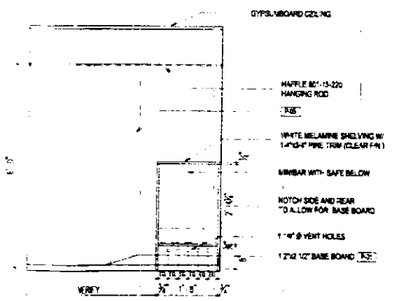
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



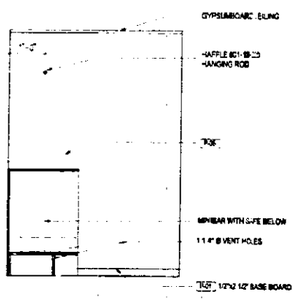
PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



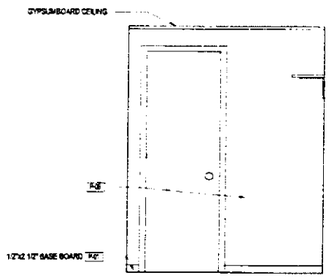
5 CLOSET
SCALE: 1/2" = 1'-0"



6 CLOSET
SCALE: 1/2" = 1'-0"



7 CLOSET
SCALE: 1/2" = 1'-0"



8 CLOSET
SCALE: 1/2" = 1'-0"

NOTES

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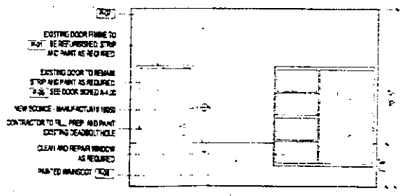
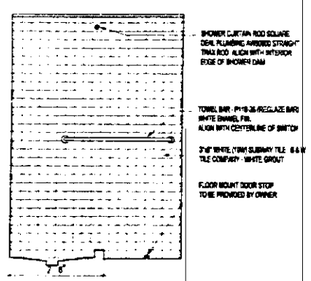
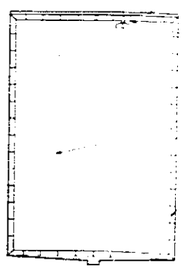
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT



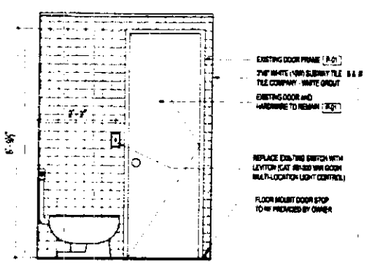
15 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



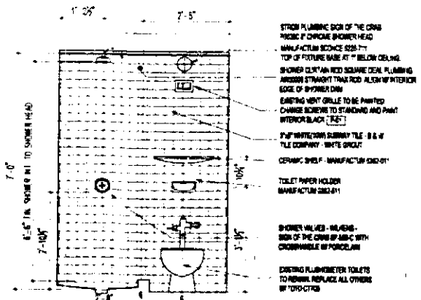
9 BATHROOM



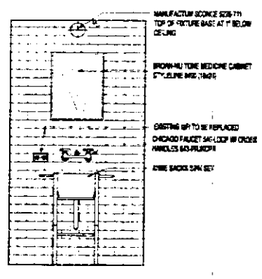
10 BATHROOM



11 BATHROOM



12 BATHROOM



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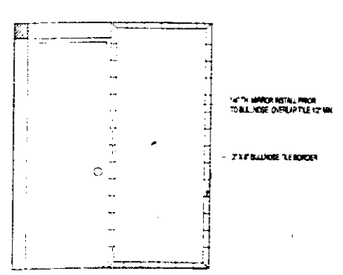


14 BATHROOM

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
ARM 0016660

OFFICE COPY
MIAMI BEACH
...D FOR PERMIT BY
...OLLOWING:

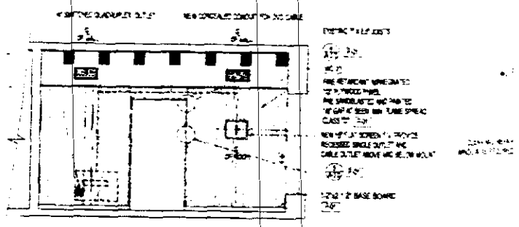
...NCY:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

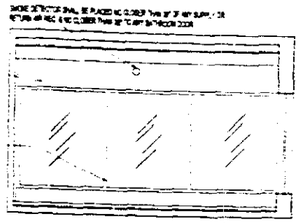
DRAWING TITLE
TYPICAL ROOM
TYPE "G"

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07.15.03	PERMIT ISSUE

SHEET NO
A-2.05



1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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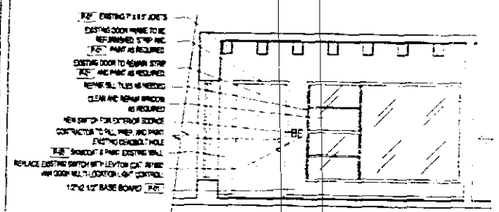

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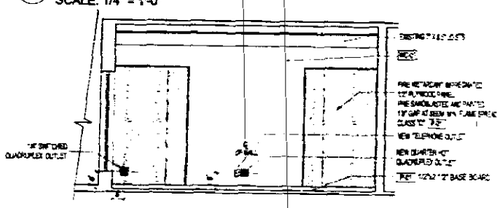

4 INTERIOR ELEVATION
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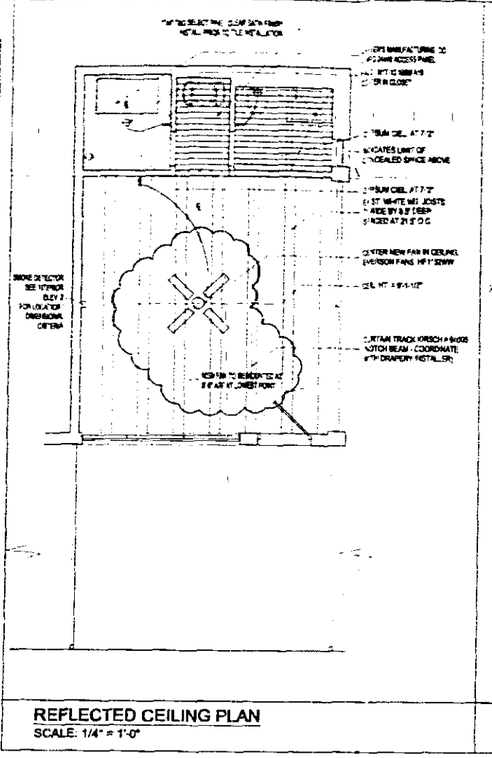
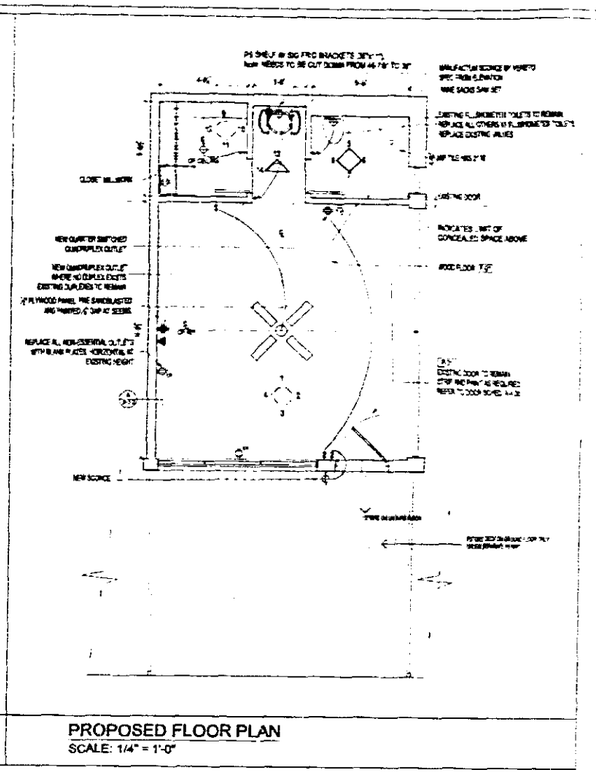


REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 BATHROOM AND CLOSET ELEVATION NUMBERING

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

NOTES: As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C.'s REQUIREMENTS
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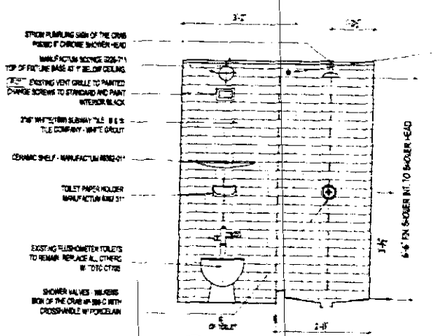

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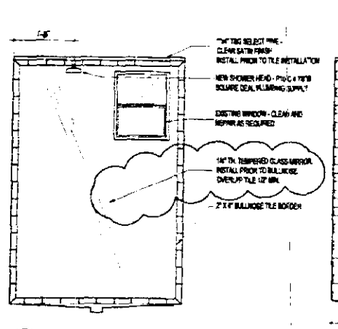
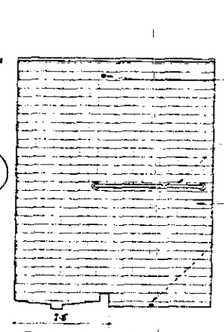
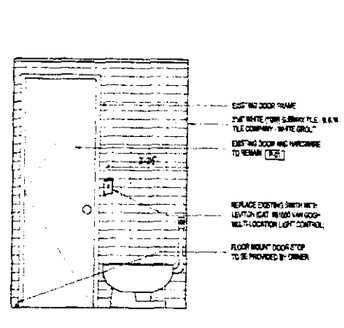
SCALE: 1/2" = 1'-0"



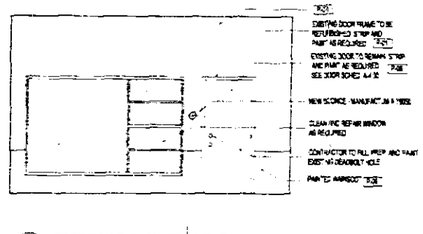
6 BATHROOM
SCALE: 1/2" = 1'-0"



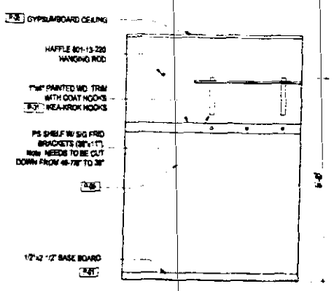
7 BATHROOM
SCALE: 1/2" = 1'-0"



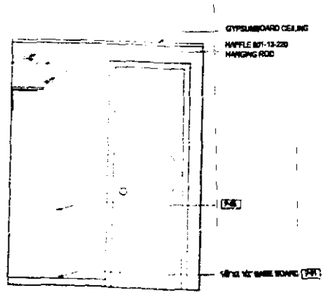
8 BATHROOM
SCALE: 1/2" = 1'-0"



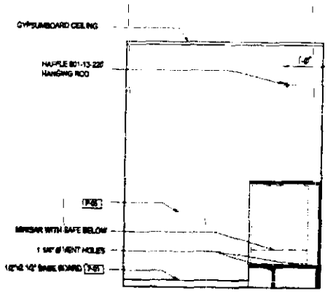
15 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



9 CLOSET
SCALE: 1/2" = 1'-0"



10 CLOSET
SCALE: 1/2" = 1'-0"



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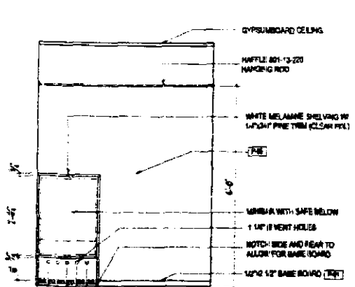
SCALE: 1/2" = 1'-0"



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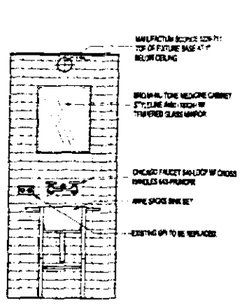

13 BATHROOM
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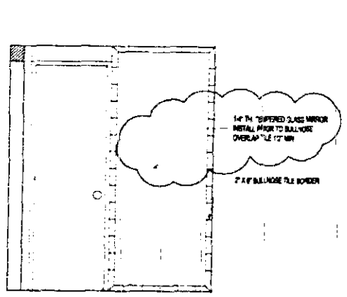

14 BATHROOM
SCALE: 1/2" = 1'-0"

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
AR# 0016560

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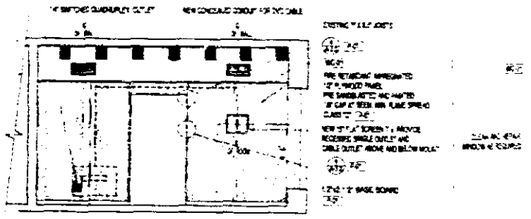
TYPICAL ROOM
TYPE "6 - A"

DRAWN BY	B.F.L.
CHECKED BY	A.S.

ISSUES

07-23-03	PERMIT ISSUE
09-27-03	REVISION 1 BLDG DEPT CMTS

SHEET NO.
A-2.06



1 INTERIOR ELEVATION
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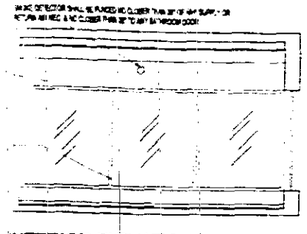

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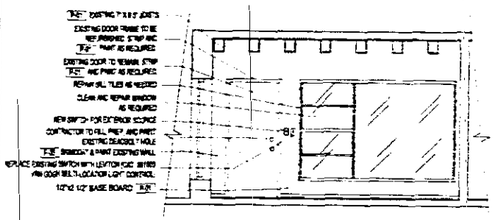

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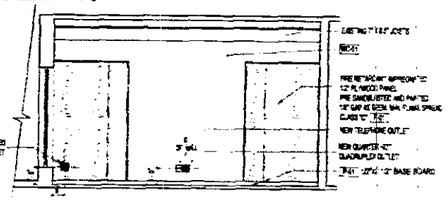

4 INTERIOR ELEVATION
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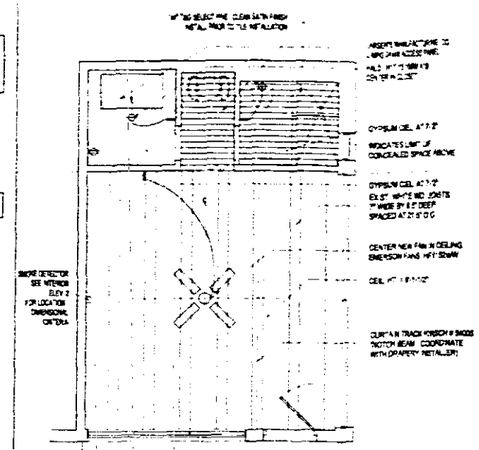
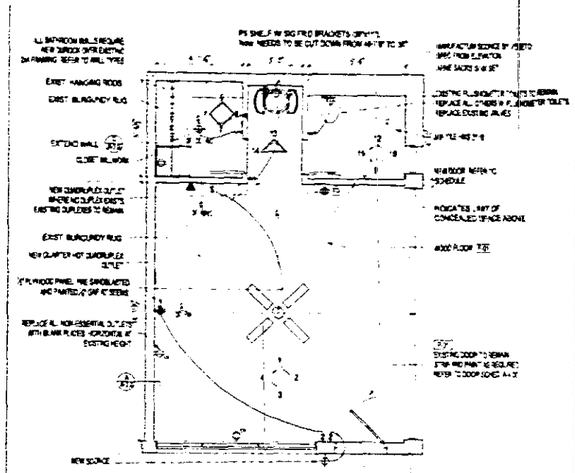


REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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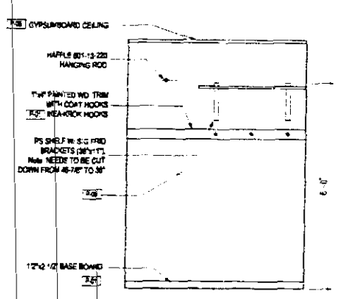

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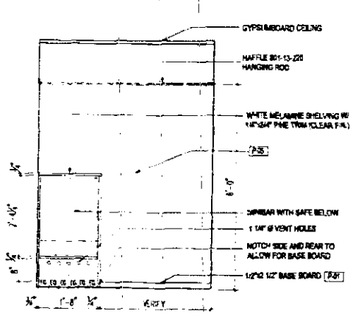
SCALE: 1/2" = 1'-0"



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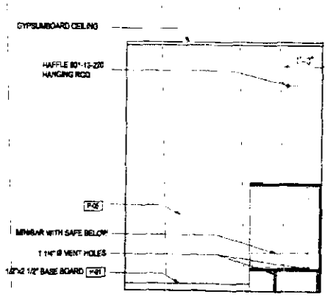
SCALE: 1/2" = 1'-0"



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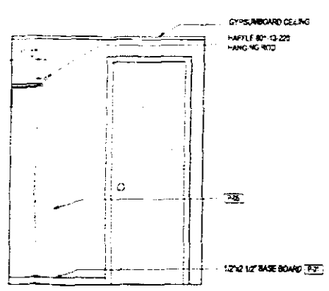
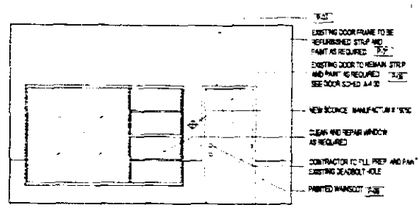


8 CLOSET
SCALE: 1/2" = 1'-0"



15 EXTERIOR ELEVATION
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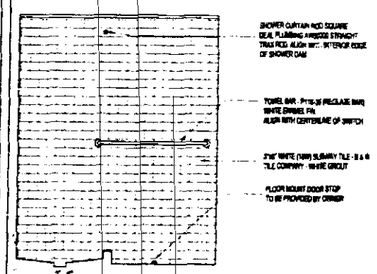
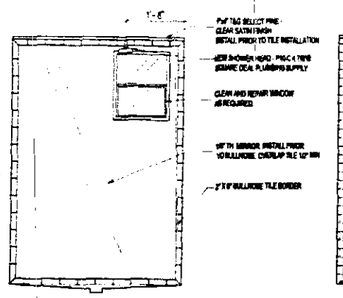


9 BATHROOM
SCALE: 1/2" = 1'-0"



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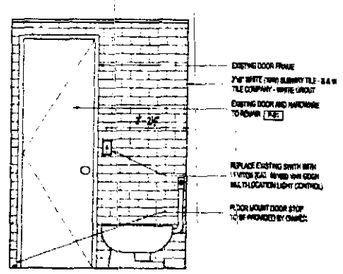

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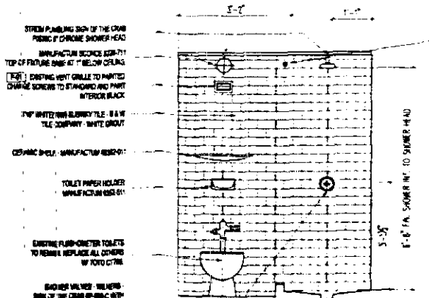

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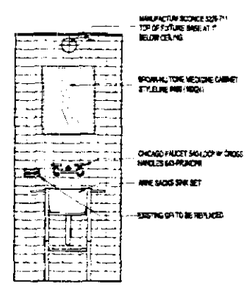

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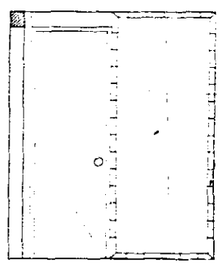

14 BATHROOM
SCALE: 1/2" = 1'-0"

ZONING:
DRB/PB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:

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PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
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305-438-1200 fax 305-438-1221

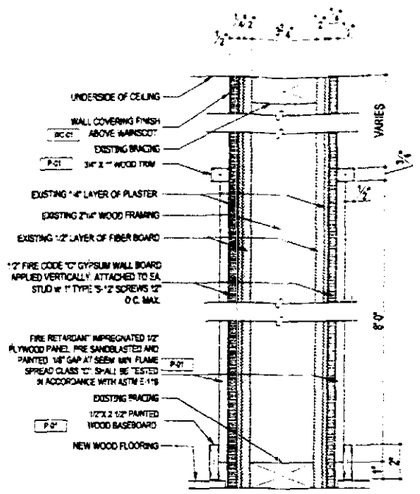
ALISON SPEAR, AIA
AR#0016650

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM
TYPE "6 - A"

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-23-08	PERMIT ISSUE

SHEET NO.
A-2.06



A A-3.00 WALL SECTION
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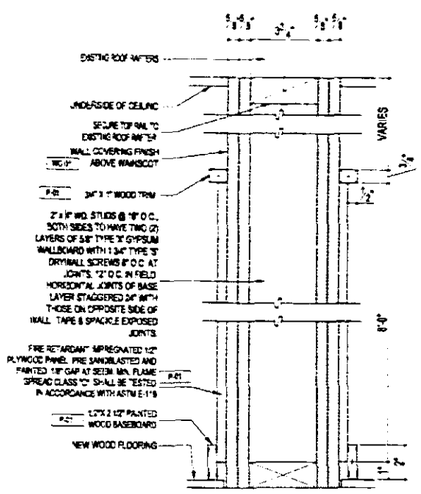

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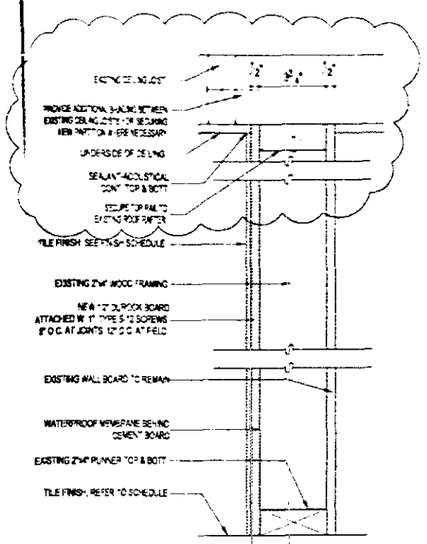

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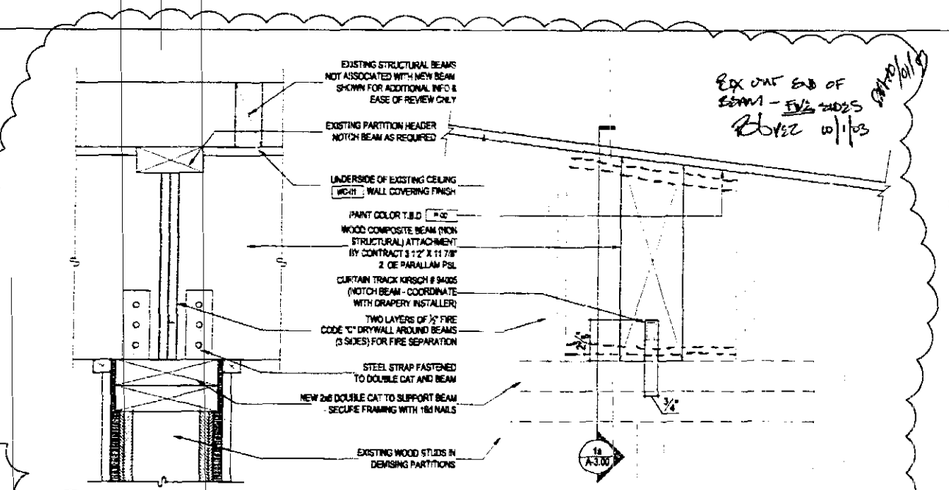
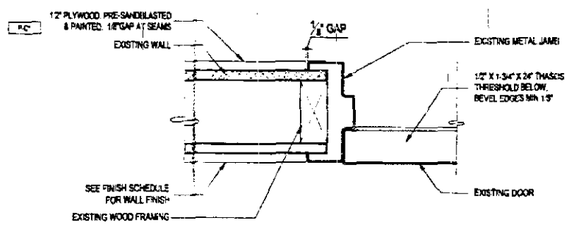


1a A-3.00 WOOD BEAM DETAIL
SCALE: 3" = 1'-0"

1 A-3.00 WOOD BEAM DETAIL
SCALE: 3" = 1'-0"



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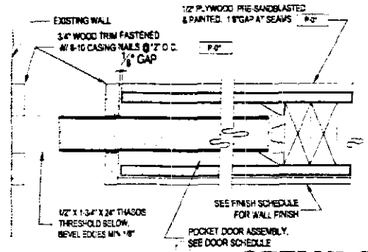

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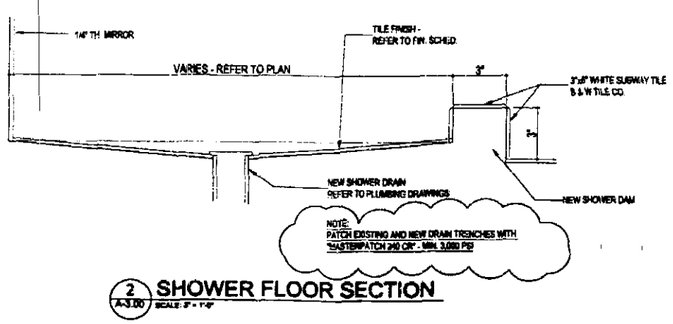

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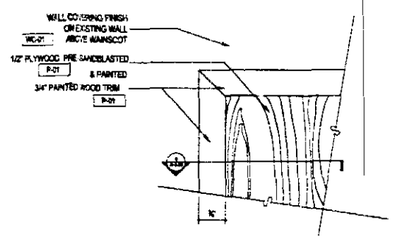

5 A-3.00 DETAIL ELEVATION
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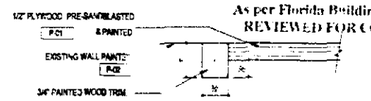

6 A-3.00 DETAIL ELEVATION
SCALE: 6" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	
ZONING:	
DRB/HPB:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

PROJECT ARCHITECT
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SEAL
A. Spear 9-16-03

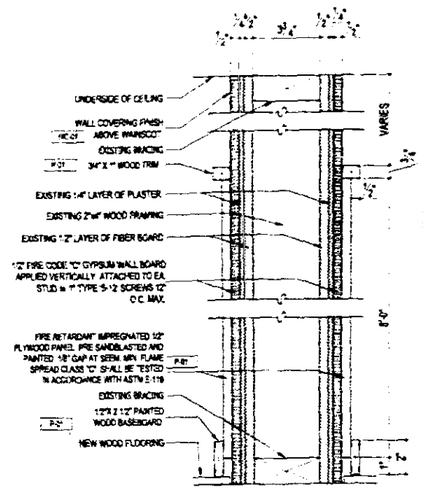
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM DETAILS

DRAWN BY B.F.L.
CHECKED BY A.S.

ISSUES
PERMIT ISSUE
03 REVISION BLDG DEPT COMM

SHEET NO.
A-3.00



A A-3.00 WALL SECTION
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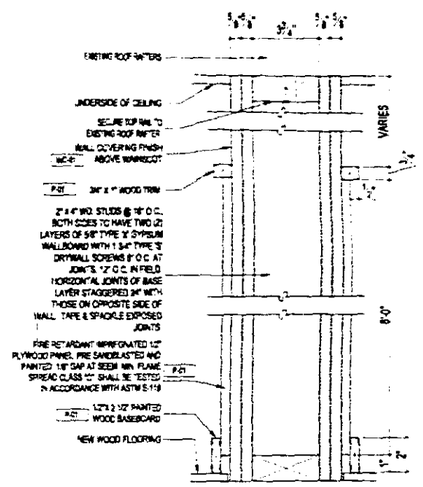

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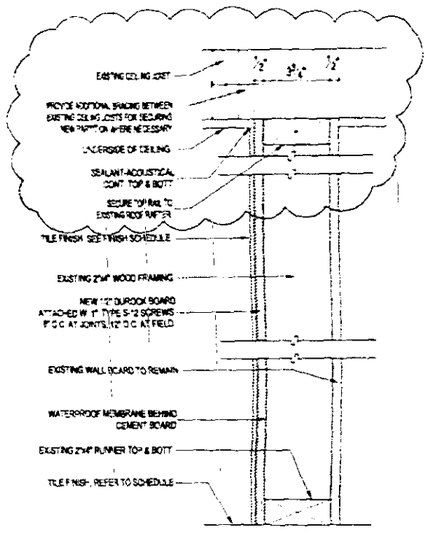

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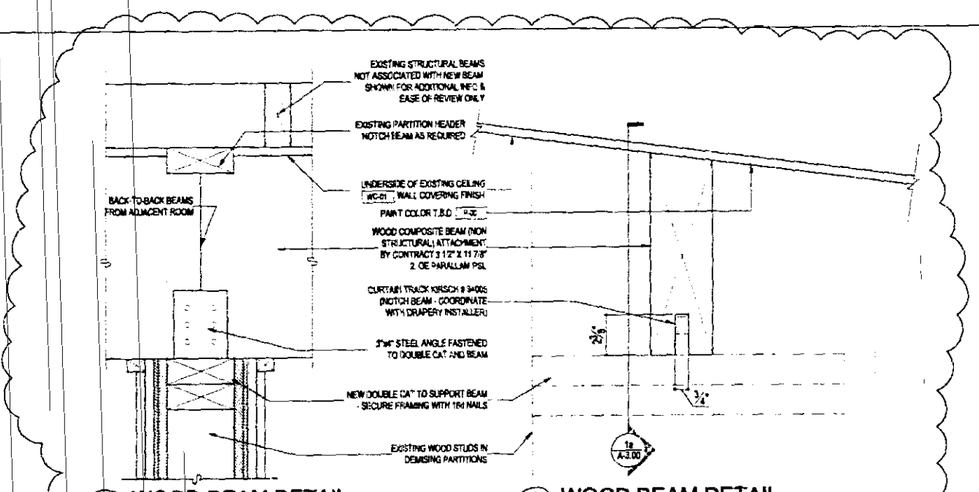
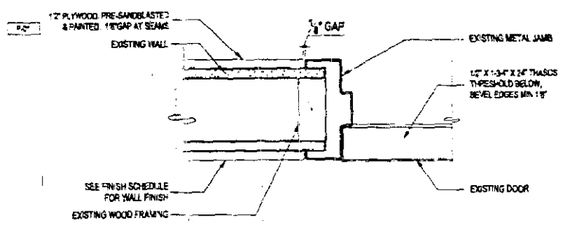
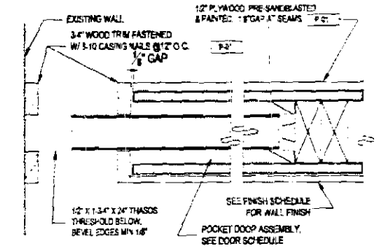


1a A-3.00 WOOD BEAM DETAIL
SCALE: 3" = 1'-0"

1 A-3.00 WOOD BEAM DETAIL
SCALE: 3" = 1'-0"



3 A-3.00 DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



4 A-3.00 DOOR JAMB DETAIL
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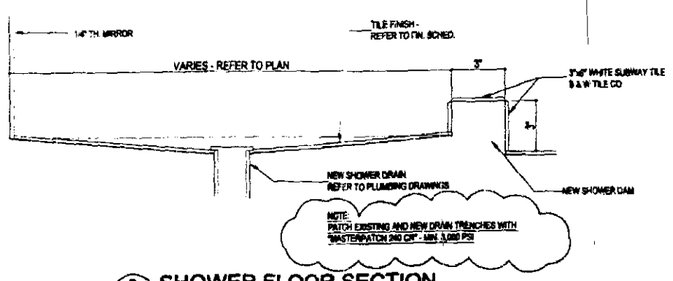
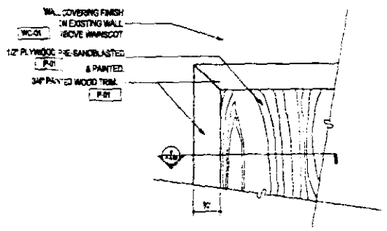
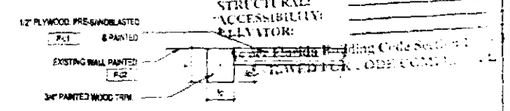


2 A-3.00 SHOWER FLOOR SECTION
SCALE: 3" = 1'-0"



5 A-3.00 DETAIL ELEVATION
SCALE: 6" = 1'-0"



6 A-3.00 DETAIL ELEVATION
SCALE: 6" = 1'-0"

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

Code: Florida Building Code Section 9.1
REVIEWED FOR COMPLIANCE

PROJECT ARCHITECT
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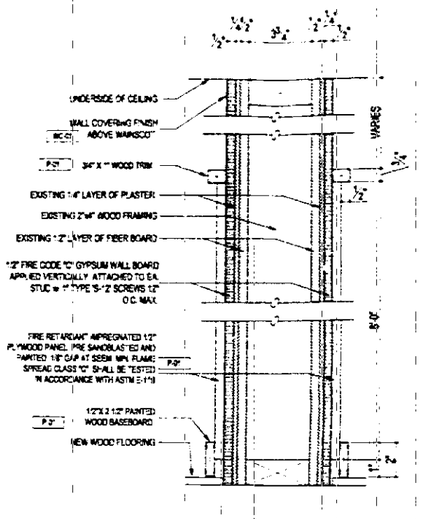
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM DETAILS

DRAWN BY B.F.L.
CHECKED BY A.S.

ISSUES
07.23.08 PERMIT ISSUE
08.27.08 REVISION BLDG DEPT COMTS

SHEET NO.
A-3.00



A A-3.00 WALL SECTION
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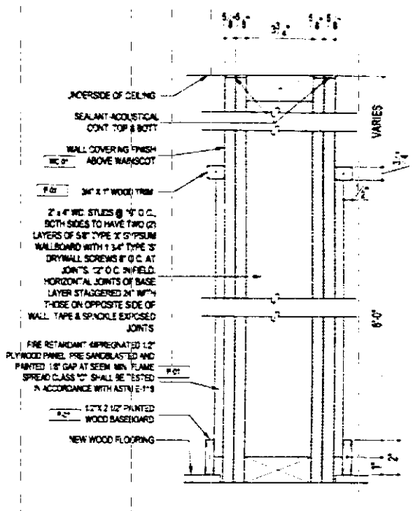

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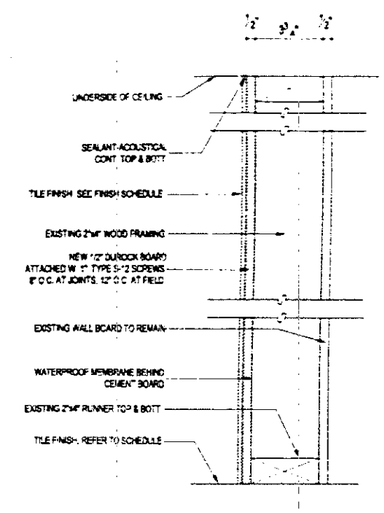
SCALE: 3" = 1'-0"



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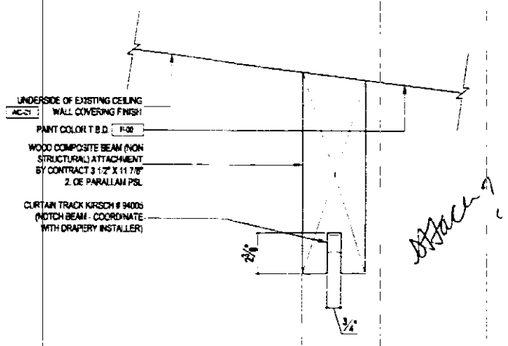
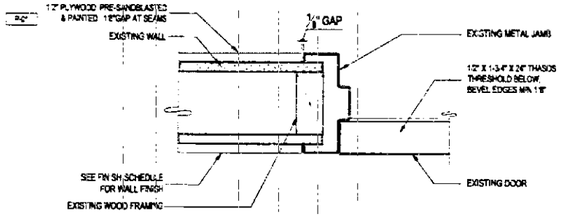
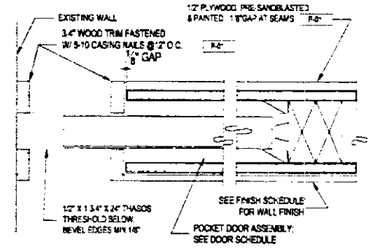


1 A-3.00 WOOD BEAM DETAIL
SCALE: 3" = 1'-0"



3 A-3.00 DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



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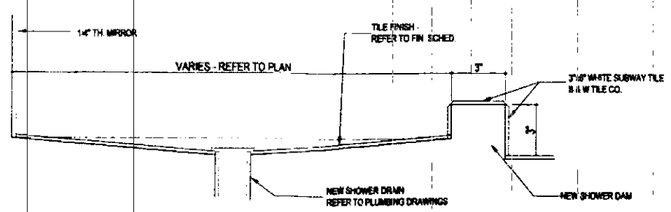
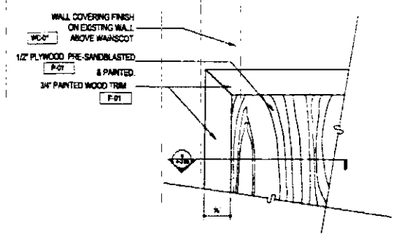
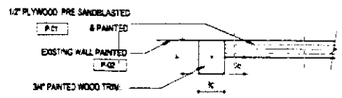


2 A-3.00 SHOWER FLOOR SECTION
SCALE: 3" = 1'-0"



5 A-3.00 DETAIL ELEVATION
SCALE: 6"= 1'-0"



6 A-3.00 DETAIL ELEVATION
SCALE: 6"= 1'-0"

DRB HPB:
CONCURRENCY:
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ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PLAN

PROJECT ARCHITECT
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305-438-1200 fax 305-438-1221

SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM DETAILS

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES
12-23-03 PERMIT ISSUE

SHEET NO.
A-3.00

ROOM FINISH SCHEDULE

ROOM NAME	SUBSTRUCTURE 1 FLOOR	SUBSTRUCTURE 1 BASE	SUBSTRUCTURE 1 1	SUBSTRUCTURE 1 2	SUBSTRUCTURE 1 3	SUBSTRUCTURE 1 4	SUBSTRUCTURE 1 HEIGHT	SUBSTRUCTURE 1 MATL	SUBSTRUCTURE 1 FINISH	SUBSTRUCTURE 2 BASE	SUBSTRUCTURE 2 1	SUBSTRUCTURE 2 2	SUBSTRUCTURE 2 3	SUBSTRUCTURE 2 4	SUBSTRUCTURE 2 HEIGHT	SUBSTRUCTURE 2 MATL	SUBSTRUCTURE 2 FINISH	BATHROOM FLOOR	BATHROOM BASE	BATHROOM 1	BATHROOM 2	BATHROOM 3	BATHROOM 4	BATHROOM HEIGHT	BATHROOM MATL	BATHROOM FINISH	CEILING FLOOR	CEILING HEIGHT	CEILING MATL	CEILING FINISH	REMARKS
ROOM TYPE 1																															
ROOM TYPE 2																															
ROOM TYPE 3																															
ROOM TYPE 4																															
ROOM TYPE 4																															
ROOM TYPE 5																															
ROOM TYPE 5A																															

CODE	DESCRIPTION
WC-01	SEABROOK - GRASS CLOTH - HANAZANO
WC-02	FIRE RETARDANT IMPREGNATED ½" PLYWOOD PANEL. FIRE SANDBLASTED AND PAINTED(SP-01) 1/8" GAP AT SEEM MIN. FLAME SPREAD CLASS "C"
WC-03	3"x6" WHITE(10W) SUBWAY TILE - B & W TILE COMPANY - WHITE GROUT
WC-04	1/4" TH. TEMPERED GLASS MIRROR
WC-05	3"x6" WHITE BULLNOSE TILE (BORDER)
F-01	BANKS HARDWOODS ITEM NO. FF1040 - "GREENKETT 5 1/8" x 7-1/2" 3 STRIP HARDMAPLE LOCK SYSTEM" FLOORING
F-02	JAF TILE HMS 2110

CODE	DESCRIPTION
P-01	KI "WHITE WAVE" - GLOSS
P-02	KI "WHITE WAVE" - SATIN
P 03	SW 7028 "INCREDIBLE WHITE" - FLAT
P-04	SW 6804 "RESONANT BLUE" - GLOSS
P-05	SW 6794 "FLYAWAY" - EGGSHELL
P-06	SW 6791 "LAUREN'S SURPRISE" - SEMI-GLOSS
P-07	SW 7026 "INCREDIBLE WHITE" - FLAT
B-01	1 2"x12 1'2" PAINTED MD BASE TYP
C-01	1"x4" T&G SELECT PINE - CLEAR SATIN FINISH

A F...SH

B FLUSH POCKET

C LOUVER

DOOR SCHEDULE

DOOR NO.	LOCATION (Even # Right H. Return, Odd # Left H. Return)	DOOR TYPE	DOOR MAT	DOOR SIZE WITH	DOOR SIZE HT	DOOR SIZE THK	FRAME MAT TYPE	FRAME HEAD	FRAME JAMB	FRAME TYRES	FRAME RATING	HARDWARE	REMARKS
	West Wing												
1	GUESTROOM ENTRANCE ROOM TYPES 1 2	A	SCW	2'-10"	6'-8"	1 1/2"	WD	H-3	J-3	MTL		2	1 2 5 16
2	CLOSET BATHROOM ROOM TYPE 3	A	HCW	2'-0"	6'-8"	1 1/2"	HM	H-1	J-1	MBL		1	1 2 15
3	CLOSET BATHROOM ROOM TYPE 1	B	HCW	2'-10"	6'-8"	1 1/2"	WD	H-2	J-2	MBL		3	10 15
4	GUESTROOM ENTRANCE ROOM TYPES 4 & 5	A	SCW	3'-0"	6'-8"	1 1/2"	HM	H-4	J-4	MTL		2	11
5	CLOSET BATHROOM ROOM TYPES 4 & 5	B	HCW	3'-0"	6'-8"	1 1/2"	WD	H-2	J-2	MBL			10 15
6	ROOMS 176, 177, 178, 180, 181, 182, 235, 236	C	SCW	3'-0"	6'-8"	1 1/2"	WD	H-3	J-3	N/A			1 2 4 13
13	ROOMS 180, 238	C	SCW	3'-6"	6'-8"	1 1/2"	WD	H-3	J-3	N/A			1 2 5 13
14	ROOMS 179	A	HCW	3'-6"	6'-8"	1 1/2"	WD	H-3	J-3	N/A			1 2 5
15													
16													

CODE	DESCRIPTION
*	EXISTING DOOR TO REMAIN
1	STRIP AND REPAINT DOOR
	& FRAME AS REQUIRED
3	PANIC HARDWARE
4	OVERHEAD DOOR CLOSER
5	SELF CLOSING DEVICE
6	DOUBLE ACTING DOOR
7	1HR FIRE RATED DOOR
8	2HR FIRE RATED DOOR
9	FIRE SPECIALTY DOOR
10	POCKET DOOR
11	ACCESSIBLE GUESTROOM DOOR
12	180° SWING
13	LOUVER DOOR
14	DOUBLE DOOR
15	MARBLE THRESHOLD AT BATHROOM ONLY
16	FILL, PREP & PAINT EXISTING DEADBOLT HOLE

HARDWARE

CODE	DESCRIPTION
*	EXISTING HARDWARE TO REMAIN
1	SARGIK - MODEL " B.D
2	HAFELE - NEW - NYLON FLUSH PULL "56.85.0 WHITE 21" W. JOHNSON HARDWARE - EDGE PULL - 150US26D SATIN CHROME

INTERIOR FINISH, CONTENTS, AND FURNISHINGS
The purpose of the following requirements is to allow the flame spread across the various finish surfaces to allow additional time for occupants to evacuate from a fire dwelling unit and move away from the building. Interior finishes are the interior surfaces of a building that are generally secured in place. As per 3 3 1\2 Interior Finish - The exposed surfaces of walls, ceilings, and floors within buildings

INTERIOR FINISH
Interior finish shall be in accordance with the following:
General.
Classification of interior finish materials shall be in accordance with tests made under conditions simulating actual installations, provided that the authority having jurisdiction shall be permitted to establish the classification of any material on which a rating by standard test is not available.

Exception: Materials applied, in total thickness of less than 1 128 in., directly to the surface of walls and ceilings shall be exempt from tests simulating actual installation if they meet the requirements of Class A interior wall or ceiling finish when tested in accordance with 10 2 3 1 using inorganic reinforced cement board as the substrate material

Use of Interior Finishes.
Table A 10.2.2 Interior Finish Classification Limitations

Occupancy	Exits	Access to Exits	Other Spaces
Assembly - New >300 occupant load	A	A or B	A or B
300 occupant load	A	A or B	A, B, or C
Assembly - Existing >300 occupant load	A	A or B	A or B
300 occupant load	A	A or B	A, B, or C
Hospls and Dormitories - New	A 1 or B	A or B 1 or B	A, B, or C
Hotels and Dormitories - Existing	A or B 1 or B†	A or B 1 or B†	A, B, or C

NR: No requirement.
Notes:
1. Class A interior wall and ceiling finish - flame spread 0-25, (new) smoke developed 0-450.
2. Class B interior wall and ceiling finish - flame spread 26-75, (new) smoke developed 0-450.
3. Class C interior wall and ceiling finish - flame spread 76-200, (new) smoke developed 0-450
4. Class I interior floor finish - critical radiant flux, not less than 0 45 W cm2.
5. Class II interior floor finish - critical radiant flux, not less than 0.22 W/cm2 but less than 0 45 W/cm2.
6. Automatic sprinklers - where a complete standard system of automatic sprinklers is installed, interior wall and ceiling finish with flame spread rating not exceeding Class C is permitted to be used in any location where Class B is required and vice rating of Class B in any location where Class A is required; sanitary, Class B interior floor finish is permitted to be used in any location where Class I is required, and no tort cal radiant flux rating is required where Class II is required. These provisions do not apply to new health care facilities.
† See corresponding chapters for details.

Interior Wall or Ceiling Finish Testing and Classification.
Interior Wall and Ceiling Finish - General.
Interior wall and ceiling finish materials shall be permitted as follows:
(1) Exit enclosures - Class A or Class B
(2) Lobbies and corridors that are part of an exit access - Class A or Class B
(3) Other spaces - Class A, Class B, or Class C
Products required to be tested in accordance with NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials, shall be grouped in the following classes in accordance with their flame spread and smoke development.

(a) Class A Interior Wall and Ceiling Finish. Flame spread 0-25, smoke development 0-450. Includes any material classified at 25 or less on the flame spread test scale and 450 or less on the smoke test scale. Any element thereof, when so tested, shall not continue to propagate fire.
(b) Class B Interior Wall and Ceiling Finish. Flame spread 26-75, smoke development 0-450. Includes any material classified at more than 25 but not more than 75 on the flame spread test scale and 450 or less on the smoke test scale.
(c) Class C Interior Wall and Ceiling Finish. Flame spread 76-200, smoke development 0-450. Includes any material classified at more than 75 but not more than 200 on the flame spread test scale and 450 or less on the smoke test scale.

Some interior wall and ceiling finish materials, such as fabrics not applied to a solid backing, do not lend themselves to a test made in accordance with NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials. In these cases, the large-scale test outlined in NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films, is permitted to be used. The classification of any interior finish specified for this project shall be that of the basic material used by itself or a combination with other materials.
Wherever the use of Class C interior wall and ceiling finish is required, Class A or Class B shall be permitted where Class B interior wall and ceiling finish is required, Class A shall be permitted

Specific Materials.
Textile Wall and Textile Ceiling Materials.
The use of textile materials on walls or ceilings shall be limited as follows:
- Textile materials having a Class A rating shall be permitted on the walls or ceilings of rooms or areas protected by an approved automatic sprinkler system.
- Textile materials having a Class A rating shall be permitted on partitions that do not exceed 3/4 of the floor-to-ceiling height or do not exceed 8 ft in height, whichever is less.
- Textile materials having a Class A rating shall be permitted to extend not more than 4 ft above the finished floor on ceiling-height walls and ceiling-height partitions.
- Previously approved existing installations of textile material having a Class A rating shall be permitted to be continued to be used.
- Textile materials shall be permitted on walls and partitions where tested in accordance with NFPA 265 Standard Methods of Fire Tests for Evaluating Room Fire Growth Contribution of Textile Wall Coverings
- Acceptance of textile wall covering materials should be contingent on qualification tests in which a specific textile/adhesive pair has been evaluated.

Expanded Vinyl Wall or Ceiling Coverings.
Expanded vinyl wall or ceiling coverings shall comply with one of the following:
- Materials having a Class A rating shall be permitted on the walls or ceilings of rooms or areas protected by an approved automatic sprinkler system.
- Materials having a Class A rating shall be permitted on partitions that do not exceed 3/4 of the floor-to-ceiling height or do not exceed 8 ft in height, whichever is less.
- Materials having a Class A rating shall be permitted up to 4 ft above the finished floor on ceiling-height walls and ceiling-height partitions.
- Existing installations of materials with the appropriate wall finish classification for the occupancy involved and with classification in accordance with the provisions in 101 10 2 3 2, shall be permitted to be continued to be used.
- Materials shall be permitted on walls and partitions where tested in accordance with NFPA 265, Standard Methods of Fire Tests for Evaluating Room Fire Growth Contribution of Textile Wall Coverings.
- Materials shall be permitted on walls, partitions, and ceilings where tested in accordance with NFPA 286 Standard Methods of Fire Tests for Evaluating Contribution of Wall and Ceiling Interior Finish to Room Fire Growth.

Cellular or Foamed Plastic: NA
Light-Transmitting Plastics: NA
Surface Nonmetallic Raceways: NA

Decorations and Furnishings.
Decorations and furnishings that do not meet the definition of interior finish shall be regulated by the following provisions.

Trim and Incidental Finish.
Interior wall and ceiling finish not in excess of 10 percent of the aggregate wall and ceiling areas of any room or space shall be permitted to be Class C materials in occupancies where interior wall and ceiling finish of Class A or Class B is required.

Fire-Retardant Coatings
The required flame spread or smoke development classification of existing surfaces of walls, partitions, columns, and ceilings shall be permitted to be secured by applying approved fire-retardant coatings to surfaces having higher flame spread ratings than permitted. Such treatment shall comply with the requirements of NFPA 703, Standard for Fire Retardant Impregnated Wood and Fire Retardant Coatings for Building Materials.
Fire-retardant coatings shall possess the desired degree of permanency and shall be maintained so as to retain the effectiveness of the treatment under the service conditions encountered in actual use.
Fire-retardant paints, coatings, and penetrants must be applied in strict accordance with the manufacturer's instructions and in conformance with the results of fire tests performed on appropriate specimens

Interior Floor Finish Testing and Classification.
Interior floor finishes shall be classified based on test results from NFPA 253, Standard Method of Test for Critical Radiant Flux of Floor Covering Systems Using a Radiant Heat Energy Source.
Floor coverings that meets the U S. federal flammability standard 16 CFR 1630, Standard for the Surface Flammability of Carpets and Rugs (FF 1-70) is acceptable

Automatic Sprinklers.
Unless specifically prohibited elsewhere in this Code, where an approved automatic sprinkler system is installed. Class C interior wall and ceiling finish materials shall be permitted in any location where Class B is required, and Class B exterior wall and ceiling finish materials shall be permitted in any location where Class A is required.

Unless specifically prohibited elsewhere in the Code, where an approved automatic sprinkler system is installed, Class II interior floor finish shall be permitted in any location where Class I interior floor finish is required, and where Class III is required, no critical radiant flux rating shall be required.

CONTENTS AND FURNISHINGS
Where required by the applicable provisions of this Code, draperies, curtains, and other similar loosely hanging furnishings and decorations shall be flame resistant as demonstrated by testing in accordance with NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films.

Regardless of sprinkler protection provided U S. federal regulations require mattresses in the United States to comply with 16 CFR 1632

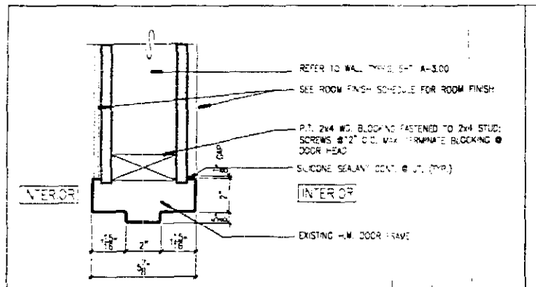
Upholstered furniture - No requirements where sprinkler protection is provided.

Mattresses - No requirements where sprinkler protection is provided

Curtains or decorations of an explosive or highly flammable character shall not be used.

Fire-retardant coatings shall be maintained to retain the effectiveness of the treatment under service conditions encountered in actual use. Refer to NFPA 703, Standard for Fire Retardant Impregnated Wood and Fire Retardant Coatings for Building Materials.

Foamed plastics - Not applicable to this project.



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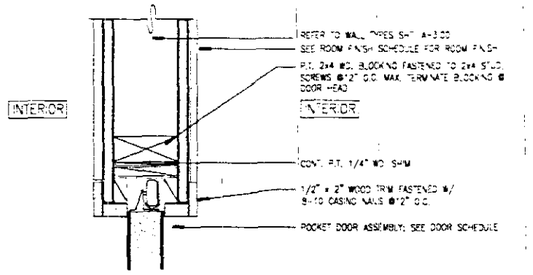

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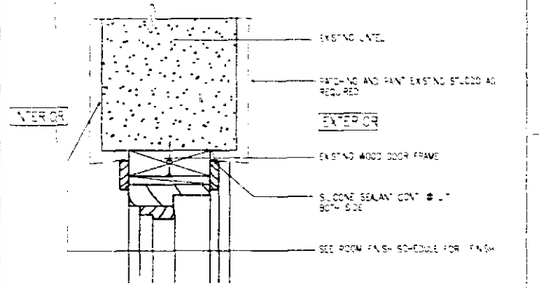

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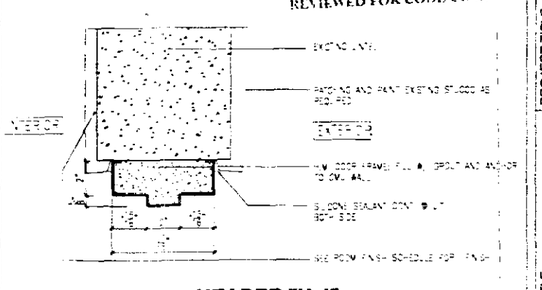

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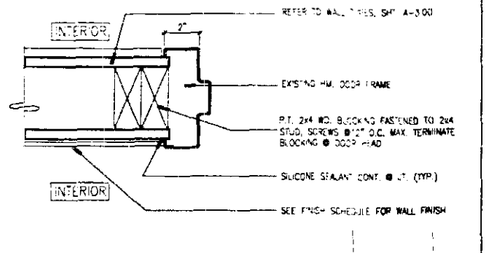

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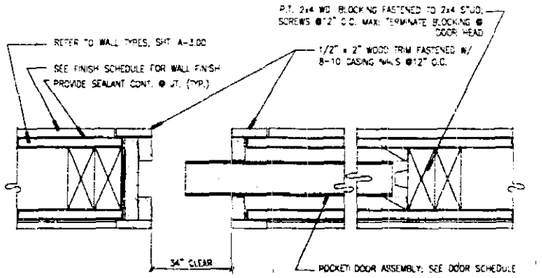

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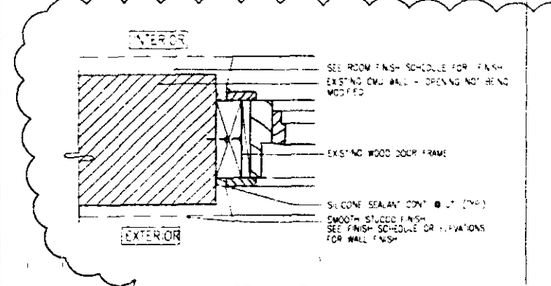

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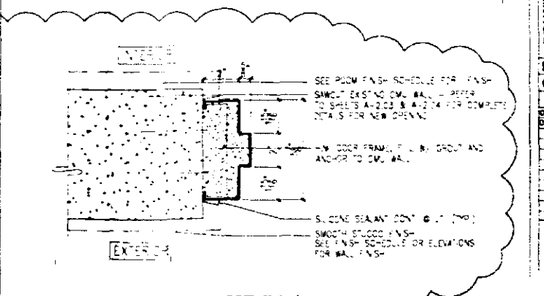

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PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
AR# 0016960

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
FINISH SCHEDULE, DOOR SCHEDULE & DETAILS

DRAWN BY	B.F.L
CHECKED BY	A.S.

ISSUES
07-23-03 PERMIT ISSUE
08-27-03 REVISION 1 BLDG DEPT CMTS

SHEET NO.
A-4.00

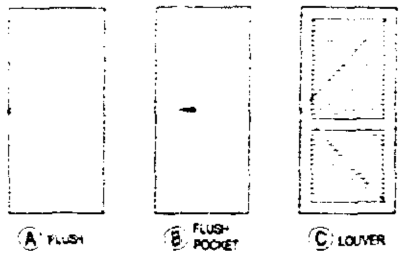
ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS				CEILING		BATHROOM						CLOSET					CEILING		REMARKS
ROOM TYPE 1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	
ROOM TYPE 2	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	
ROOM TYPE 3	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	
ROOM TYPE 4	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	
ROOM TYPE 5	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	

GA 6
7 8?

CODE	DESCRIPTION
WC-01	SEABROOK - GRASS CLOTH - HANAZAWO
WC-02	FIRE RETARDANT IMPREGNATED ½" PLYWOOD PANEL. PRE SANDBLASTED AND PAINTED(P-01) 1/8" GAP AT SEEM. MIN. FLAME SPREAD CLASS "C"
WC-03	3"x6" WHITE(10W) SUBWAY TILE - B & W TILE COMPANY - WHITE GROUT
WC-04	1/4" TH. MIRROR
WC-05	3"x6" WHITE BULLNOSE TILE (BORDER)
F-01	BANKS HARDWOODS ITEM NO. FP1040 - "GREENKETT 9/16" x 7-1/2" 3 STRIP HARDMAPLE LOCK SYSTEM" FLOORING
F-02	JAP TILE HKS 2116

CODE	DESCRIPTION
P-01	ICI "WHITE WAVE" - GLOSS
P-02	ICI "WHITE WAVE" - SATIN
P-03	SW 7028 "INCREDIBLE WHITE" - FLAT
P-04	SW 6954 "RESONANT BLUE" - GLOSS
P-05	SW 6794 "FLYAWAY" - EGGSHELL
P-06	SW 6791 "LAUREN'S SURPRISE" - SEMI-GLOSS
P-07	SW 7028 "INCREDIBLE WHITE" - FLAT
B-01	1 2"x2 1/2" PAINTED WD. BASE - P-01
C-01	1"x4" T&G SELECT PINE - CLEAR SATIN FINISH



DOOR SCHEDULE

DOOR NO.	LOCATION (Even # Right H. Return / Odd # Left H. Return)	DOOR TYPE	DOOR MAT.	SIZE WTH	SIZE HT	SIZE THK	FRAME MAT. TYPE	HEAD	JAMB	THRES	RATING	HARDWARE	REMARKS
West Wing													
1	GUESTROOM ENTRANCE ROOM TYPES 1, 2	A	SCW	2'-10"	6'-8"	1 1/2"	WC	H-3	J-3	MTL		2	1, 2, 5, 16
2	CLOSET BATHROOM ROOM TYPE 2	A	HCW	2'-0"	6'-8"	1 1/2"	HM	H-1	J-1	MBL		1	1, 2, 15
3	CLOSET BATHROOM ROOM TYPE 1	B	HCW	2'-10"	6'-8"	1 1/2"	WD	H-2	J-2	MBL		3	10, 15
4	GUESTROOM ENTRANCE ROOM TYPES 4 & 5	A	SCW	3'-0"	6'-8"	1 1/2"	HM	H-4	J-4	MTL		2	11
5	CLOSET BATHROOM ROOM TYPES 4 & 5	B	HCW	3'-0"	6'-8"	1 1/2"	WC	H-2	J-2	MBL			10, 15
6	ROOMS 176, 177, 178, 180, 181, 182, 235, 236	C	SCW	3'-0"	6'-8"	1 1/2"	WD	H-3	J-3	N/A			1, 2, 5, 13
13	ROOMS 180, 238	C	SCW	3'-6"	6'-8"	1 1/2"	WD	H-3	J-3	N/A			1, 2, 5, 13
14	ROOMS 179	A	HCW	3'-6"	5'-8"	1 1/2"	WD	H-3	J-3	N/A			1, 2, 5
15													
16													

CODE	DESCRIPTION
1	EXISTING DOOR TO REMAIN
2	STRIP AND REPAINT DOOR & FRAME AS REQUIRED
3	PANIC HARDWARE
4	OVERHEAD DOOR CLOSER
5	SELF CLOSING DEVICE
6	DOUBLE ACTING DOOR
7	1HR FIRE RATED DOOR
8	2HR FIRE RATED DOOR
9	FF&E SPECIALTY DOOR
10	POCKET DOOR
11	ACCESSIBLE GUESTROOM DOOR
12	180° SWING
13	LOUVER DOOR
14	DOUBLE DOOR
15	MARBLE THRESHOLD AT BATHROOM ONLY
16	FILL, PREP & PAINT EXISTING DEADBOLT HOLE

HARDWARE

CODE	DESCRIPTION
1	EXISTING HARDWARE TO REMAIN
2	SAFLOK - MODEL T.B.D.
3	HAFELE - HEWI NYLON FLUSH PULL - 158.85 C WHITE 01 W. JOHNSON HARDWARE - EDGE PULL - 150US26D SATIN CHROME

INTERIOR FINISH, CONTENTS, AND FURNISHINGS

The purpose of the following requirements is to slow the flame spread across the various finish surfaces to allow additional time for occupants to evacuate from a the dwelling unit and move away from the building. Interior finishes are the interior surfaces of a building that are generally secured in place. As par 3.3.112 Interior Finish - The exposed surfaces of walls, ceilings, and floors within buildings.

INTERIOR FINISH

Interior finish shall be in accordance with the following:

General.

Classification of interior finish materials shall be in accordance with tests made under conditions simulating actual installations, provided that the authority having jurisdiction shall be permitted to establish the classification of any material on which a rating by standard test is not available.

Exception: Materials applied, in total thickness of less than 1/28 in., directly to the surface of walls and ceilings shall be exempt from tests simulating actual installation if they meet the requirements of Class A interior wall or ceiling finish when tested in accordance with 10.2.3.1 using inorganic reinforced cement board as the substrate material.

Use of Interior Finishes.

Table A.10.2.2 Interior Finish Classification Limitations

Occupancy	Exits	Access to Exits	Other Spaces
Assembly - New >300 occupant load	A	A or B	A or B
300 occupant load	A	A or B	A, B, or C
Assembly - Existing >300 occupant load	A	A or B	A or B
300 occupant load	A	A or B	A, B, or C
Hotels and Dormitories - New	A I or II	A or B I or II	A, B, or C
Hotels and Dormitories - Existing	A or B I or II†	A or B I or II†	A, B, or C

NR: No requirement

Notes:

1. Class A interior wall and ceiling finish - flame spread 0-25, (new) smoke developed 0-450.
2. Class B interior wall and ceiling finish - flame spread 26-75, (new) smoke developed 0-450.
3. Class C interior wall and ceiling finish - flame spread 76-200, (new) smoke developed 0-450.
4. Class I interior floor finish - critical radiant flux, not less than 0.45 W/cm2.
5. Class II interior floor finish - critical radiant flux, not less than 0.22 W/cm2 but less than 0.45 W/cm2.
6. Automatic sprinklers - where a complete standard system of automatic sprinklers is installed, interior wall and ceiling finish with flame spread rating not exceeding Class C is permitted to be used in any location where Class B is required and with rating of Class B in any location where Class A is required; similarly, Class II interior floor finish is permitted to be used in any location where Class I is required, and no critical radiant flux rating is required where Class II is required. These provisions do not apply to new health care facilities.

† See corresponding chapters for details.

Interior Wall or Ceiling Finish Testing and Classification.

Interior Wall and Ceiling Finish - General.

Interior wall and ceiling finish materials shall be permitted as follows:

(1) Exit enclosures - Class A or Class B
(2) Lobbies and corridors that are part of an exit access - Class A or Class B
(3) Other spaces - Class A, Class B, or Class C

Products required to be tested in accordance with NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials, shall be grouped in the following classes in accordance with their flame spread and smoke development.

(a) Class A Interior Wall and Ceiling Finish. Flame spread 0-25, smoke development 0-450. Includes any material classified at 25 or less on the flame spread test scale and 450 or less on the smoke test scale. Any element thereof, when so tested, shall not continue to propagate fire.
(b) Class B Interior Wall and Ceiling Finish. Flame spread 26-75, smoke development 0-450. Includes any material classified at more than 25 but not more than 75 on the flame spread test scale and 450 or less on the smoke test scale.
(c) Class C Interior Wall and Ceiling Finish. Flame spread 76-200; smoke development 0-450. Includes any material classified at more than 75 but not more than 200 on the flame spread test scale and 450 or less on the smoke test scale.

Some interior wall and ceiling finish materials, such as fabrics not applied to a solid backing, do not lend themselves to a test made in accordance with NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials. In these cases, the large-scale test outlined in NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films, is permitted to be used. The classification of any interior finish specified for this project shall be that of the basic material used by itself or in combination with other materials.

Wherever the use of Class C interior wall and ceiling finish is required, Class A or Class B shall be permitted. Where Class B interior wall and ceiling finish is required, Class A shall be permitted.

Specific Materials.

Textile Wall and Textile Ceiling Materials.

The use of textile materials on walls or ceilings shall be limited as follows:

- Textile materials having a Class A rating shall be permitted on the walls or ceilings of rooms or areas protected by an approved automatic sprinkler system.
- Textile materials having a Class A rating shall be permitted on partitions that do not exceed 3/4 of the floor-to-ceiling height or do not exceed 8 ft. in height, whichever is less.
- Textile materials having a Class A rating shall be permitted to extend not more than 4 ft. above the finished floor on ceiling-height walls and ceiling-height partitions.
- Previously approved, existing installations of textile material having a Class A rating shall be permitted to be continued to be used.
- Textile materials shall be permitted on walls and partitions where tested in accordance with NFPA 265, Standard Methods of Fire Tests for Evaluating Room Fire Growth Contribution of Textile Wall Coverings.
- Acceptance of textile wall covering materials should be contingent on qualification tests in which a specific textile/adhesive pair has been evaluated.

Expanded Vinyl Wall or Ceiling Coverings.

Expanded vinyl wall or ceiling coverings shall comply with one of the following:

- Materials having a Class A rating shall be permitted on the walls or ceilings of rooms or areas protected by an approved automatic sprinkler system.
- Materials having a Class A rating shall be permitted on partitions that do not exceed 3/4 of the floor-to-ceiling height, or do not exceed 8 ft in height, whichever is less.
- Materials having a Class A rating shall be permitted up to 4 ft above the finished floor on ceiling-height walls and ceiling-height partitions.
- Existing installations of materials with the appropriate wall finish classification for the occupancy involved, and with classification in accordance with the provisions in 101 10.2.3.2 shall be permitted to be continued to be used.
- Materials shall be permitted on walls and partitions where tested in accordance with NFPA 265, Standard Methods of Fire Tests for Evaluating Room Fire Growth Contribution of Textile Wall Coverings.
- Materials shall be permitted on walls, partitions, and ceilings where tested in accordance with NFPA 286, Standard Methods of Fire Tests for Evaluating Contribution of Wall and Ceiling Interior Finish to Room Fire Growth.

Cellular or Foamed Plastic: NA
Light-Transmitting Plastics: NA
Surface Nonmetallic Raceways: NA

Decorations and Furnishings.

Decorations and furnishings that do not meet the definition of interior finish shall be regulated by the following provisions.

Trim and Incidental Finish.

Interior wall and ceiling finish not in excess of 10 percent of the aggregate wall and ceiling areas of any room or space shall be permitted to be Class C materials in occupancies where interior wall and ceiling finish of Class A or Class B is required.

Fire-Retardant Coatings.

The required flame spread or smoke development classification of existing surfaces of walls, partitions, columns, and ceilings shall be permitted to be secured by applying approved fire-retardant coatings to surfaces having higher flame spread ratings than permitted. Such treatments shall comply with the requirements of NFPA 703, Standard for Fire Retardant Impregnated Wood and Fire Retardant Coatings for Building Materials.

Fire-retardant coatings shall possess the desired degree of permanency and shall be maintained so as to retain the effectiveness of the treatment under the service conditions encountered in actual use. Fire-retardant paints, coatings, and penetrants must be applied in strict accordance with the manufacturer's instructions and in conformance with the results of fire tests performed on appropriate specimens.

Interior Floor Finish Testing and Classification.

Interior floor finishes shall be classified based on test results from NFPA 253, Standard Method of Test for Critical Radiant Flux of Floor Covering Systems Using a Radiant Heat Energy Source. Floor coverings that meets the U.S. federal flammability standard 16 CFR 1630, Standard for the Surface Flammability of Carpets and Rugs (FF 1 70) is acceptable.

Automatic Sprinklers.

Unless specifically prohibited elsewhere in this Code, where an approved automatic sprinkler system is installed, Class C interior wall and ceiling finish materials shall be permitted in any location where Class B is required, and Class B interior wall and ceiling finish materials shall be permitted in any location where Class A is required.

Unless specifically prohibited elsewhere in this Code, where an approved automatic sprinkler system is installed, Class II interior floor finish shall be permitted in any location where Class I interior floor finish is required, and where Class II is required, no critical radiant flux rating shall be required.

CONTENTS AND FURNISHINGS

Where required by the applicable provisions of this Code, draperies, curtains, and other similar loosely hanging furnishings and decorations shall be flame resistant as demonstrated by testing in accordance with NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films.

Regardless of sprinkler protection provided, U.S. federal regulations require mattresses in the United States to comply with 16 CFR 1632.

Upholstered furniture - No requirements where sprinkler protection is provided.

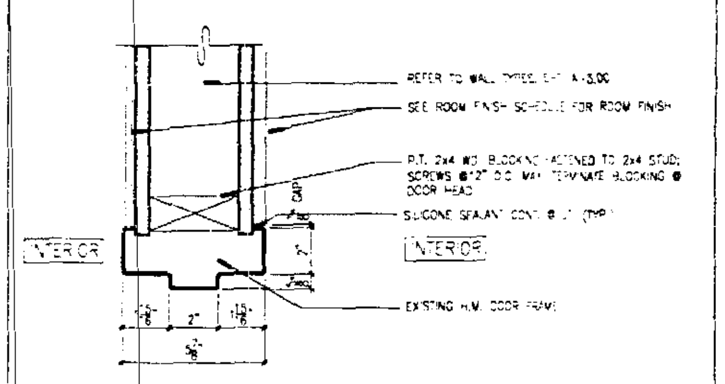
Mattresses - No requirements where sprinkler protection is provided.

Furnishings or decorations of an explosive or highly flammable character shall not be used.

Fire-retardant coatings shall be maintained to retain the effectiveness of the treatment under service conditions encountered in actual use. Refer to NFPA 703, Standard for Fire Retardant Impregnated Wood and Fire Retardant Coatings for Building Materials.

Foamed plastics - Not applicable to this project.

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRB HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:



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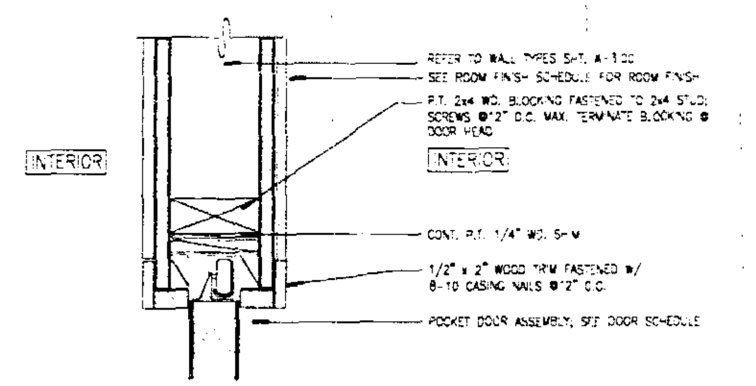

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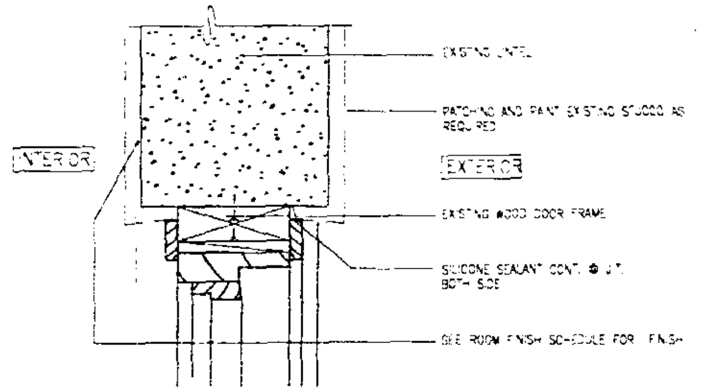

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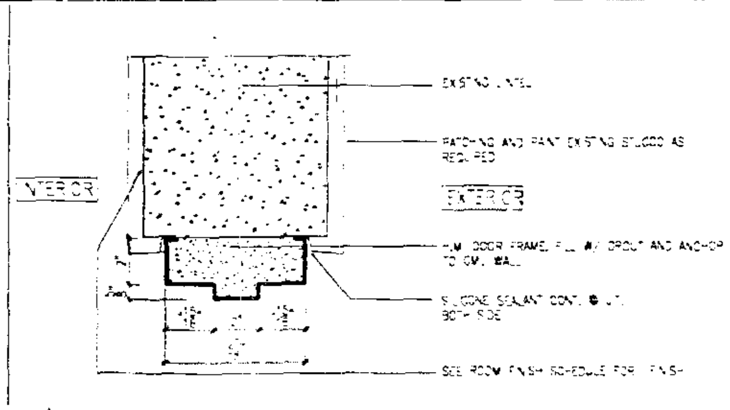

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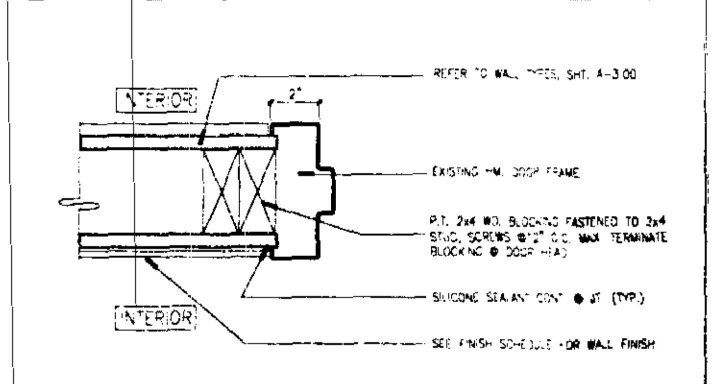
Dwgs?



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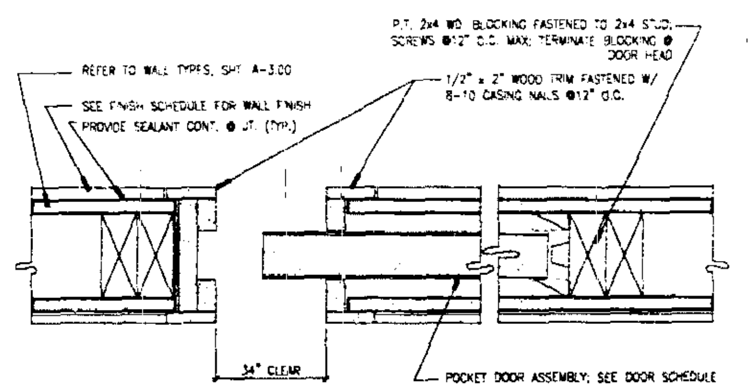

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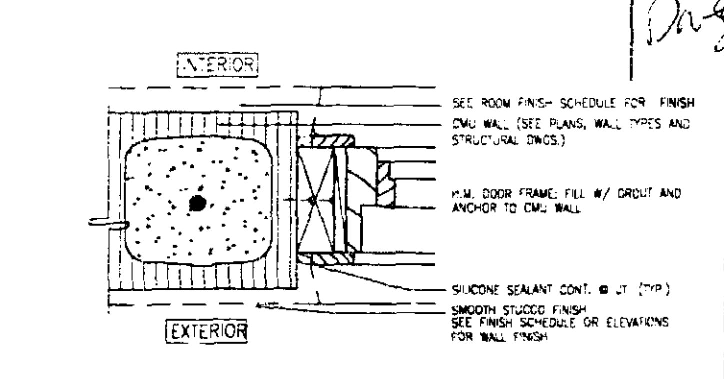

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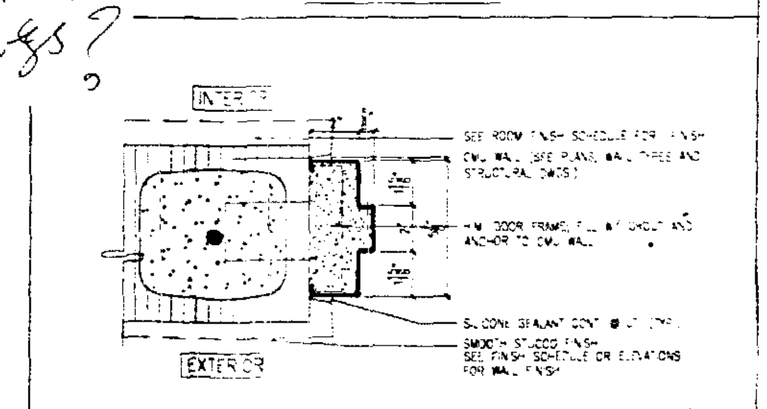

JAMB "J-4"

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 38th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL
ALISON SPEAR, AIA
AR# 0016660

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
FINISH SCHEDULE, DOOR SCHEDULE & DETAILS

DRAWN BY	B.F.L.
CHECKED BY	A.S.
ISSUES	
07-23-03	PERMIT ISSUE

SHEET NO.
A-4.00

ELECTRICAL GENERAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR EXACT LOCATION OF EQUIPMENT. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND ACCEPTABLE WORKING INSTALLATION PER CODE.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
3. ALL MATERIAL SHALL BE NEW AND SHALL BEAR UL LABEL WHERE APPLICABLE. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT FOR A COMPLETE INSTALLATION. ALL MOUNTING HARDWARE AND WIRING HARDWARE SHALL BE FURNISHED BY THE CONTRACTOR.
4. CIRCUITS SHOWN ON THESE PLANS ARE SYMBOLICALLY SHOWN TO DETERMINE LOAD DATA AND EQUIPMENT SIZES. THE CONTRACTOR SHALL PHYSICALLY PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS. THE LOADS SHALL BE BALANCED THROUGHOUT. THE CONTRACTOR SHALL ENSURE THAT NEUTRAL WIRES AND EQUIPMENT GROUND WIRES ARE INSTALLED WHERE EVER APPLICABLE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE POWER UTILITY TO OBTAIN TEMPORARY POWER DURING CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE POWER UTILITY TO SCHEDULE INSTALLATION OF TEMPORARY POWER SO THAT CONSTRUCTION DELAYS ARE AVOIDED.
6. THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY TO OBTAIN PERMANENT POWER IN ACCORDANCE WITH THESE DRAWINGS. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE POWER UTILITY TO SCHEDULE THE INSTALLATION OF PERMANENT POWER SO THAT DELAYS ARE AVOIDED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE POWER UTILITY EARLY ON TO IDENTIFY ANY ISSUES AFFECTING PERMANENT POWER SERVICE AND TO WORK TOWARDS RESOLVING ANY ISSUES REGARDING PERMANENT SERVICE.
7. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE COMPANY TO OBTAIN TELEPHONE SERVICE. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE TELEPHONE COMPANY TO SCHEDULE INSTALLATION OF TELEPHONE SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TELEPHONE COMPANY EARLY ON TO IDENTIFY ANY ISSUES AFFECTING TELEPHONE SERVICE AND TO WORK TOWARDS RESOLVING ANY ISSUES DELAYING INSTALLATION.
8. IF APPLICABLE, THE CONTRACTOR SHALL COORDINATE WITH THE CABLE TV COMPANY IN THE SAME MANNER AS DESCRIBED IN PARAGRAPHS 6 AND 7 FOR POWER AND TELEPHONE UTILITIES.
9. IF ANY OR ALL OF THE UTILITIES (ELECTRICAL, TELEPHONE, CATV) ARE EXISTING, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH THE EXISTING SYSTEMS PRIOR TO BID. THE CONTRACTOR SHALL TRACE DOWN ALL CIRCUITS AND WIRING AND SHALL VERIFY THAT CAPACITY IS AVAILABLE FOR THE SCOPE OF THE PROJECT. THE CONTRACTOR SHALL FIELD INSPECT ALL EXISTING EQUIPMENT AND SHALL ENSURE THAT ALL RATINGS, FUSES, ENCLOSURES, ETC. ARE PROPER FOR THE SCOPE OF THE PROJECT. THE CONTRACTOR SHALL INSPECT ANY EQUIPMENT, WIRING ETC. THAT IS REUSED AND SHALL GUARANTEE THE PERFORMANCE OF SUCH EQUIPMENT FOR ONE YEAR. THE CONTRACTOR SHALL REPLACE ANY EQUIPMENT THAT IS DAMAGED OR IN POOR CONDITION. A LIST OF EQUIPMENT IDENTIFIED FOR REPLACEMENT SHALL BE PROVIDED TO THE OWNER (OR THE OWNER'S REPRESENTATIVE) AND THE ENGINEER PRIOR TO REPLACEMENT.
10. THE CONTRACTOR SHALL THOROUGHLY REVIEW THESE DRAWINGS AND SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO BID. ANY QUESTIONS, COMMENTS, DISCREPANCIES OR PERCEIVED AMBIGUITIES SHALL BE DISCUSSED WITH THE ENGINEER PRIOR TO BID.
11. ELECTRICAL DESIGN IS BASED UPON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL REVIEW NAMEPLATE DATA AND MANUFACTURER SUPPLIED LITERATURE FOR ALL PIECES OF EQUIPMENT PRIOR TO ROUGH ELECTRICAL WIRING. THE CONTRACTOR SHALL CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE AND AMP RATING PRIOR TO INSTALLATION. THE CONTRACTOR SHALL CONTACT ENGINEER PRIOR TOO ANY FIELD ADJUSTMENTS.
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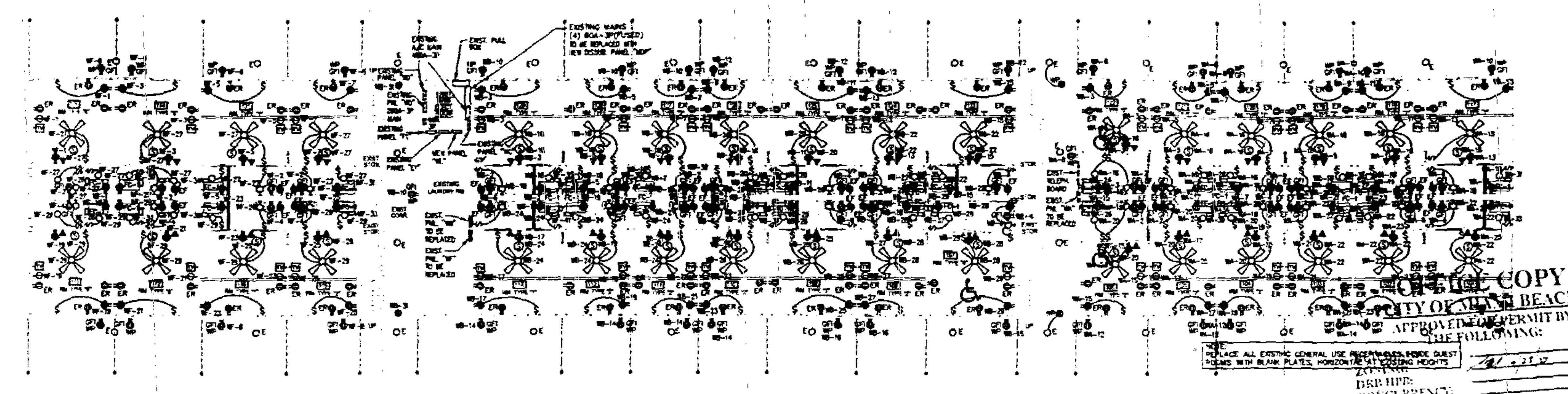
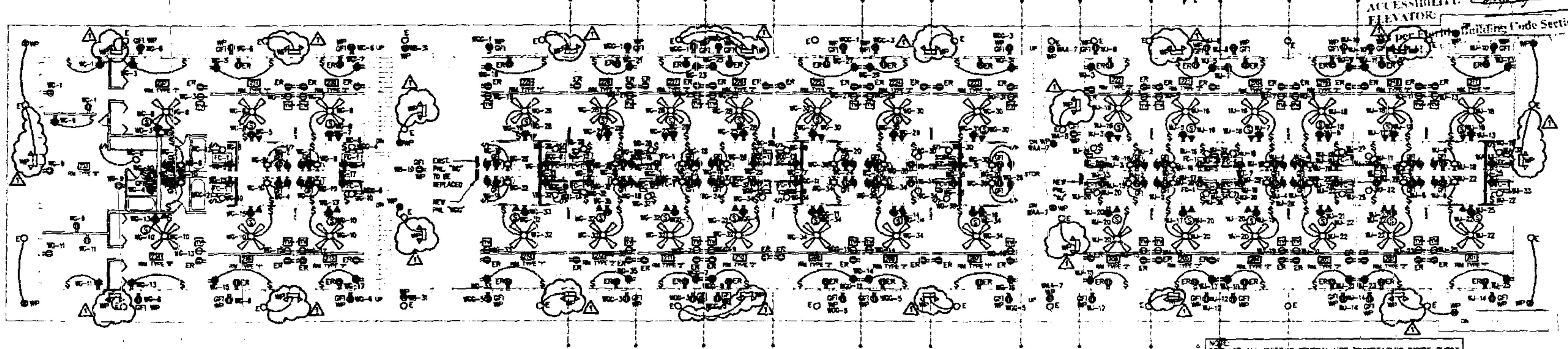
16. ALL SERVICE ENTRANCE EQUIPMENT IS TO BE RATED AT 100,000 AIC UNLESS OTHERWISE NOTED. TO PROVIDE SERVICE ENTRANCE EQUIPMENT WITH LOWER RATINGS THE CONTRACTOR SHALL PROVIDE IN WRITING INFORMATION FROM THE POWER UTILITY VERIFYING THAT CALCULATED FAULT CURRENTS ARE AT AN ACCEPTABLE LEVEL TO ACCOMMODATE THE LOWER RATED EQUIPMENT. IF SERVICE ENTRANCE EQUIPMENT IS EXISTING, THE CONTRACTOR SHALL VERIFY THAT AIC RATINGS OF EXISTING EQUIPMENT ARE PROPER. THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY AND THE ENGINEER PRIOR TO BID.
17. ALL OUTSIDE EQUIPMENT, OUTLETS, LIGHTING FIXTURES, ENCLOSURES, ETC. SHALL BE WEATHERPROOF.
18. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED CONNECTIONS FOR ALL OTHER TRADES.
19. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
20. THE NUMBER, EXACT LOCATION AND MOUNTING HEIGHTS OF ALL OUTLETS, LIGHTS AND ELECTRICAL FIXTURES SHALL BE DETERMINED BY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL NUMBERS AND LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO BID AND TO INSTALLATION.
21. THE CONTRACTOR SHALL PROVIDE ROUTING FOR ALL FLOOR MOUNTED OUTLETS AND OTHER LOADS AND CONNECTIONS NOT READILY ACCESSIBLE VIA WALL OR CEILING. THE CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND OWNER TO DETERMINE THE METHOD TO SERVE SUCH AREAS (I.E. TRENCHING, CORE AND BORING, POWER POLE, ETC.) PRIOR TO BID.
22. ALL RACEWAYS AND PIPES PLACED IN OR THROUGH ANY CONCRETE SLAB SHALL BE SPACED A MINIMUM OF THREE DIAMETERS OF THE LARGEST CONDUIT OR PIPE OF ANY OTHER SERVICE.
23. ALL RACEWAYS UNDERGROUND AND/OR LARGER THAN 2 INCHES IN DIAMETER SHALL BE GALVANIZED RIGID STEEL. PVC SCH 40 WILL BE ACCEPTABLE IF APPROVED BY LOCAL REGULATIONS CONTRACTOR TO VERIFY. ALL OTHER RACEWAYS 2" AND SMALLER IN DIAMETER MAY BE EMT.
24. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS AND CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS.
25. DISCONNECT SWITCHES SHALL BE HORSEPOWER RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, IN NEMA 1 OR NEMA 3R ENCLOSURES AS REQUIRED BY EXPOSURE.
26. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED PER NEC REQUIREMENTS AND STATE AND LOCAL CODE REQUIREMENTS.
27. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT.
28. IT IS NOT THE INTENTION OF THESE DRAWINGS TO ESTABLISH LIGHTING LEVELS OF ANY KIND. THE NUMBER, STYLE AND LOCATION OF LIGHTING FIXTURES ARE DETERMINED BY THE ARCHITECT AND/OR THE OWNER. THE LIGHTING FIXTURE SCHEDULE IF APPEARING ON THESE DRAWINGS IS FOR INFORMATIONAL PURPOSES AND HAS BEEN DEVELOPED BY THE ARCHITECT AND/OR OWNER. FOR DETAILED QUESTIONS REGARDING LIGHTING FIXTURES CONTACT THE ARCHITECT OR OWNER.
29. EXISTING LIGHTING FIXTURES WHEN REUSED ARE TO BE RECIRCUITED AND RECONNECTED. THE ARCHITECT AND/OR OWNER SHALL BE INFORMED OF AND SHALL APPROVE THE REUSE OF ALL REUSED LIGHT FIXTURES. ALL REUSED LIGHTING FIXTURES SHALL BE RELAMPED, CLEANED AND REPAIRED IF NECESSARY. ANY EXISTING LIGHTING FIXTURE BEYOND REPAIR SHALL BE REPLACED. ALL LIGHTING FIXTURES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR.
30. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ELECTRICAL SERVICES TO MECHANICAL EQUIPMENT IS ACCOUNTED FOR PRIOR TO BID. IN ADDITION, ALL MECHANICAL EQUIPMENT SUBSTITUTIONS ARE TO BE ACCOUNTED FOR PRIOR TO BID AND SHALL BE COORDINATED ELECTRICALLY.
31. FOR HVAC EQUIPMENT THE MECHANICAL CONTRACTOR SHALL PROVIDE THE SMOKE DETECTOR, IF REQUIRED, AND THE ELECTRICAL CONTRACTOR SHALL INSTALL THE SMOKE DETECTOR.
32. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR INSTALLATION OF ALL MECHANICAL CONTROLS.
33. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FORWARD ANY SHOP DRAWINGS TO THE ARCHITECT/OWNER. SHOP DRAWINGS ARE NOT SOLICITED BY THE ENGINEER.
34. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FIRE STOPPING MEASURES ARE PROVIDED PER LOCAL BUILDING DEPT. REQUIREMENTS. THE FIRE STOPPING MATERIAL AND ITS INSTALLATION SHALL BE UL APPROVED. ALL FIRE STOPPING MATERIAL SHALL BE NON WATER SOLUBLE.



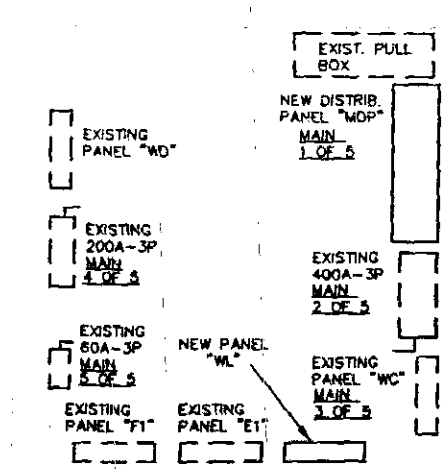
WEST WING - GROUND FLOOR - PROPOSED FLOOR PLAN
SCALE: 3/32"=1'-0"



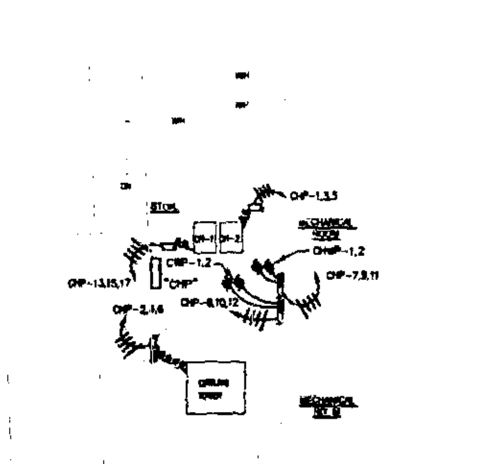
WEST WING - SECOND FLOOR - PROPOSED FLOOR PLAN
SCALE: 3/32"=1'-0"

ELECTRICAL SYMBOLS

- GFI — DUPLEX RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MTD., WITH GROUND FAULT INTERRUPT., 18" A.F.F. (OR 48" A.F.F. ABOVE SINKS)
- DUPLEX RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MOUNTED, 18" A.F.F.
- QUADRUPLEX RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MTD., 18" A.F.F.
- WP — SAME AS ABOVE, BUT WEATHER PROOF
- SINGLE RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MTD.
- TV OUTLET, WALL MOUNTED
- TELEPHONE OUTLET, WALL MTD.
- LIGHTING SWITCH
- CEILING MOUNTED LIGHTING FIXTURE OUTLET
- WALL MOUNTED LIGHTING FIXTURE OUTLET
- PADDLE FAN
- 120V SMOKE DETECTOR WITH BATTERY PACK
- EXIT SIGN
- EMERGENCY BATTERY PACK
- ELECTRIC MOTOR
- E — EXISTING TO REMAIN
- ER — EXISTING TO BE REPLACED



WEST WING ELECT. ROOM
SCALE: 1/2"=1'-0"



WEST WING - 3RD FLR.

KEY PLAN

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL

OWNER OF DOCUMENTS NOTICE

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PROPOSED ELECTRICAL
FLOOR PLANS, NOTES
AND SYMBOLS

DRAWN BY	C.P.
CHECKED BY	R.J.M.

ISSUES

07-11-03	ISSUE DATE
09-05-03	⚠1 BLDG. DPT. COMM.

PROJECT #: 0304-053

PREPARED BY:

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SHEET NO.
E-1

ELECTRICAL GENERAL NOTES

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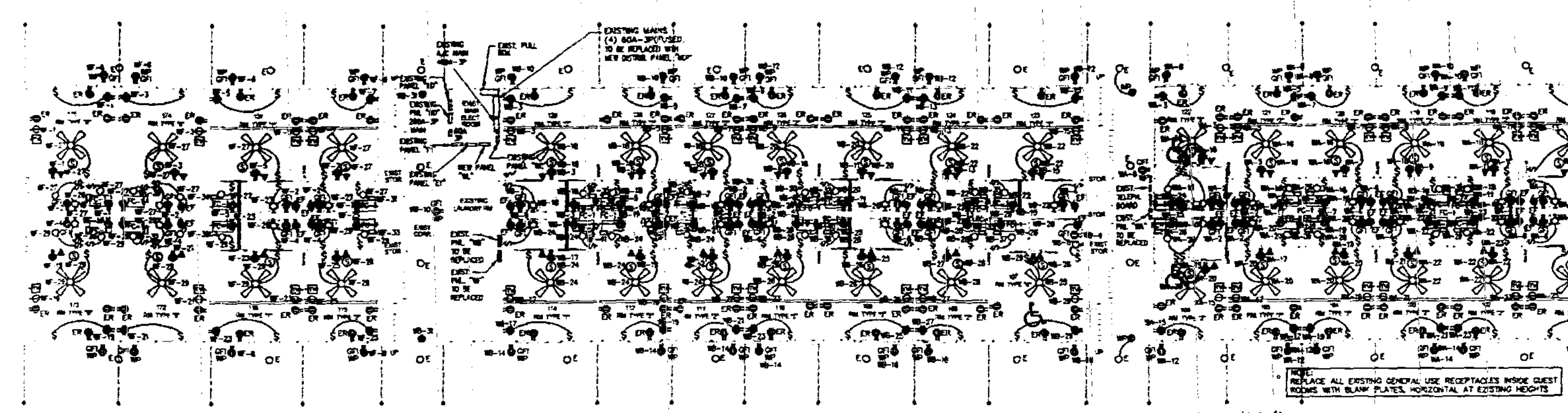
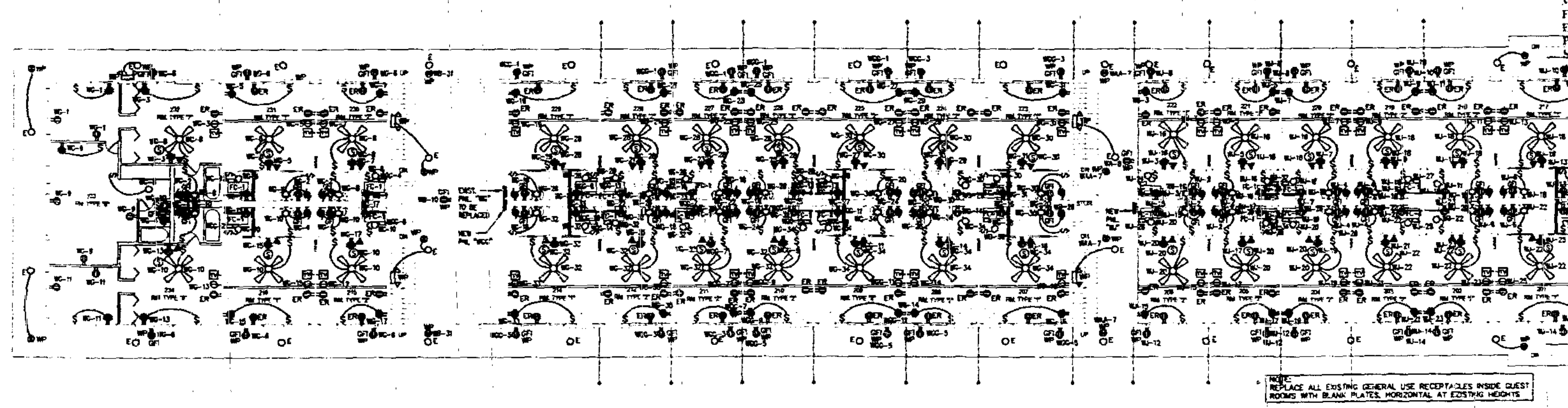
32. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR INSTALLATION OF ALL MECHANICAL CONTROLS.
33. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FORWARD ANY SHOP DRAWINGS TO THE ARCHITECT/OWNER. SHOP DRAWINGS ARE NOT SOLICITED BY THE ENGINEER.
34. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FIRE STOPPING MEASURES ARE PROVIDED PER LOCAL BUILDING DEPT. REQUIREMENTS. THE FIRE STOPPING MATERIAL AND ITS INSTALLATION SHALL BE UL APPROVED. ALL FIRE STOPPING MATERIAL SHALL BE NON WATER SOLUBLE.



WEST WING - GROUND FLOOR - PROPOSED FLOOR PLAN

SCALE: 3/32"=1'-0"

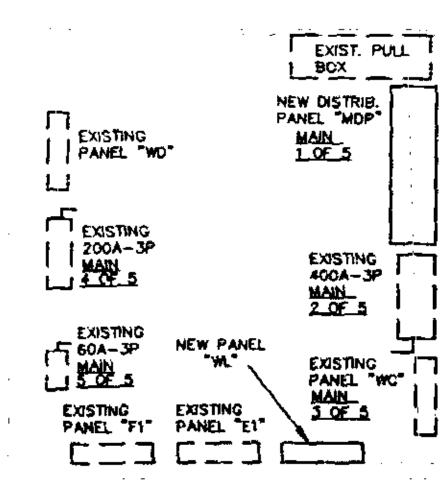


WEST WING - SECOND FLOOR - PROPOSED FLOOR PLAN

SCALE: 3/32"=1'-0"

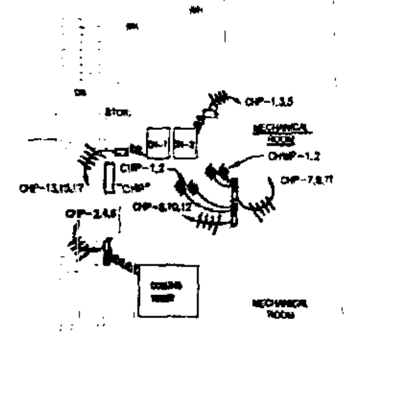
ELECTRICAL SYMBOLS

- DUPLEX RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MTD., WITH GROUND FAULT INTERRUPT., 18" A.F.F. (OR 48" A.F.F. ABOVE SINKS)
- DUPLEX RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MOUNTED, 18" A.F.F.
- QUADRUPLEX RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MTD., 18" A.F.F.
- SAME AS ABOVE, BUT WEATHER PROOF
- SINGLE RECEPTACLE, 20A, 120V, GROUND. TYPE, WALL MTD.
- TV OUTLET, WALL MOUNTED
- TELEPHONE OUTLET, WALL MTD.
- LIGHTING SWITCH
- CEILING MOUNTED LIGHTING FIXTURE OUTLET
- WALL MOUNTED LIGHTING FIXTURE OUTLET
- PADDLE FAN
- 120V SMOKE DETECTOR WITH BATTERY PACK
- EXIT SIGN
- EMERGENCY BATTERY PACK
- ELECTRIC MOTOR
- E EXISTING TO REMAIN
- ER EXISTING TO BE REPLACED

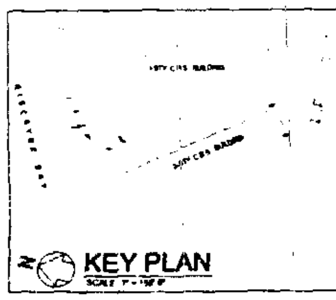


WEST WING ELECT. ROOM

SCALE: 1/2"=1'-0"



WEST WING - 3RD FLR.



KEY PLAN

PROJECT #: 0304-053
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APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRB HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:

PROJECT ARCHITECT

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PROJECT TITLE

LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

WEST WING
PROPOSED ELECTRICAL
FLOOR PLANS, NOTES
AND SYMBOLS

DRAWN BY	C.P.
CHECKED BY	R.J.M.
ISSUES	
07-11-03	PERMIT SET

SHEET NO.

E-1

NEW ELECTRICAL PANEL SCHEDULE "WA"

TYPE : AQ. GE
MOUNTING : FLUSH
LOCATION : GROUND FLOOR CORRIDOR – SOUTH SIDE
14,000 A/C
MAINS : M.L.O.
BUS RATING : 125 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIST. ICE MACH.	EXISTING	800	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 122 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 121 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 120 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 119 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 118 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
EXIST. WASHER #3	EXISTING	3,000	3 / 20	13 15 17				14 16 18	3 / 20	3,000	EXISTING	EXIST. WASHER #1
ROOM 173 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	3 / 20			
ROOM 172 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22		3,000	EXISTING	EXISTING
ROOM 116 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	20			
ROOM 115 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	1,350	#12 – 1/2"	FC-1
ROOMS LIGHTS	#12 – 1/2"	1,200	1 / 20	27				28	1 / 20	1,350	#12 – 1/2"	FC-1
ROOMS LIGHTS	#12 – 1/2"	1,200	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	31				32	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	33				34	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	35				36	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	37				38	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	39				40				SPACE
FC-1	#12 – 1/2"	1,350	1 / 20	41				42				SPACE

TOTAL LOAD: 26,912 VA
AMPS: 75

GENERAL LIGHTING AND RECEPTACLES LOAD = 21,780 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
1,780 VA @ 40% = 712 VA
TOTAL DEM. LOAD = 10,712 VA
OTHER LOAD = 16,200 VA
TOTAL CONN. LOAD = 26,912 VA

NEW ELECTRICAL PANEL SCHEDULE "WF"

TYPE : AQ. GE
MOUNTING : FLUSH
LOCATION : GROUND FLOOR CORRIDOR – SOUTH SIDE
14,000 AIC
MAINS : M.L.O.
BUS RATING : 225 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
ROOM 175 RECEPTS.	#12 – 1/2"	1,080	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 174 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 131 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
EXIST. DRYER #3	EXISTING	1,000	1 / 20	7				8	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 119 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	1,000	EXISTING	EXIST. DRYER #1
ROOM 118 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
EXIST. WASHER #3	EXISTING	3,000	3 / 20	13 15 17				14 16 18	3 / 20	3,000	EXISTING	EXIST. WASHER #1
ROOM 173 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	3 / 20			
ROOM 172 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22		3,000	EXISTING	EXISTING
ROOM 116 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	20			
ROOM 115 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	1,350	#12 – 1/2"	FC-1
ROOMS LIGHTS	#12 – 1/2"	1,200	1 / 20	27				28	1 / 20	1,350	#12 – 1/2"	FC-1
ROOMS LIGHTS	#12 – 1/2"	1,200	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	31				32	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	33				34	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	35				36	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	37				38				SPACE
FC-1	#12 – 1/2"	1,350	1 / 20	39				40				SPACE
FC-1	#12 – 1/2"	1,350	1 / 20	41				42				SPACE

TOTAL LOAD: 35,900 VA
AMPS: 99.72

GENERAL LIGHTING AND RECEPTACLES LOAD = 15,000 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
15,000 VA @ 50% = 7,500 VA
OTHER LOAD = 28,400 VA
TOTAL CONN. LOAD = 35,900 VA

NEW ELECTRICAL PANEL SCHEDULE "CHP"

TYPE : CCB, GE
MOUNTING : SURFACE
LOCATION : MECHANICAL ROOM
65,000 A.I.C.
MAINS : 350 AMP MAIN CIRCUIT BREAKER
BUS RATING : 400 AMP
VOLTAGE : 208Y/120V–3PHASE–4WIRE–S/N

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
CHILLER #1	#3 IN 1–1/4"	24,840	3 / 100	1 3 5				2 4 6	3 / 30	6,300	#10 – 3/4"	COOLING TOWER (5HP)
CHWP–1,2 (2) 7–1/2 HP	#4 IN 1–1/4"	18,216	3 / 80	7 9 11				8 10 12	3 / 80	18,216	#4 IN 1–1/4"	CWP–1,2 (2) 7–1/2 HP
CHILLER #2	#3 IN 1–1/4"	24,840	3 / 100	13 15 17				14 16 18				SPACE

TOTAL LOAD: 92,412 VA
AMPS: 257

NEW ELECTRICAL PANEL SCHEDULE "WG"

TYPE : AQ. GE
MOUNTING : FLUSH
LOCATION : SECOND FLOOR – NORTH SIDE
14,000 A/C
MAINS : M.L.O.
BUS RATING : 225 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
ROOM 232 RECEPTS.	#12 – 1/2"	720	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 232 RECEPTS.	#12 – 1/2"	720	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 231 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	1,080	#12 – 1/2"	EXTER. GFI REC.
POOM 230 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 233 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 234 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20			SPARE
ROOM 234 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	1,080	#12 – 1/2"	ROOM 208 RECEPTS.
ROOM 216 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	1,080	#12 – 1/2"	ROOM 207 RECEPTS.
POOM 215 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 229 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	540	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 228 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 227 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 226 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	540	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 225 RECEPTS.	#12 – 1/2"	1,080	1 / 20	27				28	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 224 RECEPTS.	#12 – 1/2"	1,080	1 / 20	29				30	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 223 RECEPTS.	#12 – 1/2"	1,080	1 / 20	31				32	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 214 RECEPTS.	#12 – 1/2"	1,080	1 / 20	33				34	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 212 RECEPTS.	#12 – 1/2"	1,080	1 / 20	35				36	1 / 20	1,350	#12 – 1/2"	FC-1
PANEL "WGG"	#4 IN 1–1/4"	20,250	3 / 80	37 39 41				38	1 / 20	1,350	#12 – 1/2"	FC-1
								40				SPACE
								42				SPACE

TOTAL LOAD: 37,226 VA
AMPS: 103.4

GENERAL LIGHTING AND RECEPTACLES LOAD = 37,440 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
17,440 VA @ 40% = 6,976 VA
TOTAL DEM. LOAD = 16,976 VA
OTHER LOAD = 20,250 VA
TOTAL CONN. LOAD = 37,226 VA

NEW ELECTRICAL PANEL SCHEDULE "WGG"

TYPE : AQ. GE
MOUNTING : FLUSH
LOCATION : SECOND FLOOR – NORTH SIDE
14,000 A/C
MAINS : M.L.O.
BUS RATING : 125 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXT. GFI REC.	#12 – 1/2"	720	1 / 20	1				2	1 / 20	1,350	#12 – 1/2"	FC-1
EXT. GFI REC.	#12 – 1/2"	720	1 / 20	3				4	1 / 20	1,350	#12 – 1/2"	FC-1
EXT. GFI REC.	#12 – 1/2"	720	1 / 20	5				6	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 211 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 210 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 209 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	13				14	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	15				16	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	17				18	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	19				20				SPACE
SPACE				21				22				SPACE
SPACE				23				24				SPACE

TOTAL LOAD: 20,250 VA
AMPS: 56.25

GENERAL LIGHTING AND RECEPTACLES LOAD = 5,400 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
5,400 VA @ 50% = 2,700 VA
OTHER LOAD = 17,550 VA
TOTAL CONN. LOAD = 20,250 VA

NEW ELECTRICAL PANEL SCHEDULE "MDP"

TYPE : CCB, GE
MOUNTING : SURFACE
LOCATION : ELECTRICAL ROOM
22,000 AIC
MAINS : 500 AMP M.C.B.
BUS RATING : 600 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
PANEL "WA"	#3 IN 1–1/4"	26,912	3 / 100	1 3 5				2 4 6	3 / 80	21,028	#4 IN 1–1/4"	PANEL "WB"
PANEL "WF"	#1 IN 1–1/2"	35,900	3 / 125	7 9 11				8 10 12	3 / 125	37,226	#1 IN 1–1/2"	PANEL "WG"
PANEL "WJ"	#4 IN 1–1/4"	24,716	3 / 80	13 15 17				14 16 18	3 / 80	17,190	#3 IN 1–1/4"	PANEL "WL"
SPACE				19 21 23				20 22 24				SPACE

TOTAL LOAD: 152,900 VA
AMPS: 425

GENERAL LIGHTING AND RECEPTACLES LOAD = 124,580 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
20,000 VA @ 50% = 10,000 VA
80,000 VA @ 40% = 32,000 VA
24,580 VA @ 30% = 7,374 VA
TOTAL LOAD = 49,374 VA
OTHER LOAD = 102,260 VA
TOTAL CONN. LOAD = 151,520 VA

NEW ELECTRICAL PANEL SCHEDULE "WB"

TYPE : AQ. GE
MOUNTING : FLUSH
LOCATION : GROUND FLOOR LAUNDRY – NORTH SIDE
14,000 A/C
MAINS : M.L.O.
BUS RATING : 225 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIST. ICE MACH.	EXISTING	800	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 129 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 128 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 127 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 126 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 125 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 124 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 123 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 114 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 112 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 111 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 110 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 109 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 108 RECEPTS.	#12 – 1/2"	1,080	1 / 20	27				28	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 107 RECEPTS.	#12 – 1/2"	1,080	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				31				32	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				33				34	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				35				36	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				37				38	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				39				40	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				41				42				SPACE

TOTAL LOAD: 21,028 VA
AMPS: 58.41

GENERAL LIGHTING AND RECEPTACLES LOAD = 27,320 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
7,320 VA @ 40% = 2,928 VA
TOTAL DEM. LOAD = 12,928 VA
OTHER LOAD = 8,100 VA
TOTAL CONN. LOAD = 21,028 VA

NEW ELECTRICAL PANEL SCHEDULE "WJ"

TYPE : AQ. GE
MOUNTING : FLUSH
LOCATION : SECOND FLOOR CORRIDOR – SOUTH SIDE
14,000 A/C
MAINS : M.L.O.
BUS RATING : 225 AMP
VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIST. ICE MACH.	EXISTING	800	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 122 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 121 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 120 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 118 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 117 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 106 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 105 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 104 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 103 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 102 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 101 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	27				28	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	31				32	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	33				34	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE				35				36				SPACE
SPACE				37				38				SPACE
SPACE				39				40				SPACE
SPACE				41				42				SPACE

TOTAL LOAD: 23,040 VA
AMPS: 64.00

GENERAL LIGHTING AND RECEPTACLES LOAD = 23,040 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
3,040 VA @ 40% = 1,216 VA
TOTAL DEM. LOAD = 11,216 VA
OTHER LOAD = 13,500 VA
TOTAL CONN. LOAD = 24,716 VA

LOAD DATA (208Y/120V – 3PH–4W SERVICE)

NEW PANEL "MDP" (MAIN 1 OF 5)	152,900 VA
NEW PANEL "CHP" (MAIN 2 OF 5)	92,412 VA
EXIST. PANEL "WC" (MAIN 3 OF 5)	51,200 VA
EXIST. PANEL "WD" (MAIN 4 OF 5)	11,000 VA
EXIST. POOL PUMPS MAIN (MAIN 5 OF 5)	12,500 VA
TOTAL. WEST WING CONN. LOAD	320,012 VA (889 A)

As per Florida Building Code Section 107.5.1
PROJECT IN FULL COMPLIANCE

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

uciengineering
From Vision to Reality

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PANEL SCHEDULES

DRAWN BY C.P.
CHECKED BY R.J.M.

ISSUES

NO.	ISSUE DATE / REV. DATE
1	10/25/05

SHEET NO.
E-2

NEW ELECTRICAL PANEL SCHEDULE "WA"

TYPE : AQ. GE — MAINS : M.L.O.
MOUNTING : FLUSH — 14,000 AIC — BUS RATING : 125 AMP
LOCATION : GROUND FLOOR CORRIDOR – SOUTH SIDE — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT No.	A	B	C	CKT No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIST. ICE MACH.	EXISTING	800	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 122 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 121 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 120 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 119 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 118 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 117 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 106 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 105 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 104 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 103 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 102 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 101 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	27				28	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	31				32	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	33				34	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	35				36	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	37				38	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	39				40	/			SPACE
SPACE			/	41				42	/			SPACE

GENERAL LIGHTING AND RECEPTACLES LOAD = 21,780 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
1,780 VA @ 40% = 712 VA
TOTAL DEM. LOAD = 10,712 VA
OTHER LOAD = 16,200 VA
TOTAL CONN. LOAD = 26,912 VA

TOTAL LOAD: 26,912 VA
AMPS: 75

NEW ELECTRICAL PANEL SCHEDULE "WF"

TYPE : AQ. GE — MAINS : M.L.O.
MOUNTING : FLUSH — 14,000 AIC — BUS RATING : 225 AMP
LOCATION : GROUND FLOOR CORRIDOR – SOUTH SIDE — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
ROOM 175 RECEPTS.	#12 – 1/2"	1,080	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 174 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 131 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
EXIST. DRYER #3	EXISTING	1,000	1 / 20	7				8	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 119 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	1,000	EXISTING	EXIST. DRYER #1
ROOM 118 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
EXIST. WASHER #3	EXISTING	3,000	3 / 20	13 15 17				14 15 16	3 / 20	3,000	EXISTING	EXIST. WASHER #1
ROOM 173 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	3 / 20	3,000	EXISTING	EXISTING
ROOM 172 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22 24				
ROOM 116 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				26	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 115 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				28	1 / 20	1,350	#12 – 1/2"	FC-1
ROOMS LIGHTS	#12 – 1/2"	1,200	1 / 20	27				30	1 / 20	1,350	#12 – 1/2"	FC-1
ROOMS LIGHTS	#12 – 1/2"	1,200	1 / 20	29				32	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	31				34	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	33				36	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	35				38				SPACE
FC-1	#12 – 1/2"	1,350	1 / 20	37				40				SPACE
FC-1	#12 – 1/2"	1,350	1 / 20	39				42				SPACE
FC-1	#12 – 1/2"	1,350	1 / 20	41								

GENERAL LIGHTING AND RECEPTACLES LOAD = 15,000 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
15,000 VA @ 50% = 7,500 VA
OTHER LOAD = 28,400 VA
TOTAL CONN. LOAD = 35,900 VA

TOTAL LOAD: 35,900 VA
AMPS: 99.72

NEW ELECTRICAL PANEL SCHEDULE "CHP"

TYPE : CCB, GE — MAINS : 350 AMP MAIN CIRCUIT BREAKER
MOUNTING : SURFACE — 65,000 A.I.C. — BUS RATING : 400 AMP
LOCATION : MECHANICAL ROOM — VOLTAGE : 208Y/120V–3PHASE–4WIRE–S/N

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
CHILLER #1	#3 IN 1–1/4"	24,840	3 / 100	1 3 5				2 4 6	3 / 30	6,300	#10 – 3/4"	COOLING TOWER (5HP)
CHWP–1,2 (2) 7–1/2 HP	#4 IN 1–1/4"	18,216	3 / 80	7 9 11				8 10 12	3 / 80	18,216	#4 IN 1–1/4"	CWP–1,2 (2) 7–1/2 HP
CHILLER #2	#3 IN 1–1/4"	24,840	3 / 100	13 15 17				14 16 18	/			SPACE

TOTAL LOAD: 92,412 VA
AMPS: 257

NEW ELECTRICAL PANEL SCHEDULE "WG"

TYPE : AQ. GE — MAINS : M.L.O.
MOUNTING : FLUSH — 14,000 AIC — BUS RATING : 225 AMP
LOCATION : SECOND FLOOR – NORTH SIDE — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
ROOM 232 RECEPTS.	#12 – 1/2"	720	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 232 RECEPTS.	#12 – 1/2"	720	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 233 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	1,080	#12 – 1/2"	EXTER. GFI REC.
ROOM 230 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 233 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 234 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	/ 20			SPARE
ROOM 234 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	1,080	#12 – 1/2"	ROOM 208 RECEPTS.
ROOM 216 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	1,080	#12 – 1/2"	ROOM 207 RECEPTS.
ROOM 215 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 229 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	540	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 228 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 227 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 226 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	540	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 225 RECEPTS.	#12 – 1/2"	1,080	1 / 20	27				28	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 224 RECEPTS.	#12 – 1/2"	1,080	1 / 20	29				30	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 223 RECEPTS.	#12 – 1/2"	1,080	1 / 20	31				32	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 214 RECEPTS.	#12 – 1/2"	1,080	1 / 20	33				34	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 212 RECEPTS.	#12 – 1/2"	1,080	1 / 20	35				36	1 / 20	1,350	#12 – 1/2"	FC-1
PANEL "WGG"	#4 IN 1–1/4"	20,250	3 / 80	37 39 41				38	1 / 20	1,350	#12 – 1/2"	FC-1
								40	/			SPACE
								42	/			SPACE

GENERAL LIGHTING AND RECEPTACLES LOAD = 37,440 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
17,440 VA @ 40% = 6,976 VA
TOTAL DEM. LOAD = 16,976 VA
OTHER LOAD = 20,250 VA
TOTAL CONN. LOAD = 37,226 VA

TOTAL LOAD: 37,226 VA
AMPS: 103.4

NEW ELECTRICAL PANEL SCHEDULE "WGG"

TYPE : AQ. GE — MAINS : M.L.O.
MOUNTING : FLUSH — 14,000 AIC — BUS RATING : 125 AMP
LOCATION : SECOND FLOOR – NORTH SIDE — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIT. GFI REC.	#12 – 1/2"	720	1 / 20	1				2	1 / 20	1,350	#12 – 1/2"	FC-1
EXIT. GFI REC.	#12 – 1/2"	720	1 / 20	3				4	1 / 20	1,350	#12 – 1/2"	FC-1
EXIT. GFI REC.	#12 – 1/2"	720	1 / 20	5				6	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 211 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 210 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 209 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	13				14	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	15				16	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	17				18	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,350	1 / 20	19				20				SPACE
SPACE			/	21				22				SPACE
SPACE			/	23				24				SPACE

GENERAL LIGHTING AND RECEPTACLES LOAD = 5,400 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
5,400 VA @ 50% = 2,700 VA
OTHER LOAD = 17,550 VA
TOTAL CONN. LOAD = 20,250 VA

TOTAL LOAD: 20,250 VA
AMPS: 56.25

NEW ELECTRICAL PANEL SCHEDULE "MDP"

TYPE : CCB, GE — MAINS : 500 AMP M.C.B.
MOUNTING : SURFACE — 22,000 AIC — BUS RATING : 600 AMP
LOCATION : ELECTRICAL ROOM — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
PANEL "WA"	#3 IN 1–1/4"	26,912	3 / 100	1 3 5				2 4 6	3 / 80	21,028	#4 IN 1–1/4"	PANEL "WB"
PANEL "WF"	#1 IN 1–1/2"	35,900	3 / 125	7 9 11				8 10 12	3 / 125	37,226	#1 IN 1–1/2"	PANEL "WG"
PANEL "WJ"	#4 IN 1–1/4"	24,716	3 / 80	13 15 17				14 16 18	3 / 80	15,810	#4 IN 1–1/4"	PANEL "WL"
SPACE			/	19 21 23				20 22 24	/			SPACE

GENERAL LIGHTING AND RECEPTACLES LOAD = 124,580 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
20,000 VA @ 50% = 10,000 VA
80,000 VA @ 40% = 32,000 VA
24,580 VA @ 30% = 7,374 VA
TOTAL LOAD = 48,374 VA
OTHER LOAD = 102,260 VA
TOTAL CONN. LOAD = 151,520 VA

TOTAL LOAD: 151,520 VA
AMPS: 421

NEW ELECTRICAL PANEL SCHEDULE "WB"

TYPE : AQ. GE — MAINS : M.L.O.
MOUNTING : FLUSH — 14,000 AIC — BUS RATING : 125 AMP
LOCATION : GROUND FLOOR LAUNDRY – NORTH SIDE — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIST. ICE MACH.	EXISTING	800	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 129 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 128 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 127 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 126 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 125 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 124 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 123 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 114 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 112 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 111 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 110 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 109 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 108 RECEPTS.	#12 – 1/2"	1,080	1 / 20	27				28	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 107 RECEPTS.	#12 – 1/2"	1,080	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	31				32	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	33				34	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	35				36	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	37				38	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	39				40	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	41				42	/			SPACE

GENERAL LIGHTING AND RECEPTACLES LOAD = 27,320 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
7,320 VA @ 40% = 2,928 VA
TOTAL DEM. LOAD = 12,928 VA
OTHER LOAD = 8,100 VA
TOTAL CONN. LOAD = 21,028 VA

TOTAL LOAD: 21,028 VA
AMPS: 58.41

NEW ELECTRICAL PANEL SCHEDULE "WJ"

TYPE : AQ. GE — MAINS : M.L.O.
MOUNTING : FLUSH — 14,000 AIC — BUS RATING : 225 AMP
LOCATION : SECOND FLOOR CORRIDOR – SOUTH SIDE — VOLTAGE : 208Y/120V–3PHASE–4W

DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE / TRIP	CKT. No.	A	B	C	CKT. No.	POLE / TRIP	LOAD (V.A.)	WIRE & COND. SIZE	DESCRIPTION
EXIST. ICE MACH.	EXISTING	800	1 / 20	1				2	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 122 RECEPTS.	#12 – 1/2"	1,080	1 / 20	3				4	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 121 RECEPTS.	#12 – 1/2"	1,080	1 / 20	5				6	1 / 20	720	#12 – 1/2"	RMS. BATH GFI REC.
ROOM 120 RECEPTS.	#12 – 1/2"	1,080	1 / 20	7				8	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 119 RECEPTS.	#12 – 1/2"	1,080	1 / 20	9				10	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 118 RECEPTS.	#12 – 1/2"	1,080	1 / 20	11				12	1 / 20	720	#12 – 1/2"	EXTER. GFI REC.
ROOM 117 RECEPTS.	#12 – 1/2"	1,080	1 / 20	13				14	1 / 20	540	#12 – 1/2"	EXTER. GFI REC.
ROOM 106 RECEPTS.	#12 – 1/2"	1,080	1 / 20	15				16	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 105 RECEPTS.	#12 – 1/2"	1,080	1 / 20	17				18	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 104 RECEPTS.	#12 – 1/2"	1,080	1 / 20	19				20	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 103 RECEPTS.	#12 – 1/2"	1,080	1 / 20	21				22	1 / 20	900	#12 – 1/2"	ROOMS. LIGHTS
ROOM 102 RECEPTS.	#12 – 1/2"	1,080	1 / 20	23				24	1 / 20	1,350	#12 – 1/2"	FC-1
ROOM 101 RECEPTS.	#12 – 1/2"	1,080	1 / 20	25				26	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	27				28	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	29				30	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	31				32	1 / 20	1,350	#12 – 1/2"	FC-1
FC-1	#12 – 1/2"	1,080	1 / 20	33				34	1 / 20	1,350	#12 – 1/2"	FC-1
SPACE			/	35				36				SPACE
SPACE			/	37				38				SPACE
SPACE			/	39				40				SPACE
SPACE			/	41				42				SPACE

GENERAL LIGHTING AND RECEPTACLES LOAD = 23,040 VA
DEMAND LOAD FOR GENERAL LIGHTING AND RECEPTACLES (TABLE 220–11, N.E.C.)
FIRST 20,000 VA @ 50% = 10,000 VA
3,040 VA @ 40% = 1,216 VA
TOTAL DEM. LOAD = 11,216 VA
OTHER LOAD = 13,500 VA
TOTAL CONN. LOAD = 24,716 VA

TOTAL LOAD: 24,716 VA
AMPS: 69

LOAD DATA (208Y/120V – 3PH–4W SERVICE)

NEW PANEL "MDP" (MAIN 1 OF 5)	151,520 VA
NEW PANEL "CHP" (MAIN 2 OF 5)	92,412 VA
EXIST. PANEL "WC" (MAIN 3 OF 5)	51,200 VA
EXIST. PANEL "WD" (MAIN 4 OF 5)	11,000 VA
EXIST. POOL PUMPS MAIN (MAIN 5 OF 5)	12,500 VA
TOTAL WEST WING CONN. LOAD	318,682 VA (885 A)

APPROVED FOR PERMIT
THE FOLLOWING:
BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

PROJECT #: 0304-053
PREPARED BY:

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SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PANEL SCHEDULES

DRAWN BY C.P.
CHECKED BY R.J.M.
ISSUES
07-11-03 PERMIT SET

SHEET NO.
E-2

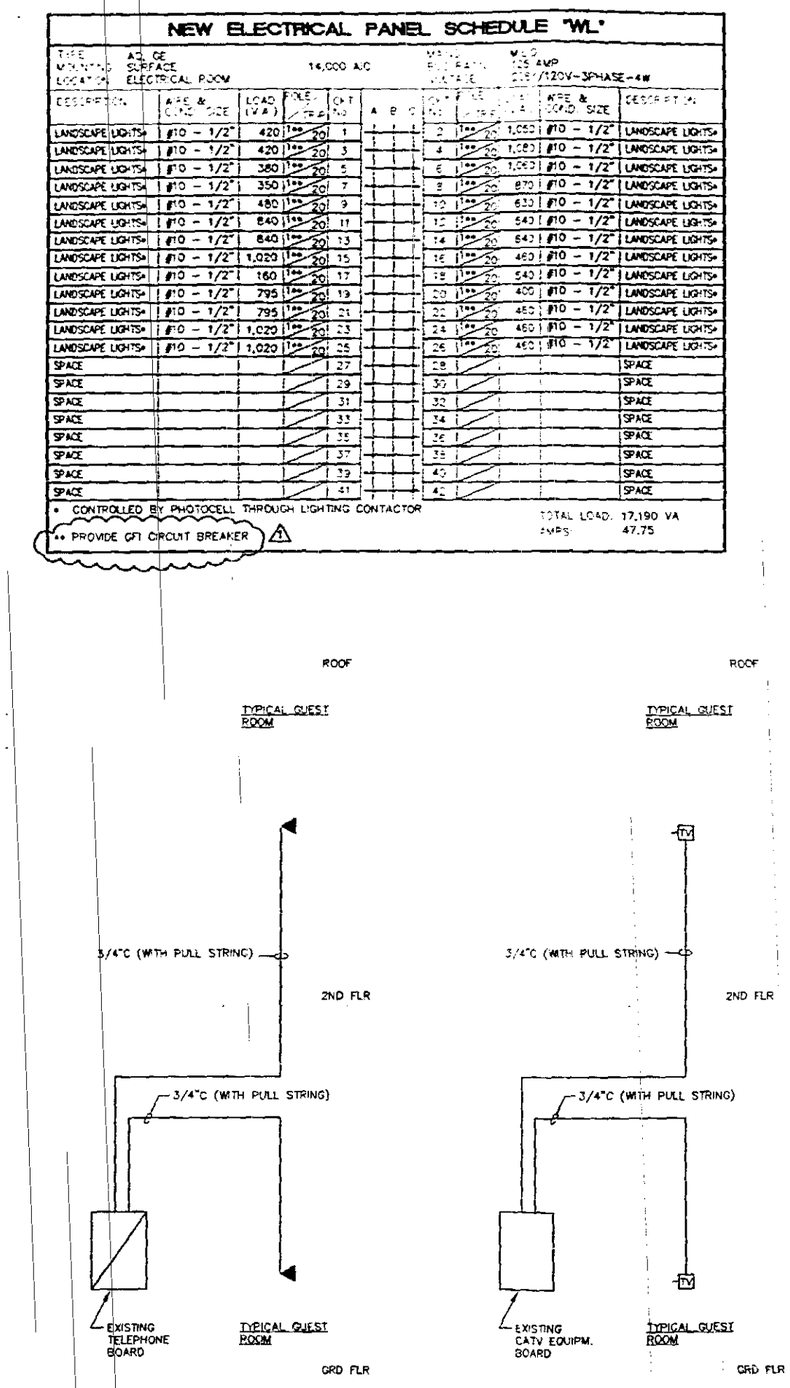
NEW ELECTRICAL PANEL SCHEDULE "WL"

TYPE: A&L GE
MOUNTING: SURFACE
LOCATION: ELECTRICAL ROOM
16,000 A.I.C
VOLTAGE: 208/120V-3PHASE-4W
M.C.B. 125 AMP

DESCRIPTION	WIRE & CONDUIT SIZE	LOAD (V.A)	POLE / TRIP	CKT NO	A	B	C	CKT NO	POLE / TRIP	LOAD (V.A)	WIRE & CONDUIT SIZE	DESCRIPTION
LANDSCAPE LIGHTS*	#10 - 1/2"	420	1** / 20	1				2	1** / 20	1,050	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	420	1** / 20	3				4	1** / 20	1,050	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	380	1** / 20	5				6	1** / 20	1,050	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	350	1** / 20	7				8	1** / 20	870	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	480	1** / 20	9				10	1** / 20	630	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	840	1** / 20	11				12	1** / 20	540	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	840	1** / 20	13				14	1** / 20	540	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	1,020	1** / 20	15				16	1** / 20	460	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	160	1** / 20	17				18	1** / 20	540	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	795	1** / 20	19				20	1** / 20	400	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	795	1** / 20	21				22	1** / 20	460	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	1,020	1** / 20	23				24	1** / 20	460	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	1,020	1** / 20	25				26	1** / 20	460	#10 - 1/2"	LANDSCAPE LIGHTS*
SPACE			/	27				28	/			SPACE
SPACE			/	29				30	/			SPACE
SPACE			/	31				32	/			SPACE
SPACE			/	33				34	/			SPACE
SPACE			/	35				36	/			SPACE
SPACE			/	37				38	/			SPACE
SPACE			/	39				40	/			SPACE
SPACE			/	41				42	/			SPACE

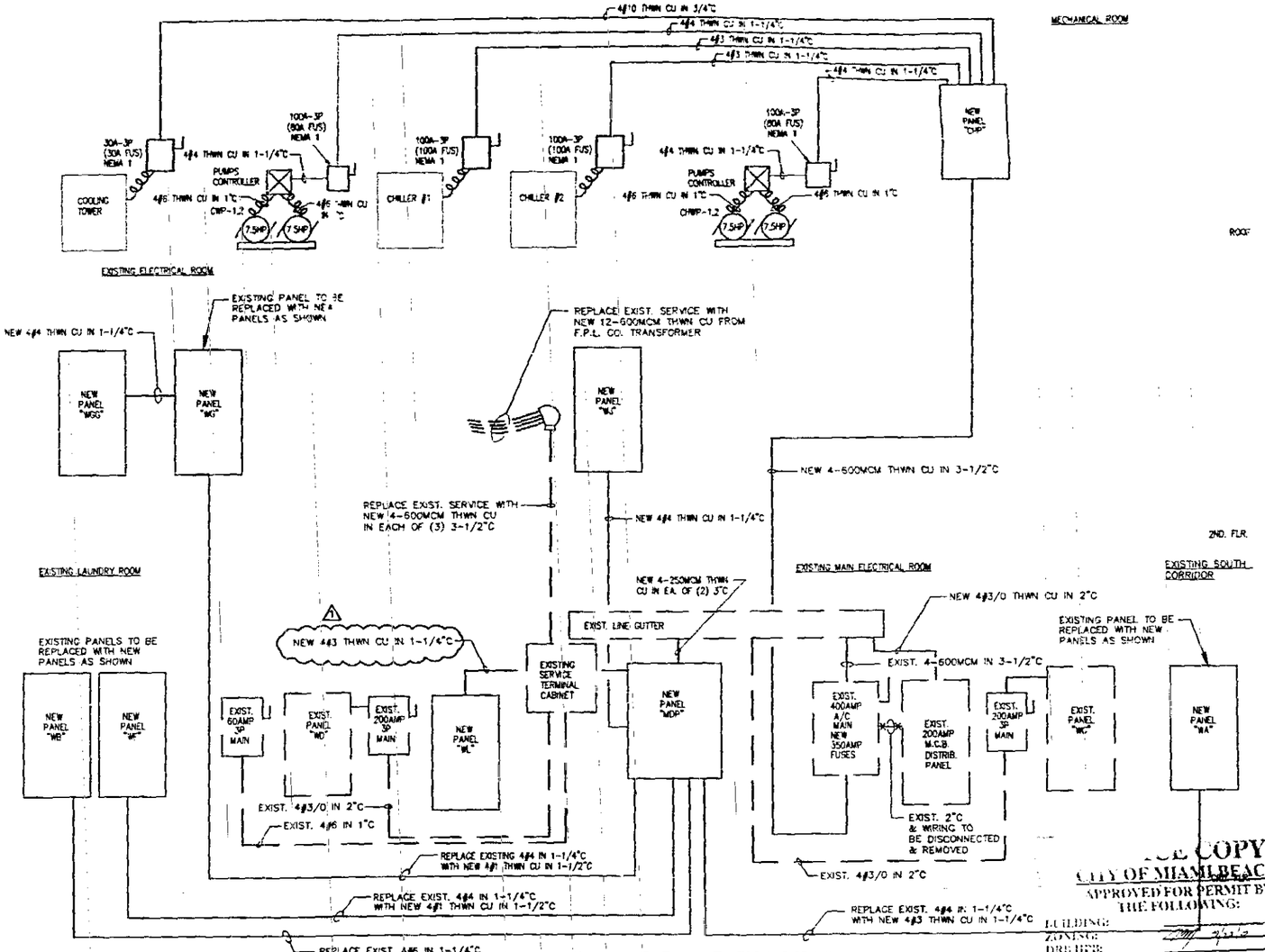
* CONTROLLED BY PHOTOCELL THROUGH LIGHTING CONTACTOR
** PROVIDE GFI CIRCUIT BREAKER (1)

TOTAL LOAD: 17,190 VA
AMPS: 47.75



TELEPHONE RISER DIAGRAM
SCALE: N.T.S.

CATV RISER DIAGRAM
SCALE: N.T.S.



ONE LINE RISER DIAGRAM
N.T.S.

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PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
RISER DIAGRAMS

DRAWN BY C.P.
CHECKED BY R.J.M.
ISSUES

SHEET NO.
E-3

uciengineering
From Vision to Reality

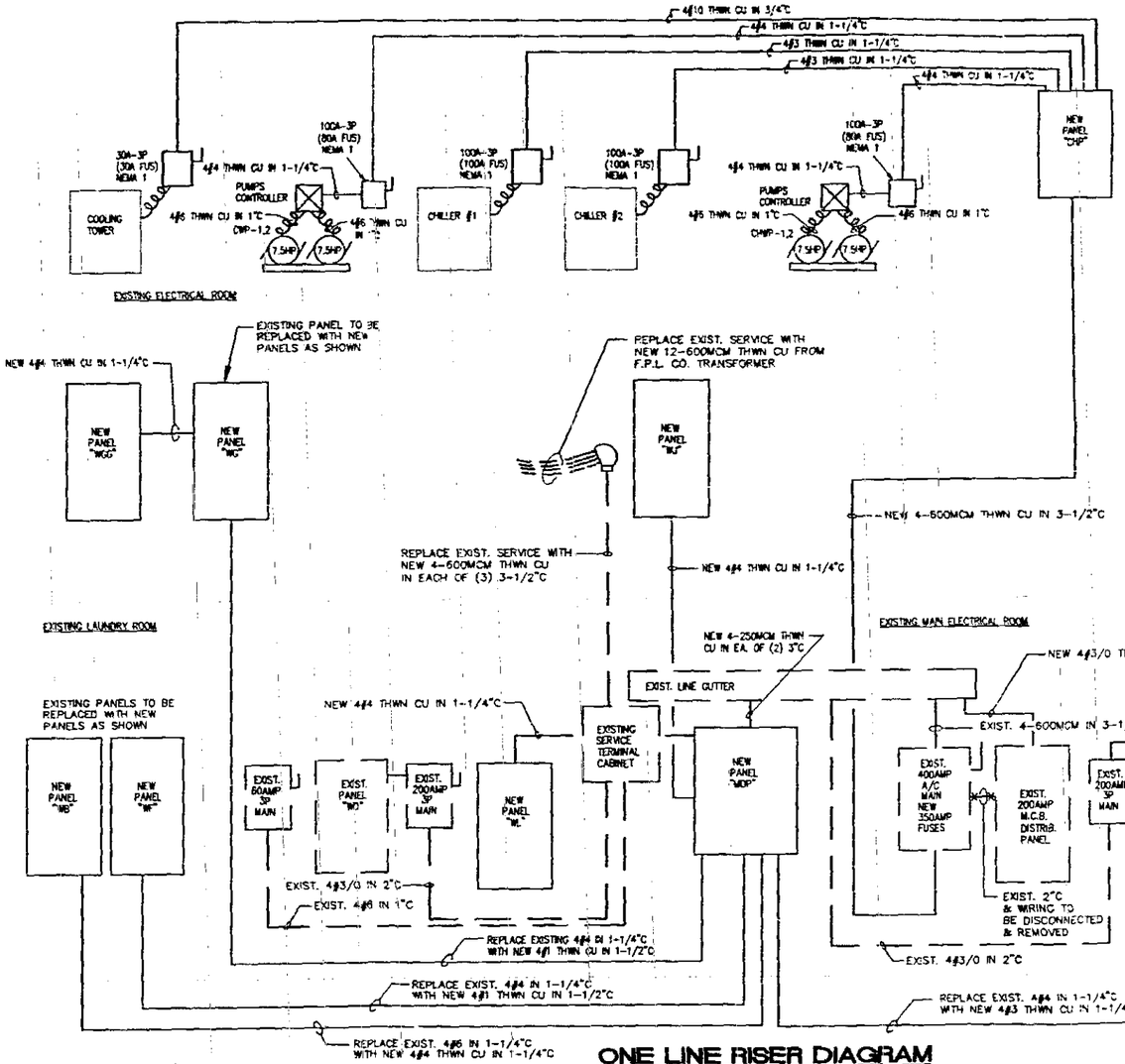
NEW ELECTRICAL PANEL SCHEDULE "WL"

TYPE: AQ. GE — MAINS: M.L.O.
MOUNTING: SURFACE — BUS RATING: 125 AMP
LOCATION: ELECTRICAL ROOM — 14,000 AIC — VOLTAGE: 208Y/120V-3PHASE-4W

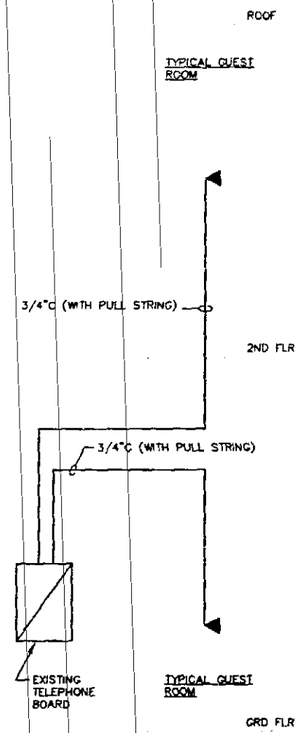
DESCRIPTION	WIRE & COND. SIZE	LOAD (V.A.)	POLE/TRIP	CKT. No.	A	B	C	CKT No.	POLE/TRIP	LOAD V.A.	WIRE & COND. SIZE	DESCRIPTION
LANDSCAPE LIGHTS*	#10 - 1/2"	420	1/20	1				2	1/20	1,050	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	420	1/20	3				4	1/20	1,080	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	380	1/20	5				6	1/20	1,080	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	350	1/20	7				8	1/20	870	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	480	1/20	9				10	1/20	630	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	840	1/20	11				12	1/20	540	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	840	1/20	13				14	1/20	540	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	1,020	1/20	15				16	1/20	450	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	180	1/20	17				18	1/20	540	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	795	1/20	19				20	1/20	420	#10 - 1/2"	LANDSCAPE LIGHTS*
LANDSCAPE LIGHTS*	#10 - 1/2"	795	1/20	21				22				SPACE
LANDSCAPE LIGHTS*	#10 - 1/2"	1,020	1/20	23				24				SPACE
LANDSCAPE LIGHTS*	#10 - 1/2"	1,020	1/20	25				26				SPACE
SPACE				27				28				SPACE
SPACE				29				30				SPACE
SPACE				31				32				SPACE
SPACE				33				34				SPACE
SPACE				35				36				SPACE
SPACE				37				38				SPACE
SPACE				39				40				SPACE
SPACE				41				42				SPACE

* CONTROLLED BY PHOTOCELL THROUGH LIGHTING CONTACTOR

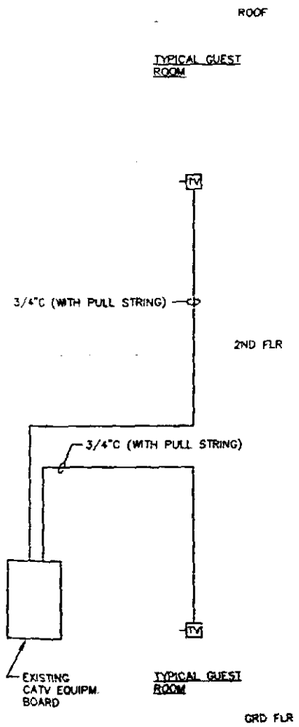
TOTAL LOAD: 15,810 VA
AMPS: 43.92



ONE LINE RISER DIAGRAM
N.T.S.



TELEPHONE RISER DIAGRAM
SCALE: N.T.S.



CATV RISER DIAGRAM
SCALE: N.T.S.

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: 3/2/03
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

Section 104.5.3
2ND. FURNANCE

PROJECT #: 0304-053
PREPARED BY:

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SEAL

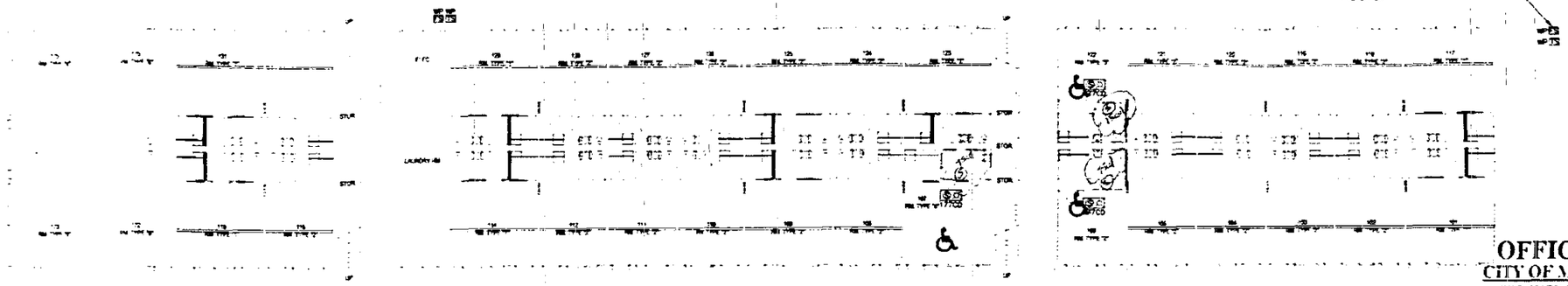
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
RISER DIAGRAMS

DRAWN BY C.P.
CHECKED BY R.J.M.

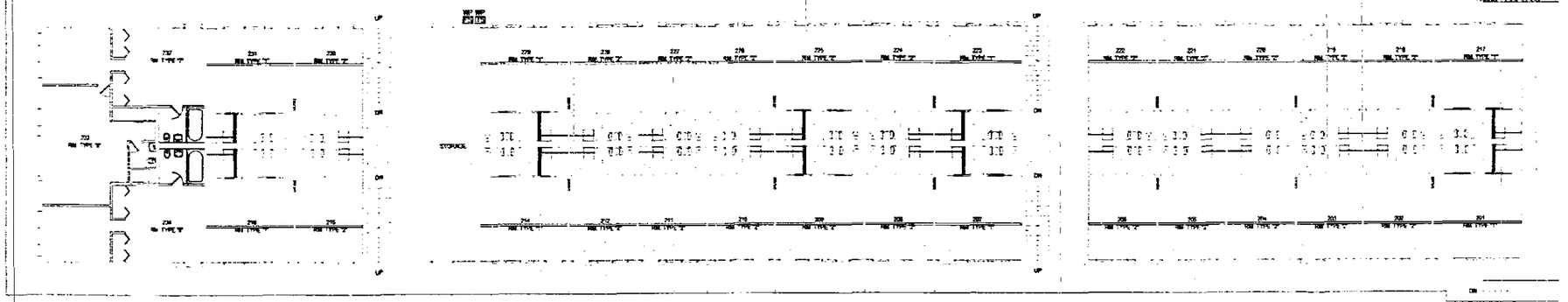
ISSUES
07-11-03 PERMIT SET

SHEET NO.
E-3



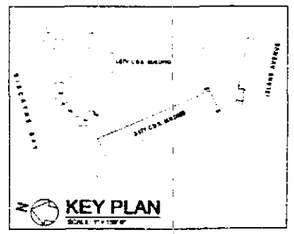
WEST WING - GROUND FLOOR - PROPOSED FLOOR PLAN

SCALE 3/32"=1'-0"



WEST WING - SECOND FLOOR - PROPOSED FLOOR PLAN

SCALE 3/32"=1'-0"



KEY PLAN

SCALE 1"=100'-0"

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

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PROJECT ARCHITECT
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305-438-1200 fax 305-438-1221

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PROPOSED FIRE ALARM
FLOOR PLANS

DRAWN BY C.P.
CHECKED BY R.J.M.
ISSUES
07-11-03 PERMIT SET

SHEET NO.
FA-1

PROJECT #: 0304-053
PREPARED BY:

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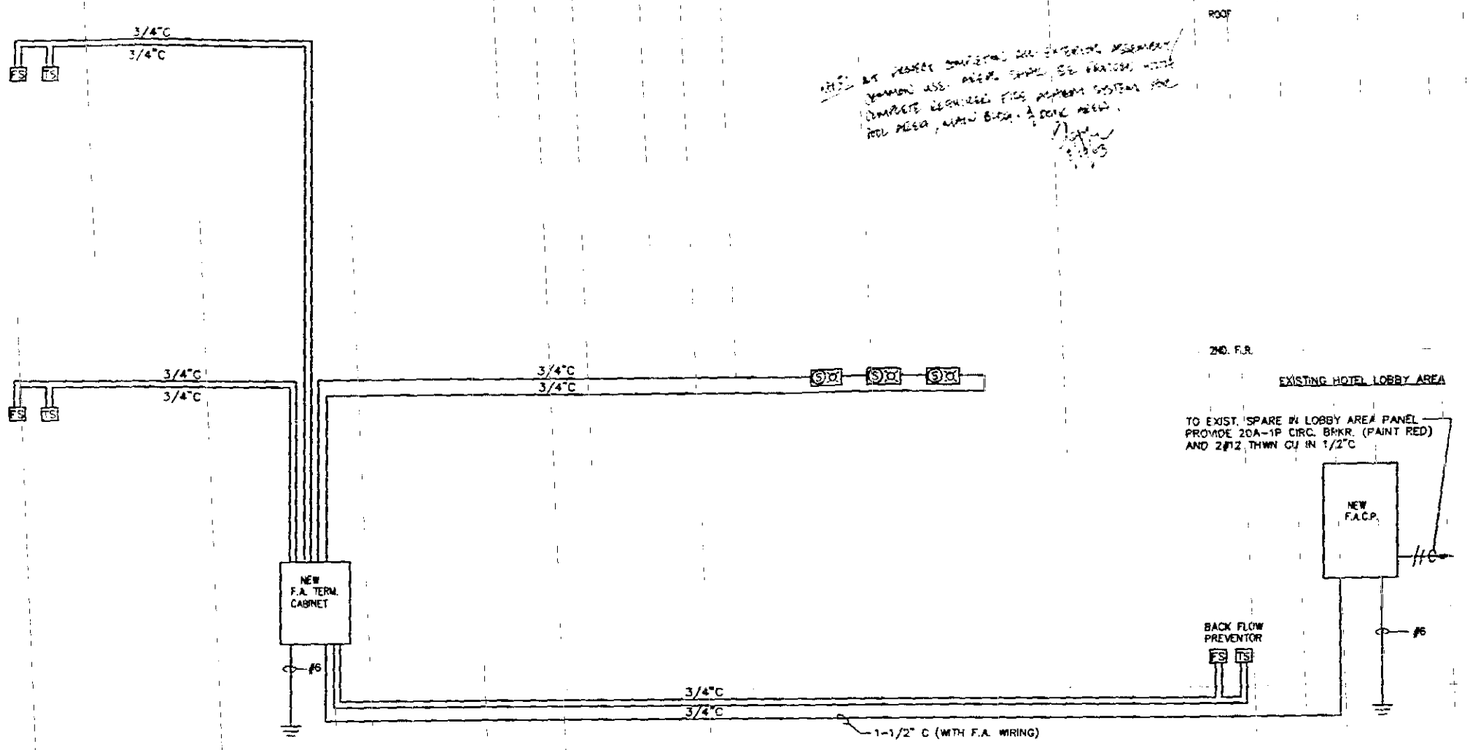

FIRE ALARM RISER DIAGRAM
N.T.S.

FIRE ALARM LEGEND			
SYMB.	DESCRIPTION	MANUF.	CAT NO.
(S)O 177CD	120V SMOKE DETECTOR AND STROBE DEVICE H.C. GUEST ROOMS	NOTIFIER GENTEX	SC24177 STROBE STROBE 9123 SMOKE DETECTOR, WITH BATTERY PACK
FACP	F.A. CONTROL PANEL	NOTIFIER	SFP-1024 WITH BOOSTER TYPE FCPS-24S6
(S)	SINGLE UNIT SMOKE DETECTOR, CONNECTED TO 120V KITCHEN OR BATHROOM LIGHTS CIRCUIT	GENTEX	9123 WITH BATTERY PACK
FS	FLOW SWITCH		
TS	TAMPER SWITCH		

FIRE ALARM WIRING LEGEND
INITIATING DEVICES – 16-2 TSP
SIGNAL DEVICES – 2#14 THHN
POWER – 2#14 THHN

BATTERY CALCULATIONS

ITEM	DESCRIPTION	STANDBY CURRENT PER UNIT (AMPS)	QTY	TOTAL STANDBY CURRENT (AMPS)	ALARM CURRENT PER UNIT (AMPS)	TOTAL ALARM CURRENT (AMPS)
A	F.A.C.P.	0.2000	1	0.2000	0.2000	0.2000
B	ANNUNCIATOR	0.2000	1	0.2000	0.2000	0.2000
C	STROBES		9	0.0000	0.0780	0.7020
			TOTAL SYST STANDBY CURRENT	0.4000	TOTAL SYST ALARM CURRENT	1.1020
	REQUIRED STANDBY CURRENT	HOURS 24	X	AMP 0.4000	=	AMP-HOURS 9.6
	REQUIRED ALARM CURRENT	33/1/60=HOURS 0.0833	X	AMP 1.1020	=	AMP-HOURS 0.092
	TOTAL REQUIRED CURRENT (AMP-HOURS)	REQUIRED STANDBY CURRENT 9.600	+	REQUIRED ALARM CURRENT 0.092	=	TOTAL REQUIRED AMP-HOURS 9.692

NOTE: BATTERY CALCULATIONS INCLUDE 4 STROBES FOR EAST WING AND 2 SPARE STROBES FOR FUTURE

FIRE ALARM NOTES

1) THE FIRE ALARM SYSTEM IS U.L. LISTED AS POWER LIMITED & OF THE GENERAL ALARM TYPE PER NFPA 72. ALL EQUIPMENT IS U.L. LISTED FOR ITS INTENDED USE.
2) THE FIRE ALARM PANEL IS PROVIDED WITH STANDBY BATTERY PER NFPA 72 WITH 24 HOURS STANDBY AND 5 MINUTES ALARM. SHOULD LOSS OF NORMAL 120VAC OPERATING POWER OCCUR, THE FIRE ALARM PANEL WILL AUTOMATICALLY TRANSFER TO THE STANDBY BATTERY.
3) A BREAK IN ANY FIELD WIRING OR GROUNDING OF ANY CONDUCTOR WILL RESULT IN THE ACTIVATION OF THE FIRE ALARM PANEL TROUBLE BUZZER, WHICH CAN BE SILENCED BY OPERATING THE "TROUBLE SILENCE" BUTTON ON THE FIRE ALARM PANEL.
4) POWER UP AND POWER DOWN OF THE FIRE ALARM PANEL MUST BE DONE IN THE PROPER SEQUENCE:
   POWER DOWN: DISCONNECT BATTERY AND THEN TURN OFF THE AC POWER AT THE BREAKER.
   POWER UP: TURN ON THE AC POWER AT THE BREAKER AND THEN CONNECT THE BATTERY.
   NOTE: DO NOT DISCONNECT THE AC POWER FEED FROM THE TERMINAL BLOCK TO DISCONNECT POWER.
5) THE 120VAC POWER FEED FOR THE FIRE PANEL AND BOOSTER POWER SUPPLIES MUST BE FROM A DEDICATED EMERGENCY PANEL BREAKER, AND THE BREAKER MUST BE IDENTIFIED THAT IT IS FOR THE FIRE ALARM SYSTEM.

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BLDG:
CURRENT:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

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SEAL

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PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
FIRE ALARM RISER, NOTES AND SYMBOLS

DRAWN BY C.P.
CHECKED BY R.J.M.
ISSUES
07-11-03 PERMIT SET

SHEET NO.
FA-2

PROJECT #: 0304-053
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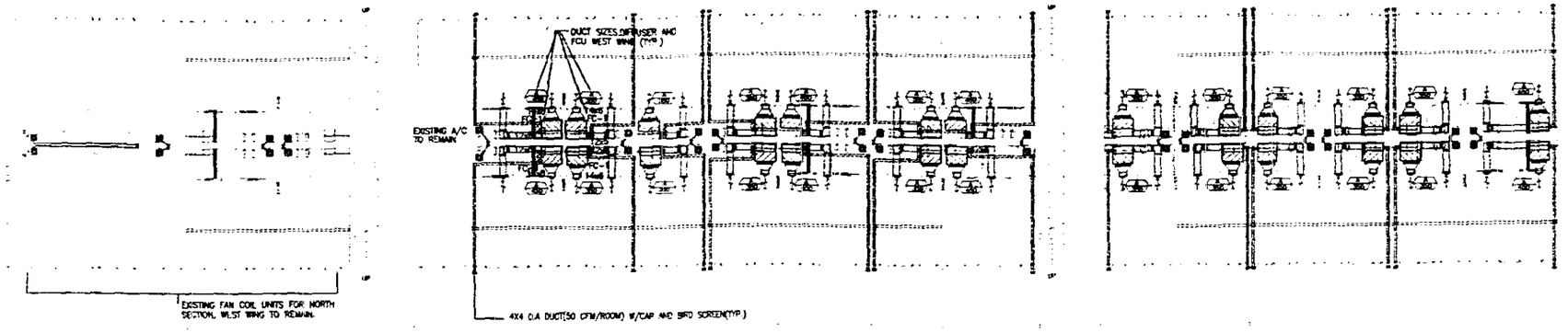
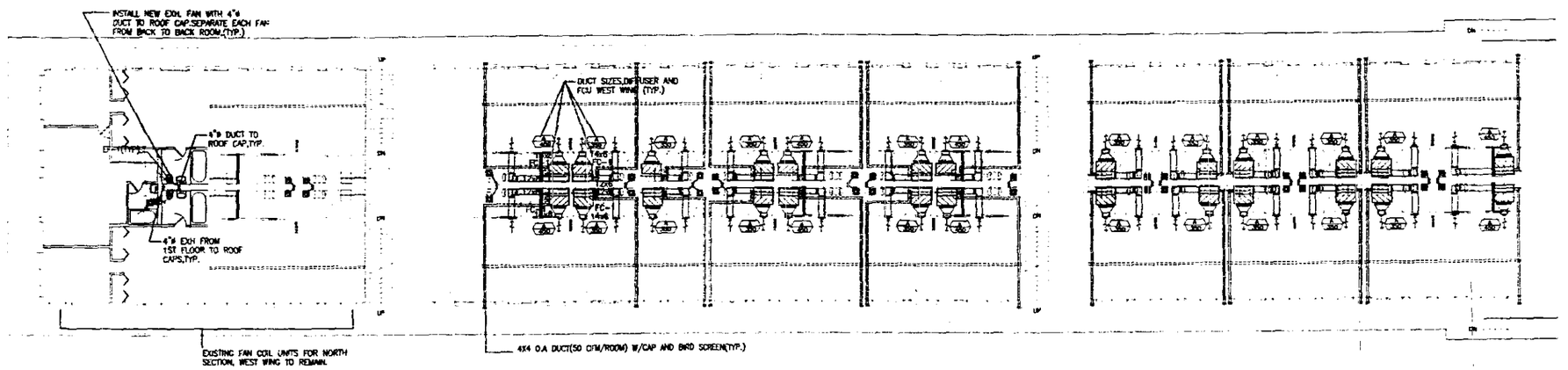


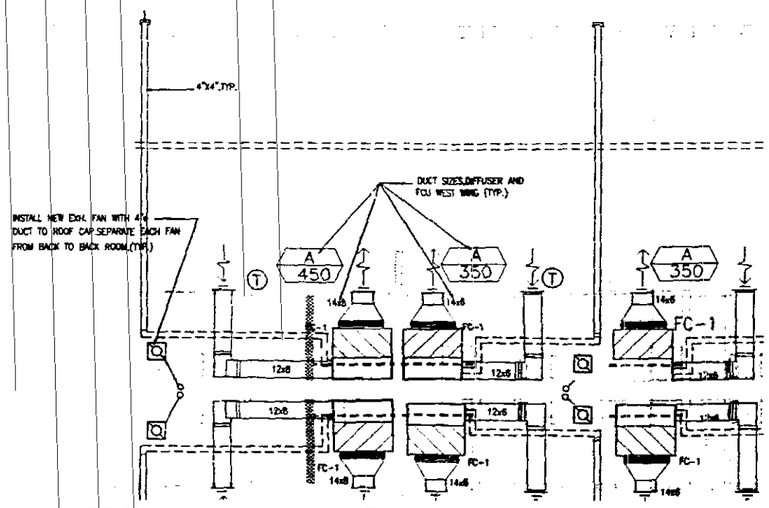
WEST WING - GROUND FLOOR - FLOOR PLAN

SCALE: 3/32"=1'-0"



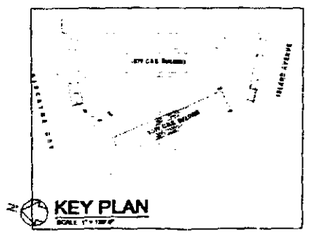
WEST WING - SECOND FLOOR - FLOOR PLAN

SCALE: 3/32"=1'-0"



WEST WING - H.V.A.C. (TYP.)

SCALE: 1/4"=1'-0"



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING: 2/15/07
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

PROJECT #: 0304-053

PREPARED BY:
UCI Engineering Inc.
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PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222, MIAMI, FL 33137
305-438-1200 fax 305-438-1221

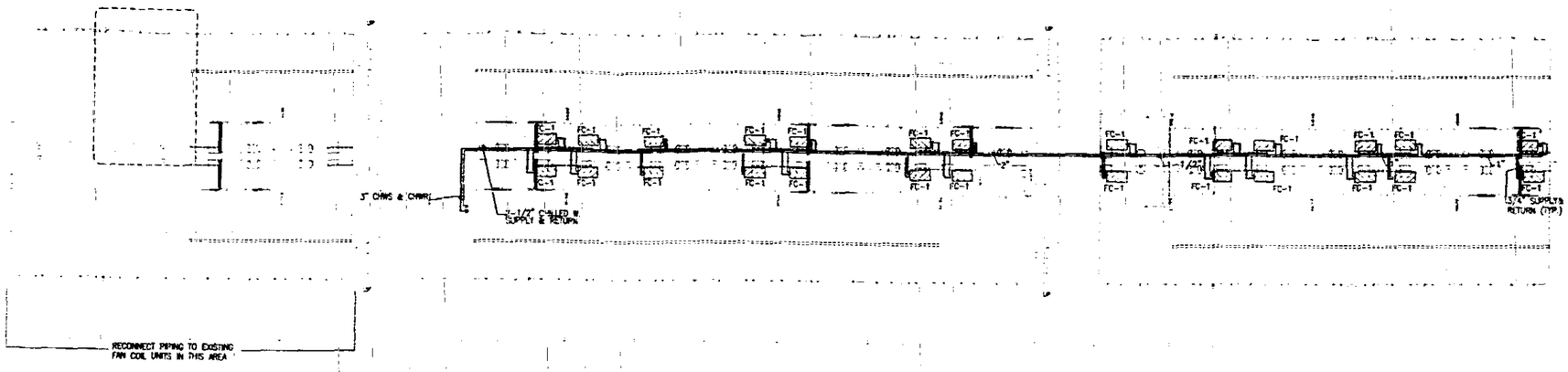
SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
H.V.A.C FLOOR PLANS

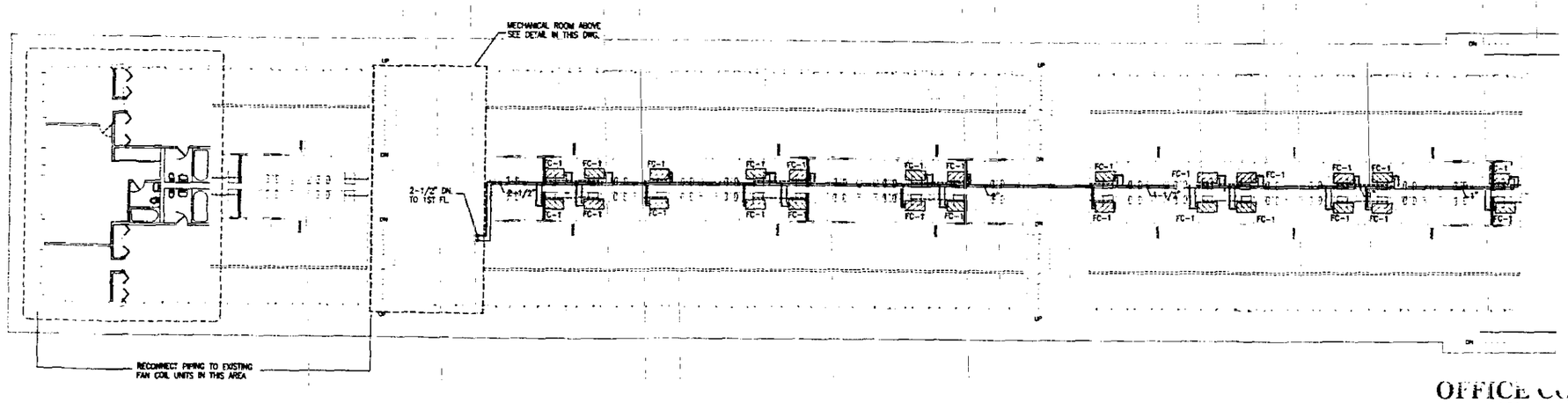
DRAWN BY E.Z
CHECKED BY R.J.M
ISSUES
07-11-03 PERMIT SET

SHEET NO.
M-1



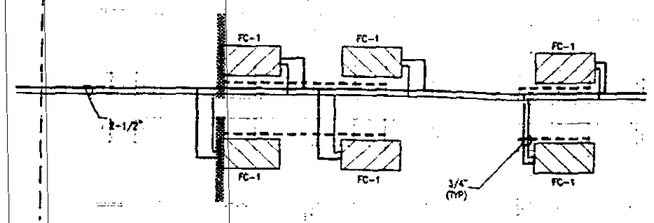
WEST WING - GROUND FLOOR - PIPING FLOOR PLAN

SCALE: 3/32"-1'-0"



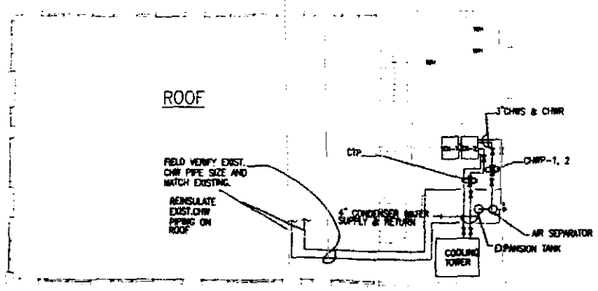
WEST WING - SECOND FLOOR - PIPING FLOOR PLAN

SCALE 3/32"-1'-0"



WEST WING - PIPING FLOOR PLAN (TYP.)

SCALE: 1/4"-1'-0"



3RD FLR. MECHANICAL ROOM

SCALE: 3/32"-1'-0"

KEY PLAN

SCALE: 1"=30'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

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FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

PROJECT #: 0304-053

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DRAWING TITLE
WEST WING
H.V.A.C PIPING FLOOR PLANS

DRAWN BY E.Z
CHECKED BY R.J.M
ISSUES
07-11-03 PERMIT SET

SHEET NO.
M-1A

AIR HANDLING UNIT SCHEDULE

UNIT NUMBER	BLOWER SECTION: SUPPLY CFM	TOT. S.P.	O.A. CFM	FAN TYPE	HP	VOLT	Ø	COOLING COIL: ENT. DEG. °F D.B.	ENT. W.B.	LEAVING DEG °F D.B.	LEAVING W.B.	AIR PRESS DROP IN W.C.	FACE VEL. (FT/MIN)	TOTAL CAP (MBH)	SENSIBLE CAP (MBH)	CHILLED WATER: TYPE	ENT TEMP	LEAVING TEMP	GPM	COIL CONSTRUCTION: ROWS	FINS PER INCH	DRIP LIP TYPE	FILTERS: FILTER TYPE	FILTER AREA	FACE VELOCITY	MANUFACTURER & MODEL	PIPING BRANCH DIAMETER	ACCESSORIES	REMARKS
FC-1	540	.25	50	FC	[illegible]	208	1	[illegible]	[illegible]	[illegible]	[illegible]			[illegible]	[illegible]	CW	45	55	[illegible]	3	—	—	T.A.	—	—	[illegible] MODEL [illegible]-3	3/4"	PROVIDE WITH A 1.0 KW HEATER	HORIZONTAL CONCEALED

NOTE: CONTRACTOR SHALL PROVIDE SUBMITTALS OF ALL A/C EQUIPMENT AND CONTROL VALVES TO ENGINEER FOR REVIEW BEFORE INSTALLATION.

CHILLER SCHEDULE

CHILLER NUMBER	NOMINAL CAPACITY TONS	VOLTAGE/PHASE	EVAPORATOR SECTION: QUANTITY GPM	TEMP ENTERING DEG. F	TEMP LEAVING DEG. F	% GLYCOL MIXTURE	PRESSURE DROP PSI/FT H2O	NUMBER OF CIRCUITS	CONDENSER SECTION: TEMP ENTERING DEG. F	TEMP LEAVING DEG. F	NUMBER OF ROWS UNIT	FINS PER INCH	FACE AREA	COND. FAN TYPE	COND. FAN QUANTITY	COND. FAN FLA	COMPRESSOR ELECTRIC DATA: MCA	MOPD	RLA	LRA	MANUFACTURER & MODEL	REMARKS	ACCESSORIES
CH-1	30	208V/3ø	145	55	45	[illegible]	[illegible]	2	95	—							178	112	69	447	CLIMA COOL MODEL[illegible]-30-A	1,444 lbs	

PUMP SCHEDULE

PUMP NO.	GPM	HEAD	HP	VOLTS/PHASE	MODEL	MANUFACTOR	IMPELLER	COMMENTS
CH-1,2	145	70 FT	7.5	208V/3ø	4382, 4x4x10	ARMSTRONG	8.78 IN	DUPLEX PUMP ARRANGEMENT W/ CONTROL FOR ALTERNATE USE
CT-1,2	180	80 FT	7.5	208V/3ø	4382, 4x4x10	ARMSTRONG	8.36 IN	DUPLEX PUMP ARRANGEMENT W/ CONTROL FOR ALTERNATE USE

1- PROVIDE SUCTION GUIDE ARMSTRONG MODEL SG-44. 4IN. INLET AND OUTLET SIZE
2- PROVIDE FLOTREX ARMSTRONG MODEL FTV-3A-F, 2.5 IN. INLET & 3IN. OUTLET SIZE
3- PROVIDE EXPANSION TANK ARMSTRONG MODEL AX-15V
4- PROVIDE A VORTEX AIR SEPARATOR ARMSTRONG MODEL VA-4

FAN SCHEDULE

FAN	CFM	SP	HP	VOLT/PHASE	MODEL	MFR	ACCESORIES
EF-1	50	0.1"	1/4	120V/1ø	SP-5	GREENHECK	

SUPPLY/RETURN AIR DIFFUSER SCHEDULE

DIFFUSER	NECK SIZE	PATTERN	MANUFACTURER	CATALOG	COMMENTS
A			TITUS	300FL	16x6 SUPPLY REGISTER
B			TITUS	300FL	12x6 SUPPLY REGISTER
1			TITUS	350FL	18x6 RETURN REGISTER
2			TITUS	350FL	12x6 RETURN REGISTER

COOLING TOWER SCHEDULE

	UNIT DESIGNATOR	—
	LOCATION	MECHANICAL ROOM
	TOWER TYPE	SIDE DISCHARGE
	NUMBER OF CELLS	1
	OPERATING WEIGHT, LBS.	2548
PERFORMANCE	NOMINAL CAPACITY, TONS	60
PERFORMANCE	WATER FLOW, GPM	180
PERFORMANCE	ENTERING/LEAVING WATER TEMP. °F	95/85
PERFORMANCE	AMBIENT AIR TEMP. °F	—
PERFORMANCE	STATIC LIFT REQ'D FT H2O	7.89
FAN SECTION	DRIVE	—
FAN SECTION	NUMBER OF FANS	1
FAN SECTION	FAN WHEEL TYPE & DIAMETER	4 BLADES, 4 FT
FAN SECTION	FAN MOTOR TYPE	—
FAN SECTION	FAN MOTOR HP	5
FAN SECTION	FAN MOTOR SPEED, RPM	678
FAN SECTION	ELECTRICAL SERVICE ø/Hz/V	3/60/208
	VIBRATION ISOLATOR TYPE (BY TOWER MFR.)	
	MIN. STATIC DEFLECTION, IN	—
	MANUFACTURER AND MODEL	MARLEY AQUATOWER
	MODEL	494C

GENERAL NOTES

A- SCOPE OF WORK
WORK SHALL INCLUDE ALL LABOR, EQUIPMENT AND PERFORMING ALL OPERATIONS IN CONNECTION WITH THE FURNISHING OF ALL AIR CONDITIONING, HEATING AND VENTILATION WORK AS SHOWN ON DRAWINGS, HEREIN SPECIFIED AND/OR EQUAL EQUIPMENT FOR APPROVAL.

B- CHILLED WATER PIPING AND INSULATION
MAIN HORIZONTAL RUNS IN COPPER TYPE "L" WITH 1-1/2" FOAMGLASS INSULATION. RUN OUTS TO FAN COIL UNITS MUST BE SOFT COPPER WITH 1" ARMAFLEX INSULATION. CONNECTIONS BETWEEN THE MAIN RUN AND THE SOFT COPPER HAVE VICTAULIC CONNECTIONS.

C- GUARANTEE
CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE COVERING ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

D- CONTRACTOR SHALL PROVIDE POSITIVE MEANS FOR BALANCING EACH INDIVIDUAL AIR CONDITIONING SUPPLY AIR OUTLET, AS PER SCHEDULES AND DRAWING. SYSTEMS SHALL BE BALANCED AGAINST THE ACTUAL INSTALLED STATIC PRESSURE.

E- BEFORE SUBMITTING HIS FINAL PROPOSAL, THE CONTRACTOR SHALL EXAMINE THE SITE OF THE PROPOSED WORK TO DETERMINE THE EXISTING CONDITIONS THAT MAY AFFECT HIS WORK AS HE WILL BE RESPONSIBLE FOR ANY ASSUMPTIONS MADE BY HIM IN REGARDS THERETO.

F- ANY APPARATUS, APPLIANCE, MATERIALS, WORK OR INCIDENTAL ACCESSORIES OR MINOR DETAILS NOT SHOWN BUT NECCESARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NO PARTICULARLY SPECIFIED SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL EXPENSE FOR THE OWNER.

G- DUCTWORK
1) DUCTWORK SHALL BE FIBERBOARD FOR INDOOR AIR CONDITIONED SUPPLY AND RETURN DUCTWORK AND METAL FOR EXHAUST AND NON-CONDITIONED OUTSIDE.
2) GLASS FIBER DUCTWORK SHALL BE OWENS-CORNING RECTANGULAR DUCT SYSTEM TYPE HD-FR OR EQUAL 1-1/2" INSULATION R-6.5, CONFORMING TO APPLICATION MANUAL PUB # 5-GL-2024 & DESIGN GUIDE, PUB # 5-IN-2517.
3) METAL DUCTS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE LOW VELOCITY DUCT CONSTRUCTION STANDARDS, PUBLISHED BY THE "SHEET METAL AND AIR CONDITIONED CONTRACTORS NATIONAL ASSOCIATION, INC." AND THE LATEST PUBLICATION OF GUIDE & DATA BOOK OF THE "AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS".

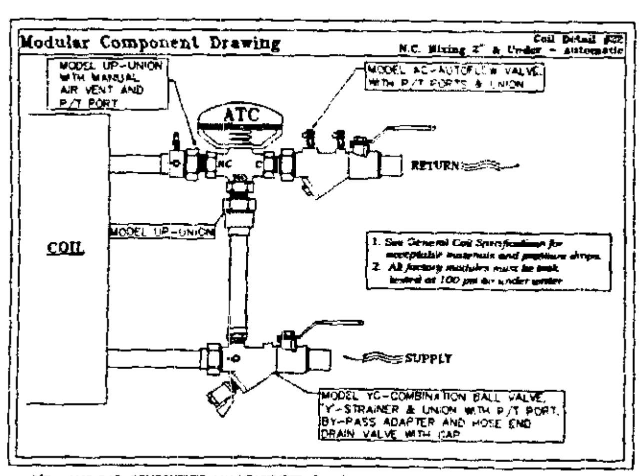
H- CONTRACTOR SHALL ASUME RESPONSIBILITY FOR ALL COSTS INCURRED RESULTING FROM SUBSTITUTION OF EQUIPMENT AS WELL AS THE PERFORMANCE OF SUCH EQUIPMENT.

I- VIBRATION ISOLATION
PROVIDE SUPPORTS OR MOUNTS FOR ALL EQUIPMENT LOCATED WITHIN THE BUILDING STRUCTURE POWERED BY ONE HORSEPOWER OR LARGER MOTOR. FLEXIBLE PIPING CONNECTIONS SHALL BE PROVIDED FOR ALL PIPING CONNECTED TO EQUIPMENT MOUNTED OR SUPPORTED BY VIBRATION ISOLATORS.

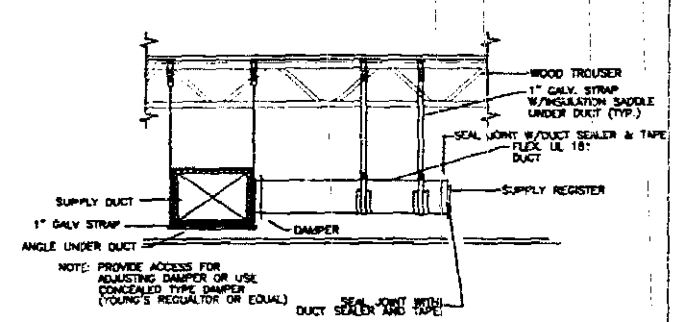
J- TESTS
ALL TESTS SHALL BE PERFORMED AS REQUIRED DURING THE DIFFERENT STAGES OF WORK AND A FINAL 24 HOURS MINIMUM RUNNING TEST SHALL BE DONE AFTER ALL OTHER TESTS AND BALANCING OPERATIONS HAVE BEEN DONE.

K- CONDENSATE PIPING
CONDENSATE PIPING SHALL BE PVC SCHED. 40 EXCEPT IN RETURN AIR PLENUM SPACES WHERE COPPER PIPING MUST BE USED.

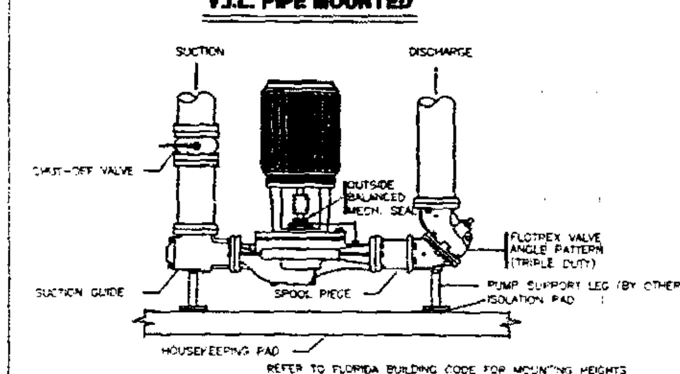
L- TEST AND BALANCE OF ALL EQUIPMENT SHALL BE PERFORMED BY AN INDEPENDENT TEST AND BALANCE COMPANY WITH A MINIMUM OF 5 YEARS EXPERIENCE IN PROJECTS OF THIS SIZE OR LARGER. THREE COPIES OF THE TEST AND BALANCE REPORT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.



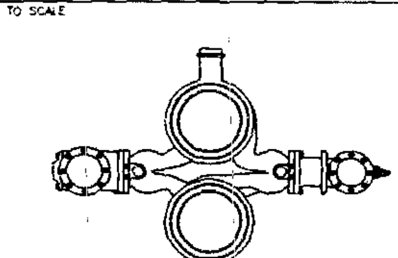
NOTE: MODULAR COMPONENTS MANUFACTURED BY FDI



DUCT CONNECTION DETAIL
N.T.S

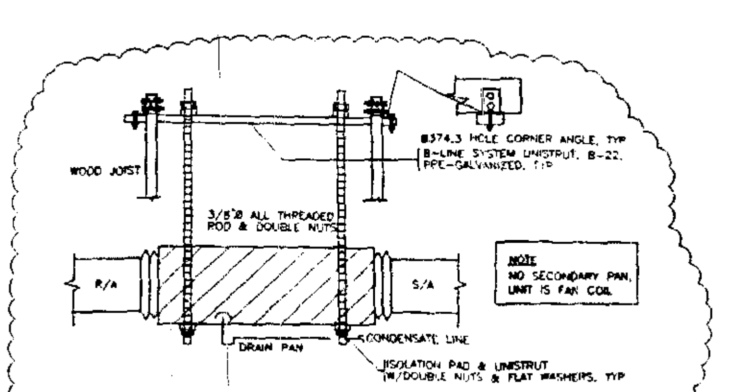


VERTICAL IN-LINE PUMP INSTALLATION DETAIL
NOT TO SCALE

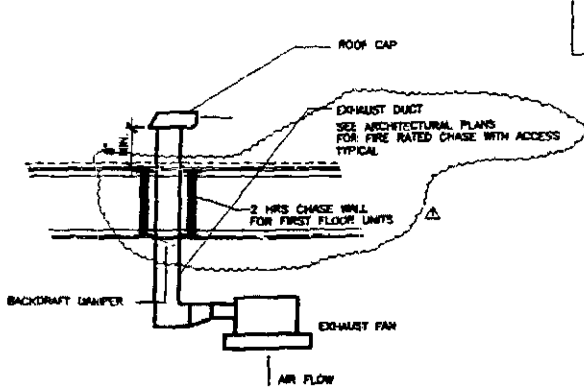


VERTICAL IN-LINE PUMP TOP VIEW
NOT TO SCALE

DWG.# D-980918



HORIZONTALLY MOUNTED FAN COIL DETAIL
N.T.S.



DETAIL AT ROOF CAP
N.T.S

TYPICAL SPECIFICATIONS

MODEL "AX-15V" ASME PRE-CHARGED DIAPHRAGM EXPANSION TANK
WORKING PRESSURE: 125psig
TANK SHALL BE PROVIDED WITH A HEAVY-DUTY BUTYL DIAPHRAGM. TANK SHALL BE PROVIDED WITH A RING BASE, LIFTING RINGS, AND A NPT SYSTEM CONNECTION. AN AIR CHARGING VALVE CONNECTION (STANDARD TIRE VALVE) SHALL BE ALSO PROVIDED TO FACILITATE ADJUSTING PRE-CHARGE PRESSURE TO MEET THE ACTUAL SYSTEM CONDITIONS.

TYPICAL SPECIFICATIONS

VORTEX AIR SEPARATOR - VA-4 MODEL
WORKING PRESSURE: 30PSI
180 G.P.M.

HVAC DESIGN REQUIRES	YES	NO
DUCT SMOKE DETECTOR		X
FIRE DAMPERS		X
SMOKE DAMPERS		X
FIRE RATED ENCLOSURE		X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		X
FIRE STOPPING	X	
SMOKE CONTROL		X

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
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FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
... per ... Section 104.5.4
... FOR CODE COMPLIANCE

uciengineering

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40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY M.G.
CHECKED BY R.J.M.

ISSUES
07-11-03 PERMIT SET
08-29-03 S.D.C.

SHEET NO.
M-2

AIR HANDLING UNIT SCHEDULE

UNIT NUMBER	BLOWER SECTION: SUPPLY CFM	TOT. S.P.	O.A. CFM	FAN TYPE	HP	VOLT	∅	COOLING COIL: ENT. DEG. °F D.B.	ENT. DEG. °F W.B.	LEAVING DEG. °F D.B.	LEAVING DEG. °F W.B.	AIR PRESS. DROP IN. W.G.	FACE VEL. (FT./MIN.)	TOTAL CAP. (MBH)	SENSIBLE CAP. (MBH)	CHILLED WATER: TYPE	ENT. TEMP	LEAVING TEMP	GPM	COIL CONSTRUCTION: ROWS	FINS PER INCH	CIRCUIT TYPE	FILTERS: FILTER TYPE	FILTER AREA	FACE VELOCITY	MANUFACTURER & MODEL	PIPING BRANCH DIAMETER	ACCESSORIES	REMARKS
FC-1	540	.25	50	FC	1/6	208	1	80.0	67.00	59.6	57.8			16.2	11.9	FW	45	55	3.0	3	—	—	T.A.	—	—	[illegible] MODEL 8YPHBC-3	3/4"	PROVIDE WITH A.T.O.K.W. HEATER	HORIZONTAL CONCEALED

NOTE: CONTRACTOR SHALL PROVIDE SUBMITTALS OF ALL A/C EQUIPMENT AND CONTROL VALVES TO ENGINEER FOR REVIEW BEFORE INSTALLATION.

CHILLER SCHEDULE

CHILLER NUMBER	NOMINAL CAPACITY TONS	VOLTAGE/PHASE	EVAPORATOR SECTION: QUANTITY GPM	TEMP. ENTERING DEG. F	TEMP. LEAVING DEG. F	% GLYCOL MIXTURE	PRESSURE DROP FT. H2O	NUMBER OF CIRCUITS	CONDENSER SECTION: TEMP. ENTERING DEG. F	TEMP. LEAVING DEG. F	NUMBER OF ROWS/CKT	FINS PER INCH	FACE AREA	COND. FAN TYPE	COND. FAN QUANTITY	COND. FANS FLA	COMPRESSOR ELECTRIC DATA: MCA	MOPD	RLA	LRA	MANUFACTURER & MODEL	REMARKS	ACCESSORIES
CH-1	30	208V/3∅	145	55	45	0%	5.2 15	2	95	—							78	112	69	447	CLIMA COOL MODELMC2-30-A		

PUMP SCHEDULE

PUMP NO	GPM	HEAD	HP	VOLTS/PHASE	MODEL	MANUFACTOR	IMPELLER	COMMENTS
CH-1,2	145	70 FT	7.5	208V/3∅	4382, 4x4x10	ARMSTRONG	9.36 IN	DUPLEX PUMP ARRANGEMENT W/CONTROL FOR ALTERNATE USE
CT-1,2	180	80 FT	7.5	208V/3∅	4382, 4x4x10	ARMSTRONG	9.36 IN	DUPLEX PUMP ARRANGEMENT W/CONTROL FOR ALTERNATE USE

1- PROVIDE SUCTION GUIDE ARMSTRONG MODEL SG-44 4IN INLET AND OUTLET SIZE
2- PROVIDE FLOTREX ARMSTRONG MODEL FTV-3A-F, 2.5 IN INLET & 3IN OUTLET SIZE
3- PROVIDE EXPANSION TANK ARMSTRONG MODEL AX-15V
4- PROVIDE A VORTEX AIR SEPARATOR ARMSTRONG MODEL VA-4

FAN SCHEDULE

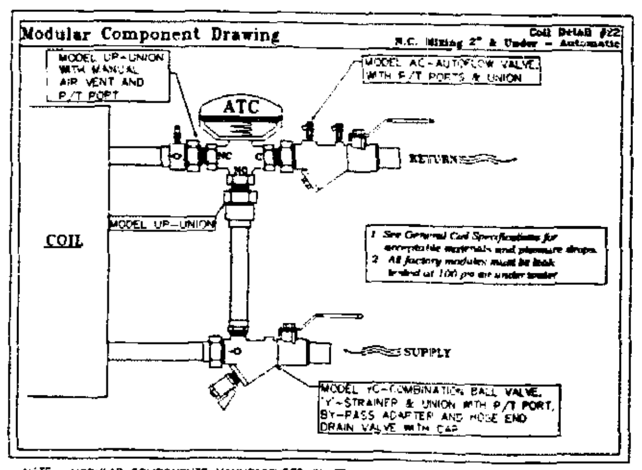
FAN	CFM	S.P.	HP	VOLT/PHASE	MODEL	MFR	ACCESORIES
EF-1	50	0.1"	1/4	120V/1∅	SP-5	GREENHECK	

SUPPLY/RETURN AIR DIFFUSER SCHEDULE

DIFFUSER	NECK SIZE	PATTERN	MANUFACTURER	CATALOG	COMMENTS
A			TITUS	300FL	16x8 SUPPLY REGISTER
B			TITUS	300FL	12x6 SUPPLY REGISTER
1			TITUS	350FL	16x6 RETURN REGISTER
2			TITUS	350FL	12x6 RETURN REGISTER

COOLING TOWER SCHEDULE

	UNIT DESIGNATOR	—
	LOCATION	MECHANICAL ROOM
	TOWER TYPE	SIDE DISCHARGE
	NUMBER OF CELLS	1
	OPERATING WEIGHT, LBS	2948
PERFORMANCE	NOMINAL CAPACITY, TONS	60
PERFORMANCE	WATER FLOW, GPM	180
PERFORMANCE	ENTERING/LEAVING WATER TEMP °F	95/85
PERFORMANCE	AMBIENT AIR TEMP °F	—
PERFORMANCE	STATIC LIFT REQ'D FT H2O	7.89
FAN SECTION	DRIVE	—
FAN SECTION	NUMBER OF FANS	1
FAN SECTION	FAN WHEEL TYPE & DIAMETER	4 BLADES, 4 FT
FAN SECTION	FAN MOTOR TYPE	—
FAN SECTION	FAN MOTOR HP	5
FAN SECTION	FAN MOTOR SPEED, RPM	678
FAN SECTION	ELECTRICAL SERVICE ∅/Hz/V	3/60/208
	VIBRATION ISOLATOR TYPE (BY TOWER MFR.)	
	MIN. STATIC DEFLECTION, IN	—
	MANUFACTURER AND MODEL	MARLEY AQUATOWER
	MODEL	494C



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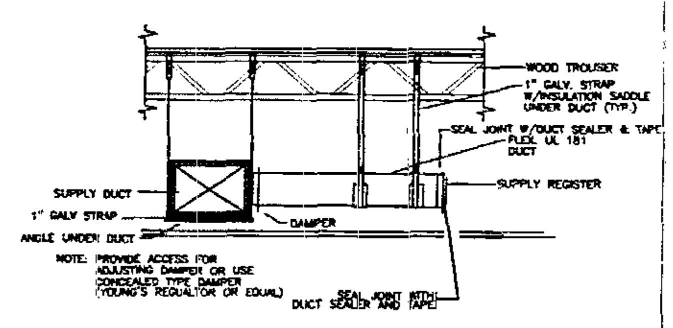
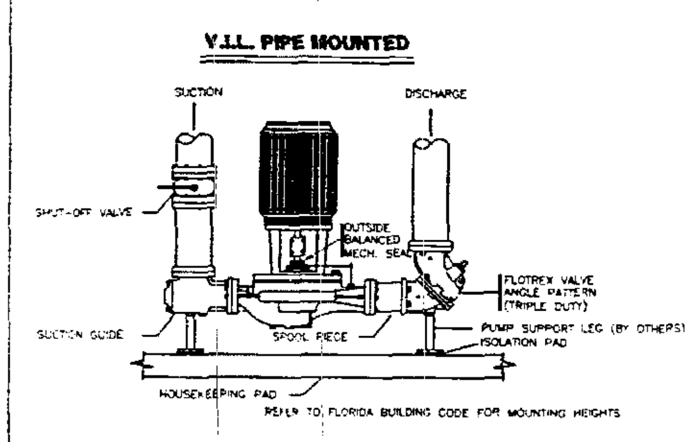
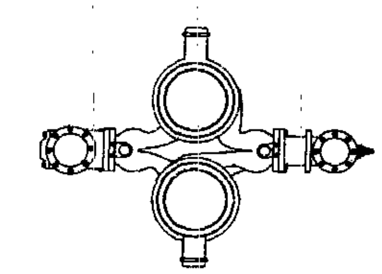


DUCT CONNECTION DETAIL
N.T.S.

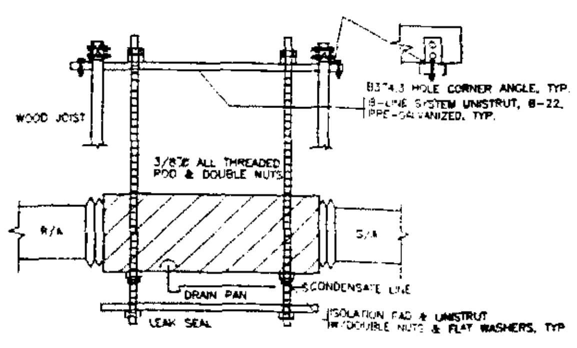


VERTICAL IN-LINE PUMP INSTALLATION DETAIL
NOT TO SCALE

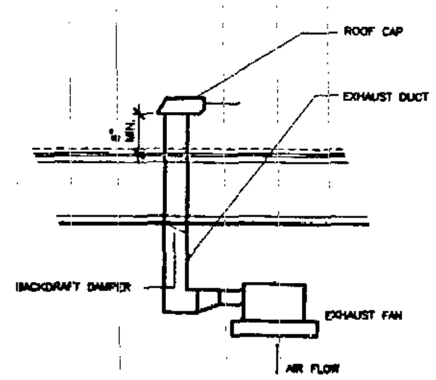


VERTICAL IN-LINE PUMP TOP VIEW
NOT TO SCALE

DWG # D-980918



HORIZONTALLY MOUNTED AHU DETAIL
N.T.S.



DETAIL AT ROOF CAP
N.T.S.

GENERAL NOTES

A- SCOPE OF WORK
WORK SHALL INCLUDE ALL LABOR, EQUIPMENT AND PERFORMING ALL OPERATIONS IN CONNECTION WITH THE FURNISHING OF ALL AIR CONDITIONING, HEATING AND VENTILATION WORK AS SHOWN ON DRAWINGS, HEREIN SPECIFIED AND/OR EQUAL EQUIPMENT FOR APPROVAL.

B- CHILLED WATER PIPING AND INSULATION
MAIN HORIZONTAL PIPING IN COPPER TYPE "L" WITH 1-1/2" FOAMGLASS INSULATION. RUN OUTS TO FAN COIL UNITS MUST BE SOFT COPPER WITH 1" ARMAFLEX INSULATION. CONNECTIONS BETWEEN THE MAIN RUN AND THE SOFT COPPER HAVE VICTAULIC CONNECTIONS.

C- GUARANTEE
CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE COVERING ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

D- CONTRACTOR SHALL PROVIDE POSITIVE MEANS FOR BALANCING EACH INDIVIDUAL AIR CONDITIONING SUPPLY AIR OUTLET, AS PER SCHEDULES AND DRAWING. SYSTEMS SHALL BE BALANCED AGAINST THE ACTUAL INSTALLED STATIC PRESSURE.

E- BEFORE SUBMITTING HIS FINAL PROPOSAL, THE CONTRACTOR SHALL EXAMINE THE SITE OF THE PROPOSED WORK TO DETERMINE THE EXISTING CONDITIONS THAT MAY AFFECT HIS WORK AS HE WILL BE RESPONSIBLE FOR ANY ASSUMPTIONS MADE BY HIM IN REGARDS THERETO.

F- ANY APPARATUS, APPLIANCE, MATERIALS, WORK OR INCIDENTAL ACCESSORIES OR MINOR DETAILS NOT SHOWN BUT NECESSARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NO PARTICULARLY SPECIFIED SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL EXPENSE FOR THE OWNER.

G- DUCTWORK
1) DUCTWORK SHALL BE FIBERBOARD FOR INDOOR AIR CONDITIONED SUPPLY AND RETURN DUCTWORK AND METAL FOR EXHAUST, AND NON-CONDITIONED OUTSIDE.
2) GLASS FIBER DUCTWORK SHALL BE "OWENS-CORNING" RECTANGULAR DUCT SYSTEM TYPE HC-FR OR EQUAL, 1-1/2" INSULATION R-6.5, CONFORMING TO APPLICATION MANUAL PUB # 5-DL-2024 & DESIGN GUIDE, PUB # 5-HI-2617.
3) METAL DUCTS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE LOW VELOCITY DUCT CONSTRUCTION STANDARDS, PUBLISHED BY THE "SHEET METAL AND AIR CONDITIONED CONTRACTORS NATIONAL ASSOCIATION, INC." AND THE LATEST PUBLICATION OF GUIDE & DATA BOOK OF THE "AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS".

H- CONTRACTOR SHALL ASUME RESPONSIBILITY FOR ALL COSTS INCURRED RESULTING FROM SUBSTITUTION OF EQUIPMENT AS WELL AS THE PERFORMANCE OF SUCH EQUIPMENT.

I- VIBRATION ISOLATION
PROVIDE SUPPORTS OR MOUNTS FOR ALL EQUIPMENT LOCATED WITHIN THE BUILDING STRUCTURE POWERED BY ONE HORSEPOWER OR LARGER MOTOR. FLEXIBLE PIPING CONNECTIONS SHALL BE PROVIDED FOR ALL PIPING CONNECTED TO EQUIPMENT MOUNTED OR SUPPORTED BY VIBRATION ISOLATORS.

J- TESTS
ALL TESTS SHALL BE PERFORMED AS REQUIRED DURING THE DIFFERENT STAGES OF WORK AND A FINAL 24 HOURS MINIMUM RUNNING TEST SHALL BE DONE AFTER ALL OTHER TESTS AND BALANCING OPERATIONS HAVE BEEN DONE.

K- CONDENSATE PIPING
CONDENSATE PIPING SHALL BE PVC SCHED. 40 EXCEPT IN RETURN AIR PLENUM SPACES WHERE COPPER PIPING MUST BE USED.

L- TEST AND BALANCE OF ALL EQUIPMENT SHALL BE PERFORMED BY AN INDEPENDENT TEST AND BALANCE COMPANY WITH A MINIMUM OF 5 YEARS EXPERIENCE IN PROJECTS OF THIS SIZE OR LARGER. THREE COPIES OF THE TEST AND BALANCE REPORT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.

TYPICAL SPECIFICATIONS

MODEL "AX-15V" ASME PRE-CHARGED DIAPHRAGM EXPANSION TANK
WORKING PRESSURE: 125psig
TANK SHALL BE PROVIDED WITH A HEAVY-DUTY BUTYL DIAPHRAGM. TANK SHALL BE PROVIDED WITH A RING BASE, LIFTING RINGS, AND A NPT SYSTEM CONNECTION. AN AIR CHARGING VALVE CONNECTION (STANDARD TIRE VALVE) SHALL BE ALSO PROVIDED TO FACILITATE ADJUSTING PRE-CHARGE PRESSURE, TO MEET THE ACTUAL SYSTEM CONDITIONS.

TYPICAL SPECIFICATIONS

VORTEX AIR SEPARATOR - VA-4 MODEL
WORKING PRESSURE: 30PSI
180 G.P.M.

HVAC DESIGN MEASURES	YES	NO
DUCT SMOKE DETECTOR		X
FIRE DAMPERS		X
SMOKE DAMPERS		X
FIRE RATED ENCLOSURE		X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		X
FIRE STOPPING	X	
SMOKE CONTROL		X

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BUILDING:
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DRB HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

PROJECT #: 0304-053
PREPARED BY:

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SEAL

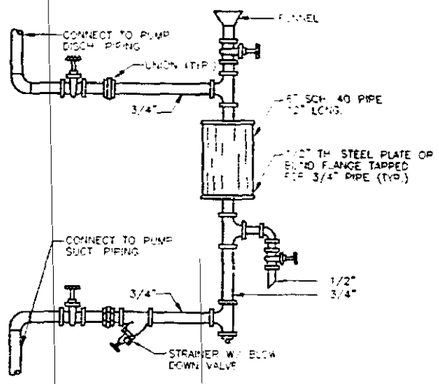
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY M.G
CHECKED BY R.J.M.

ISSUES
07-11-03 PERMIT SET

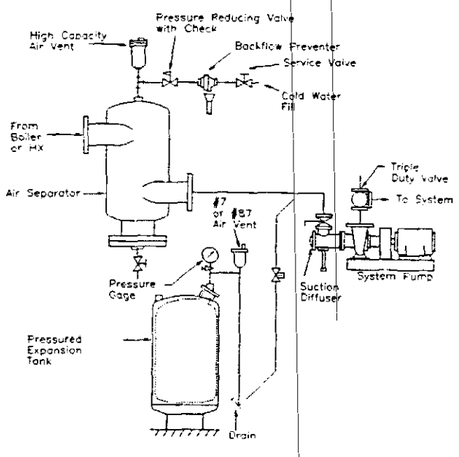
SHEET NO.
M-2



CHEMICAL FEEDER DETAIL

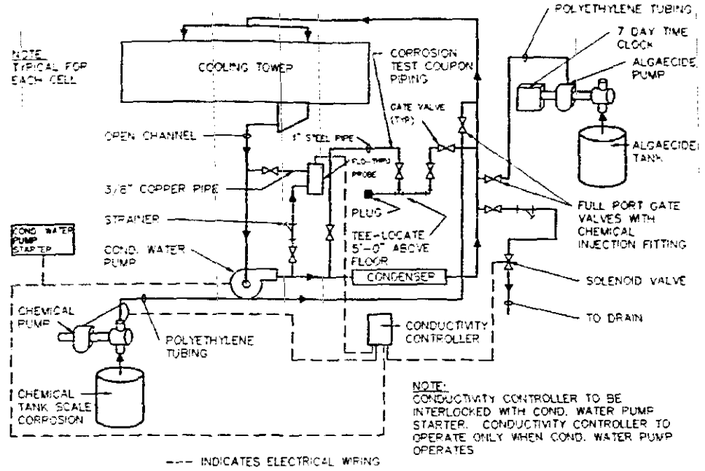
N.T.S.

1- PROVIDE BYPASS TYPE CHEMICAL FEEDER FOR CHILLED WATER SYSTEM AS MANUFACTURED BY MOGUL S.L.P.
2- CHEMICALS SHALL BE E.P.A. REGISTERED.
3- PROVIDE SUPPORT STAND.
4- INSULATED SHOT FEEDER SUPPLY AND DISCHARGE LINES FOR A DISTANCE OF 6 FEET FROM THE CHILLED WATER LINE TAP.



EXPANSION TANK & AIR SEPARATOR INSTALLATION

N.T.S



WATER TREATMENT DIAGRAM

N.T.S.

ASHRAE STANDARD 62-1989 OUTSIDE AIR CALCULATIONS

Project # 0304-053

Date: 5/15/2003

Name: LIDO SPA HOTEL/ WEST WING

Address: 40 ISLAND AVENUE
MIAMI BEACH, FL. 33139

Application: ROOM

Area:	230 sq.ft.	Area factor:	100.00%
Occupancy:	P/1000 sq.ft.	Total Occupancy:	People
Outdoor Air	30 cfm/room	Total Outside Air:	30 cfm

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THE FOLLOWING:

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ZONING: 5/15/03
DRB HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

PROJECT #: 0304-053
PREPARED BY:

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SEAL

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LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY E.Z
CHECKED BY R.J.M

ISSUES
07.11.03 PERMIT SET

SHEET NO.
M-3

Typical Specifications

Series 4382 Close Coupled Vertical In-Line Pump

Tag No.	Service	Location	Size	Motor	Min Speed	Electrics
CT-1,2			4x4x10	7.5 hp	1800 rpm	60/3/208

Supply and install as shown on the plans and specifications, Armstrong Series 4382 close coupled type Vertical In-Line centrifugal pumping unit. The cast casing with equal size suction and discharge flanges, having separate tapped flush line and pressure gauge connections, shall incorporate two radially split, single stage centrifugal pumps. Each pump shall have a cast bronze dynamically balanced impeller, bronze shaft sleeve and inside type single spring mechanical seal. Each pump shall be complete with a factory furnished flush and vent line. Each driving motor shall be an industry standard vertical solid shaft, squirrel cage induction type, built to NEMA standards (Premium Efficiency motors may be specified). The motor shall have drip proof enclosure and be suitable for a 60 Hz 3 Ph 208 Volts power supply. The inlet and outlet ports on the casing shall be at least one size larger than the single pump size, so that both units may operate in parallel with no loss of single pump efficiency. Each port shall be fitted with a stainless steel isolation valve that allow the units to operate in parallel, or standby, yet may be used to isolate one pumping unit for servicing or removal, with the other pump still operating.

Typical Specifications

Series 4382 Close Coupled Vertical In-Line Pump

Tag No.	Service	Location	Size	Motor	Min Speed	Electrics
CW-1, 2			4x4x10	7.5 hp	1800 rpm	60/3/208

Supply and install as shown on the plans and specifications, Armstrong Series 4382 close coupled type Vertical In-Line centrifugal pumping unit. The cast casing with equal size suction and discharge flanges, having separate tapped flush line and pressure gauge connections, shall incorporate two radially split, single stage centrifugal pumps. Each pump shall have a cast bronze dynamically balanced impeller, bronze shaft sleeve and inside type single spring mechanical seal. Each pump shall be complete with a factory furnished flush and vent line. Each driving motor shall be an industry standard vertical solid shaft, squirrel cage induction type, built to NEMA standards (Premium Efficiency motors may be specified). The motor shall have drip proof enclosure and be suitable for a 60 Hz 3 Ph 208 Volts power supply. The inlet and outlet ports on the casing shall be at least one size larger than the single pump size, so that both units may operate in parallel with no loss of single pump efficiency. Each port shall be fitted with a stainless steel isolation valve that allow the units to operate in parallel, or standby, yet may be used to isolate one pumping unit for servicing or removal, with the other pump still operating.

Typical Specifications

Suction Guides

Furnish and install on the suction of each pump, an Armstrong Suction Guide with Cast Iron Body, Outlet Guide Vanes, Removeable Stainless Steel Strainer and Fine Mesh Start-up Strainer. The mechanical contractor shall inspect the Strainer prior to start-up of pump and shall remove the Fine Mesh Brass Strainer after a short running period. Space shall be provided for removal of Strainer and connection of blowdown valve.

Typical Specifications

Flanged Flo-Trex Combination Valves

Furnish and install on the discharge side of each pump an Armstrong Model FTV Flo-Trex Combination Valve incorporating three functions in one body; tight shut-off, spring-closure type silent non-slam check and flow measurement/throttling.

Valve body shall be cast iron with 125 psi ANSI flanged ends. The body shall have two ¼" NPT connections on each side of the valve seat. Two connections to have brass pressure and temperature metering ports, with Nordel check valves and gasketted caps. Two other connections to be supplied with brass drain plugs. Metering ports are to be interchangeable with drain ports to allow for measurement flexibility when installed in tight locations.

The valve disc shall be bronze plug disc type with high impact engineered resin seat to ensure tight shut-off and silent check valve operation.

The valve stem shall be stainless steel with flat surfaces provided for adjustment with open end wrench.

The valve shall be selected and installed in accordance with the manufacturer's instructions and be suitable for the pressure and temperature encountered.

Insulation (2½" - 6")

Each valve shall be furnished with a pre-formed removeable PVC insulation jacket to meet ASTM D 1784/class 14253-C, MEA #7-87, ASTM-E-84, and ASTM-136 with a flame spread rating of 25 or less and a smoke development rating of 50 or less. There will be provided sufficient mineral fiberglass insulation to meet ASHRAE 90.1-1989 specifications in operating conditions with maximum Fluid Design Operating Temperature Range of 141-200°F and Mean Rating Temperature of 125°F.

Typical Specifications

Tag No. ET-1W

Diaphragm Expansion Tanks - Series "AX-V"

Furnish and install as shown on the plans, Armstrong Model "AX-15V" ASME Pre-charged Diaphragm Expansion Tank, stamped 125 PSI working pressure. Tank shall be supplied with a heavy-duty butyl diaphragm. Tank shall be provided with a ring base, lifting rings, and a NPT system connection. An air charging valve connection (standard tire valve) shall be also provided to facilitate adjusting pre-charge pressure, to meet the actual system conditions.

Typical Specifications

Tag No. AS-1W

Vortex Air Separator – VA Model (less system strainer)

Furnish and install as shown on plans, an Armstrong air separator with tangential nozzles. The Vortex Air Separator model VA-4 shall be designed and constructed in accordance with Section VIII, Division I of the ASME Boiler and Pressure Vessel Code, and shall be fitted with an NPT vent connection to facilitate installation of piping to connect a compression tank or an air vent to the air separator. An NPT tapping shall be provided on the bottom of the air separator to facilitate blow-down. The unit will operate for an input flow rate value of 180 usgpm, a working pressure of 30 psi and a working temperature of 55 °F.

NOTE: Sizes 2", 2 ½" and 3" shall have a cast iron body with NPT connections, while sizes 4"-24" shall have a fabricated steel body with flanged connections.

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THE FOLLOWING:

BUILDING:	
ZONING:	Tom 5/13/13
DRB/HPB:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	

PROJECT #: 0304-053
PREPARED BY:

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SEAL

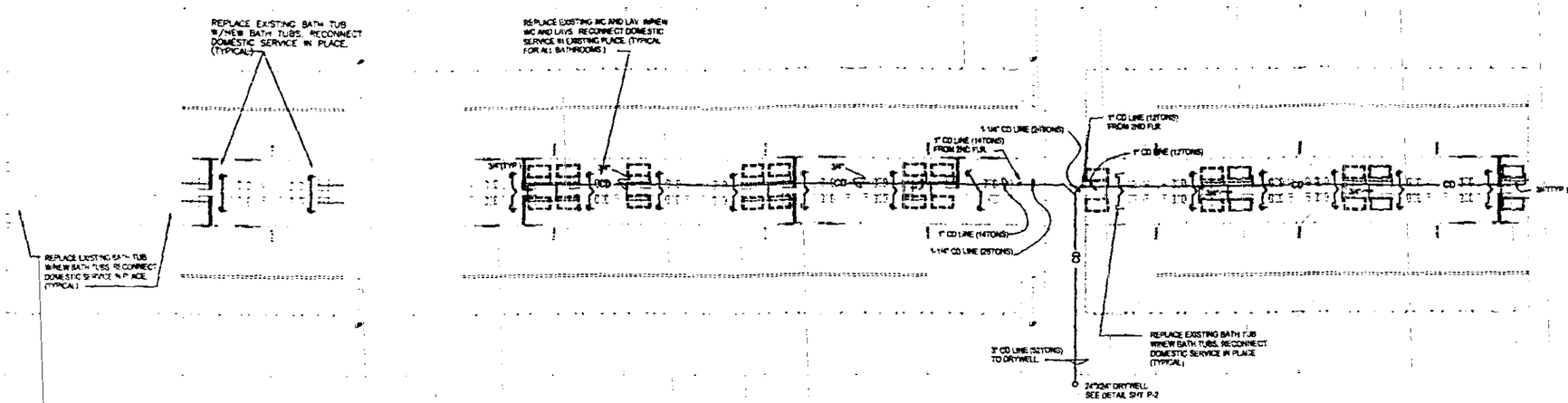
PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
H.V.A.C NOTES AND DETAILS

DRAWN BY M.G
CHECKED BY R.J.M

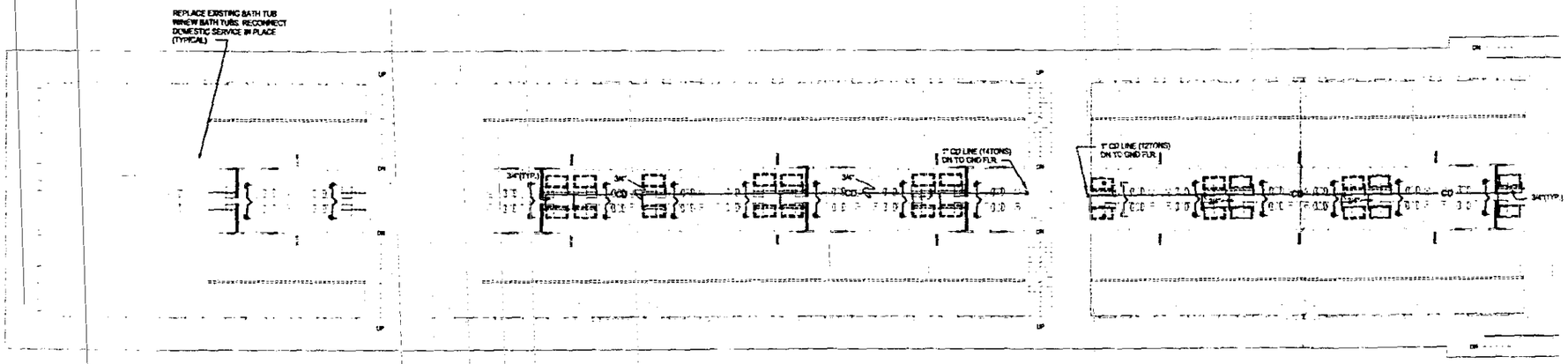
ISSUES
07-11-03 PERMIT SET

SHEET NO.
M-4



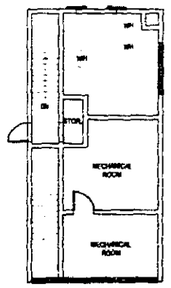
WEST WING - GROUND FLOOR - PLUMBING FLOOR PLAN

SCALE: 3/32"=1'-0"

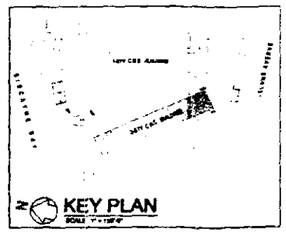


WEST WING - SECOND FLOOR - PLUMBING FLOOR PLAN

SCALE: 3/32"=1'-0"



WEST WING - 3RD FLR.



KEY PLAN

SCALE: 1"=150'-0"

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BUILDING:	
ZONING:	MT 5/13/03
DRB HPB:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

PROJECT # 0304-053
PREPARED BY:

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SEAL

5/14/03

OWNER'S OF DOCUMENTS NOTICE

PROJECT TITLE

LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

WEST WING
PLUMBING FLOOR PLANS

DRAWN BY I.B.
CHECKED BY R.J.M.

ISSUES

07/11/03	PERMIT SET

SHEET NO.

P-1

NOTE:

CONTRACTOR SHALL VERIFY EXACT LOCATION AND SIZES OF ALL EXISTING LINES AND EXTEND AS REQUIRED

NO JOINTS ALLOWED UNDER SLAB FOR WATER LINES.

SIZE AND GRADE HORIZONTAL DRAINAGE PIPING 2" AND SMALLER 1/4" AND 3" ABOVE 1/8" SLOPE PER FEET.

PROVIDE ANTI-SCALD VALVE TO THE BATH TUBS, SHOWERS, SINKS AND LAVATORIES.

PLUMBING NOTES

1 - THE SPECIFICATIONS AND DRAWINGS ARE INTENDED TO DEFINE GENERALLY A BASIS UPON WHICH THE CONTRACTOR SHALL SUBMIT A CONTRACT PRICE FOR DEMOLITION WORK OF THE PRESENT PLUMBING SYSTEM AS INDICATED ON THE PLANS.

2 - THE CONTRACTOR SHALL COORDINATE HIS WORK OR ADJUST SAME TO THAT OF OTHER TRADES, IN ORDER THAT CONFLICTS IN SPACE LOCATIONS DO NOT OCCUR.

3 - THE WORK UNDER THIS CONTRACT SHALL BE PERFORMED SIMULTANEOUSLY WITH WORK OF OTHER TRADES, SO AS TO NOT DELAY THE OVERALL PROGRESS OF THE WORK.

4 - THE CONTRACTOR SHALL VISIT THE PREMISES AND COMPARE SAME WITH THE DRAWINGS AND SPECIFICATIONS AND SATISFY HIMSELF OF THE CONDITIONS EXISTING AT THE BUILDING BEFORE DELIVERY OF HIS PROPOSAL. NO ADDITIONAL ALLOWANCE WILL BE MADE TO THE CONTRACTOR DUE TO HIS NEGLECT OR FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.

5 - DEMOLITION OF EXISTING PLUMBING WORK SHALL BE PERFORMED AND COMPLETED UNDER THIS SECTION OF THE WORK.

6 - REMOVE/RELOCATE EXISTING PIPING NOT REQUIRED, OR IN CONFLICT WITH NEW CONSTRUCTION, INCLUDING DRAINAGE, WATER, FIRE SPRINKLERS, AND SATISFY CODE REQUIREMENTS FOR PROHIBITED DEAD ENDS. REMOVE/RELOCATE SPRINKLER HEADS TO SUIT NEW ARCHITECTURAL LAYOUT.

7 - MATERIALS SHALL BE ALL NEW AND AS FOLLOWS:

A) DRAINAGE PIPING: NO HUB CAST IRON, ITD 301 OR PVC-DWV, SCH. 40.
B) WATER PIPING: TYPE K COPPER, PIPES COATED WITH ASPHALT & SLEEVED (BELOW GROUND). TYPE L OR M COPPER (ABOVE GROUND)
C) A/C CONDENSATE DRAIN: PVC SCH. 40, EXCEPT IN PLENUM AREAS, WHERE SHALL BE COPPER.
D) PLUMBING FIXTURES: AMERICAN STANDARD, KOHLER, CRANE OR EQUAL.
E) GAS PIPING: BLACK IRON, SCHEDULE 40.

8 - CAP EXISTING HOT/COLD WATER, WASTE, VENT, AND SOIL PIPING AT A POINT THAT DOES NOT INTERFERE WITH NEW CONSTRUCTION, I.E. BELOW FINISHED FLOOR, BEHIND FINISHED WALLS, OR ABOVE FINISHED CEILINGS.

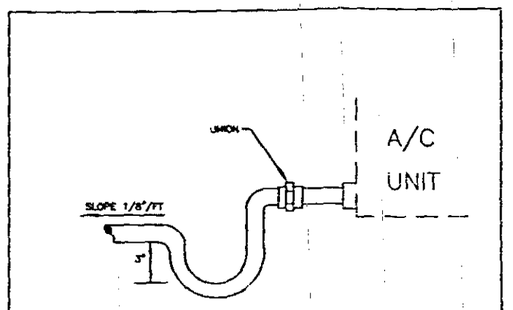
9 - THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTINGS, EXTENSIONS, CONNECTIONS, REPAIRING, ADAPTING, AND OTHER WORK INCIDENTAL THERETO, TOGETHER WITH SUCH TEMPORARY CONNECTIONS AS MAY BE REQUIRED.

10 - EXISTING FIXTURES, MATERIALS AND EQUIPMENT TO BE REMOVED SHALL BE SALVAGED OR DISPOSED OF AS DIRECTED BY THE OWNER.

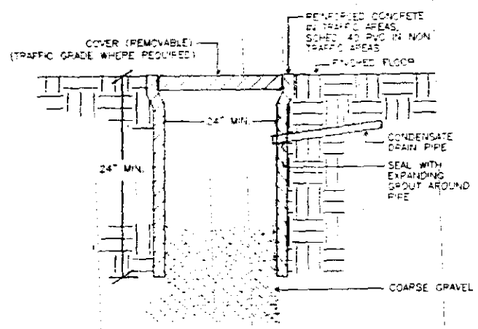
11 - ANY WORK NOT SHOWN ON THE DRAWINGS OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS, BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.

12 - CONTRACTOR SHALL DO HIS OWN CUTTING AND REMOVAL OF ALL HIS RELATED WORK IN ALL LOCATIONS WHERE REQUIRED, EXCEPT WHERE OTHERWISE SHOWN ON THE DRAWINGS.

13 - DO NOT SCALE THIS LAYOUT. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL PIPES.



CONDENSATE TRAP DETAIL
NOT TO SCALE



DRYWELL DETAIL
NO SCALE

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THE FOLLOWING:

BUILDING:	
ZONING:	4/1 2/13/93
DRB/HPB:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	

PROJECT #: 0304-053
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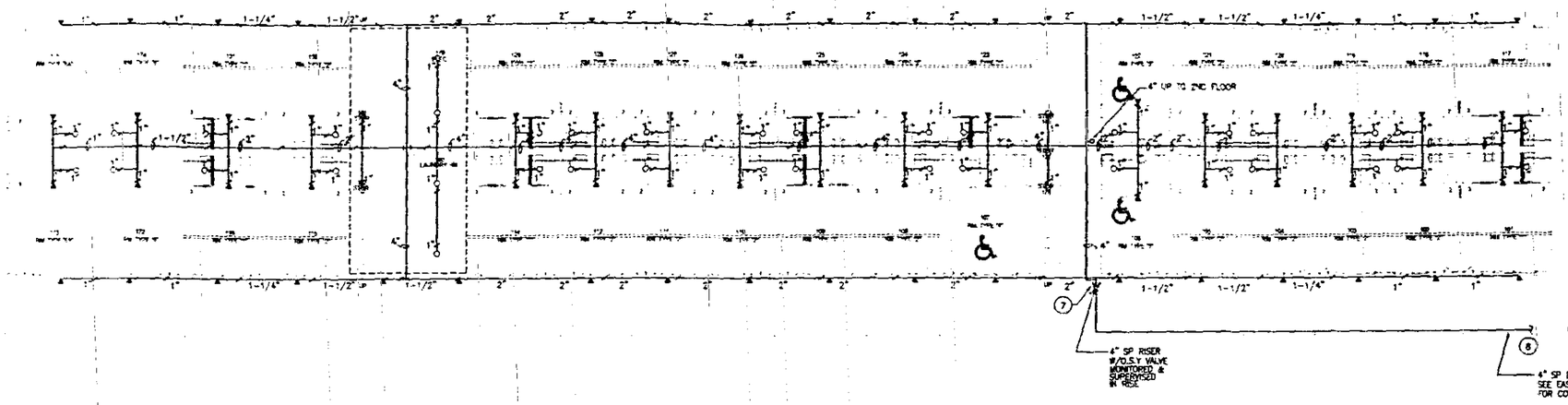
SEAL

PROJECT TITLE
LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
PLUMBING NOTES

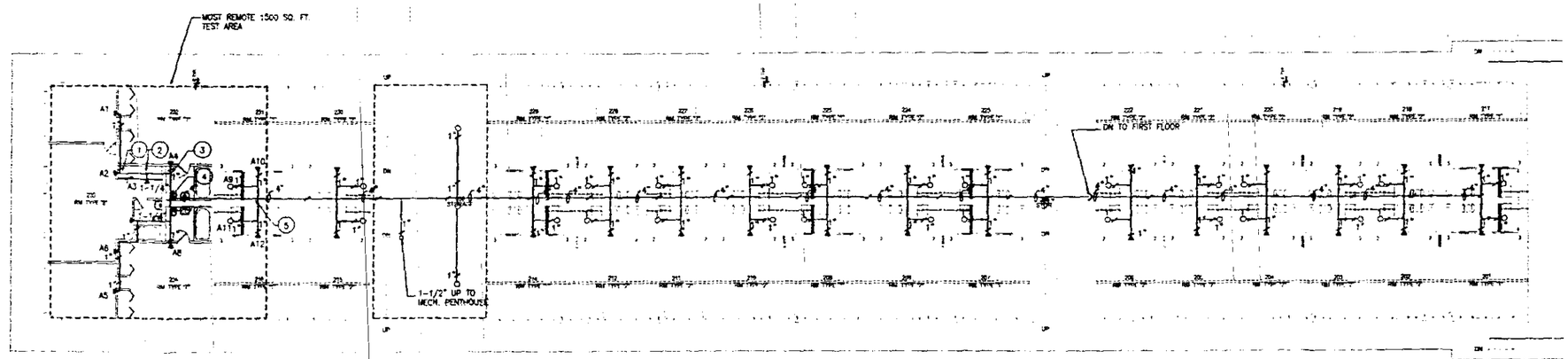
DRAWN BY IB
CHECKED BY R.J.M.
ISSUES
02/11/93 PERMIT SET

SHEET NO.
P-2



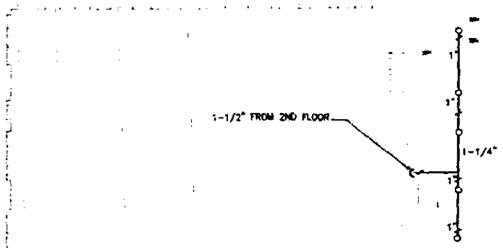
WEST WING - GROUND FLOOR - FIRE PROTECTION FLOOR PLAN

SCALE: 3/32"=1'-0"



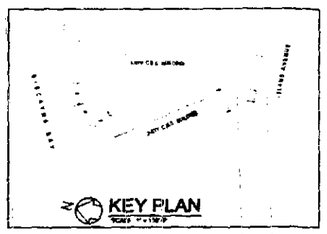
WEST WING - SECOND FLOOR - FIRE PROTECTION FLOOR PLAN

SCALE: 3/32"=1'-0"



3RD FLR. MECHANICAL ROOM

SCALE: 3/32"=1'-0"



KEY PLAN

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FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5.3
APPROVED FOR CODE COMPLIANCE

PROJECT #: 0304-053

uciengineering

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SEAL

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LIDO SPA HOTEL
WEST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
WEST WING
FIRE PROTECTION
FLOOR PLAN

DRAWN BY E.Z
CHECKED BY R.J.M
ISSUES
07.11.03 PERMIT SET

SHEET NO.
FP-1