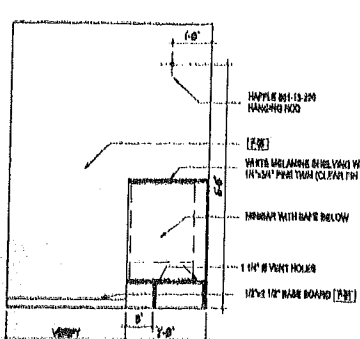
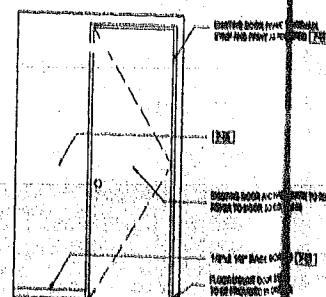
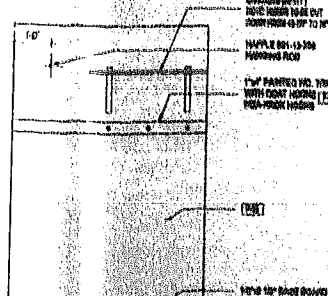
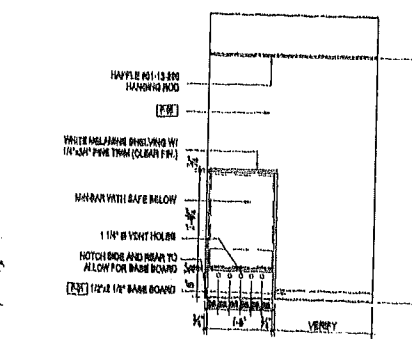
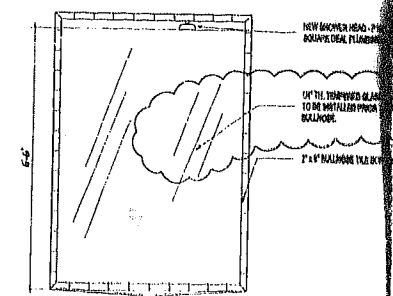
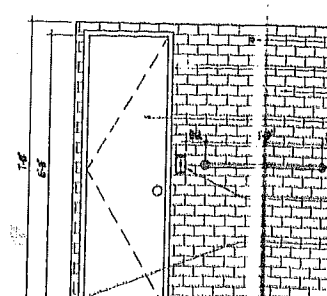
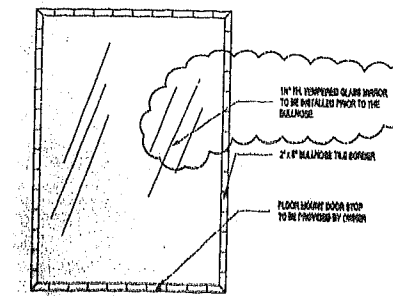
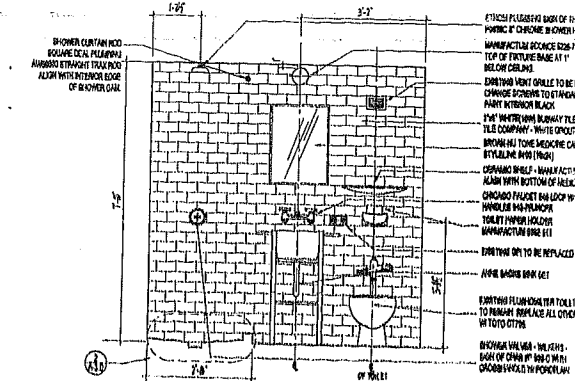
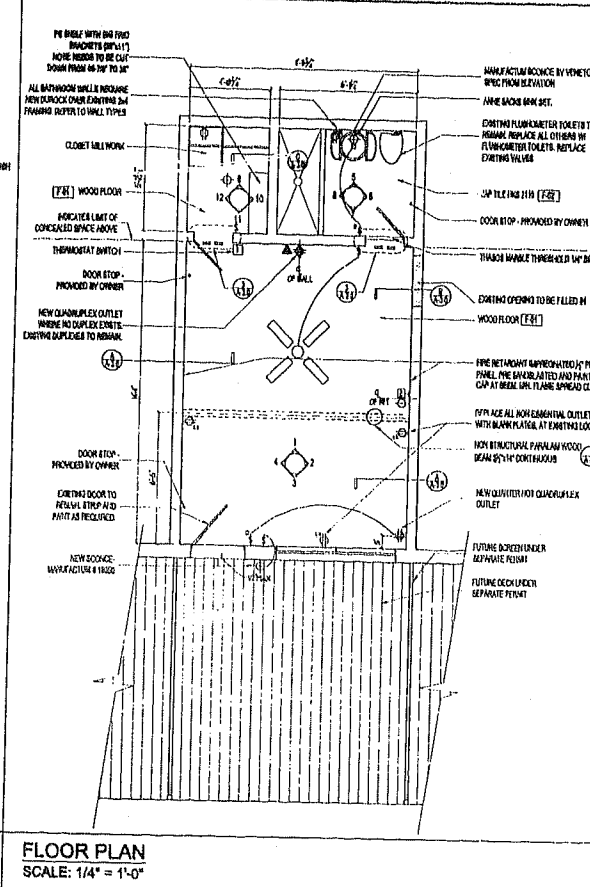
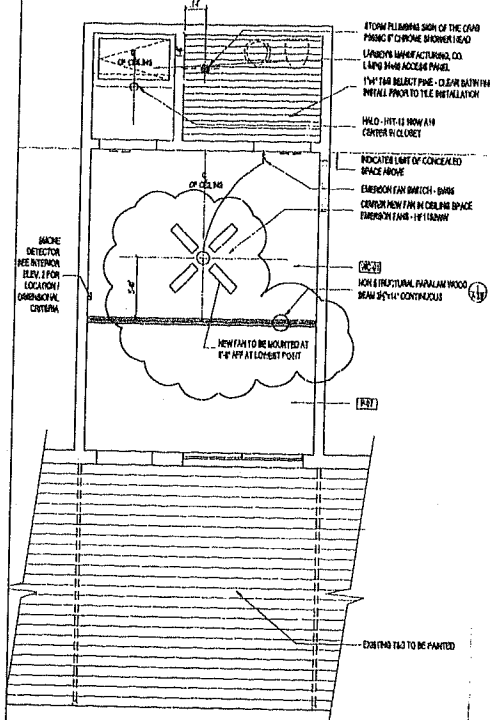
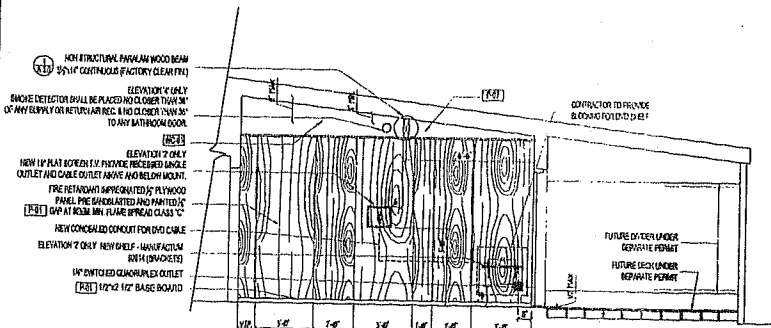
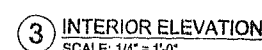
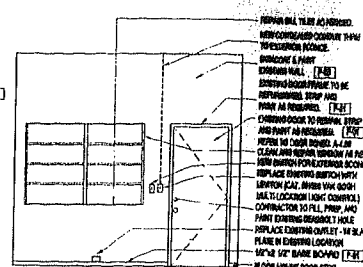
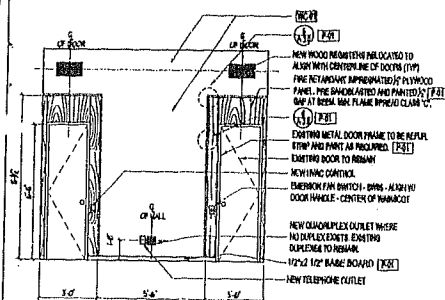
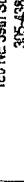


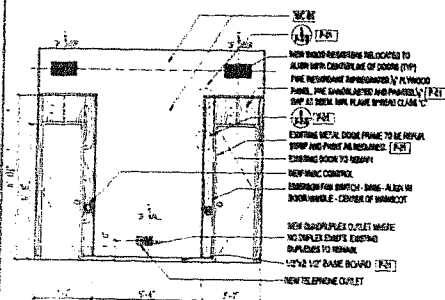
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: *9/22/10*
ZONING: *9/21/10*
DRAINAGE: *9/21/10*
CONCURRENCY: *9/21/10*
PLUMBING: *9/21/10*
ELECTRICAL: *9/21/10*
MECHANICAL: *9/21/10*
FIRE PREVENTION: *9/21/10*
ENGINEERING: *9/21/10*
PUBLIC WORKS: *9/21/10*
STRUCTURAL: *9/21/10*
ACCESSIBILITY: *9/21/10*
ENVIRONMENTAL: *9/21/10*

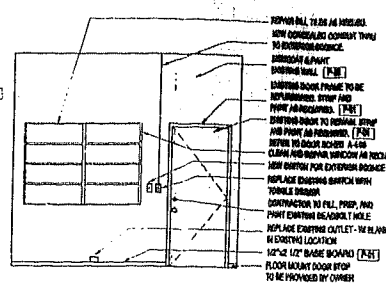
NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C.'S REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

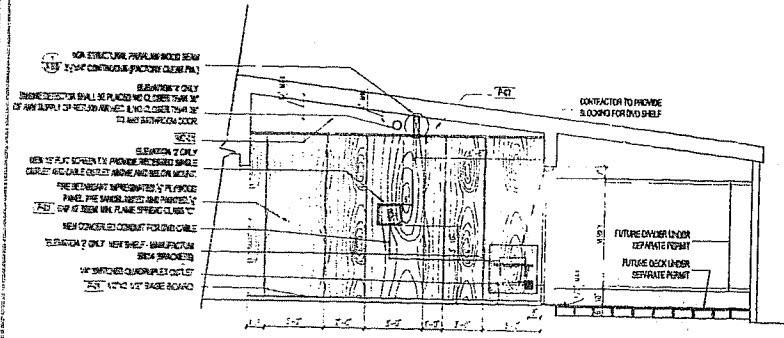
DRAWING TITLE PROJECT TITLE	TYPICAL ROOM TYPE "2" LIDO SPA HOTEL EAST WING - RENOVATION 40 ISLAND AVENUE, MIAMI BEACH, FL 33139	ALISON SPEAR, A.I.A. 180 NE 39th St. SUITE 222, MIAMI, FL 33137 305-438-1200 fax 305-438-1221 PROJECT ARCHITECT  OWNER OF DOCUMENTS NOTICE Drawings and specifications, as instruments of service, are the exclusive property of Alison Spear, AIA, whether the project for which they were prepared is completed and accepted or not. These documents are not to be reproduced in any form and they are not to be used by the project owner or other entities on any other project or for alterations to the original project except by written authorization from the Architect.
02/01 21/01	DRAWN BY CHECKED BY ISSUED PROJECT TARGET REVISION 1/01/01 DEPT 10/01	B.F.L. A.B. SHEET NO. A-2.01



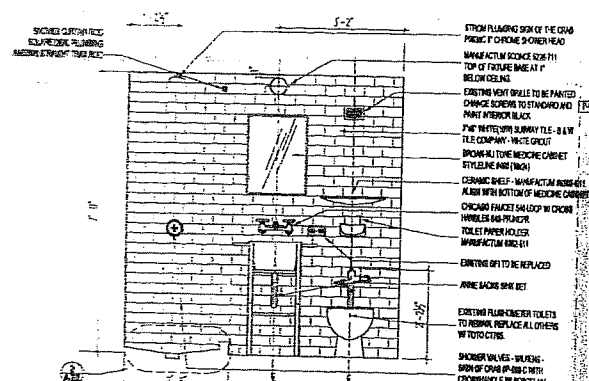
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



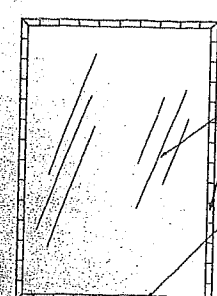
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



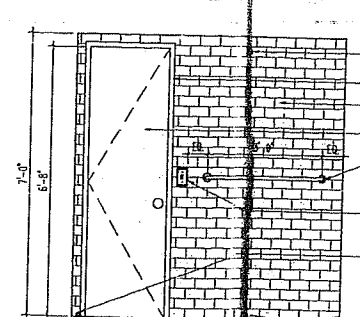
2/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



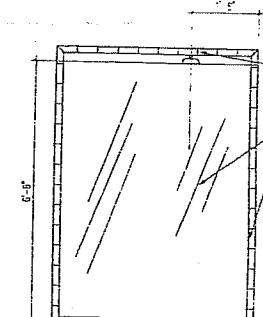
5 BATHROOM
SCALE: 1/2" = 1'-0"



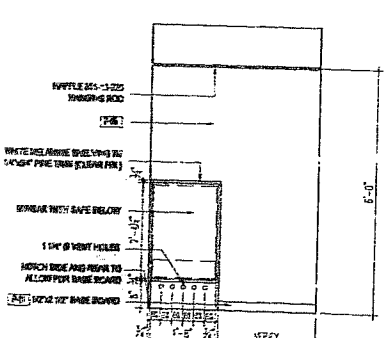
6 BATHROOM
SCALE: 1/2" = 1'-0"



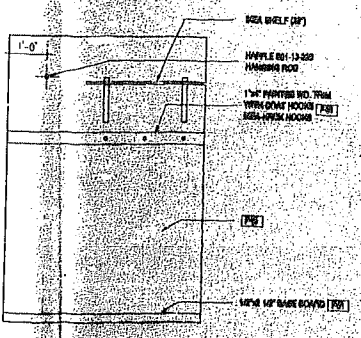
7 BATHROOM
SCALE: 1/2" = 1'-0"



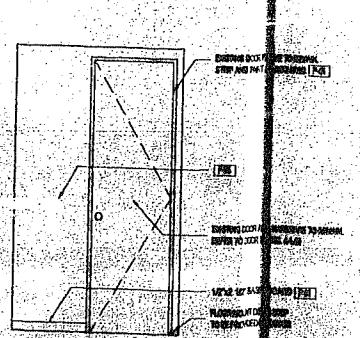
8 BATHROOM
SCALE: 1/2" = 1'-0"



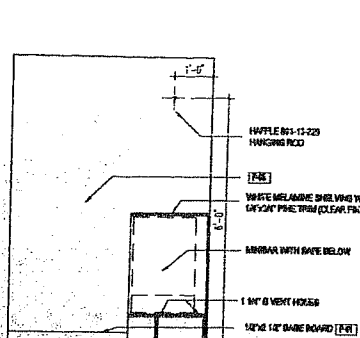
9 CLOSET
SCALE: 1/2" = 1'-0"



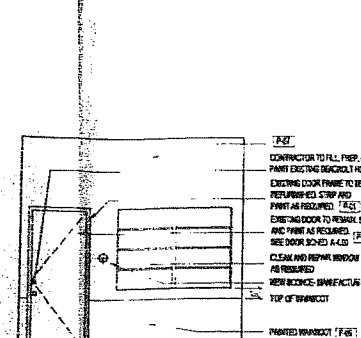
10 CLOSET
SCALE: 1/2" = 1'-0"



11 CLOSET
SCALE: 1/2" = 1'-0"



12 CLOSET
SCALE: 1/2" = 1'-0"



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.S.C.'S REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

BUILDING: _____
ZONING: _____
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATOR: _____

As per Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, Section 705.01, the contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

PROJECT TITLE

DRAWING TITLE

DRAWN BY

CHECKED BY

ISSUES

SHEET NO.

A-201

TYPICAL ROOM TYPE "2"

LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.

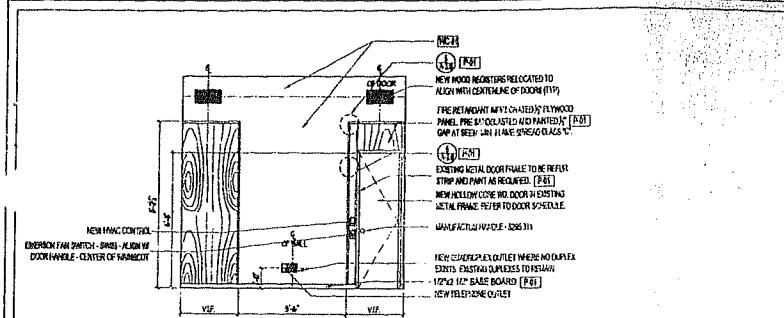
160 NE 58th St., Suite 222, Miami, FL 33137
305-438-1200 FAX 305-438-1221

DATE

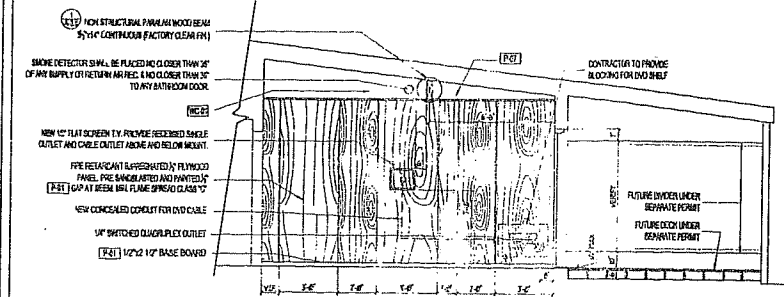
7/1/02

ALISON SPEAR, A.I.A.

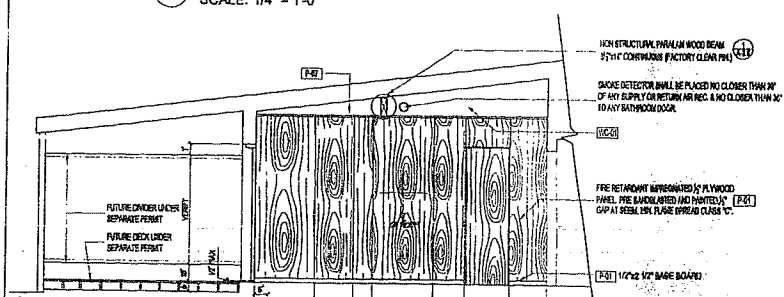
ARCH 001000



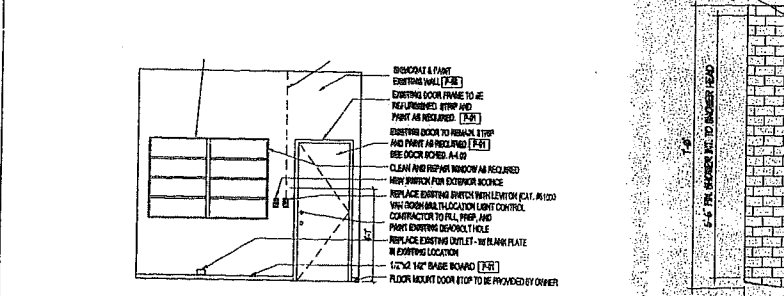
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



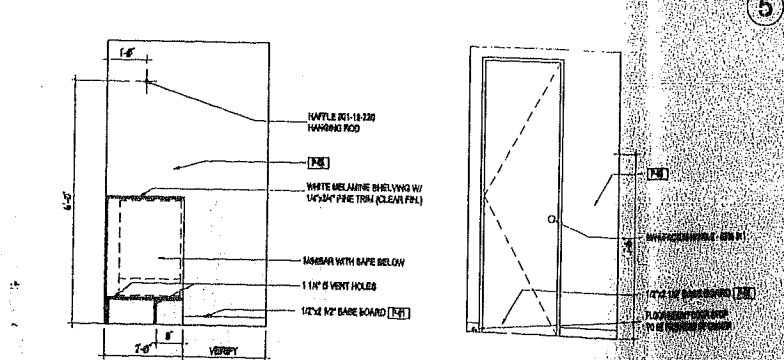
2 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



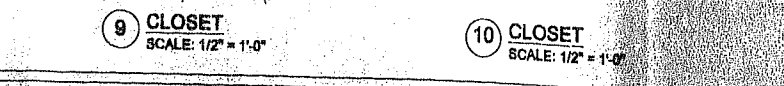
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



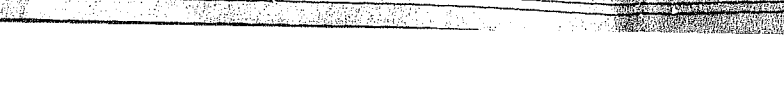
4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 BATHROOM
SCALE: 1/2" = 1'-0"



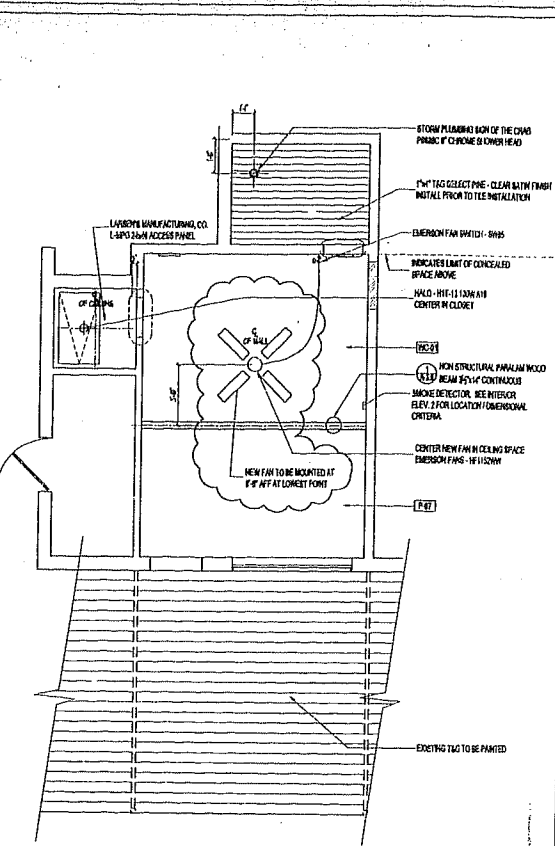
6 BATHROOM
SCALE: 1/2" = 1'-0"



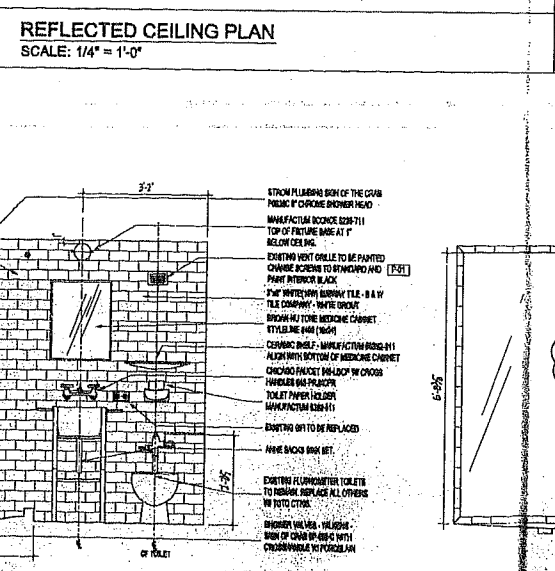
7 BATHROOM
SCALE: 1/2" = 1'-0"



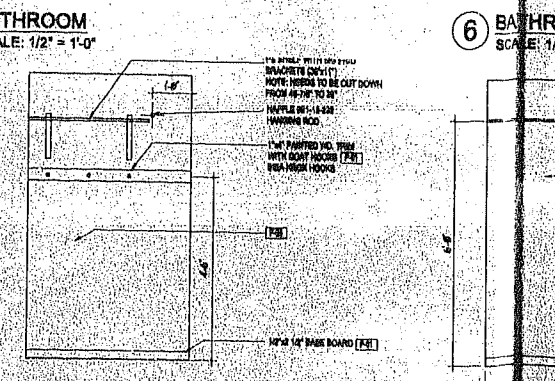
8 BATHROOM
SCALE: 1/2" = 1'-0"



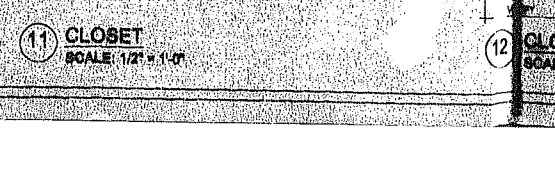
9 CLOSET
SCALE: 1/2" = 1'-0"



10 CLOSET
SCALE: 1/2" = 1'-0"



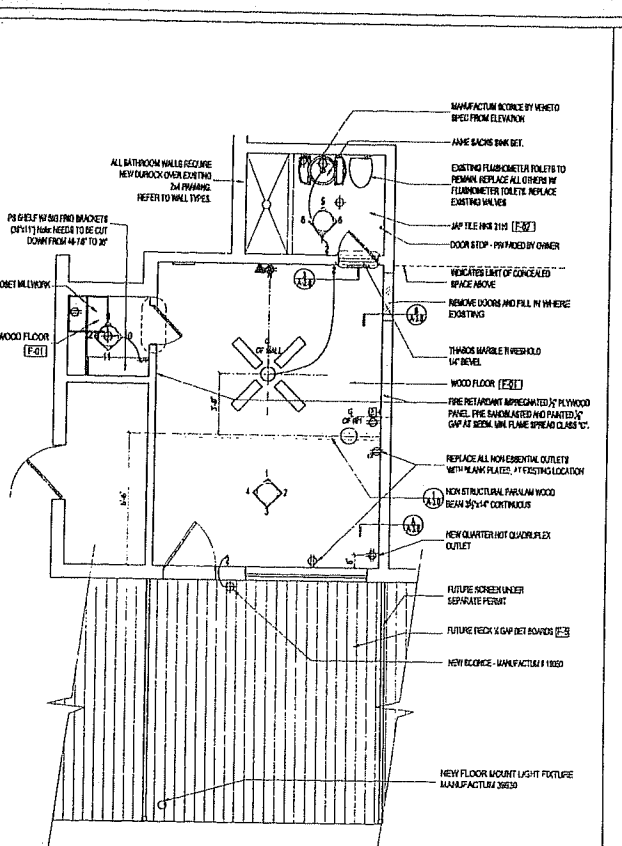
11 CLOSET
SCALE: 1/2" = 1'-0"



12 CLOSET
SCALE: 1/2" = 1'-0"



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C. REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.

180 NE 39th St., SUITE 222, MIAMI, FL 33137

305-438-1200 Fax 305-438-1221

PROJECT TITLE

LIDO SPA HOTEL

EAST WING - RENOVATION

40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

TYPICAL ROOM

TYPE "3"

DRAWN BY

B.F.L.

CHECKED BY

A.S.

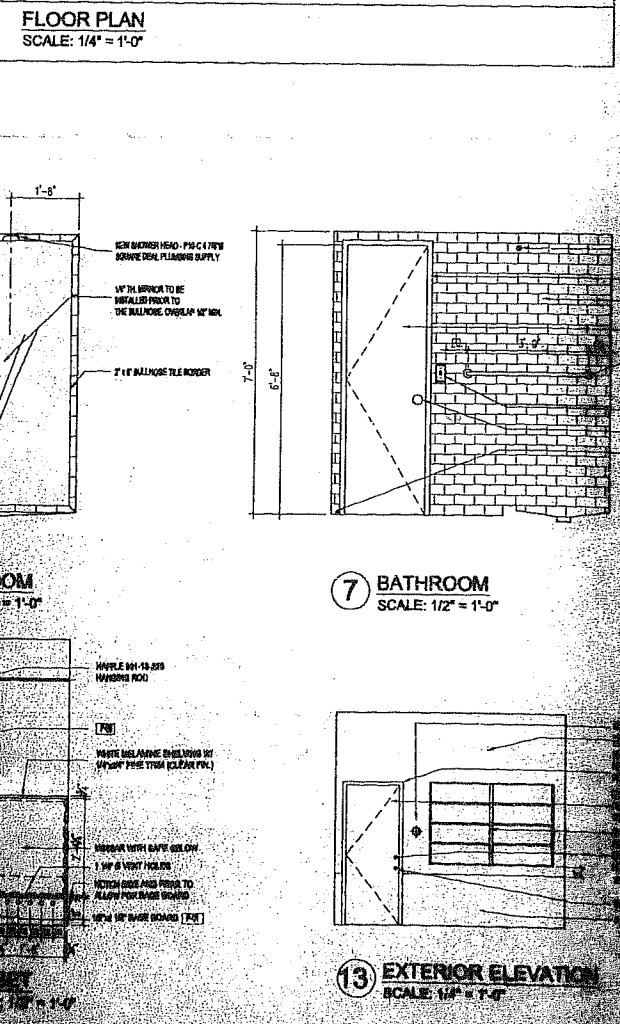
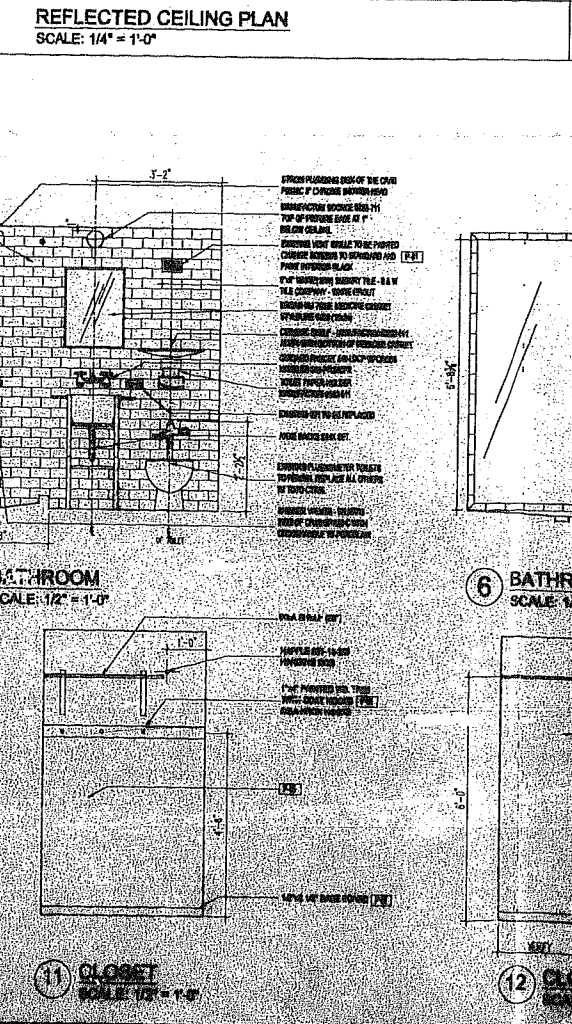
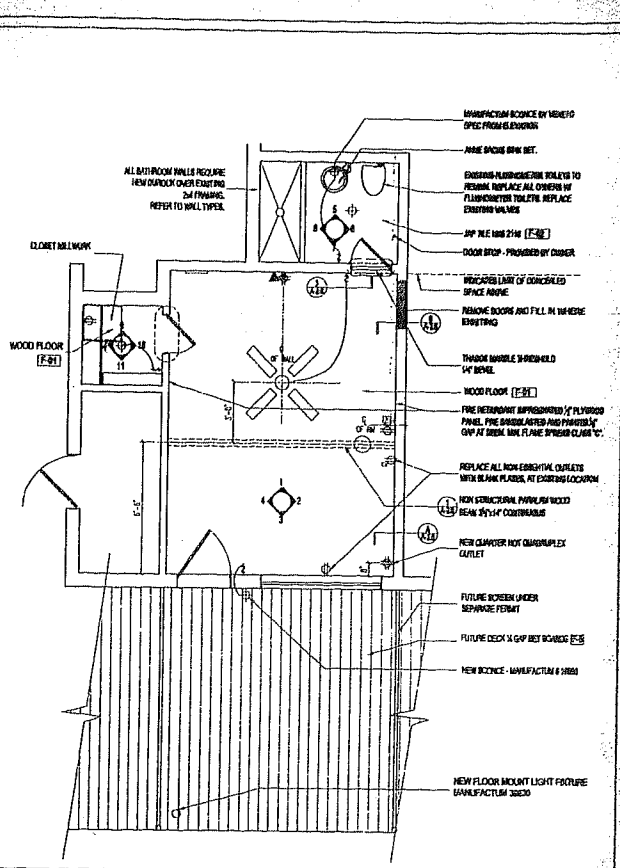
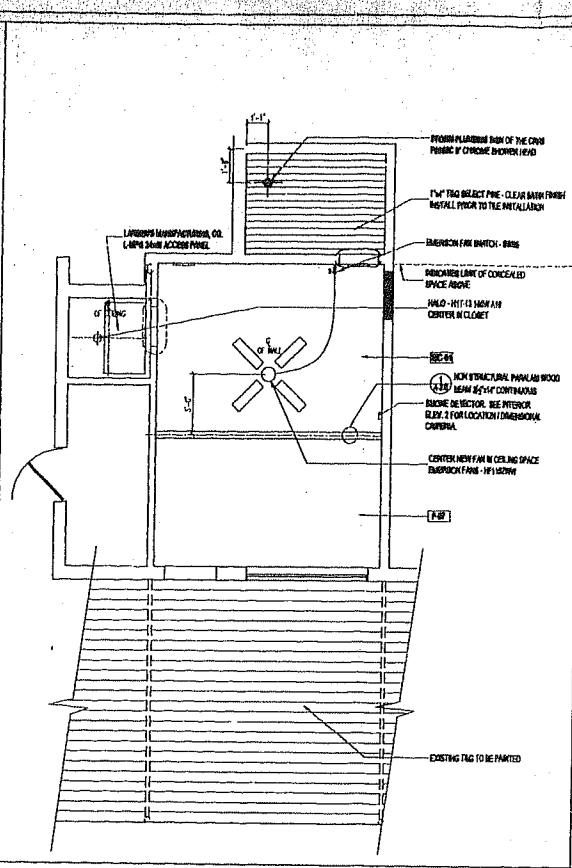
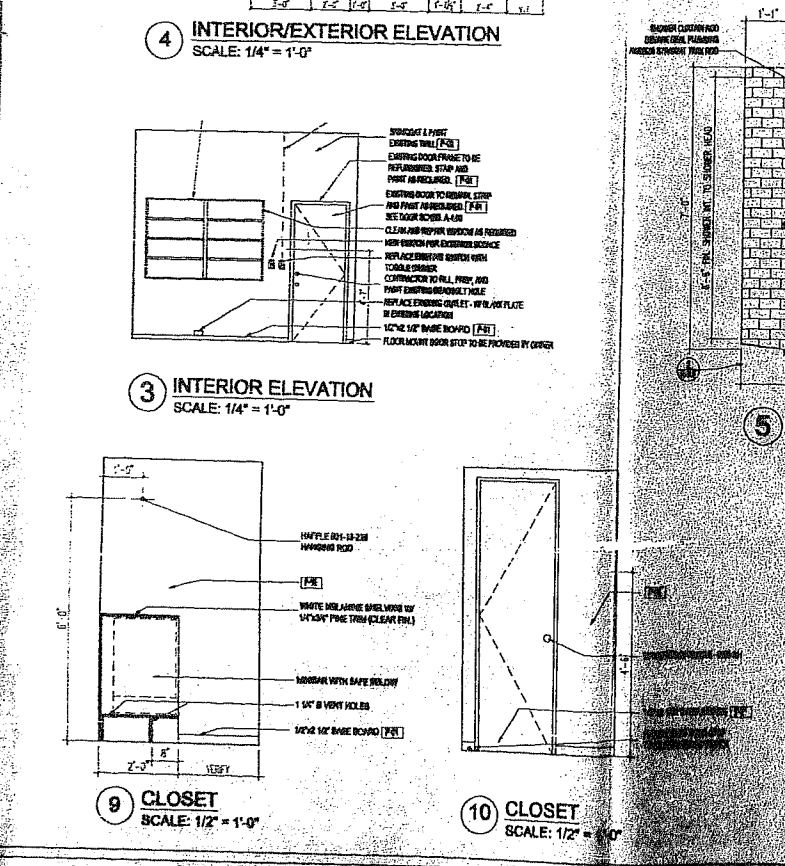
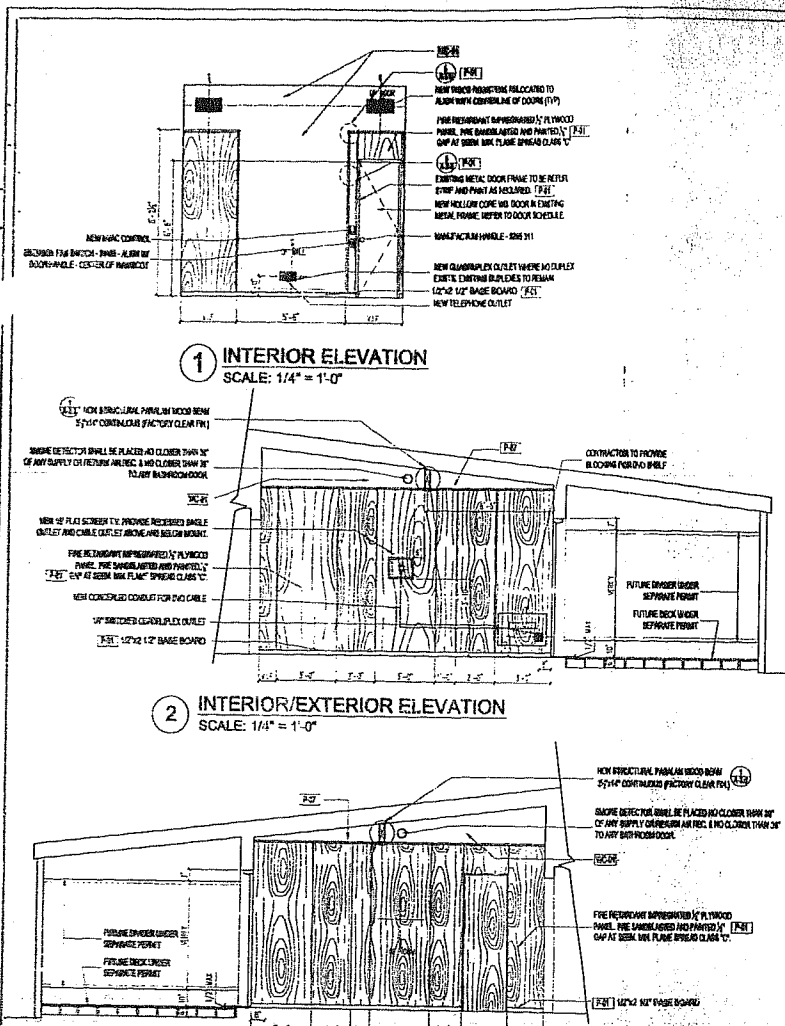
ISSUES

DATE

DESCRIPTION

SHEET NO.

A-2.02



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: *[Signature]*
ZONING: *[Signature]*
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Code Section 104.5

NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.L.C. REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

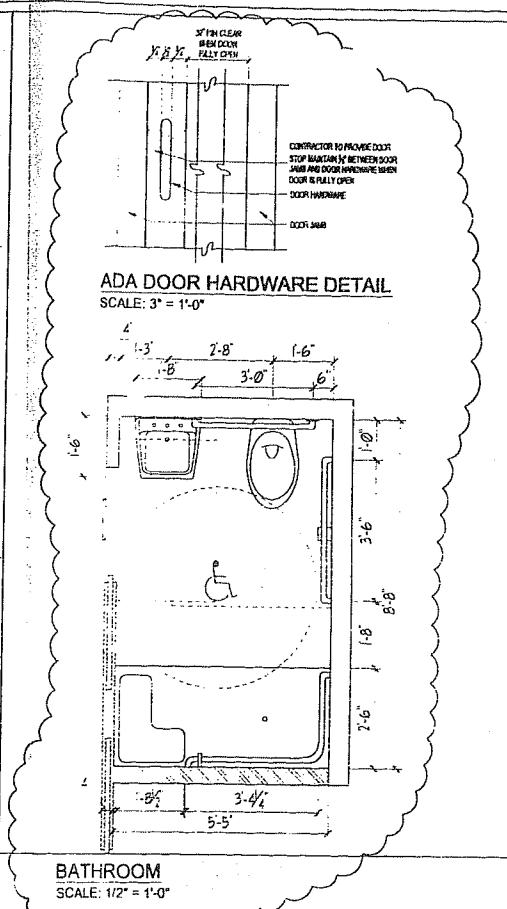
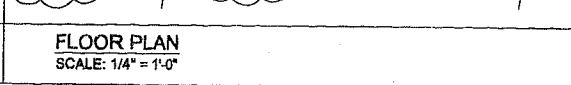
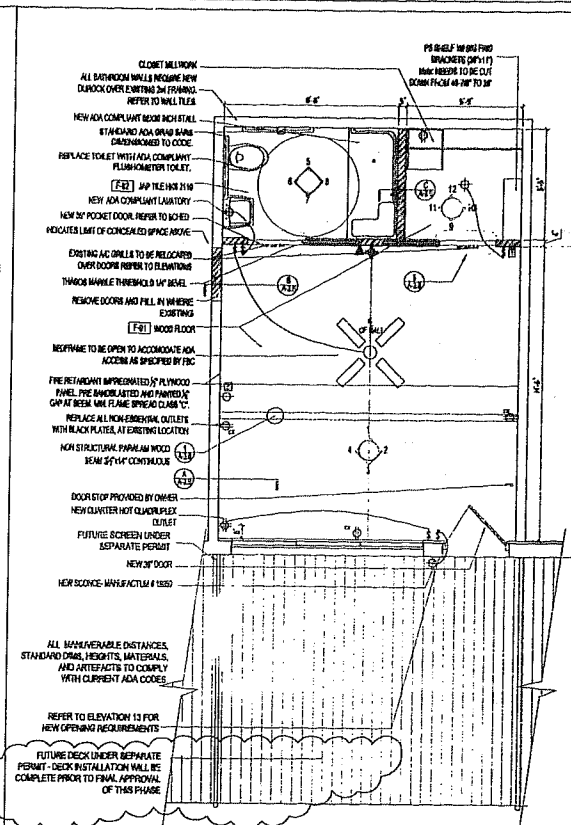
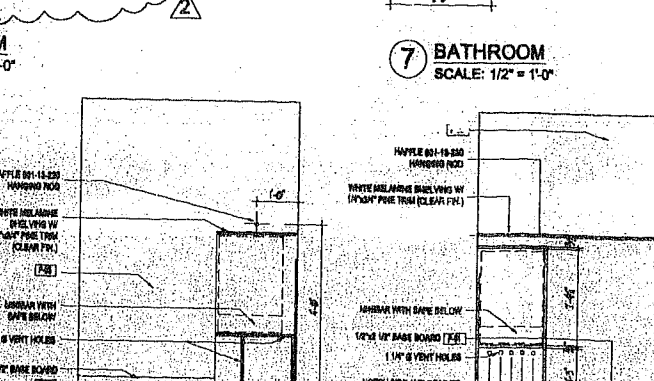
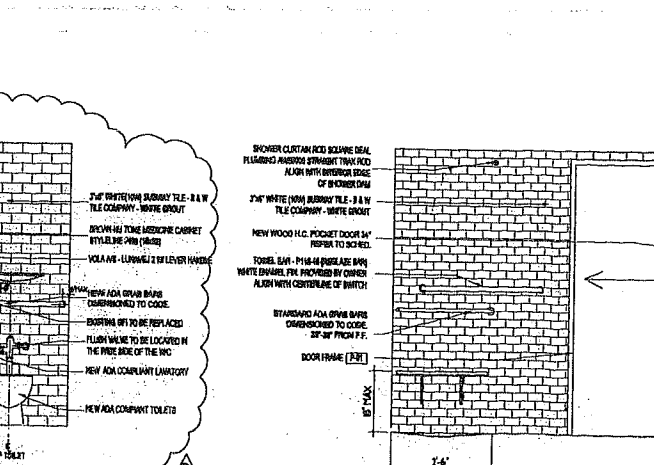
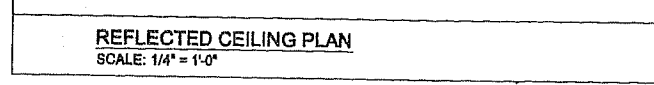
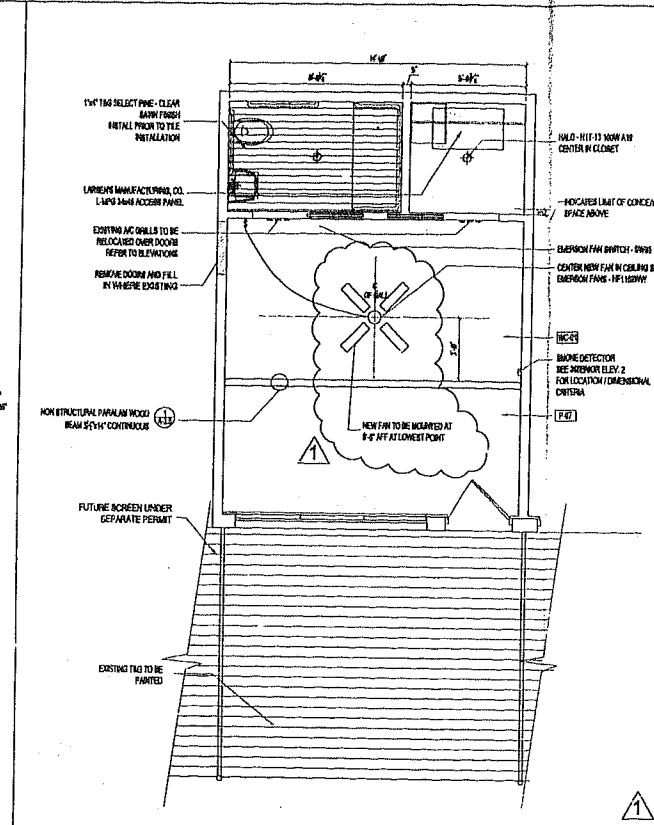
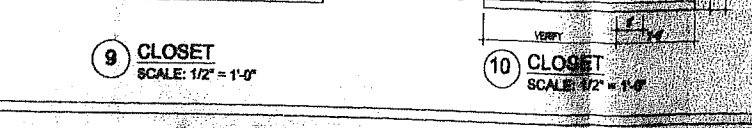
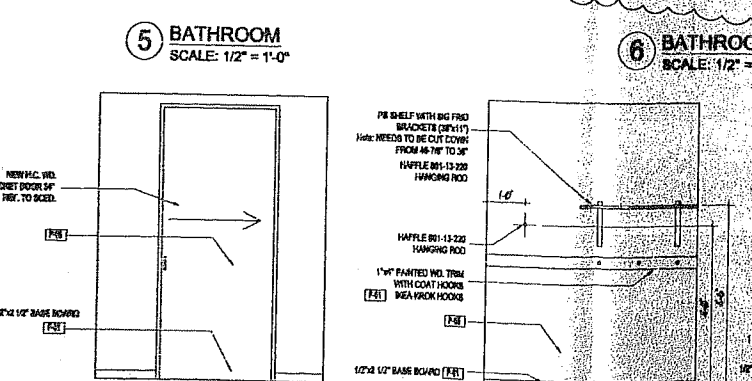
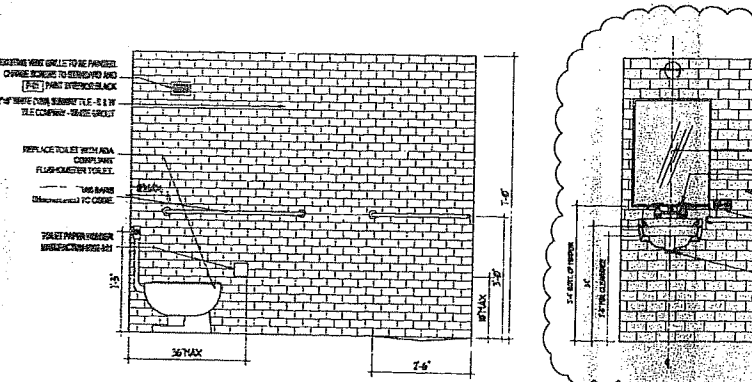
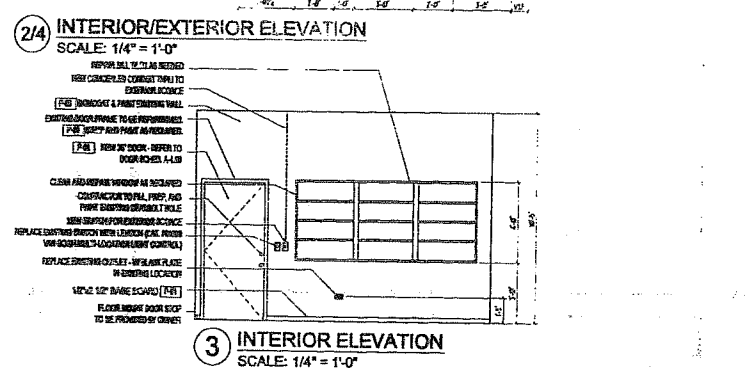
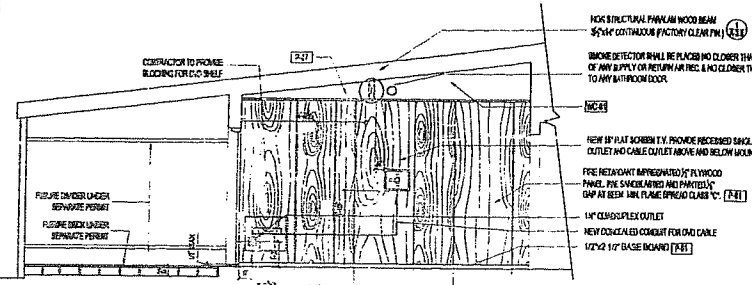
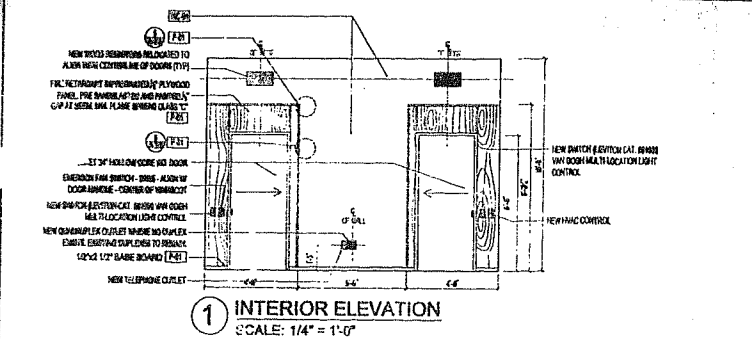
PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., Suite 222, Miami, FL 33137
305-438-1200 Fax 305-438-1221

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33136

DRAWING TITLE
TYPICAL ROOM TYPE "3"

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUED 07/22/02

SHEET NO.
A-2.02



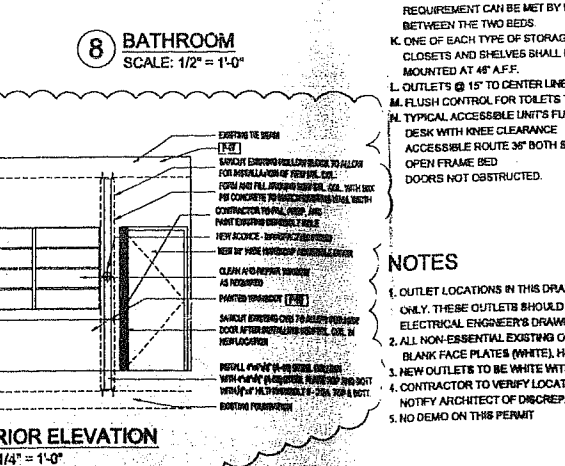
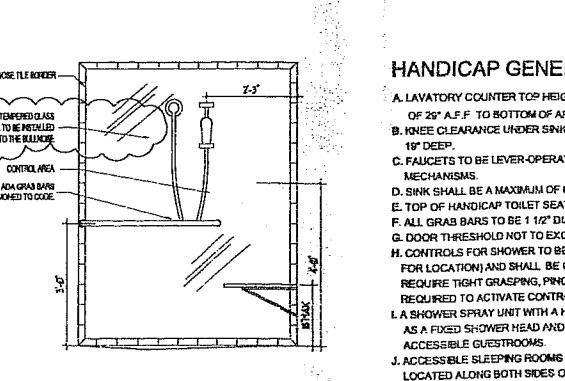
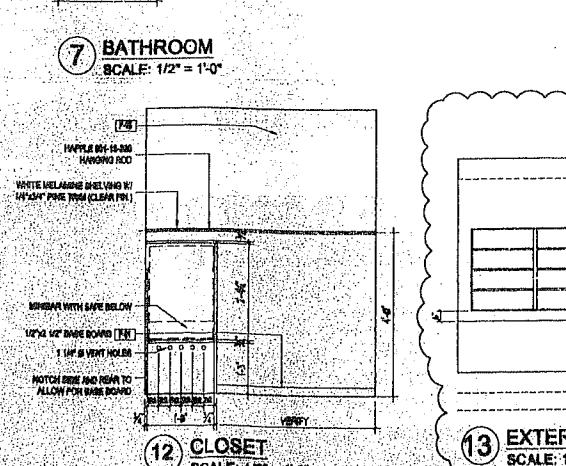
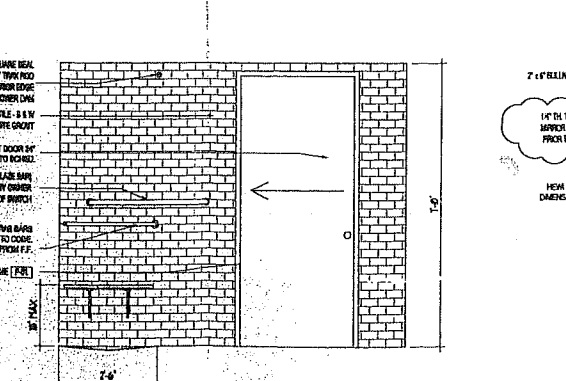
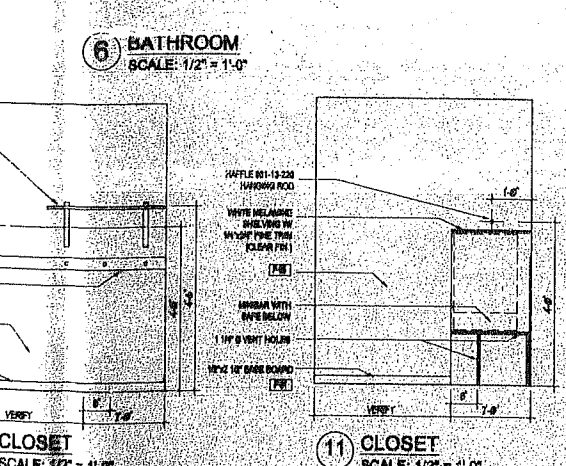
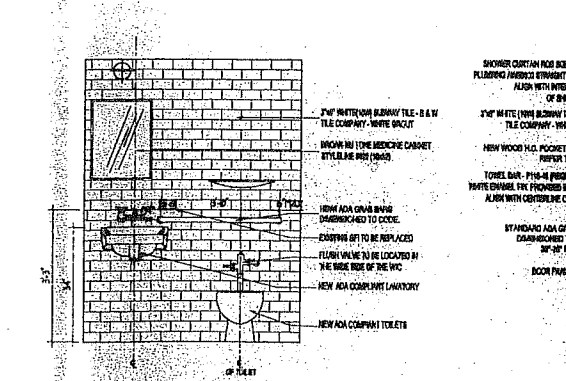
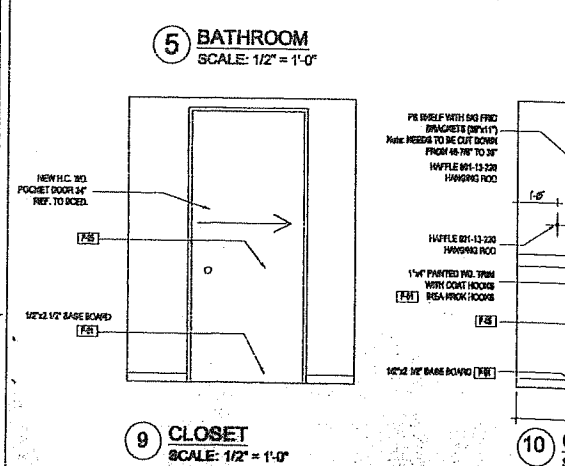
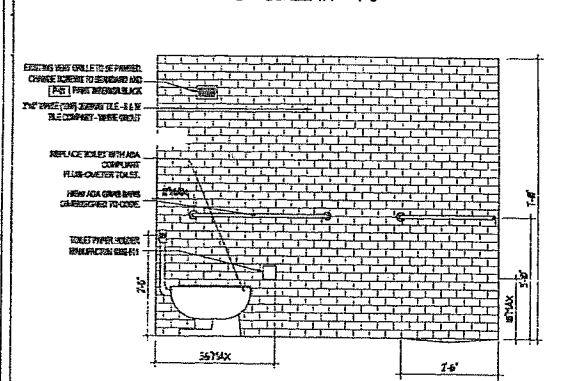
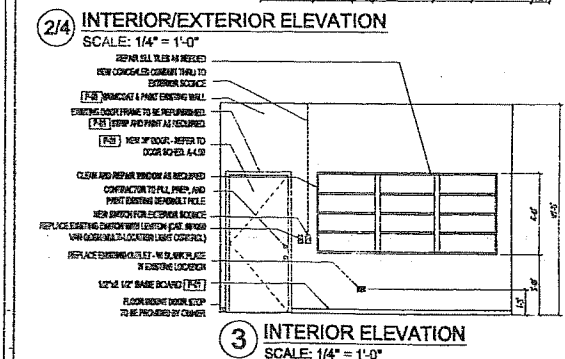
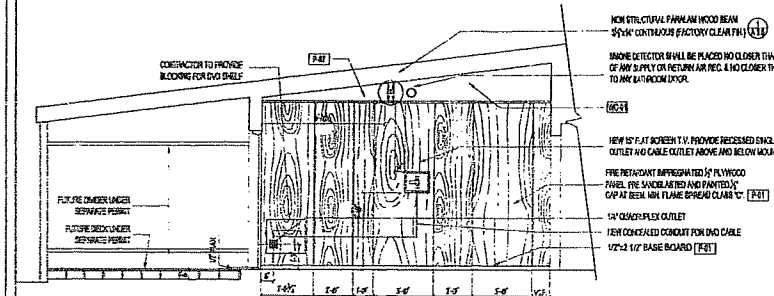
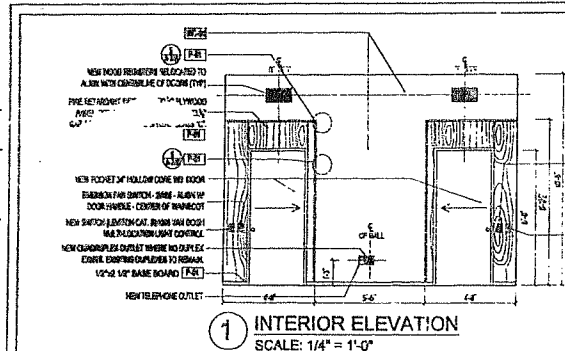
HANDICAP GENERAL NOTES

- A. LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 27" A.F.F. TO BOTTOM OF APRON.
- B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP.
- C. FAUCETS TO BE LEVER-OPERATED, PUSH-TYPE OR ELECTRICALLY CONTROLLED MECHANISMS.
- D. SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP.
- E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" HIGH.
- F. ALL GRAB BARS TO BE 1 1/2" DIA. WITH 1" CLEARANCE OFF WALLS.
- G. DOOR THRESHOLD NOT TO EXCEED 1/4".
- H. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 36" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST; THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL NOT EXCEED 5 LBS.
- I. A SHOWER SPRAY UNIT WITH A HOSE AND SHOWER HEAD SHALL BE PROVIDED BOTH AS A FIXED SPRAY HEAD AND AS A HAND-HELD SHOWER HEAD. BOTH SHALL BE MOVED IN ALL ACCESSIBLE DIRECTIONS.
- J. ACCESSIBLE SLEEPING ROOMS SHALL BE LOCATED IN THE SAME FLOOR SPACE LOCATED ALONG BOTH SIDES OF THE ENTRANCE TO THE ROOM. THE SPACE REQUIREMENT CAN BE MET BY PROVIDING A MINIMUM OF 5' CLEARANCE PLACED BETWEEN THE TWO BEDS.
- K. ONE OF EACH TYPE OF SLEEPING UNIT IN HOTEL ROOM SHALL HAVE TWO CLOSETS AND SHELVE SPACE WHERE FEASIBLE. SHELVE SPACE SHALL BE 48" TO 60" MOUNTED AT 48" A.F.F. **DROPPED:**
- L. OUTLETS @ 15" TO CENTER ON CURRENCY.
- M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
- N. TYPICAL ACCESSIBLE UNIT TO FLUSH UNIT:
- DESK WITH KNEE CLEARANCE
- ACCESSIBLE ROUTE 30" BOTH SIDES OF BED.
- OPEN FRAME BED
- DOORS NOT OBSTRUCTED.
- CITY OF MIAMI BEACH**
APPROVED FOR PERMIT BY
THE DEPARTMENT OF BUILDING
[Signature]
DATE: *11/11/11*
11/11/11

NOTES

1. OUTLET LOCATIONS IN THIS DRAWING SHALL BE THE SAME AS SHOWN ON PWD 0823 ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.S.C.'s REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT

DRAWING TITLE		PROJECT TITLE		PROJECT ARCHITECT	
TYPICAL ROOM TYPE "A"		LIDO SPA HOTEL EAST WING - RENOVATION 40 ISLAND AVENUE, MIAMI BEACH, FL 33139		ALISON SPEAR, A.I.A. 180 NE 39th St., SUITE 222, MIAMI, FL 33137 305-438-1200 fax 305-438-1221	
DRAWN BY B.F.L. CHECKED BY A.S. ISSUES		SEAL ASMEWANA 10-03-02 ALISON SPEAR, AIA AIA# 3216680		OWNER'S DISBURSEMENT NOTICE Drawings and specifications, as described on these sheets, are the exclusive property of Alison Spear, AIA. Whether the project is within the scope of services provided or not, the project is not to be reproduced or any part and they are not to be used by the project owner or other parties in any other project or for alterations to the original project except by written authorization from the architect.	
07-03-01	REVISION 1	07-03-01	REVISION 1	07-03-01	REVISION 1
08-07-01	REVISION 1	08-07-01	REVISION 1	08-07-01	REVISION 1
09-02-01	REVISION 1	09-02-01	REVISION 1	09-02-01	REVISION 1
SHEET NO.					
A-2.03					



BATHROOM
SCALE: 1/2" = 1'-0"

REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN
SCALE: 1/4" = 1'-0"

BATHROOM
SCALE: 1/2" = 1'-0"

HANDICAP GENERAL NOTES

- LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 29" A.F.F. TO BOTTOM OF APRON.
- KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 18" DEEP.
- Faucets to be lever-operated, push-type or electronically controlled mechanisms.
- SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP.
- TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" HIGH.
- ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS.
- DOOR THRESHOLD NOT TO EXCEED 1/4".
- CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 38" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
- A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS.
- ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 36" CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS.
- ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. WITH ROD MOUNTED AT 48" A.F.F.
- OUTLETS @ 15" TO CENTER LINE.
- FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
- TYPICAL ACCESSIBLE UNIT FURNITURE: DESK WITH KNEE CLEARANCE ACCESSIBLE ROUTE 36" BOTH SIDES OF BED. OPEN FRAME BED DOORS NOT OBSTRUCTED.

NOTES

- OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C.'S REQUIREMENTS.
- ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL AT EXISTING HEIGHT.
- NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- NO DEMO ON THIS PERMIT.

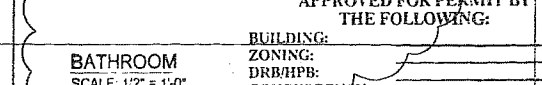
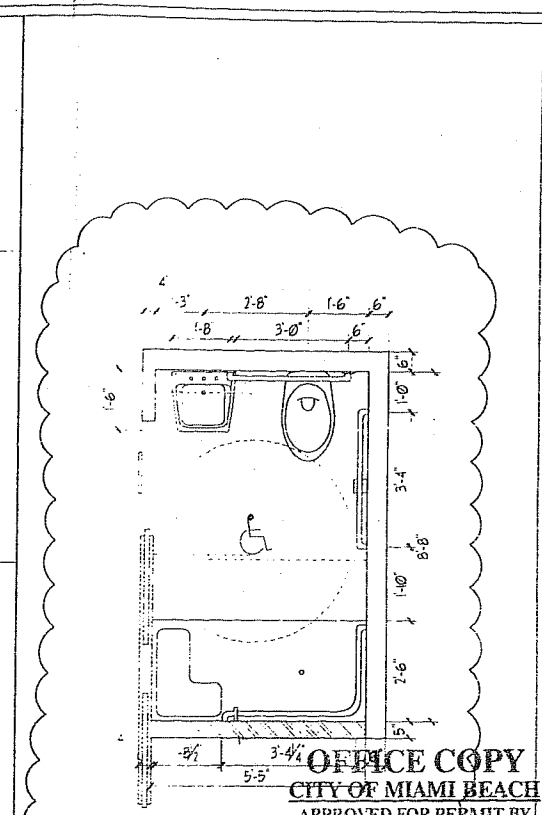
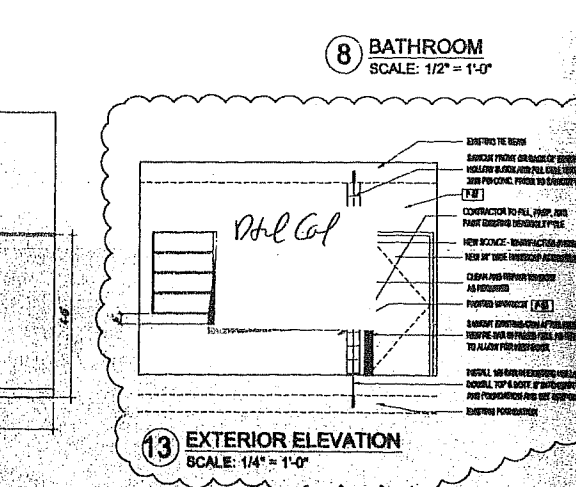
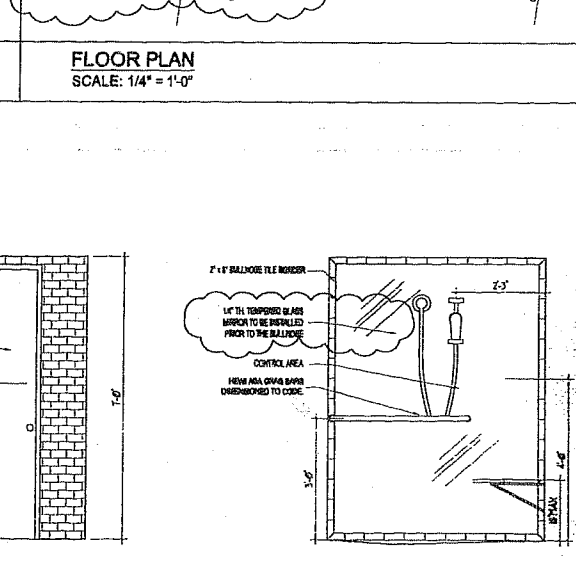
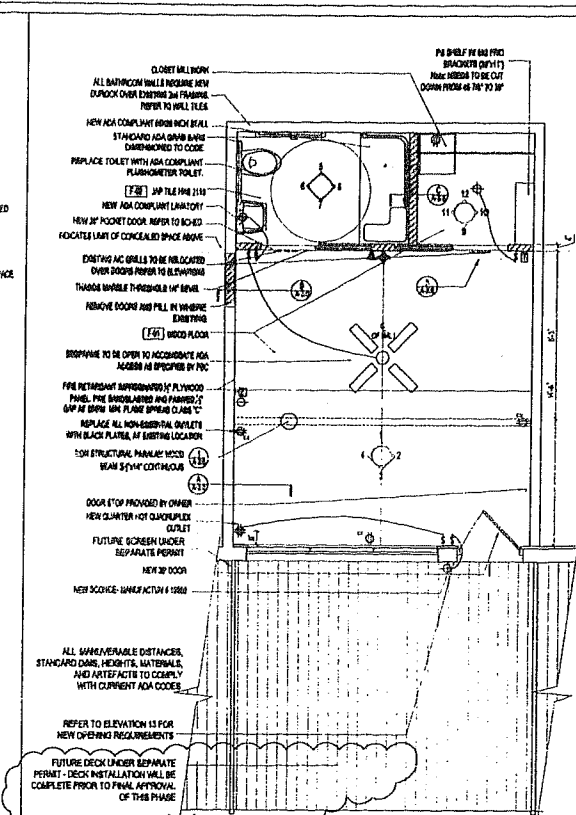
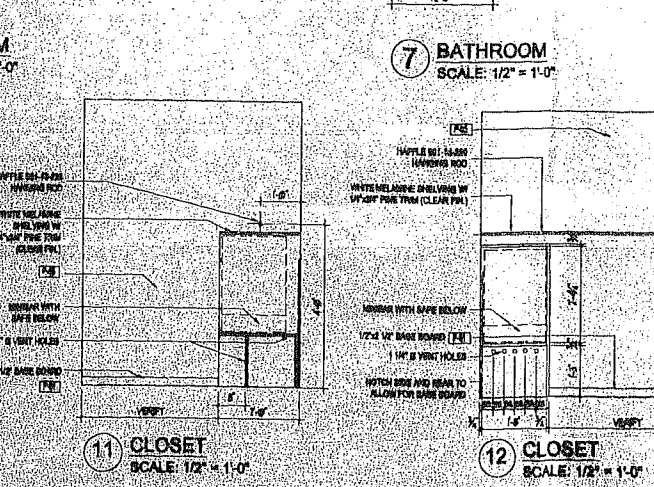
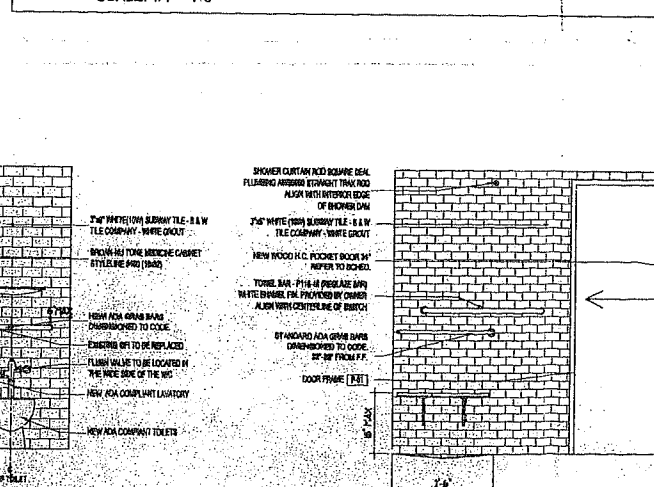
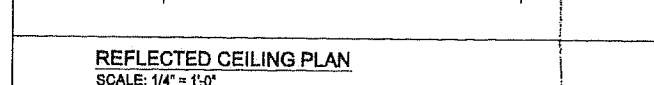
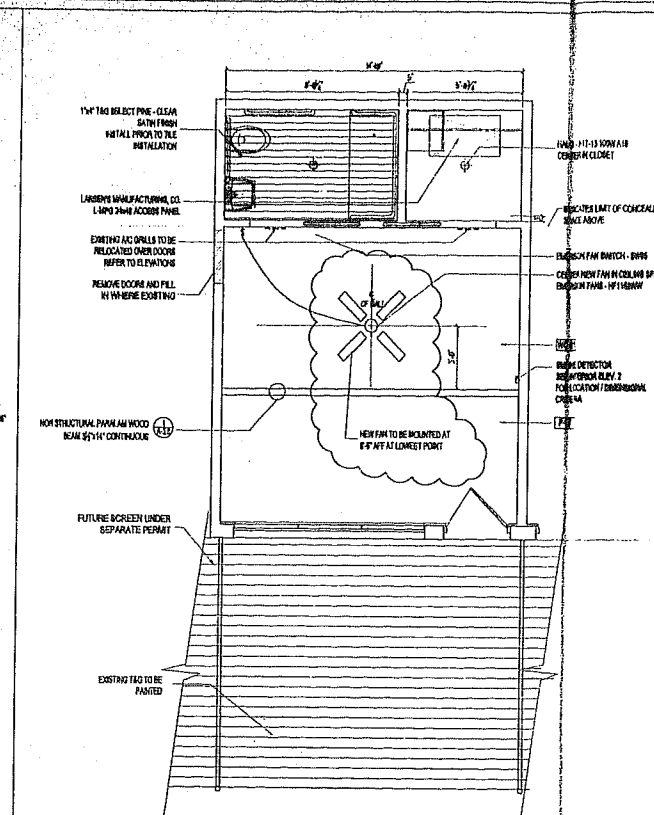
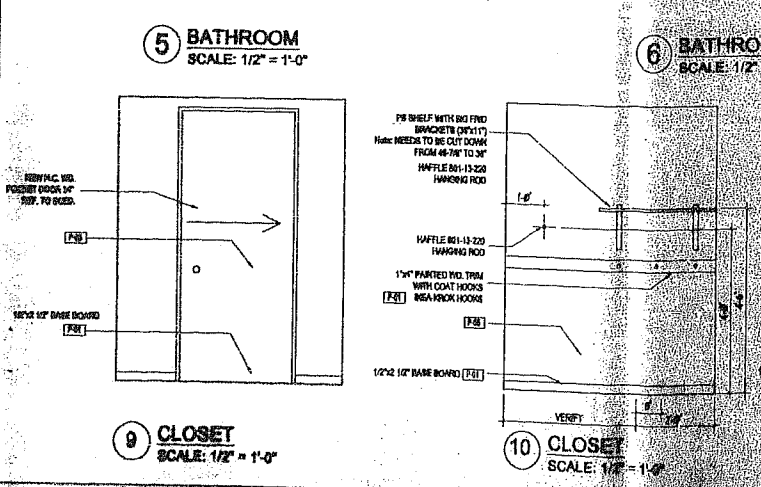
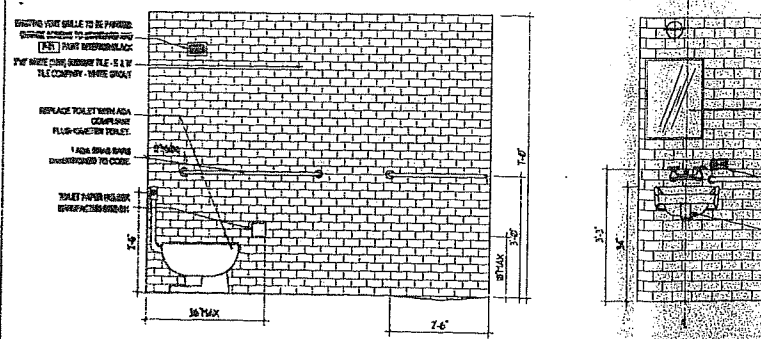
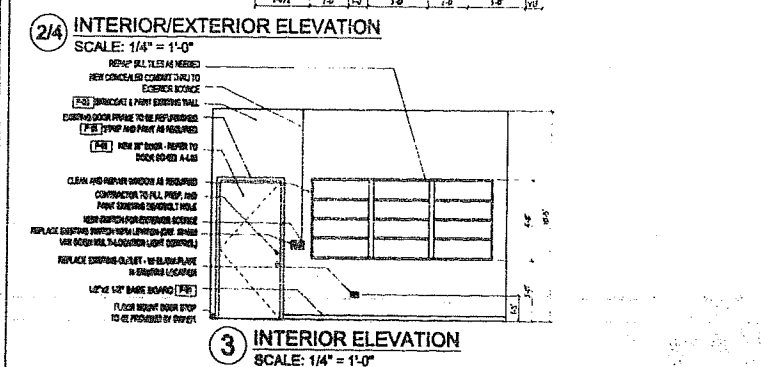
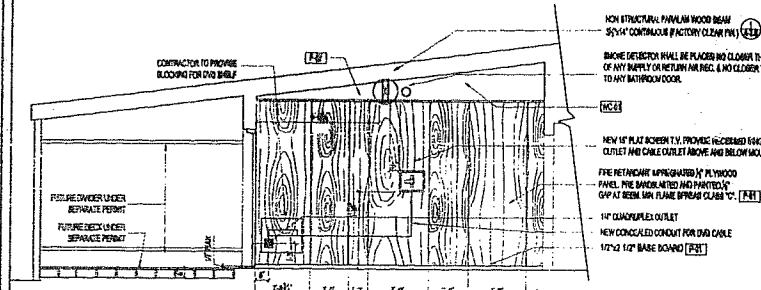
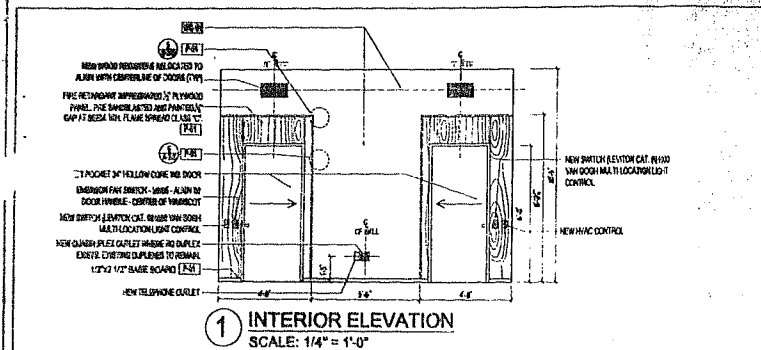
PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
160 NE 36th St., Suite 222, Miami, FL 33137
305-438-1200 fax 305-438-1221

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM
TYPE 4"

DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES

SHEET NO.
A-2.03



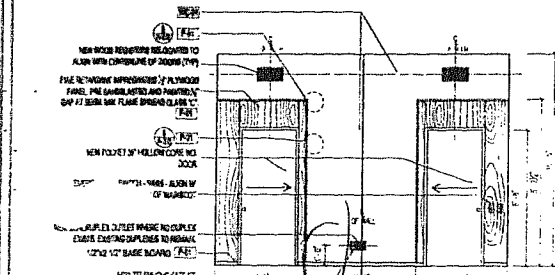
CONCURRENCY:	_____
PLUMBING:	_____
ELECTRICAL:	_____
MECHANICAL:	_____
FIRE PREVENTION:	_____
ENGINEERING:	_____
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ACCESSIBILITY:	_____
ELEVATOR:	_____

HANDICAP GENERAL NOTES:

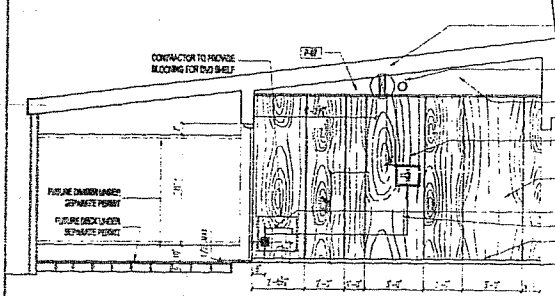
- A. LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 29" A.F.F. TO BOTTOM OF APRON.
- B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 10" DEEP
- C. FAUCETS TO BE LEVER-OPERATED, PUSH-TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS.
- D. SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP.
- E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" HIGH.
- F. ALL GRAB BARS TO BE 1 1/2" DIAM WITH 1 1/2" CLEARANCE OFF WALLS.
- G. DOOR THRESHOLD NOT TO EXCEED 1/4".
- H. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 38" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB.F.
- I. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 80" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS.
- J. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 36" CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS.
- K. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ ROD MOUNTED AT 46" A.F.F.
- L. OUTLETS @ 15" TO CENTER LINE.
- M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
- N. TYPICAL ACCESSIBLE UNIT'S FURNITURE:
 - DESK WITH KNEE CLEARANCE
 - ACCESSIBLE ROUTE 36" BOTH SIDES OF BED.
 - OPEN FRAME BED
 - DOORS NOT OBSTRUCTED.

NOTES

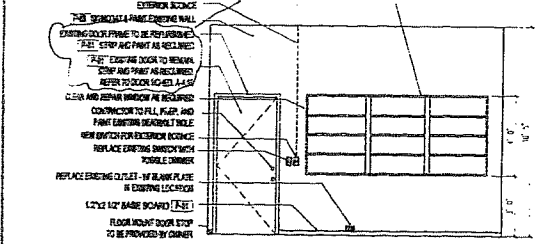
- 1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C.'S REQUIREMENTS.
- 2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
- 3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
- 4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- 5. NO DEMO ON THIS PERMIT



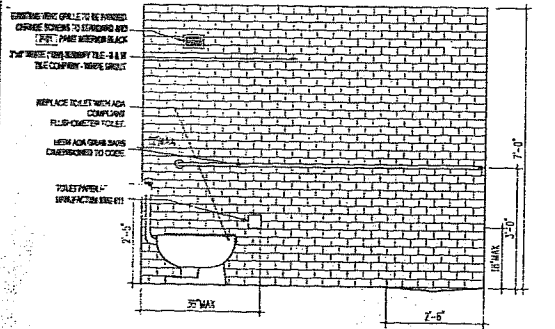
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



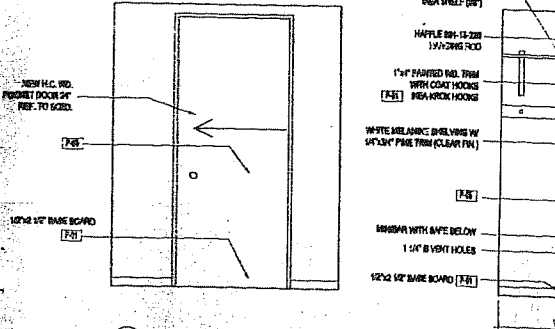
2 1/4 INTERIOR/EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



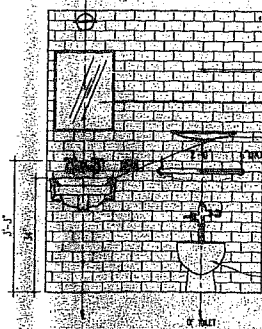
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



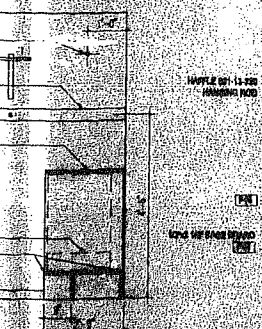
5 BATHROOM
SCALE: 1/2" = 1'-0"



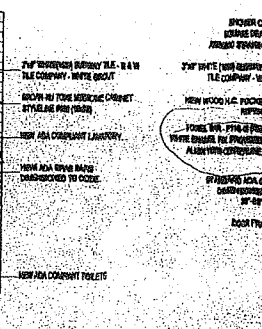
9 CLOSET
SCALE: 1/2" = 1'-0"



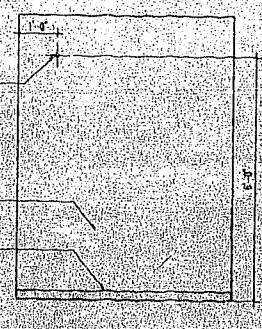
6 BATHROOM
SCALE: 1/2" = 1'-0"



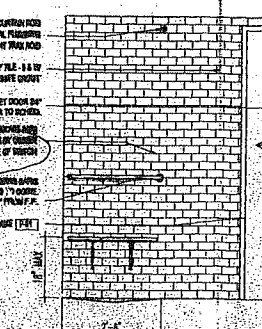
10 CLOSET
SCALE: 1/2" = 1'-0"



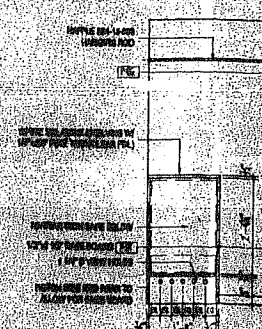
7 BATHROOM
SCALE: 1/2" = 1'-0"



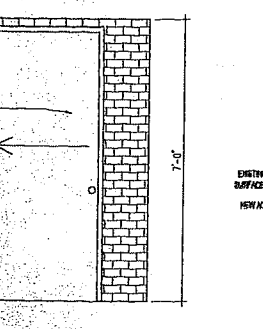
11 CLOSET
SCALE: 1/2" = 1'-0"



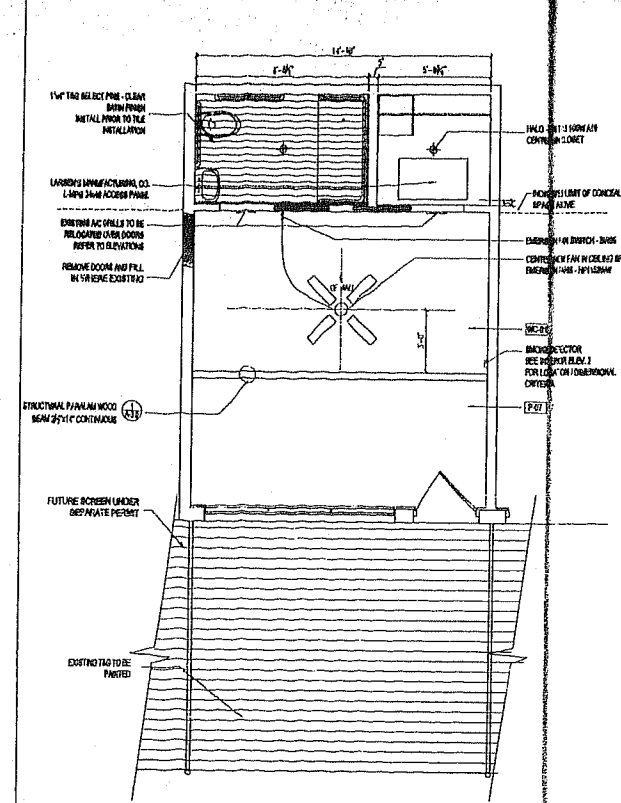
8 BATHROOM
SCALE: 1/2" = 1'-0"



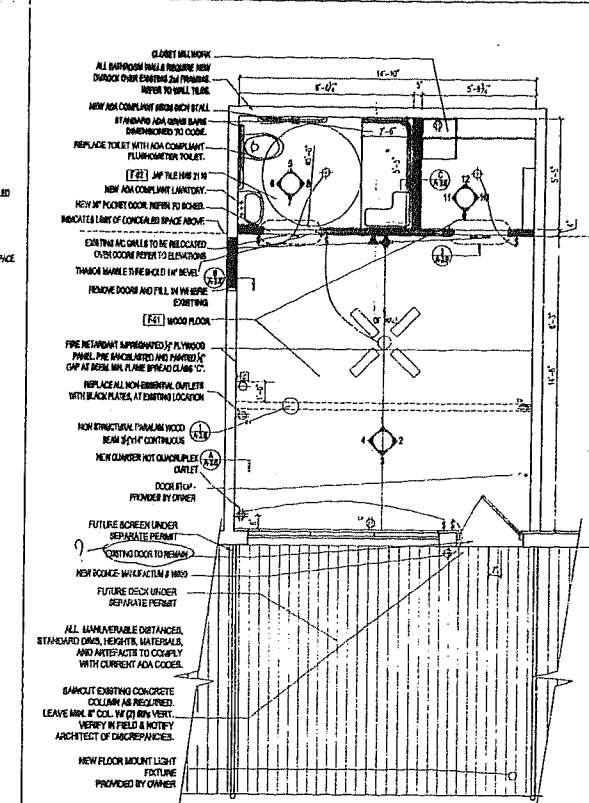
12 CLOSET
SCALE: 1/2" = 1'-0"



13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

HANDICAP GENERAL NOTES

- A. LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 28" A.F.F. TO BOTTOM OF APRON. LAVATORY TO HAVE SKIRT.
- B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 18" DEEP.
- C. FAUCETS TO BE LEVER-OPERATED, PUSH-TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS.
- D. SINK SHALL BE A MAXIMUM OF 8 1/2" DEEP.
- E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" DEEP.
- F. ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS.
- G. TUBS TO HAVE NON-SLIP BOTTOM.
- H. DOOR THRESHOLD NOT TO EXCEED 1/4".
- I. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 38" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN SLF.
- J. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS.
- K. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 36" CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS.
- L. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ROD MOUNTED AT 48" A.F.F.
- M. OUTLETS @ 15" TO CENTER LINE.
- N. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
- O. TYPICAL ACCESSIBLE UNIT'S FURNITURE: DESK WITH KNEE CLEARANCE ACCESSIBLE ROUTE 36" BOTH SIDES OF BED. OPEN FRAME BED DOORS NOT OBSTRUCTED.

NOTES

1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.E.C.'S REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL, AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT.

ALISON SPEAR, A.I.A.
160 NE 38th St, Suite 222, Miami, FL 33137
305-438-1200 Fax: 305-438-1221

PROJECT ARCHITECT
ALISON SPEAR, AIA
ARI 001660

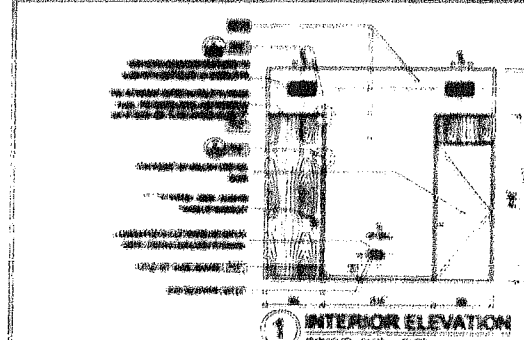
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM
TYPE "A"

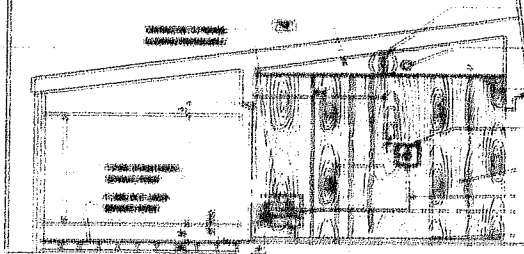
DRAWN BY: R.F.L.
CHECKED BY: A.S.
ISSUES

SHEET NO.

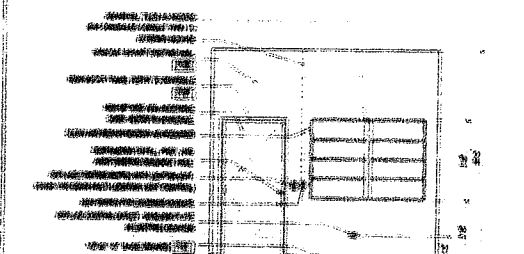
A-2.03



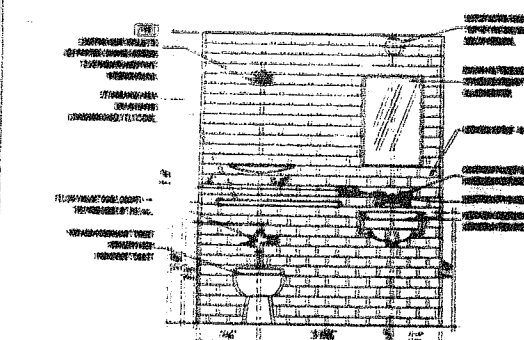
1 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



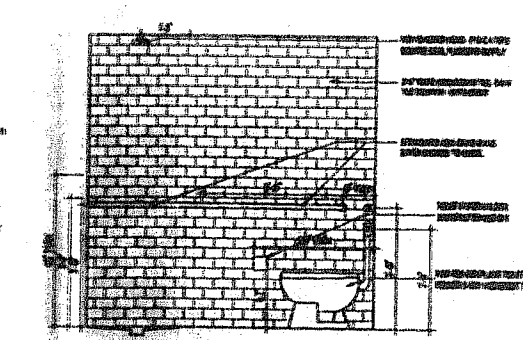
2 INTERIOR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



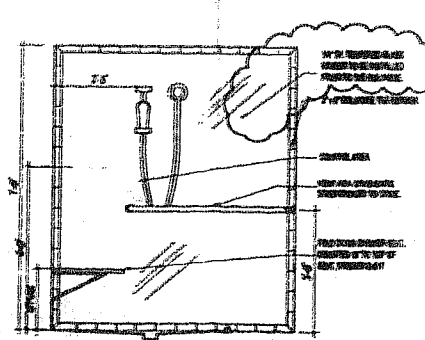
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



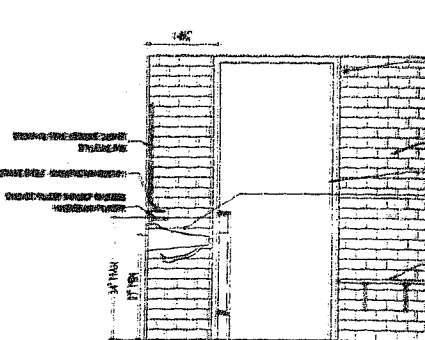
5 BATHROOM
SCALE: 1/2" = 1'-0"



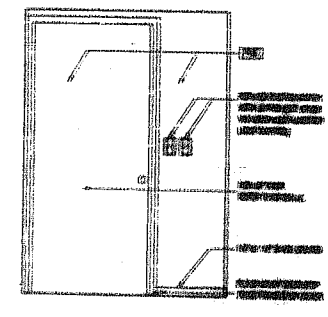
6 BATHROOM
SCALE: 1/2" = 1'-0"



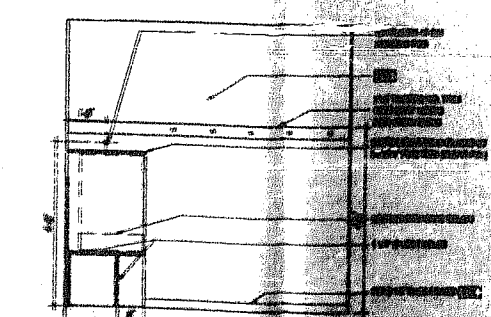
7 BATHROOM
SCALE: 1/2" = 1'-0"



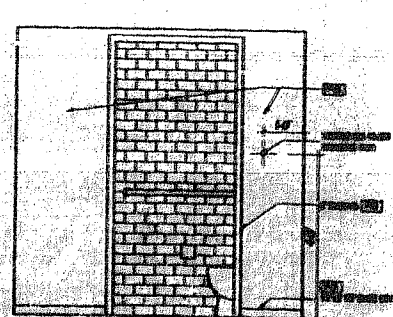
8 BATHROOM
SCALE: 1/2" = 1'-0"



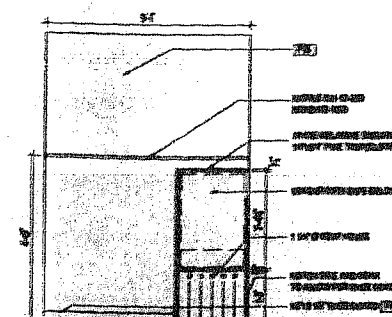
9 CLOSET
SCALE: 1/2" = 1'-0"



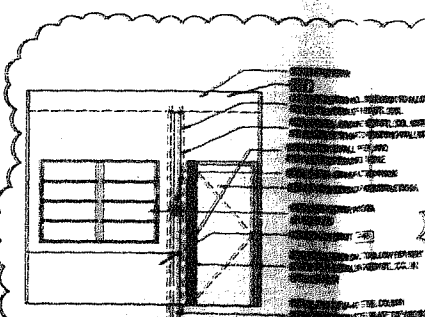
10 CLOSET
SCALE: 1/2" = 1'-0"



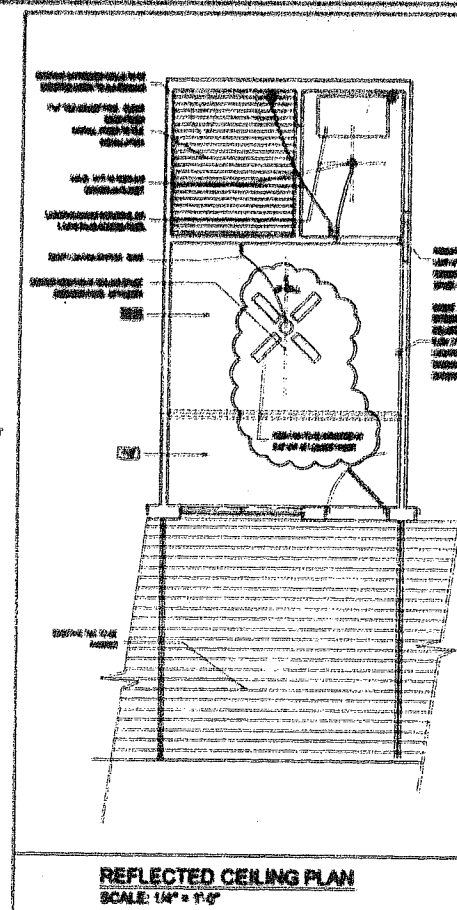
11 CLOSET
SCALE: 1/2" = 1'-0"



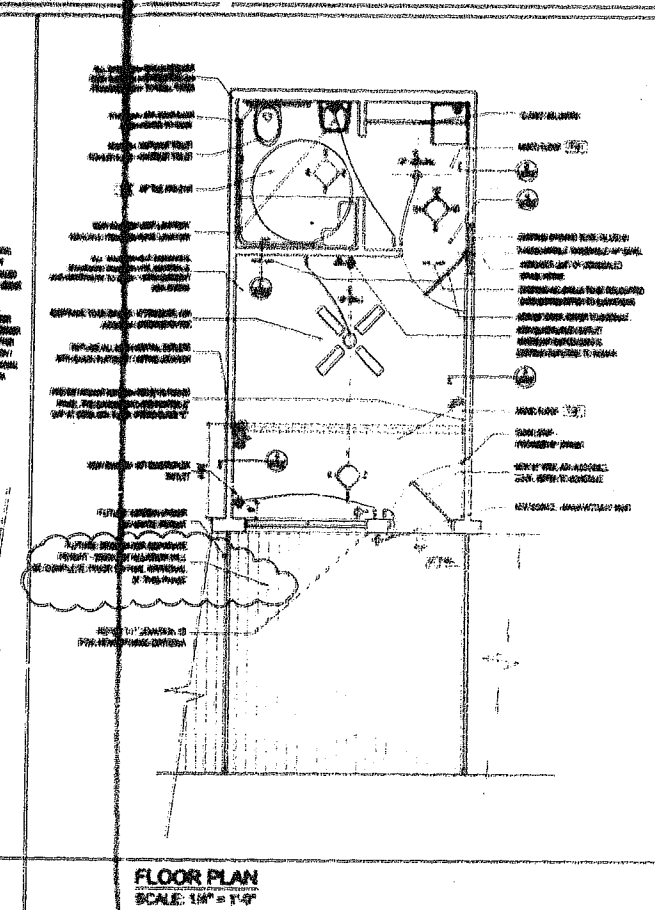
12 CLOSET
SCALE: 1/2" = 1'-0"



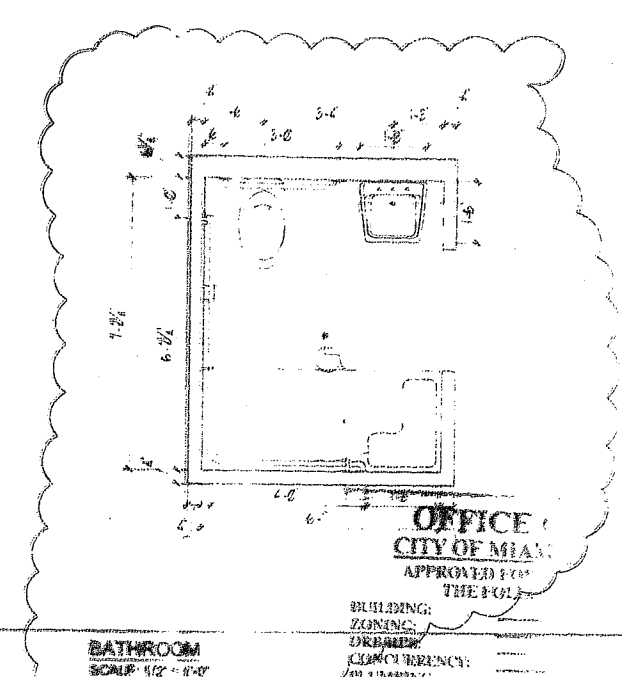
13 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



BATHROOM
SCALE: 1/2" = 1'-0"

HANDICAP GENERAL NOTES

- A. LAVATORY COUNTER TOP HEIGHT TO BE 34" A.F.F. WITH A MINIMUM CLEARANCE OF 30" A.F.F. TO BOTTOM OF APRON.
- B. RISE CLEARANCE UNDER SINK SHALL BE AT LEAST 27" HIGH, 30" WIDE AND 10" DEEP.
- C. FAUCETS TO BE LEVER OPERATED, PUSH TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS.
- D. SINK SHALL BE A MINIMUM OF 6" DEEP.
- E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 18" HIGH.
- F. ALL GRAB BARS TO BE 1 1/2" DIA. WITH 1 1/2" CLEARANCE OFF WALLS.
- G. DOOR THRESHOLD NOT TO EXCEED 1/4".
- H. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 36" AND 48" A.F.F. (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
- I. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE SHOWER ROOMS.
- J. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 30" CLEAR WITHIN MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 30" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS.
- K. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. WITH ROD MOUNTED AT 40" A.F.F.
- L. OUTLETS @ 16" TO CENTER LINE.
- M. FLUSH CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS.
- N. TYPICAL ACCESSIBLE UNITS FURNITURE:
- DESK WITH KNEE CLEARANCE
- ACCESSIBLE ROUTE 36" WIDE SIDES OF BED.
- OPEN FRAME BED
- DOOR NOT OBSTRUCTED

NOTES

1. OUTLET LOCATIONS IN THE DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEERS DRAWINGS TO MEET F.B.C.A. REQUIREMENTS.
2. ALL NON-ESSENTIAL EXISTING OUTLETS SHOULD BE REPLACED WITH BLANK FACE PLATES (WHITE), HORIZONTAL AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND REPORT ANY DISCREPANCIES.
5. NO DIMENSION THIS PERMIT.

ALISON SPEAR, A.I.A.
180 NE 38th St. Suite 202, Miami, FL 33137
305-444-1200 FAX 305-444-1211

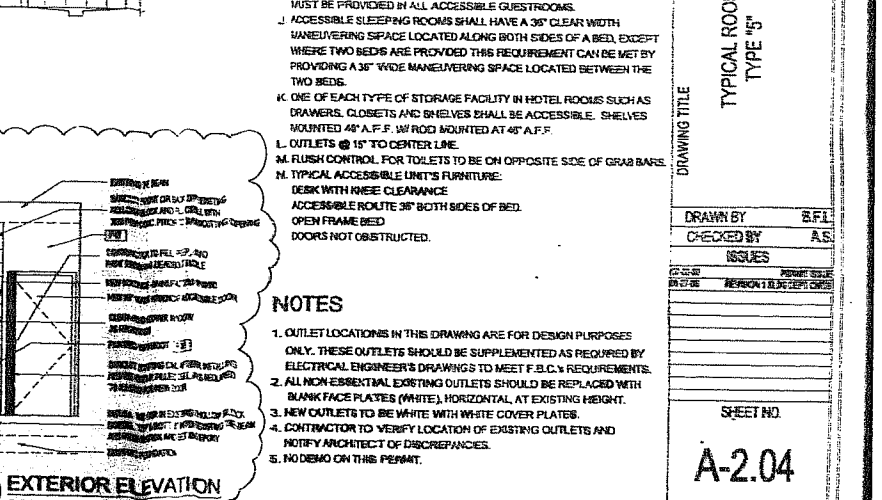
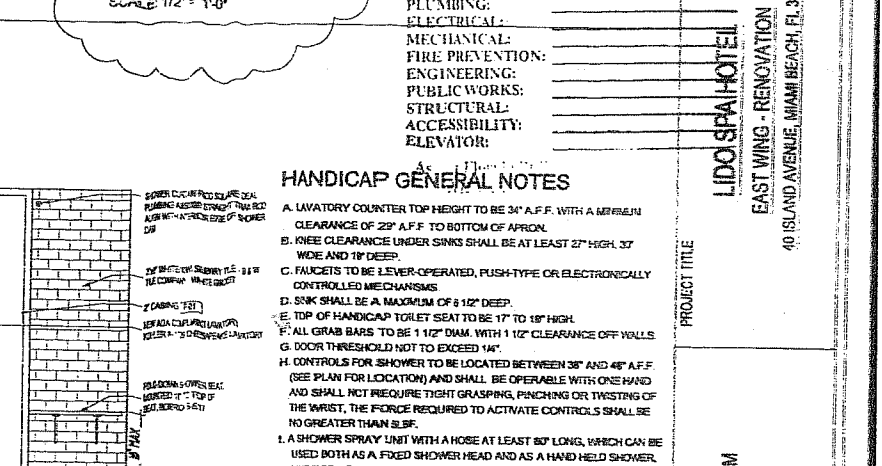
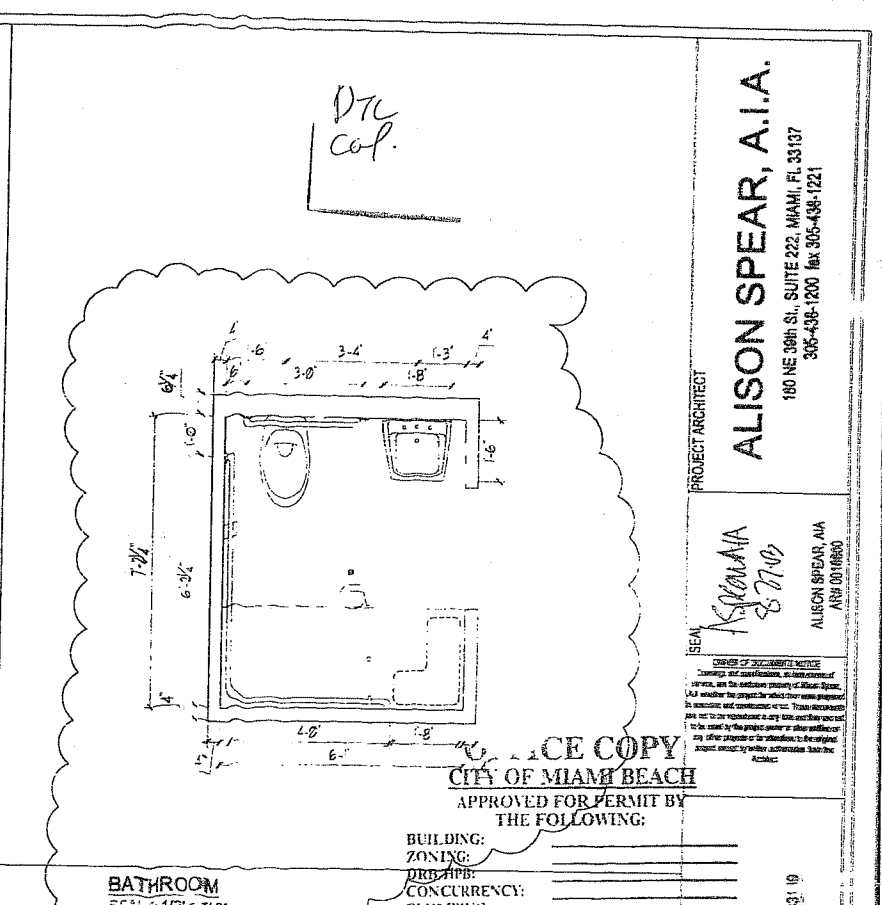
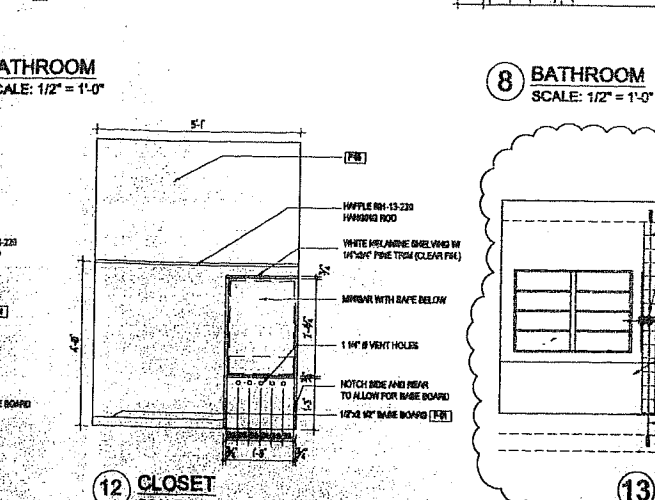
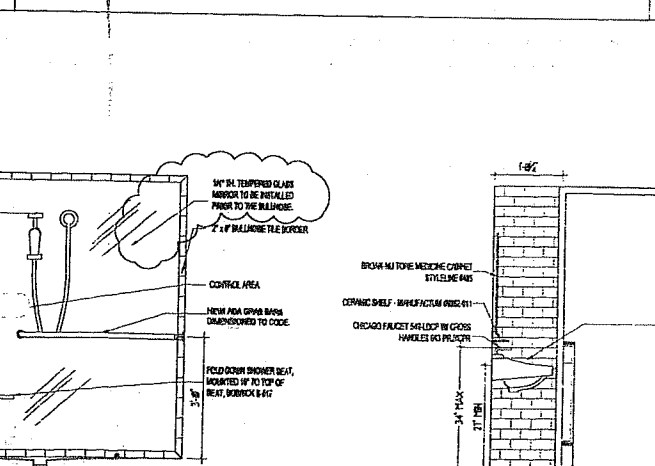
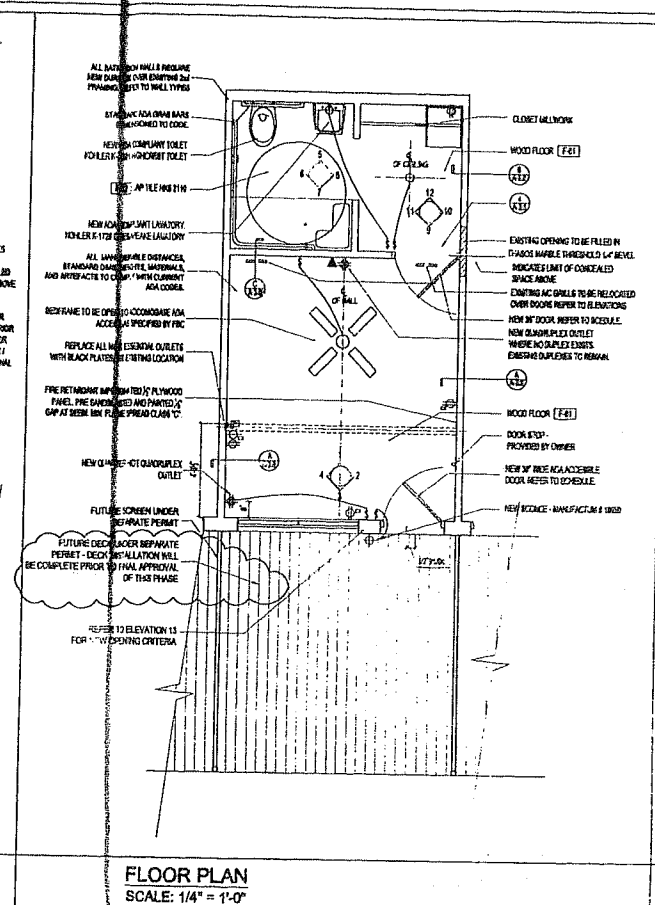
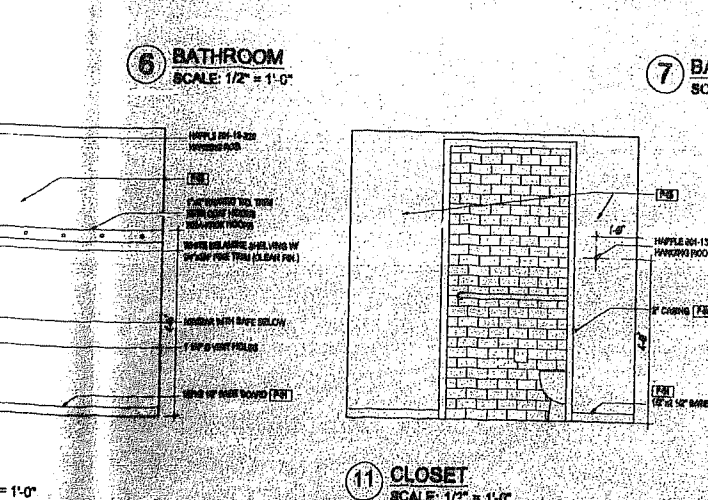
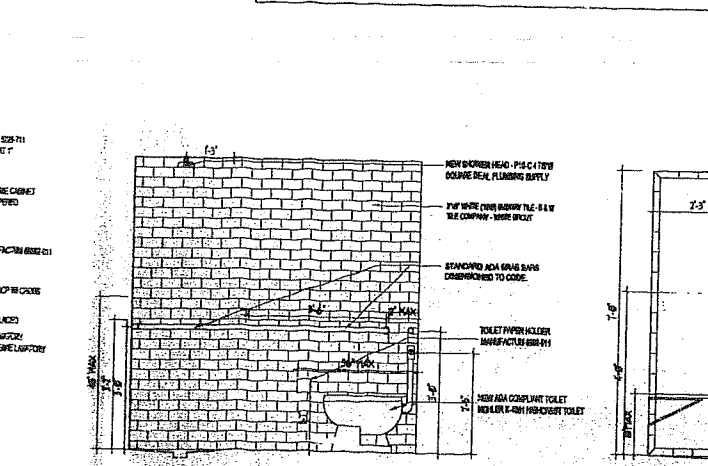
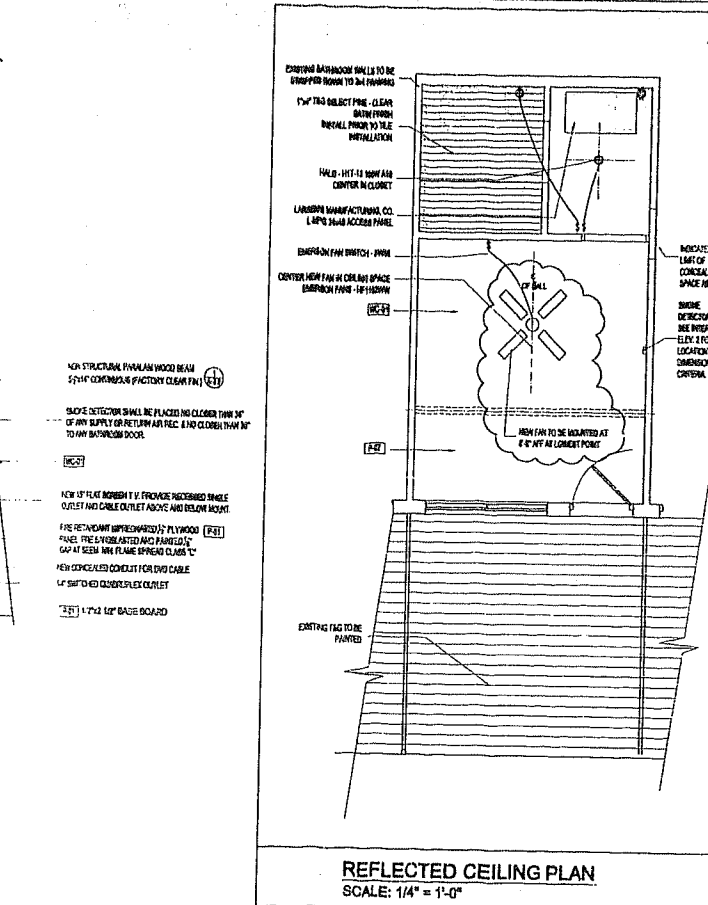
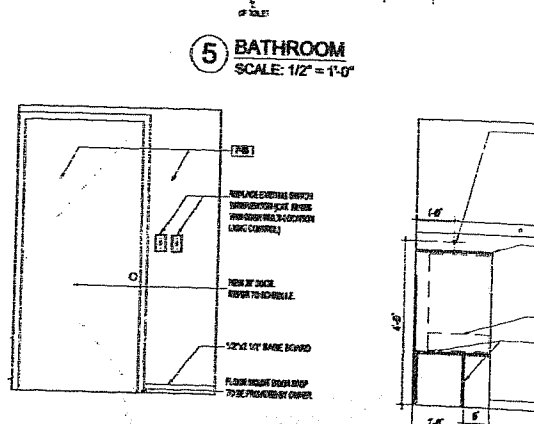
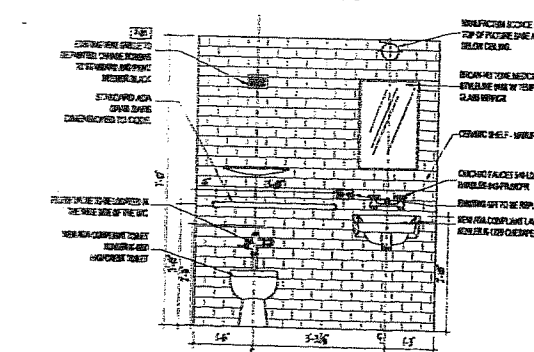
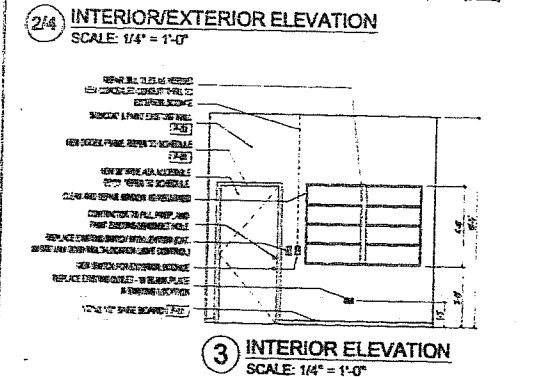
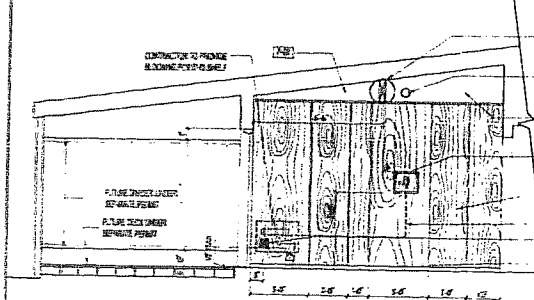
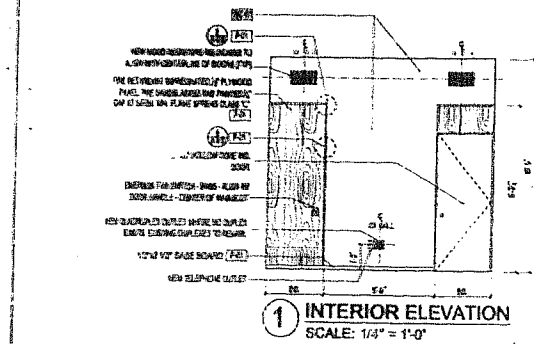
PROJECT ARCHITECT

PROJECT TITLE: **LIDO SPA HOTEL EAST WING - RENOVATION**
40 ISLAND AVENUE, MIAMI BEACH, FL 33141

DRAWING TITLE: **TYPICAL ROOM TYPE "B"**

CHECKED BY: **A.S.**
DATE: **9/10/03**

SHEET NO. **A-2.04**



ALISON SPEAR, A.I.A.
180 NE 38th St., Suite 222, Miami, FL 33137
305-436-1200 fax 305-436-1221

SPEN AIA
6-27-03
ALISON SPEAR, AIA
AR# 0018850

2-10-68

SPANIA HOTEL
ING - RENOVATION
CLUE, MIAMI BEACH, FL 33119

LIDO
EAST WIL
40 ISLAND AVENUE

TYPICAL ROOM
TYPE "5"

W BY	EFF
ED BY	AS
ISSUES	
PRINTED BY REGIONAL DIRECTOR	

SHEET NO.

-2.04

一、關於「中國共產黨」
 二、關於「中國革命」
 三、關於「中國前途」
 四、關於「中國青年」
 五、關於「中國婦女」
 六、關於「中國兒童」
 七、關於「中國教育」
 八、關於「中國經濟」
 九、關於「中國政治」
 十、關於「中國文化」
 十一、關於「中國藝術」
 十二、關於「中國科學」
 十三、關於「中國宗教」
 十四、關於「中國法律」
 十五、關於「中國道德」
 十六、關於「中國習慣」
 十七、關於「中國風俗」
 十八、關於「中國語言」
 十九、關於「中國文字」
 二十、關於「中國歷史」
 二十一、關於「中國地理」
 二十二、關於「中國氣候」
 二十三、關於「中國物產」
 二十四、關於「中國交通」
 二十五、關於「中國對外關係」
 二十六、關於「中國對內關係」
 二十七、關於「中國對外政策」
 二十八、關於「中國對內政策」
 二十九、關於「中國對外宣傳」
 三十、關於「中國對內宣傳」
 三十一、關於「中國對外教育」
 三十二、關於「中國對內教育」
 三十三、關於「中國對外經濟」
 三十四、關於「中國對內經濟」
 三十五、關於「中國對外政治」
 三十六、關於「中國對內政治」
 三十七、關於「中國對外文化」
 三十八、關於「中國對內文化」
 三十九、關於「中國對外藝術」
 四十、關於「中國對內藝術」
 四十一、關於「中國對外科學」
 四十二、關於「中國對內科學」
 四十三、關於「中國對外宗教」
 四十四、關於「中國對內宗教」
 四十五、關於「中國對外法律」
 四十六、關於「中國對內法律」
 四十七、關於「中國對外道德」
 四十八、關於「中國對內道德」
 四十九、關於「中國對外習慣」
 五十、關於「中國對內習慣」
 五十一、關於「中國對外風俗」
 五十二、關於「中國對內風俗」
 五十三、關於「中國對外語言」
 五十四、關於「中國對內語言」
 五十五、關於「中國對外文字」
 五十六、關於「中國對內文字」
 五十七、關於「中國對外歷史」
 五十八、關於「中國對內歷史」
 五十九、關於「中國對外地理」
 六十、關於「中國對內地理」
 六十一、關於「中國對外氣候」
 六十二、關於「中國對內氣候」
 六十三、關於「中國對外物產」
 六十四、關於「中國對內物產」
 六十五、關於「中國對外交通」
 六十六、關於「中國對內交通」
 六十七、關於「中國對外對外關係」
 六十八、關於「中國對內對外關係」
 六十九、關於「中國對外對外政策」
 七十、關於「中國對內對外政策」
 七十一、關於「中國對外對外宣傳」
 七十二、關於「中國對內對外宣傳」
 七十三、關於「中國對外對外教育」
 七十四、關於「中國對內對外教育」
 七十五、關於「中國對外對外經濟」
 七十六、關於「中國對內對外經濟」
 七十七、關於「中國對外對外政治」
 七十八、關於「中國對內對外政治」
 七十九、關於「中國對外對外文化」
 八十、關於「中國對內對外文化」
 八十一、關於「中國對外對外藝術」
 八十二、關於「中國對內對外藝術」
 八十三、關於「中國對外對外科學」
 八十四、關於「中國對內對外科學」
 八十五、關於「中國對外對外宗教」
 八十六、關於「中國對內對外宗教」
 八十七、關於「中國對外對外法律」
 八十八、關於「中國對內對外法律」
 八十九、關於「中國對外對外道德」
 九十、關於「中國對內對外道德」
 九十一、關於「中國對外對外習慣」
 九十二、關於「中國對內對外習慣」
 九十三、關於「中國對外對外風俗」
 九十四、關於「中國對內對外風俗」
 九十五、關於「中國對外對外語言」
 九十六、關於「中國對內對外語言」
 九十七、關於「中國對外對外文字」
 九十八、關於「中國對內對外文字」
 九十九、關於「中國對外對外歷史」
 一百、關於「中國對內對外歷史」
 一百零一、關於「中國對外對外地理」
 一百零二、關於「中國對內對外地理」
 一百零三、關於「中國對外對外氣候」
 一百零四、關於「中國對內對外氣候」
 一百零五、關於「中國對外對外物產」
 一百零六、關於「中國對內對外物產」
 一百零七、關於「中國對外對外交通」
 一百零八、關於「中國對內對外交通」
 一百零九、關於「中國對外對外對外關係」
 一百一十、關於「中國對內對外對外關係」
 一百一十一、關於「中國對外對外對外政策」
 一百一十二、關於「中國對內對外對外政策」
 一百一十三、關於「中國對外對外對外宣傳」
 一百一十四、關於「中國對內對外對外宣傳」
 一百一十五、關於「中國對外對外對外教育」
 一百一十六、關於「中國對內對外對外教育」
 一百一十七、關於「中國對外對外對外經濟」
 一百一十八、關於「中國對內對外對外經濟」
 一百一十九、關於「中國對外對外對外政治」
 一百二十、關於「中國對內對外對外政治」
 一百二十一、關於「中國對外對外對外文化」
 一百二十二、關於「中國對內對外對外文化」
 一百二十三、關於「中國對外對外對外藝術」
 一百二十四、關於「中國對內對外對外藝術」
 一百二十五、關於「中國對外對外對外科學」
 一百二十六、關於「中國對內對外對外科學」
 一百二十七、關於「中國對外對外對外宗教」
 一百二十八、關於「中國對內對外對外宗教」
 一百二十九、關於「中國對外對外對外法律」
 一百三十、關於「中國對內對外對外法律」
 一百三十一、關於「中國對外對外對外道德」
 一百三十二、關於「中國對內對外對外道德」
 一百三十三、關於「中國對外對外對外習慣」
 一百三十四、關於「中國對內對外對外習慣」
 一百三十五、關於「中國對外對外對外風俗」
 一百三十六、關於「中國對內對外對外風俗」
 一百三十七、關於「中國對外對外對外語言」
 一百三十八、關於「中國對內對外對外語言」
 一百三十九、關於「中國對外對外對外文字」
 一百四十、關於「中國對內對外對外文字」
 一百四十一、關於「中國對外對外對外歷史」
 一百四十二、關於「中國對內對外對外歷史」
 一百四十三、關於「中國對外對外對外地理」
 一百四十四、關於「中國對內對外對外地理」
 一百四十五、關於「中國對外對外對外氣候」
 一百四十六、關於「中國對內對外對外氣候」
 一百四十七、關於「中國對外對外對外物產」
 一百四十八、關於「中國對內對外對外物產」
 一百四十九、關於「中國對外對外對外交通」
 一百五十、關於「中國對內對外對外交通」
 一百五十一、關於「中國對外對外對外對外關係」
 一百五十二、關於「中國對內對外對外對外關係」
 一百五十三、關於「中國對外對外對外對外政策」
 一百五十四、關於「中國對內對外對外對外政策」
 一百五十五、關於「中國對外對外對外對外宣傳」
 一百五十六、關於「中國對內對外對外對外宣傳」
 一百五十七、關於「中國對外對外對外對外教育」
 一百五十八、關於「中國對內對外對外對外教育」
 一百五十九、關於「中國對外對外對外對外經濟」
 一百六十、關於「中國對內對外對外對外經濟」
 一百六十一、關於「中國對外對外對外對外政治」
 一百六十二、關於「中國對內對外對外對外政治」
 一百六十三、關於「中國對外對外對外對外文化」
 一百六十四、關於「中國對內對外對外對外文化」
 一百六十五、關於「中國對外對外對外對外藝術」
 一百六十六、關於「中國對內對外對外對外藝術」
 一百六十七、關於「中國對外對外對外對外科學」
 一百六十八、關於「中國對內對外對外對外科學」
 一百六十九、關於「中國對外對外對外對外宗教」
 一百七十、關於「中國對內對外對外對外宗教」
 一百七十一、關於「中國對外對外對外對外法律」
 一百七十二、關於「中國對內對外對外對外法律」
 一百七十三、關於「中國對外對外對外對外道德」
 一百七十四、關於「中國對內對外對外對外道德」
 一百七十五、關於「中國對外對外對外對外習慣」
 一百七十六、關於「中國對內對外對外對外習慣」
 一百七十七、關於「中國對外對外對外對外風俗」
 一百七十八、關於「中國對內對外對外對外風俗」
 一百七十九、關於「中國對外對外對外對外語言」
 一百八十、關於「中國對內對外對外對外語言」
 一百八十一、關於「中國對外對外對外對外文字」
 一百八十二、關於「中國對內對外對外對外文字」
 一百八十三、關於「中國對外對外對外對外歷史」
 一百八十四、關於「中國對內對外對外對外歷史」
 一百八十五、關於「中國對外對外對外對外地理」
 一百八十六、關於「中國對內對外對外對外地理」
 一百八十七、關於「中國對外對外對外對外氣候」
 一百八十八、關於「中國對

陳其南、陳其南、陳其南

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT TO
THE FOLLOWING:

BUILDING: _____
ZONING: _____
DRB/HPS: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION _____
ENGINEERING _____
PUBLIC WORKS _____
CITY COUNCIL _____

LIDO SPA HOTEL
EAST WING - RENOVATION

卷之四 雜著

PARAGIMÉ

TYPICAL ROOM

[illegible]

DATE: 10/10/1964
TIME: 10:00 AM
BY: [illegible]
TO: [illegible]
SUBJECT: [illegible]

721-5521

A-2.04

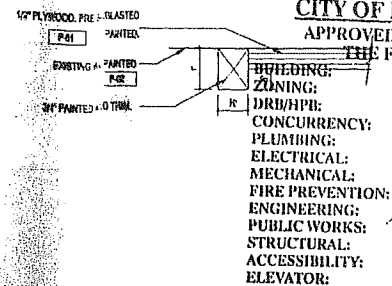
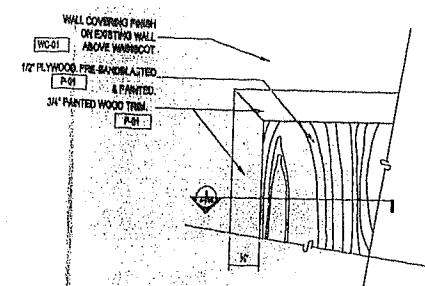
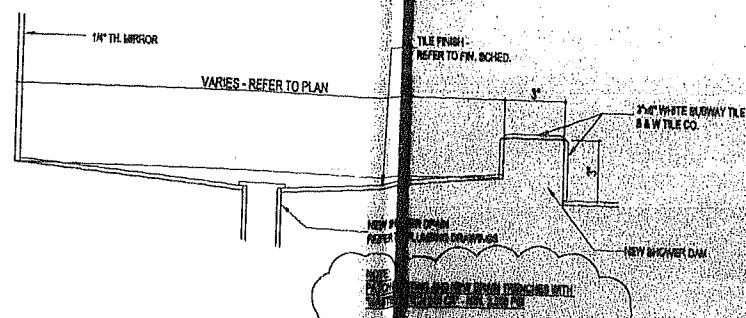
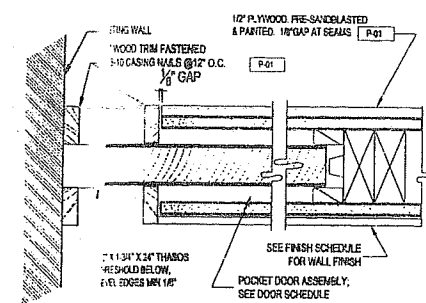
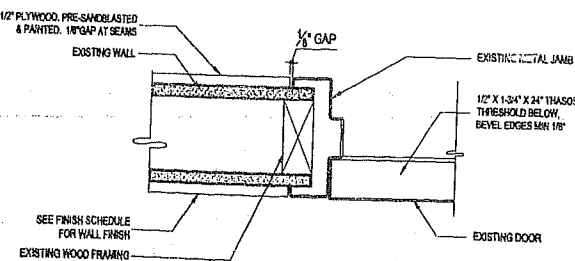
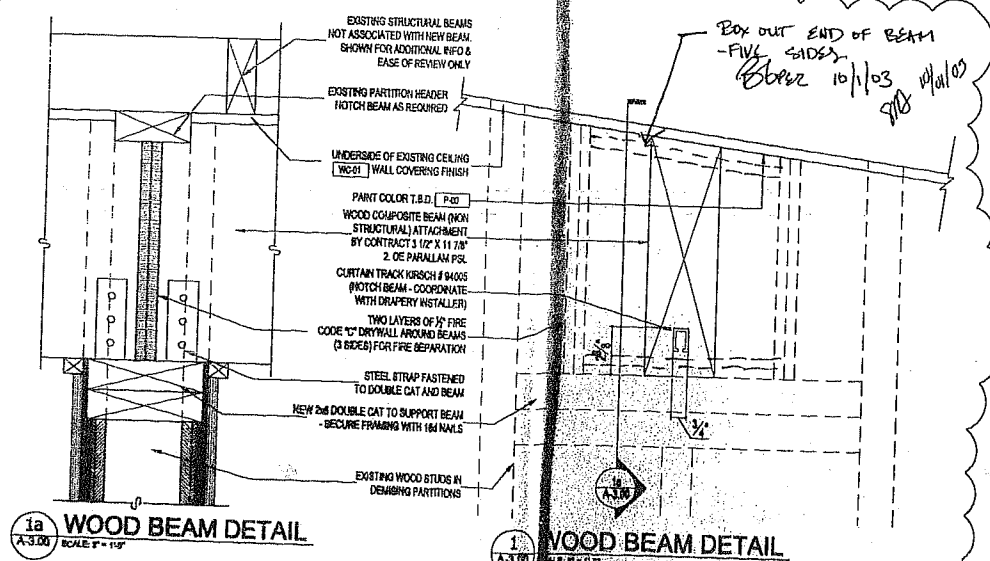
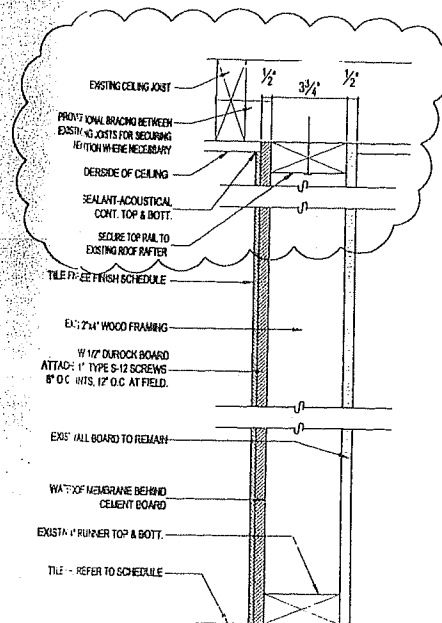
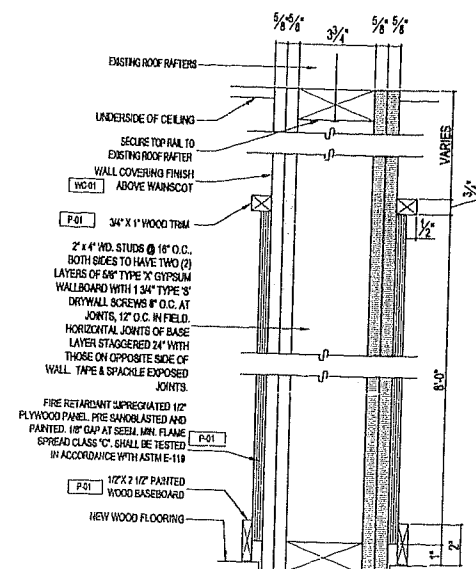
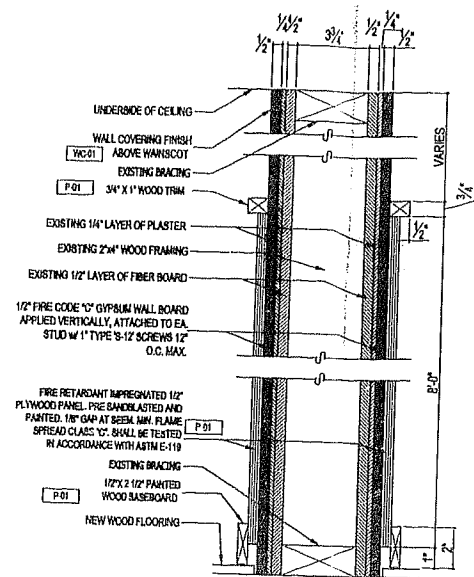


HANDICAP GENERAL NOTES

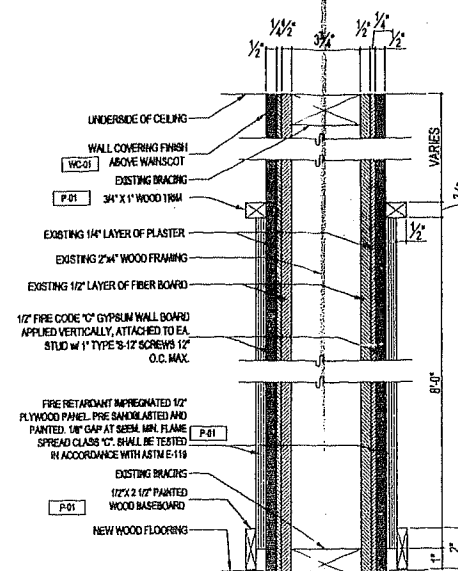
- A. LAVATORY COUNTER TOP HEIGHT TO BE 36" ± 5% WITH A MINIMUM CLEARANCE OF 28" A.F.F. TO BOTTOM OF APRON, LAVATORY TO HAVE SKIRT
- B. KNEE CLEARANCE UNDER SINKS SHALL BE AT LEAST 27" HIGH, 32" WIDE AND 21" DEEP
- C. FAUCETS TO BE LEVER-OPERATED, PUSH-TYPE OR ELECTRONICALLY CONTROLLED MECHANISMS
- D. SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP
- E. TOP OF HANDICAP TOILET SEAT TO BE 17" TO 19" DEEP
- F. ALL GRAB BARS TO BE 1 1/2" DIAM. WITH 1 1/2" CLEARANCE OFF WALLS
- G. TUB TO HAVE NON-SLIP BOTTOM
- H. DOOR THRESHOLD NOT TO EXCEED 1/4"
- I. CONTROLS FOR SHOWER TO BE LOCATED BETWEEN 36" AND 48" OFF (SEE PLAN FOR LOCATION) AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PHONING OR TWISTING OF THE WRIST, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN SLUF.
- J. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 86" LONG, WHICH CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND HELD SHOWER, MUST BE PROVIDED IN ALL ACCESSIBLE GUESTROOMS
- K. ACCESSIBLE SLEEPING ROOMS SHALL HAVE A 3" CLEAR WITH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED, EXCEPT WHERE TWO BEDS ARE PROVIDED THIS REQUIREMENT CAN BE MET BY PROVIDING A 36" WIDE MANEUVERING SPACE LOCATED BETWEEN THE TWO BEDS
- L. ONE OF EACH TYPE OF STORAGE FACILITY IN HOTEL ROOMS SUCH AS DRAWERS, CLOSETS AND SHELVES SHALL BE ACCESSIBLE. SHELVES MOUNTED 48" A.F.F. W/ ROD MOUNTED AT 46" A.F.F
- M. OUTLETS @ 15" TO CENTER LINE
- N. PLUMB CONTROL FOR TOILETS TO BE ON OPPOSITE SIDE OF GRAB BARS
- O. TYPICAL ACCESSIBLE UNIT'S FURNITURE
 - DESK WITH KNEE CLEARANCE
 - ACCESSIBLE ROUTE 36" BOTH SIDES OF BED
 - OPEN FRAME BED
 - DOORS NOT OBSTRUCTED

NOTES

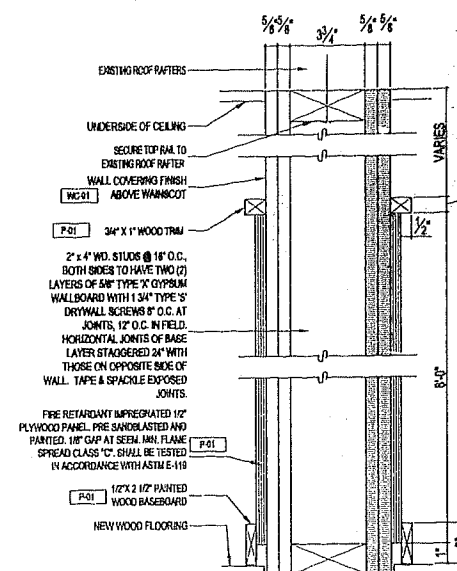
1. OUTLET LOCATIONS IN THIS DRAWING ARE FOR DESIGN PURPOSES ONLY. THESE OUTLETS SHOULD BE SUPPLEMENTED AS REQUIRED BY ELECTRICAL ENGINEER'S DRAWINGS TO MEET F.B.C. REQUIREMENTS.
2. ALL NON-ESSENTIAL VENTING OUTLETS SHOULD BE REPLACES WITH BLANK FACE PLATES (WHITE) HORIZONTAL AT EXISTING HEIGHT.
3. NEW OUTLETS TO BE WHITE WITH WHITE COVER PLATES.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING OUTLETS AND NOTIFY ARCHITECT OF DISCREPANCIES.
5. NO DEMO ON THIS PERMIT



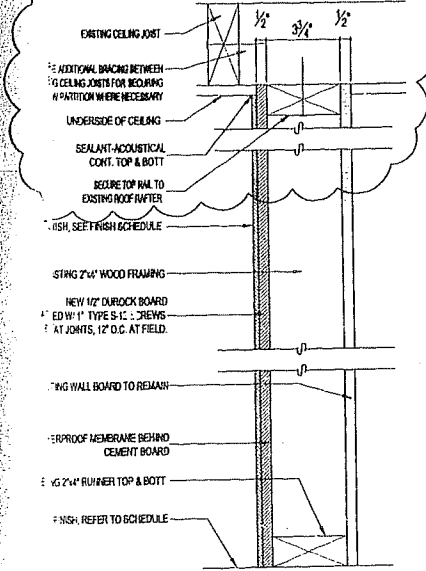
DRAWING TITLE	PROJECT TITLE	LIDO SPA HOTEL EAST WING - RENOVATION! 40 ISLAND AVENUE, MIAMI BEACH, FL - 33139	SEAL ALISON SPEAR, AIA APR 01/1980	PROJECT ARCHITECT ALISON SPEAR, A.I.A. 180 NE 39th St., SUITE 222, MIAMI, FL 33137 305-438-1200 fax 305-438-1221
OWNER OF DOCUMENTS NOTICE Drawings and specifications, to whomsoever made, are the exclusive property of Alison Spear, AIA whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by this project owner or other entities on any other project except by written authorization from this Architect.				
DRAWN BY B.F.I. CHECKED BY A.S. ISSUES 07/91/43 PERMIT COLOR 08-31-93 REVISION BLDG DEPT. CDD				
SHEET NO.				



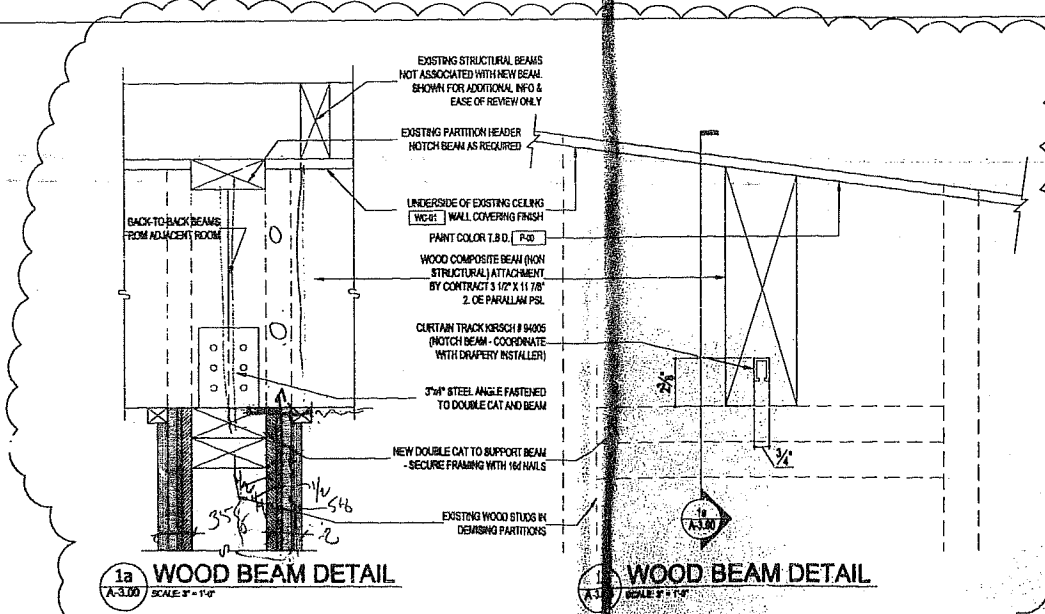
A WALL SECTION
SCALE: 3/4\"/>



B WALL SECTION
SCALE: 3/4\"/>

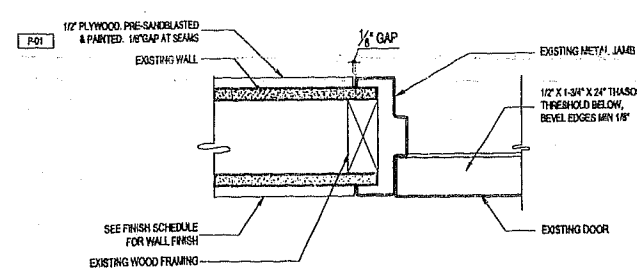


C WALL SECTION
SCALE: 3/4\"/>

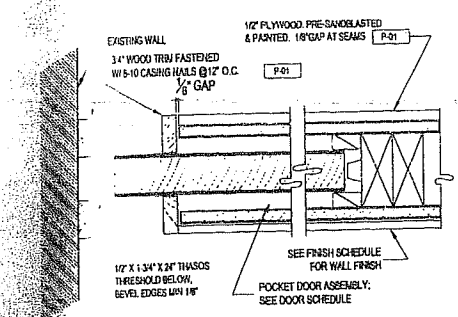


1a WOOD BEAM DETAIL
SCALE: 3/4\"/>

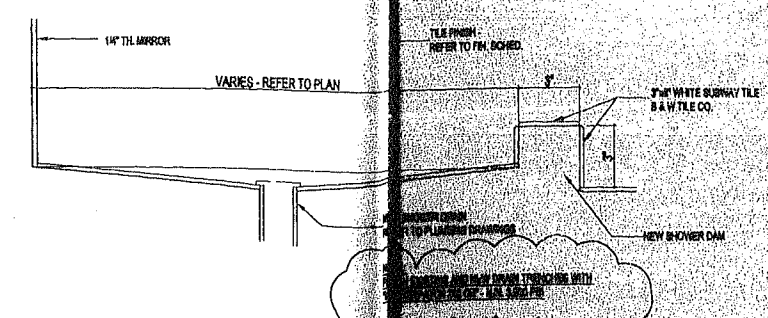
WOOD BEAM DETAIL
SCALE: 3/4\"/>



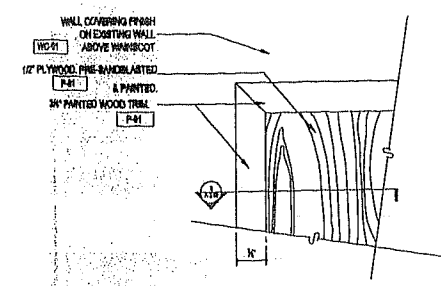
3 DOOR JAMB DETAIL
SCALE: 3/4\"/>



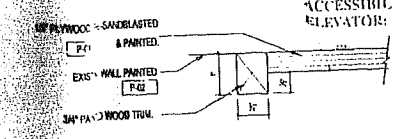
4 DOOR JAMB DETAIL
SCALE: 3/4\"/>



2 SHOWER FLOOR SECTION
SCALE: 3/4\"/>



5 DETAIL ELEVATION
SCALE: 6\"/>



6 DETAIL ELEVATION
SCALE: 6\"/>

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
- DRB/HPB: _____
- CONCURRENCY: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATOR: _____

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., Suite 222 Miami, FL 33137
305-438-1200 fax 305-438-1221

SEAL
Alison Spear
8-27-02
ALISON SPEAR, AIA
ARK 0016660

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE
TYPICAL ROOM DETAILS

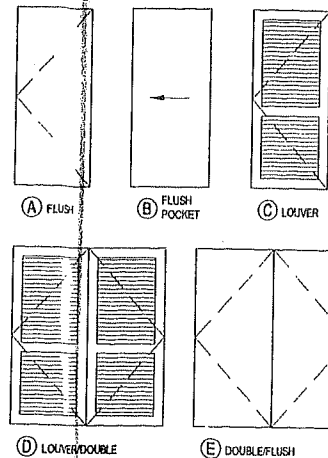
DRAWN BY B.F.L.
CHECKED BY A.S.
ISSUES

07-02-03 PERMIT ISSUE
08-27-03 REVISIONS BLDG DEPT. CHG

SHEET NO.
A-3.00

ROOM FINISH SCHEDULE														
ROOM NAME	FLOOR	BASE	1	2	3	4	5	6	7	8	9	10	11	12
ROOM TYPE 1	F-1	B-1	W-1	W-2	W-3	W-4	W-5	W-6	W-7	W-8	W-9	W-10	W-11	W-12
ROOM TYPE 2	F-1	B-1	W-1	W-2	W-3	W-4	W-5	W-6	W-7	W-8	W-9	W-10	W-11	W-12
ROOM TYPE 3	F-1	B-1	W-1	W-2	W-3	W-4	W-5	W-6	W-7	W-8	W-9	W-10	W-11	W-12
ROOM TYPE 4	F-1	B-1	W-1	W-2	W-3	W-4	W-5	W-6	W-7	W-8	W-9	W-10	W-11	W-12
ROOM TYPE 5	F-1	B-1	W-1	W-2	W-3	W-4	W-5	W-6	W-7	W-8	W-9	W-10	W-11	W-12

CODE	DESCRIPTION	CODE	DESCRIPTION
WC-01	SEABROOK - GRASS CLOTH - HAWAZAO	P-01	ICI "WHITE WAVE" - GLOSS
WC-02	FIRE RETARDANT IMPREGNATED 1/2" PLYWOOD	P-02	ICI "WHITE WAVE" - SATIN
	PAINT, FIRE RESISTANT AND PAINT (P-01) 1/8"	P-03	SW 7028 "INCREDIBLE WHITE" - FLAT
	GAP AT BEAM, MIN. FLAME SPREAD CLASS "C"	P-04	SW 6514 "RESISTANT BLUE" - GLOSS
WC-03	3/8" WHITE (LOW) SUBWAY TILE - B & W	P-05	SW 6724 "FLYWAY" - EGGSHELL
	TILE COMPANY - WHITE GROUT	P-06	SW 6791 "LAUREN'S SURPRISE" - SEMI-GLOSS
WC-04	1/4" TH. MIRROR	P-07	SW 7028 "INCREDIBLE WHITE" - FLAT
WC-05	3/8" WHITE BULLNOSE TILE (BORDER)	B-01	1/2"x2 1/2" PAINTED WD. BASE - P-01
F-01	BANKS HARDWARES ITEM NO. FF1040 -	C-01	1"x4" TAG SELECT PINE - CLEAR SATIN FINISH
	"GREENNETT 6/16" x 1-1/2" x 3 STRIP		
F-02	HARDWARE LOCK SYSTEM FLOORING		
	JAP TILE HKS 2110		



DOOR SCHEDULE											
DOOR NO.	LOCATION	DOOR		FRAM		FINISH		REMARKS	CODE	DESCRIPTION	
		TYPE	MAT	SIZE	HT	THK	INT				EXT
East Wing											
1	GUESTROOM ENTRANCE ROOM TYPES 1, 2, 3	A	SCW	2'-0"	6'-0"	1-1/2"	WD	H-3	J-3	2	1, 2, 5, 16
2	CLOSET/BATHROOM ROOM TYPES 2 & 3	A	HOW	2'-0"	6'-0"	1-1/2"	HW	H-1	J-1	1	1, 2, 15
3	CLOSET/BATHROOM ROOM TYPE 1	B	HOW	2'-0"	6'-0"	1-1/2"	WD	H-2	J-2	2	10, 15
4	GUESTROOM ENTRANCE ROOM TYPES 4 & 5	A	SCW	3'-0"	6'-0"	1-1/2"	HW	H-4	J-4	2	11
5	CLOSET/BATHROOM ROOM TYPES 4 & 5	B	HOW	3'-0"	6'-0"	1-1/2"	WD	H-2	J-2	10	15
6	ROOM 185 LINENS	C	SCW	3'-0"	6'-0"	1-1/2"	WD	H-3	J-3		1, 2, 5, 13
7	ROOMS 184 JANITOR	C	SCW	2'-0"	6'-0"	1-1/2"	WD	H-3	J-3		1, 2, 5, 13
8	ROOMS 185 METER ROOM	C	HW	3'-0"	6'-0"	1-1/2"	HW	H-4	J-4		1, 2, 13
9	ROOM 185 TRANSFORMER VAULT	D	HW	6'-0"	6'-0"	1-1/2"	HW	H-4	J-4		1, 2, 5, 13, 14
10	ROOM 188 & 186 BATHROOMS	C	SCW	2'-0"	6'-0"	1-1/2"	WD	H-3	J-3		1, 2, 5, 13
11	ROOM 187 ELECTRICAL ROOM	D	SCW	6'-0"	6'-0"	1-1/2"	WD	H-5	J-5		1, 2, 5, 13, 14
12	ROOM 188 STORAGE	C	SCW	2'-0"	6'-0"	1-1/2"	WD	H-3	J-3		1, 2, 5, 13

CODE	DESCRIPTION
1	EXISTING DOOR TO REMAIN
2	STRIP AND REPAINT DOOR & FRAME AS REQUIRED
3	PANIC HAZARD
4	OVERHEAD DOOR CLOSING
5	SELF CLOSING DEVICE
6	DOUBLE ACTING DOOR
7	1HR FIRE RATED DOOR
8	2HR FIRE RATED DOOR
9	FFAE SPECIALTY DOOR
10	POCKET DOOR
11	ACCESSIBLE GUESTROOM DOOR
12	160" SWING
13	LOUVER DOOR
14	DOUBLE DOOR
15	MARBLE THRESHOLD AT BATHROOM ONLY
16	FILL, PAINT & PAINT EXISTING DEADBOLT HOIST

CODE	DESCRIPTION
1	EXISTING HARDWARE TO REMAIN
2	SAFLOCK - MODEL T.B.D.
3	HAFFLE - HEW - NYLON FLUSH PLUG
4	-158.85 D WHITE 01 W/ JONSON HARDWARE
5	EDGE PLUG - 158.85SD SATIN CHROME

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
 180 NE 39th St., Suite 222, Miami, FL 33137
 305-438-1200 fax 305-438-1221

SEE
 10/2/02 etc
 10/5/02 etc

INTERIOR FINISH, CONTENTS, AND FURNISHINGS
 The purpose of the following requirements is to show the flame spread across the various finish surfaces to show additional fire protection to occupants to evacuate from the building and move away from the building. Interior finishes are the interior surfaces of a building that are exposed to fire. As per 3.3.1.2 Interior Finish - The exposed surfaces of walls, ceilings, and floors within buildings.

INTERIOR FINISH
 Interior finish shall be in accordance with the following:
 General:
 Classification of interior finish materials shall be in accordance with tests made under conditions simulating actual installation, provided that the authority having jurisdiction will be permitted to establish the classification of any material on which a rating by standard test is not available.

Exception: Materials applied, in total thickness of less than 1/2 in., directly to the surface of walls and ceilings shall be exempt from tests simulating actual installation if they meet the requirements of Class A interior wall or ceiling finish when tested in accordance with 10.2.2.1 using inorganic reinforced cement board as the substrate material.

Use of Interior Finishes.
 Table A-10.2.2 Interior Finish Classification Limitations

Occupancy	Exit	Access to Exit	Other Spaces
Assembly - New >300 occupant load	A	A or B	A or B
Assembly - Existing >300 occupant load	A	A or B	A or B
300 occupant load	A	A or B	A or B
Hotels and Dormitories - New	A or B	A or B	A or B
Hotels and Dormitories - Existing	A or B	A or B	A or B

Notes:
 1. Class A interior wall and ceiling finish - Flame spread 0-25, (new) smoke development 0-450.
 2. Class B interior wall and ceiling finish - Flame spread 26-75, (new) smoke development 0-450.
 3. Class C interior wall and ceiling finish - Flame spread 76-200, (new) smoke development 0-450.

4. Class I interior floor finish - critical radiant flux, not less than 0.45 W/m².
 5. Class II interior floor finish - critical radiant flux, not less than 0.22 W/m² but less than 0.45 W/m².
 6. Automatic sprinklers - where a complete standard system of automatic sprinklers is installed, interior wall and ceiling finish with flame spread rating not exceeding Class C is permitted to be used in any location where Class B is required and with rating of Class B in any location where Class A is required; similarly, Class II interior floor finish is permitted to be used in any location where Class I is required, and no critical radiant flux rating is required where Class II is required. These provisions do not apply to new health care facilities.
 7. See corresponding chapters for details.

Interior Wall and Ceiling Finishing and Classification.
 Interior wall and ceiling finish materials shall be permitted as follows:
 (1) Exit enclosures - Class A or Class B.
 (2) Lobby and corridors that are part of an exit access - Class A or Class B.
 (3) Other spaces - Class A, Class B, or Class C.
 Products required to be tested in accordance with NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials, shall be grouped in the following classes in accordance with their flame spread and smoke development.

(a) Class A Interior Wall and Ceiling Finish. Flame spread 0-25; smoke development 0-450. Includes any material classified at 25 or less on the flame spread test scale and 450 or less on the smoke test scale. Any element thereof, when so tested, shall not continue to propagate fire.
 (b) Class B Interior Wall and Ceiling Finish. Flame spread 26-75; smoke development 0-450. Includes any material classified at more than 25 but not more than 75 on the flame spread test scale and 450 or less on the smoke test scale.
 (c) Class C Interior Wall and Ceiling Finish. Flame spread 76-200; smoke development 0-450. Includes any material classified at more than 75 but not more than 200 on the flame spread test scale and 450 or less on the smoke test scale.

Some interior wall and ceiling finish materials, such as fabrics not applied to a solid backing, do not lend themselves to a test made in accordance with NFPA 255, Standard Method of Test of Surface Burning Characteristics of Building Materials. In these cases, the large-scale test outlined in NFPA 701, Standard Method of Fire Tests for Flame Propagation of Textiles and Films, is permitted to be used. The classification of any interior finish specified for this project shall be that of the basic material used by

itself or in accordance with other materials.
 Whenever the use of Class C interior wall and ceiling finish is required, Class A shall be permitted. Where Class B interior wall and ceiling finish is required, Class A shall be permitted.

Specific Materials.
 Textile Wall and Ceiling Coverings.
 The use of textile materials on walls or ceilings shall be limited as follows:
 - Textile materials having a Class A rating shall be permitted on the walls or ceilings of rooms or areas protected by an approved automatic sprinkler system.
 - Textile materials having a Class A rating shall be permitted on partitions that do not exceed 3/4 of the floor-to-ceiling height or do not exceed 8 ft in height, whichever is less.
 - Textile materials having a Class A rating shall be permitted to extend not more than 4 ft above the finished floor on ceiling height walls and ceiling-height partitions.
 - Previously approved, existing installations of textile material having a Class A rating shall be permitted to be continued to be used.
 - Textile materials shall be permitted on walls and partitions where tested in accordance with NFPA 285, Standard Method of Fire Tests for Evaluating Room Fire Growth Contribution of Textile Wall Coverings. Acceptance of textile wall covering materials should be contingent on qualification tests in which a specific fire-retardant pair has been evaluated.

Expanded Vinyl Wall or Ceiling Coverings.
 Expanded vinyl wall or ceiling coverings shall comply with one of the following:
 - Materials having a Class A rating shall be permitted on the walls or ceilings of rooms or areas protected by an approved automatic sprinkler system.
 - Materials having a Class A rating shall be permitted on partitions that do not exceed 3/4 of the floor-to-ceiling height or do not exceed 8 ft in height, whichever is less.
 - Materials having a Class A rating shall be permitted up to 4 ft above the finished floor on ceiling-height walls and ceiling-height partitions.
 - Existing installations of materials with the appropriate wall finish classification for the occupancy involved, and with classification in accordance with the provisions in 10.10.2.2, shall be permitted to be continued to be used.
 - Materials shall be permitted on walls and partitions where tested in accordance with NFPA 285, Standard Method of Fire Tests for Evaluating Room Fire Growth Contribution of Textile Wall Coverings. Acceptance of materials shall be contingent on qualification tests in which a specific fire-retardant pair has been evaluated.

Cellular or Foamed Plastic: NA
 Light Transferring Plastic: NA
 Surface Noncombustible Roomways: NA

Decorations and Furnishings.
 Decorations and furnishings that do not meet the definition of interior finish shall be regulated by having permits.
 Trim and Incidental Finish.
 Interior wall and ceiling finish not in excess of 10 percent of the aggregate wall and ceiling area - room or space shall be permitted to be Class C materials in occupancies where interior wall and ceiling of Class A or Class B is required.

Fire-Retardant Coatings.
 The required flame spread or smoke development classification of existing materials of walls, partitions, columns, and ceilings shall be permitted to be secured by applying approved fire-retardant coatings to surfaces having higher flame spread ratings than permitted. Such treatments shall comply with the requirements of NFPA 703, Standard for Fire-Retardant Treated Wood and Fire-Retardant Coatings for Building Materials.

Fire-retardant coatings shall possess the desired degree of permanency and shall be maintained to retain the effectiveness of the treatment under the service conditions encountered in actual use. Fire-retardant paints, coatings, and treatments must be applied in strict accordance with the manufacturer's instructions and in conformance with the results of fire tests performed on applicable specimens.

Interior Floor Finish Testing and Classification.
 Interior floor finishes shall be classified based on test results from NFPA 253, Standard Method of Critical Radiant Flux of Floor Covering Systems Using a Radiant Heat Energy Source. Floor coverings that meet the U.S. Federal flammability standard 16 CFR 1630, Standard for the Flammability of Carpets and Rugs (FF 1-70) is acceptable.

Automatic Sprinklers.
 Unless specifically prohibited elsewhere in this Code, where an approved automatic sprinkler system is installed, Class C interior wall and ceiling finish materials shall be permitted in any location where Class A is required.

Unless specifically prohibited elsewhere in this Code, where an approved automatic sprinkler system is installed, Class I interior floor finish shall be permitted in any location where Class II interior floor finish is required, and where Class II is required, no critical radiant flux rating shall be required.

CONTENTS AND FURNISHINGS
 Where required by the applicable provisions of this Code, displays, curtains, and other similar loosely hanging furnishings and decorations shall be flame resistant or demonstrated by testing in accordance with NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films.

Regardless of sprinkler protection provided, U.S. federal regulations require mattresses in the United States to comply with 16 CFR 1632.

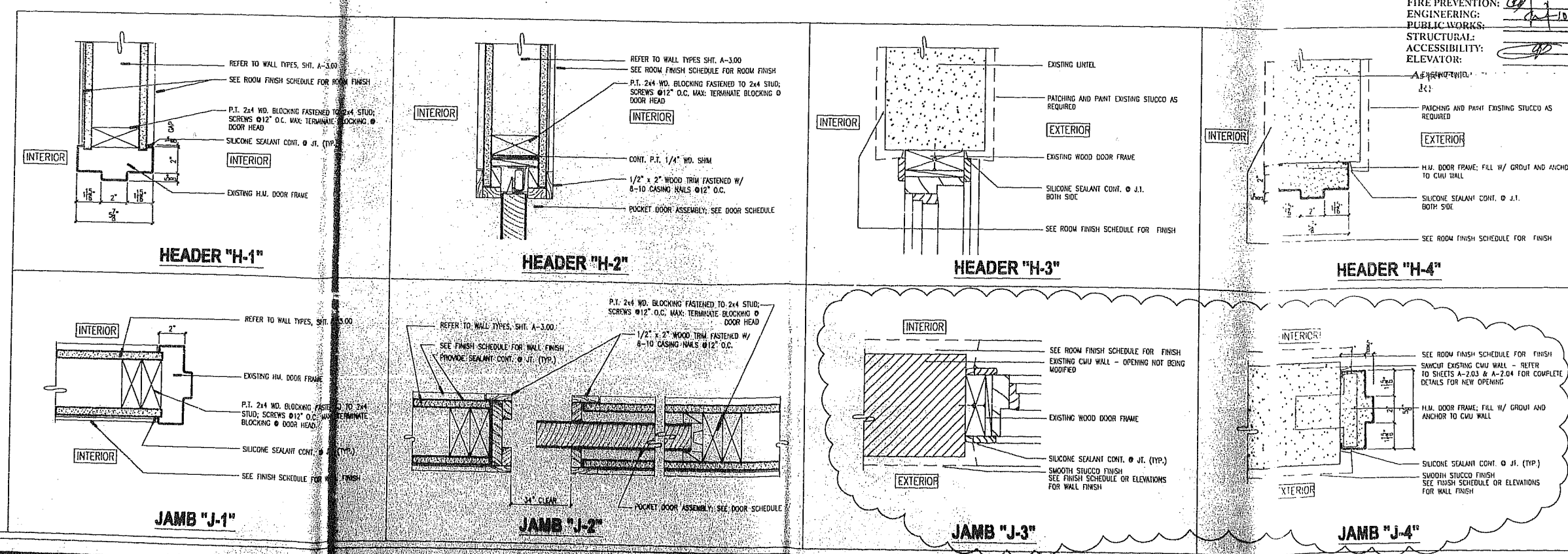
Upholstered furniture - No requirements where sprinkler protection is provided.

Furnishings or decorations of an explosive or highly flammable character shall not be used.

Fire-retardant coatings shall be maintained in accordance with the manufacturer's instructions and in conformance with the results of fire tests performed on applicable specimens. Standard for Fire-Retardant Treated Wood and Fire-Retardant Coatings for Building Materials.

Permitted plastic - Not applicable.

Automatic Sprinklers.
 Unless specifically prohibited elsewhere in this Code, where an approved automatic sprinkler system is installed, Class C interior wall and ceiling finish materials shall be permitted in any location where Class A is required.



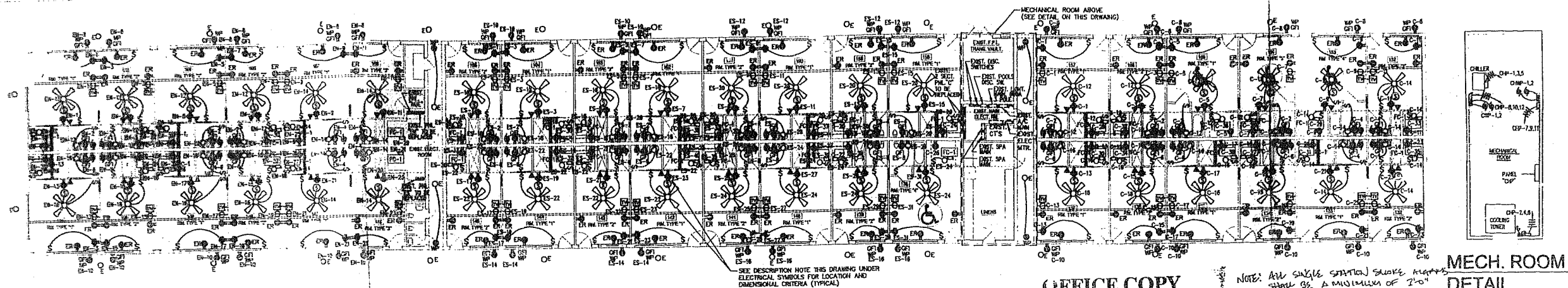
PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
 180 NE 39th St., Suite 222, Miami, FL 33137
 305-438-1200 fax 305-438-1221

OFFICE COPY
NEW MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:
 ZONING: [Signature]
 DRB/HPB: [Signature]
 CONCURRING: [Signature]
 PLUMBING: [Signature]
 ELECTRICAL: [Signature]
 MECHANICAL: [Signature]
 FIRE PREVENTION: [Signature]
 ENGINEERING: [Signature]
 PUBLIC WORKS: [Signature]
 STRUCTURAL: [Signature]
 ACCESSIBILITY: [Signature]
 ELEVATOR: [Signature]

DRAWING TITLE
FINISH SCHEDULE, DOOR SCHEDULE & DETAILS

DRAWN BY: B.F.L.
 CHECKED BY: A.S.
 ISSUES
 07-02-03 PERMIT ISSUE
 08-27-03 REVISION 1 (BIDDING DEPT. CHG.)

SHEET NO.
A-4.00



EAST WING PROPOSED FLOOR PLAN
SCALE 1/8"=1'-0"

ELECTRICAL GENERAL NOTES

- DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE DRAWINGS FOR EXACT LOCATION OF EQUIPMENT. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND ACCEPTABLE WORKING INSTALLATION PER CODE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- ALL MATERIAL SHALL BE NEW AND SHALL BEAR UL LABEL WHERE APPLICABLE. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT FOR A COMPLETE INSTALLATION. ALL MOUNTING HARDWARE AND WIRING HARDWARE SHALL BE FURNISHED BY THE CONTRACTOR.
- CIRCUITS SHOWN ON THESE PLANS ARE SYMBOLICALLY SHOWN TO DETERMINE LOAD DATA AND EQUIPMENT SIZES. THE CONTRACTOR SHALL PHYSICALLY PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS. THE LOADS SHALL BE BALANCED THROUGHOUT. THE CONTRACTOR SHALL ENSURE THAT NEUTRAL WIRES AND EQUIPMENT GROUND WIRES ARE INSTALLED WHERE EVER APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE POWER UTILITY TO OBTAIN TEMPORARY POWER DURING CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE POWER UTILITY TO SCHEDULE INSTALLATION OF TEMPORARY POWER SO THAT CONSTRUCTION DELAYS ARE AVOIDED.
- THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY TO OBTAIN PERMANENT POWER IN ACCORDANCE WITH THESE DRAWINGS. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE POWER UTILITY TO SCHEDULE THE INSTALLATION OF PERMANENT POWER SO THAT DELAYS ARE AVOIDED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE POWER UTILITY EARLY ON TO IDENTIFY ANY ISSUES AFFECTING PERMANENT POWER SERVICE AND TO WORK TOWARDS RESOLVING ANY ISSUES REGARDING PERMANENT SERVICE.
- THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE COMPANY TO OBTAIN TELEPHONE SERVICE. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE TELEPHONE COMPANY TO SCHEDULE INSTALLATION OF TELEPHONE SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TELEPHONE COMPANY EARLY ON TO IDENTIFY ANY ISSUES AFFECTING TELEPHONE SERVICE AND TO WORK TOWARDS RESOLVING ANY ISSUES DELAYING INSTALLATION.
- IF APPLICABLE, THE CONTRACTOR SHALL COORDINATE WITH THE CABLE TV COMPANY IN THE SAME MANNER AS DESCRIBED IN PARAGRAPHS 6 AND 7 FOR POWER AND TELEPHONE UTILITIES.
- IF ANY OR ALL OF THE UTILITIES (ELECTRICAL, TELEPHONE, CATV) ARE EXISTING, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH THE EXISTING SYSTEMS PRIOR TO BID. THE CONTRACTOR SHALL TRACE DOWN ALL CONDUITS AND WIRING AND SHALL VERIFY THAT CAPACITY IS AVAILABLE FOR THE SCOPE OF THE PROJECT. THE CONTRACTOR SHALL FIELD INSPECT ALL EXISTING EQUIPMENT AND SHALL ENSURE THAT ALL RATING LABELS, EXISTING ETC. ARE PROPER FOR THE SCOPE OF THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE PERFORMANCE OF SUCH EQUIPMENT FOR ONE YEAR. THE CONTRACTOR SHALL REPLACE ANY EQUIPMENT THAT IS DAMAGED OR IN POOR CONDITION. A LIST OF EQUIPMENT IDENTIFIED FOR REPLACEMENT SHALL BE PROVIDED TO THE OWNER (OR THE OWNER'S REPRESENTATIVE) AND THE ENGINEER PRIOR TO REPLACEMENT.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THESE DRAWINGS AND SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO BID. ANY QUESTIONS, COMMENTS, DISCREPANCIES OR AMBIGUITIES SHALL BE DISCUSSED WITH THE ENGINEER PRIOR TO BID.
- ELECTRICAL DESIGN IS BASED UPON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL REVIEW NAMEPLATE DATA AND MANUFACTURER SUPPLIED LITERATURE FOR ALL PIECES OF EQUIPMENT PRIOR TO ROUGH ELECTRICAL WIRING. THE CONTRACTOR SHALL CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE AND AMP RATING PRIOR TO INSTALLATION. THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY FIELD ADJUSTMENTS.
- ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- ALL PANELS SHALL BE CLEARLY LABELED ON THE OUTSIDE FOR QUICK AND EASY IDENTIFICATION. ALL CIRCUITS IN ALL PANELS SHALL BE CLEARLY IDENTIFIED AND SHALL APPEAR WITH COMPLETE INFORMATION (DESCRIPTION OF CIRCUIT, BREAKER SIZE, NUMBER OF POLES AND BREAKER POSITION NUMBERS) ON THE PANEL. DIRECTIONS, IN ADDITION, THE VOLTAGE, PHASE AND AMP RATING OF THE PANEL SHALL CLEARLY BE IDENTIFIED ON THE INSIDE DOOR. THE ABOVE APPLIES FOR ANY AND ALL EXISTING TO REMAIN PANELS AND CIRCUITS.
- PLANS SHOWING AS-BUILT CHANGES SHALL BE DELIVERED TO THE OWNER'S REPRESENTATIVE UPON COMPLETION OF WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THIS INFORMATION IN COMPLIANCE WITH ALL FIRE PREVENTION CODES, INCLUDING ALL DRAWINGS, SPECIFICATIONS AND NOTES. THE CONTRACTOR SHALL COMMUNICATE AND COORDINATE WITH THE FIRE MARSHAL AND SHALL PROVIDE ALL NECESSARY INFORMATION NEEDED TO VERIFY THAT LIFE SAFETY SYSTEMS ARE TO LOCAL CODE REQUIREMENTS.
- ALL SERVICE ENTRANCE EQUIPMENT IS TO BE RATED AT 100,000 AIC UNLESS OTHERWISE NOTED. TO PROVIDE SERVICE ENTRANCE EQUIPMENT WITH LOWER RATINGS THE CONTRACTOR SHALL PROVIDE IN WRITING INFORMATION FROM THE POWER UTILITY VERIFYING THAT CALCULATED SHORT-CIRCUIT CURRENTS ARE AT AN ACCEPTABLE LEVEL TO EXISTING EQUIPMENT. THE LOWER RATED EQUIPMENT, IF SERVICE ENTRANCE EQUIPMENT IS EXISTING, THE CONTRACTOR SHALL VERIFY THAT AIC RATING OF EXISTING EQUIPMENT ARE PROPER. THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY AND THE ENGINEER PRIOR TO BID.
- ALL SERVICE EQUIPMENT, OUTLETS, LIGHTING FIXTURES, ENCLOSURES, ETC. SHALL BE WEATHERPROOF.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED CONNECTIONS FOR ALL TRACES.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL EXISTING LIGHTS AND ELECTRICAL FIXTURES. THESE SHALL BE DETERMINED BY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL MOUNTING AND LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO BID AND INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE ROUTING FOR ALL FLOOR MOUNTED CONDUITS VIA WALL OR CEILING. THE CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND OWNER TO DETERMINE THE METHOD TO USE SUCH AREAS (I.E. TRENCHING, CORE AND BORING, POWER POLLS, ETC.) PRIOR TO BID.
- ALL TRAYS AND PIPES PLACED IN OR THROUGH ANY CONCRETE SHALL BE A MINIMUM OF THREE DIAMETERS OF THE LARGEST CONDUIT OR PIPE OF ANY OTHER SERVICE.
- ALL TRAYS UNDERGROUND AND/OR LARGER THAN 2 INCHES IN DIAMETER SHALL BE GALVANIZED RIGID STEEL. PVC SCH 40 WILL BE ACCEPTABLE IF APPROVED BY LOCAL REGULATIONS. CONTRACTOR SHALL VERIFY ALL OTHER REQUIREMENTS AND SHALL BE RESPONSIBLE FOR ALL OTHER REQUIREMENTS.
- CONDUITS SHALL BE PRESSED STEEL IN DRY LOCATIONS AND GALVANIZED WITH THREADED HUBS IN WET OR DAMP LOCATIONS.
- DISCONNECT SWITCHES SHALL BE HORSEPOWER RATED, HEAVY DUTY, UL LISTED, AND BE IN NEMA 1 OR NEMA 3R ENCLOSURES AS REQUIRED BY EXPOSURE.
- THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED PER NEC REQUIREMENTS AND STATE AND LOCAL CODE REQUIREMENTS.

NOTE: GUEST ROOMS AND GUEST SUITES SPECIFICALLY REQUIRED AND EQUIPPED TO ACCOMMODATE HEARING IMPAIRED INDIVIDUALS SHALL BE PROVIDED WITH A SINGLE STATION OR SYSTEM DEVICE CAPABLE OF VISUAL AS WELL AS AUDIBLE NOTIFICATION.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
DRB/HBP:
CONCURRENCY:
PLUMBING:
ELECTRICAL:

ELECTRICAL SYMBOLS

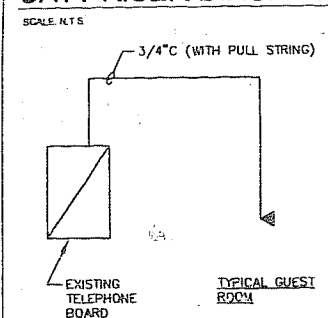
- RECEPTACLE, 20A, 120V, GROUND TYPE, WALL MTD., WITH GROUND FAULT INTERRUPT, 18" A.F.F. (OR 48" A.F.F. ABOVE SINKS)
- DUPLEX RECEPTACLE, 20A, 120V, GROUND TYPE, WALL MOUNTED, 18" A.F.F.
- QUADRUPEX RECEPTACLE, 20A, 120V, GROUND TYPE, WALL MTD., 18" A.F.F.
- SAME AS ABOVE, BUT WEATHER PROOF
- SINGLE RECEPTACLE, 20A, 120V, GROUND TYPE, WALL MTD.
- TV OUTLET, WALL MOUNTED
- TELEPHONE OUTLET, WALL MTD
- LIGHTING SWITCH
- CEILING MOUNTED LIGHTING FIXTURE OUTLET
- WALL MOUNTED LIGHTING FIXTURE OUTLET
- PAD FAN
- 120V SMOKE DETECTOR WITH BATTERY PACK
- EXIT SIGN
- EMERGENCY BATTERY PACK
- ELECTRIC MOTOR
- EXISTING TO REMAIN
- EXISTING TO BE REPLACED

NOTE: LIGHTING FIXTURES LOCATION SHOWN AS ABOVE FOR CLARITY. SEE ARCHITECT'S REFLECTED CEILING DRAWINGS AND INTERIOR ELEVATION 2 ON SHEETS A2-00 THROUGH A2-04 FOR EXACT LOCATION AND DIMENSIONAL CRITERIA ON WALL MOUNTED LIGHTING FIXTURES AND OTHER ELECTRICAL OUTLETS.

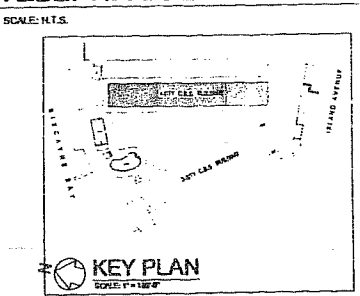
LOAD DATA (208Y/120V - 3PH-4W SERVICE)

A/C MAIN LOAD		
NEW PANEL "A"	86,055 VA (236A)	
LIGHTING MAIN LOAD		
NEW PANEL "A"	26,552 VA	
NEW PANEL "B"	28,664 VA	
NEW PANEL "C"	31,952 VA	
NEW PANEL "D"	17,968 VA	
EXIST. OTHER TO. LOAD	95,000 VA	
TOTAL LTG. CONN. LOAD	200,136 VA (556 A)	
TOTAL BLDG. CONN. LOAD	286,191 VA (795 A)	

CATV RISER DIAGRAM



TELEPH. RISER DIAGRAM



KEY PLAN

SCALE 1/8"=1'-0"

PROJECT # 0304-053
PREPARED BY:

UCI Engineering Inc.
12780 S.W. 60th Street, Suite 215
Miami, Florida 33175
Tel: (305) 588-8888
Fax: (305) 588-8888
E-MAIL: uci@ucieng.com
R. J. MURPHY P.E. No. 36573
DAVID A. WHEAT P.E. No. 37284
Professional Electrical/Mechanical Engineers

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.
100 NE 39th St., Suite 222, Miami, FL 33137
305-438-1200 fax 305-438-1221

SEAL

OWNER OF DOCUMENT'S NOTICE
Drawings and specifications are instruments of service, and the exclusive property of Alison Spear, A.I.A. No portion of any drawing or specification may be reproduced in any form and they are not to be used by the project owner or others on any other project or for alterations to the original project without the written authorization from the Architect.

LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

EAST WING PROPOSED ELECTRICAL FLOOR PLAN, RISERS, NOTES AND SYMBOLS

DRAWN BY: C.P.
CHECKED BY: R.J.M.
ISSUES

DATE/NO. PERMIT SET

SHEET NO.

E-1

[illegible]

NEW ELECTRICAL PANEL SCHEDULE 'B'

TYPE: A-2500
 MANUFACTURER: BULLDOG
 ELECTRICAL INCOM: 24,000 A/C
 NAME: M.L.S.
 RATS RATING: 225 AMP
 VOLTAG: 200Y/120V-3PH-4W-60

DESCRIPTION	COND. SIZE	120V/240V (V.A.)	WATT	QTY	A	B	C	QTY	COND. SIZE	WATT	DESCRIPTION
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	1					2	700	#2 - 1/2"	HOUSE MAIN DIS. 2
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	3					4	700	#2 - 1/2"	HOUSE MAIN DIS. 4
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	5					6	700	#2 - 1/2"	HOUSE MAIN DIS. 6
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	7					8	700	#2 - 1/2"	HOUSE MAIN DIS. 8
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	9					10	700	#2 - 1/2"	HOUSE MAIN DIS. 10
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	11					12	700	#2 - 1/2"	HOUSE MAIN DIS. 12
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	13					14	700	#2 - 1/2"	HOUSE MAIN DIS. 14
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	15					16	700	#2 - 1/2"	HOUSE MAIN DIS. 16
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	17					18	700	#2 - 1/2"	HOUSE MAIN DIS. 18
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	19					20	700	#2 - 1/2"	HOUSE MAIN DIS. 20
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	21					22	700	#2 - 1/2"	HOUSE MAIN DIS. 22
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	23					24	700	#2 - 1/2"	HOUSE MAIN DIS. 24
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	25					26	1,200	#2 - 1/2"	PC-1
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	27					28	1,200	#2 - 1/2"	PC-1
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	29					30	1,200	#2 - 1/2"	PC-1
HOUSE MAIN DISCONNECT	#2 - 1/2"	1,000	31					32	1,200	#2 - 1/2"	PC-1
PC-1	#2 - 1/2"	1,000	33					34	1,200	#2 - 1/2"	PC-1
PC-1	#2 - 1/2"	1,000	35					36	1,200	#2 - 1/2"	PC-1
PC-1	#2 - 1/2"	1,000	37					38	1,200	#2 - 1/2"	PC-1
PC-1	#2 - 1/2"	1,000	39					40	1,200	#2 - 1/2"	PC-1
PC-1	#2 - 1/2"	1,000	41					42	1,200	#2 - 1/2"	PC-1
PC-1	#2 - 1/2"	1,000	43								PC-1

GENERAL LIGHTING AND REFRIGERATION LOAD = 20,160 VA
 REFRIG. LOAD FOR REFRIG. LIGHTING AND REFRIGERATION (TABLE 220-11, N.E.C.)
 POWER CABLES 140 VA PER CIRC. = 11,200 VA
 1,120 VA PER CIRC. = 11,200 VA

TOTAL LOAD 32,360 VA
 AMPS 146.2

NEUTRAL CABLE LOAD + 11,200 VA
 OTHER CABLE LOAD + 11,200 VA
 TOTAL CABLE LOAD + 22,400 VA

NEW ELECTRICAL PANEL SCHEDULE "C"

TYPICAL SCHEDULE		MAX. SIZE ELECTRICAL ROOM - SOUTH SIDE		MAXIMUM BUS 47' LONG W/2 PANEL		225 AMP 200Y/120V 3PH/4W		225 AMP 200Y/120V 3PH/4W	
DESCRIPTION	WIRE & CIRCUIT SIZE	3,000 (W.A.)	TYPE	CH-1 NO	A	B	C	CH-1 NO	DESCRIPTION
ROOM 101 RECEPT.	#12 - 1/2"	1,000	1					2	ROOM 101 RECEPT.
ROOM 102 RECEPT.	#12 - 1/2"	1,000	5					4	ROOM 102 RECEPT.
ROOM 103 RECEPT.	#12 - 1/2"	1,000	3					5	ROOM 103 RECEPT.
ROOM 104 RECEPT.	#12 - 1/2"	1,000	7					6	ROOM 104 RECEPT.
ROOM 105 RECEPT.	#12 - 1/2"	1,000	9					10	ROOM 105 RECEPT.
ROOM 106 RECEPT.	#12 - 1/2"	1,000	11					12	ROOM 106 RECEPT.
ROOM 107 RECEPT.	#12 - 1/2"	1,000	13					14	ROOM 107 RECEPT.
ROOM 108 RECEPT.	#12 - 1/2"	1,000	15					16	ROOM 108 RECEPT.
ROOM 109 RECEPT.	#12 - 1/2"	1,000	17					18	ROOM 109 RECEPT.
ROOM 110 RECEPT.	#12 - 1/2"	1,000	19					20	ROOM 110 RECEPT.
ROOM 111 RECEPT.	#12 - 1/2"	1,000	21					22	ROOM 111 RECEPT.
ROOM 112 RECEPT.	#12 - 1/2"	1,000	23					24	ROOM 112 RECEPT.
ROOM 113 RECEPT.	#12 - 1/2"	1,000	25					26	ROOM 113 RECEPT.
ROOM 114 RECEPT.	#12 - 1/2"	1,000	27					28	ROOM 114 RECEPT.
ROOM 115 RECEPT.	#12 - 1/2"	1,000	29					30	ROOM 115 RECEPT.
ROOM 116 RECEPT.	#12 - 1/2"	1,000	31					32	ROOM 116 RECEPT.
ROOM 117 RECEPT.	#12 - 1/2"	1,000	33					34	ROOM 117 RECEPT.
ROOM 118 RECEPT.	#12 - 1/2"	1,000	35					36	ROOM 118 RECEPT.
ROOM 119 RECEPT.	#12 - 1/2"	1,000	37					38	ROOM 119 RECEPT.
ROOM 120 RECEPT.	#12 - 1/2"	1,000	39					40	ROOM 120 RECEPT.
ROOM 121 RECEPT.	#12 - 1/2"	1,000	41					42	ROOM 121 RECEPT.
ROOM 122 RECEPT.	#12 - 1/2"	1,000	43					44	ROOM 122 RECEPT.
ROOM 123 RECEPT.	#12 - 1/2"	1,000	45					46	ROOM 123 RECEPT.
ROOM 124 RECEPT.	#12 - 1/2"	1,000	47					48	ROOM 124 RECEPT.
ROOM 125 RECEPT.	#12 - 1/2"	1,000	49					50	ROOM 125 RECEPT.
ROOM 126 RECEPT.	#12 - 1/2"	1,000	51					52	ROOM 126 RECEPT.
ROOM 127 RECEPT.	#12 - 1/2"	1,000	53					54	ROOM 127 RECEPT.
ROOM 128 RECEPT.	#12 - 1/2"	1,000	55					56	ROOM 128 RECEPT.
ROOM 129 RECEPT.	#12 - 1/2"	1,000	57					58	ROOM 129 RECEPT.
ROOM 130 RECEPT.	#12 - 1/2"	1,000	59					60	ROOM 130 RECEPT.
ROOM 131 RECEPT.	#12 - 1/2"	1,000	61					62	ROOM 131 RECEPT.
ROOM 132 RECEPT.	#12 - 1/2"	1,000	63					64	ROOM 132 RECEPT.
ROOM 133 RECEPT.	#12 - 1/2"	1,000	65					66	ROOM 133 RECEPT.
ROOM 134 RECEPT.	#12 - 1/2"	1,000	67					68	ROOM 134 RECEPT.
ROOM 135 RECEPT.	#12 - 1/2"	1,000	69					70	ROOM 135 RECEPT.
ROOM 136 RECEPT.	#12 - 1/2"	1,000	71					72	ROOM 136 RECEPT.
ROOM 137 RECEPT.	#12 - 1/2"	1,000	73					74	ROOM 137 RECEPT.
ROOM 138 RECEPT.	#12 - 1/2"	1,000	75					76	ROOM 138 RECEPT.
ROOM 139 RECEPT.	#12 - 1/2"	1,000	77					78	ROOM 139 RECEPT.
ROOM 140 RECEPT.	#12 - 1/2"	1,000	79					80	ROOM 140 RECEPT.
ROOM 141 RECEPT.	#12 - 1/2"	1,000	81					82	ROOM 141 RECEPT.
ROOM 142 RECEPT.	#12 - 1/2"	1,000	83					84	ROOM 142 RECEPT.
ROOM 143 RECEPT.	#12 - 1/2"	1,000	85					86	ROOM 143 RECEPT.
ROOM 144 RECEPT.	#12 - 1/2"	1,000	87					88	ROOM 144 RECEPT.
ROOM 145 RECEPT.	#12 - 1/2"	1,000	89					90	ROOM 145 RECEPT.
ROOM 146 RECEPT.	#12 - 1/2"	1,000	9						

NEW ELECTRICAL PANEL SCHEDULE "CH"													
TYP. MOUNTING LOCATION	ODS. SE SURFACE MECHANICAL ROOM	65,000 A.I.C.							MAINS BUS RATING VOLTAGE		350 AMP MAIN CIRCUIT BREAKER #00 AMF 20BY / 20W-3PHASE - 4WIRE - S/N		
DESCRIPTION	AMP & CODE	SIZE	LOAD (N.A.)	THRU	TO	F	E	C	CRT. NO.	POLE TRIP	SOURCE L.V.	WIR & CABLE SIZE	DESCRIPTION
COOLERS	#00 - 0'		8,920	3	1				4	3		2,211 #12 - 1"	COOLING TOWER (2HP)
				200	b				5	20			
CHWP-1.2 (2-5 HP)	#00 - 3/4"		8,820	3	1				8	3		2,100 #8 "	CHWP-1.5 (2-5 HP)
				40	11				10				
					12				12	50			
SPACE			8,000	3	13				14				SPACE
					15				16				
					17				18				

TOTAL LOAD 86,055 VA
AMPS 239

NEW ELECTRICAL PANEL SCHEDULE 'E'

TYPE: IND. DIE
 MOUNTING: SURFACE
 LOCATION: ELECTRICAL ROOM - SOUTH SIDE

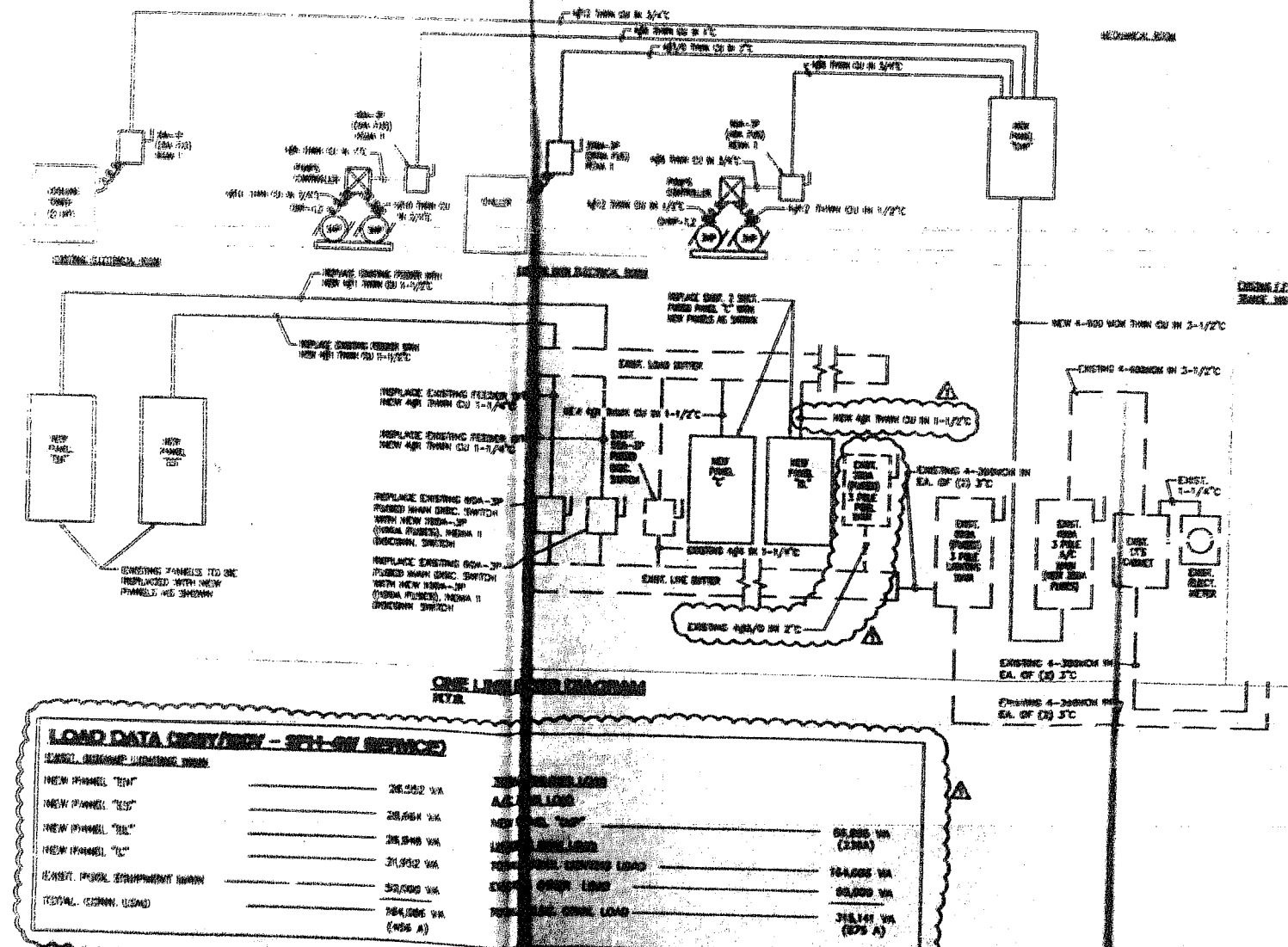
14,000 AIC
 MAINS
 BUS RATING: 100 AMP MAIN CIRCUIT BREAKER
 VOLTAGE: 208Y/120V-3PHASE-4W

DESCRIPTION	WIRE & CONDUIT SIZE	LOAD (W.A.)	POLE TRIP	OXT No	A B C			OXT No	POLE TRIP	WIRE & CONDUIT SIZE	DESCRIPTION
LANDSCAPE LIGHTS	#10 - 1/2"	510	1	1				2	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	550	1	3				4	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	550	1	5				6	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	730	1	7				8	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	730	1	9				10	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	1,020	1	11				12	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	980	1	13				14	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	830	1	15				16	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	830	1	17				18	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	200	1	19				20	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	1,580	1	21				22	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	540	1	23				24	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	480	1	25				26	1	#10 - 1/2"	LANDSCAPE LIGHTS
LANDSCAPE LIGHTS	#10 - 1/2"	410	1	27				28	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				29				30	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				31				32	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				33				34	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				35				36	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				37				38	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				39				40	1	#10 - 1/2"	LANDSCAPE LIGHTS
SPACE				41				42	1	#10 - 1/2"	LANDSCAPE LIGHTS

1. SUPPLIED BY SPECIALty LIGHTING CONTRACTOR

2. PROVIDE GFI CIRCUIT BREAKER

TOTAL LOAD: 26,945 WA
 AMPS 75



OFFICE COPY
CITY OF MIAMI BE
APPROVED FOR FILING
THE FOLLOWING
BUILDING.

THE FOLLOWING ^{Exhibits} _{have been}

BUILDING:	_____
ZONING:	_____
DEVELOPMENT:	_____
CONCURRENCY:	_____
PLUMBING:	_____
ELECTRICAL:	_____
MECHANICAL:	_____
FIRE PREVENTION:	_____
ENGINEERING:	_____
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ACCESSIBILITY:	_____
ELEVATOR:	_____

As per Florida Building Code Section 504.4
REVIEWED FOR CODE COMPLIANCE

[illegible]

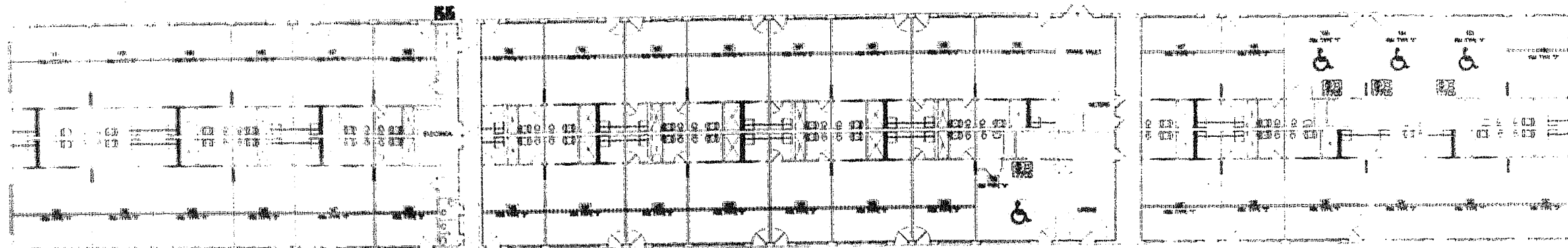
PROJECT No: 0304-053

UCC Imaging
From Vision to Reality

ALISON SPEAR, A.I.A.
160 NE 36th St. Suite 202 Miami, FL 33137
305-461-1260 Fax 305-461-1262
QUESTARCHITECT

LIDO SPA HOTEL
EAST WING RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

EASTWING
PANEL SCHEDULES
AND ONE LINE RISER



REFER TO FIRE PROTECTION SPRINKLER
SITE PLAN FOR LOCATION OF BACK FLOW
PREVENTOR

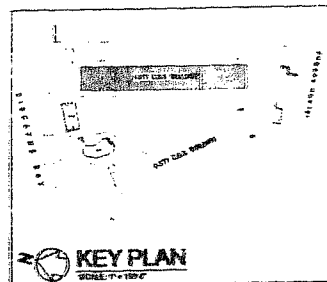
EAST WING PROPOSED FLOOR PLAN

NOTE:
GUEST ROOMS AND SUITE SUITES SPECIFICALLY
DESIGNED AND EQUIPPED TO ACCOMMODATE HEARING
IMPAIRED PERSONS SHALL BE PROVIDED WITH A
SINGLE BELL OR BELL SYSTEM CAPABLE OF
HEARING AS WELL AS VISUAL NOTIFICATION

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
- DRS HPE: _____
- CONCURRENCY: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: ✓
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATOR: _____

As per Florida Building Code Section 104.5.2
REVIEWED FOR CODE COMPLIANCE



PROJECT # 0304-053
PREPARED BY:
UCI Engineering Inc.
18750 S.W. 58th Street, Suite 202
Miami, Florida 33155
Tel: (305) 250-0000
Fax: (305) 250-0000
E-MAIL: uci@ucieng.com
E. J. BURGESS, P.E. No. 30070
Professional Engineer/Architect

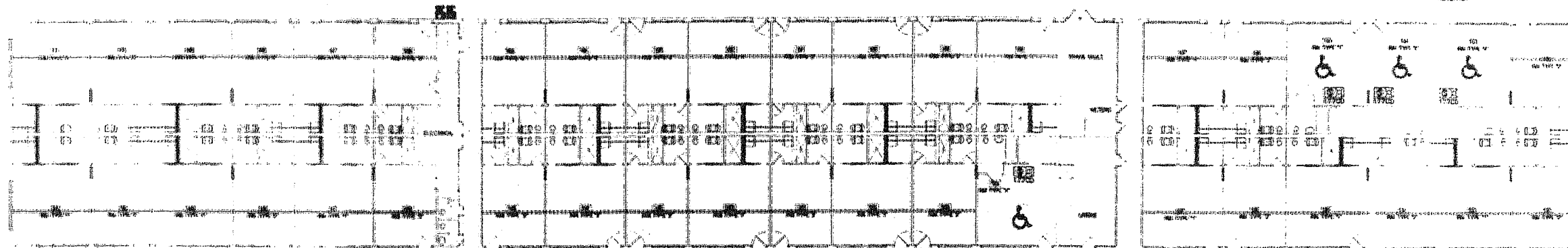
ALISON SPEAR, A.I.A.
180 NE 38th St., Suite 222, Miami, FL 33137
305-458-1200 fax 305-458-1231

LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

EAST WING
PROPOSED FIRE ALARM
FLOOR PLAN

DRAWN BY: C.P.
CHECKED BY: R.J.M.
ISSUES

SHEET NO.
FA-1



EAST WING PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

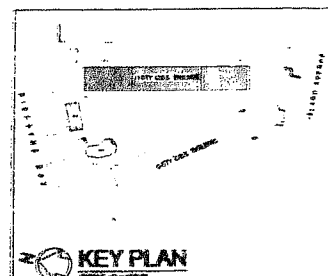
NOTE: ROOMS AND SUITE BATHS SPECIFICALLY
MARKED AND SHOWN TO ACCOMMODATE HEARING
IMPAIRED PERSONS SHALL BE PROVIDED WITH A
SINGLE SWITCH OR SWITCH GROUP CAPABLE OF
VIBRATE AS WELL AS AUDIO NOTIFICATION

REFER TO FIRE PROTECTION SPRINKLER
SY PLAN FOR LOCATION OF EACH FLOW
INDICATOR

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ZONING: _____
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATOR: _____

As per Florida Building Code Section 104.5.3
REVIEW FOR CODE COMPLIANCE



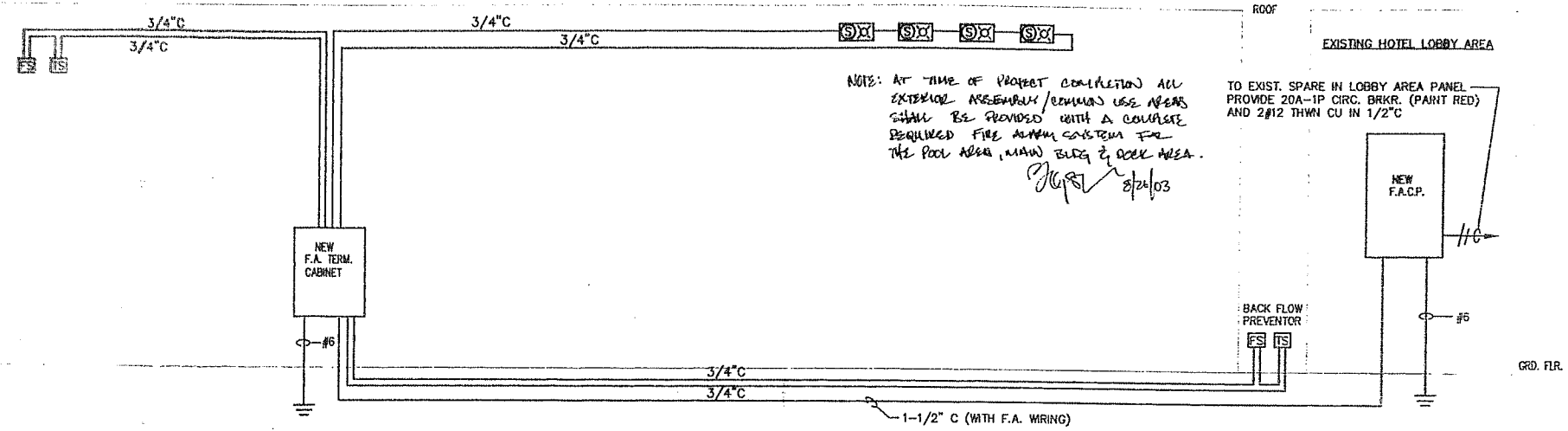
PROJECT #: 0304-055
PREPARED BY:
UCI Engineering Inc.
1100 S.W. 30th Street, Suite 202
Miami, Florida 33135
Tel: (305) 395-0000
Fax: (305) 395-0000
E-MAIL: uciengineering.com
S. J. SHERMAN, P.E. NO. 30770
DAVID A. HENRY, P.E. NO. 37004
Professional Electrical/Mechanical
Engineers

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 30th St., Suite 222 Miami, FL 33137
305-438-1200 fax 305-438-1221

LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

EAST WING
PROPOSED FIRE ALARM
FLOOR PLAN

DRAWING TITLE
DRAWN BY: C.P.
CHECKED BY: R.J.M.
ISSUES
SHEET NO.
SHEET INC
FA-1



SYMB.	DESCRIPTION	MANUF.	CAT. NO.
	120V SMOKE DETECTOR AND STROBE DEVICE H.C. GUEST ROOMS	NOTIFIER	SC24177 STROBE
	F.A. CONTROL PANEL	NOTIFIER	9123 SMOKE DETECTOR, WITH BATTERY PACK
	SINGLE UNIT SMOKE DETECTOR, CONNECTED TO 120V KITCHEN OR BATHROOM LIGHTS CIRCUIT	NOTIFIER	SFP-1024 WITH BOOSTER TYPE FCPS-24S6
	FLOW SWITCH	NOTIFIER	9123 WITH BATTERY PACK
	TAMPER SWITCH		

FIRE ALARM RISE/ DIAGRAM

FIRE ALARM WIRING LEGEND

INITIATING DEVICES - 16-2 TSP
SIGNAL DEVICES - 2#14 THHN
POWER - 2#14 THHN

BATTERY CALCULATIONS					
ITEM	DESCRIPTION	STANDBY CURRENT PER UNIT (AMPS)	QTY	TOTAL STANDBY CURRENT (AMPS)	ALARM CURRENT PER UNIT (AMPS)
A	F.A.C.P.	0.2000	1	0.2000	0.2000
B	ANNUNCIATOR	0.2000	1	0.2000	0.2000
C	STROBES	0.0080	18	0.0080	0.0780
D	HORN/STROBES	0.0080	27	0.0080	0.0780
E	SMOKE DETECTORS	0.0005	18	0.0005	0.0075
F	DUCT SMOKE DETECT.	0.0005	10	0.0005	0.0780
G	PULL STATIONS	0.0005	14	0.0005	0.0780
TOTAL SYST STANDBY CURRENT				0.4080	0.59170
REQUIRED STANDBY CURRENT		HOURS	X	AMP	AMP-HOURS
		24		0.4080	9.816
REQUIRED ALARM CURRENT		MIN/100 HOURS	X	AMP	AMP-HOURS
		0.0033		5.9170	0.493
TOTAL REQUIRED CURRENT (AMP-HOURS)		REQUIRED STANDBY CURRENT	+	REQUIRED ALARM CURRENT	TOTAL REQUIRED AMP-HOURS
		9.816		0.493	10.309

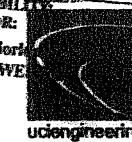
NOTE: BATTERY CALCULATIONS INCLUDE 3 STROBES FOR WEST WING AND OTHER DEVICES AS SHOWN FOR MAIN BUILDING

FIRE ALARM NOTES

- 1) THE FIRE ALARM SYSTEM IS U.L. LISTED AS POWER LIMITED & OF THE GENERAL ALARM TYPE PER NFPA 72. ALL EQUIPMENT IS U.L. LISTED FOR ITS INTENDED USE.
- 2) THE FIRE ALARM PANEL IS PROVIDED WITH STANDBY BATTERY PER NFPA 72 WITH 24 HOURS STANDBY AND 5 MINUTES ALARM. SHOULD LOSS OF NORMAL 120VAC OPERATING POWER OCCUR, THE FIRE ALARM PANEL WILL AUTOMATICALLY TRANSFER TO THE STANDBY BATTERY.
- 3) A BREAK IN ANY FIELD WIRING OR GROUNDING OF ANY CONDUCTOR WILL RESULT IN THE ACTIVATION OF THE FIRE ALARM PANEL TROUBLE BUZZER, WHICH CAN BE SILENCED BY OPERATING THE "TROUBLE SILENCE" BUTTON ON THE FIRE ALARM PANEL.
- 4) POWER UP AND POWER DOWN OF THE FIRE ALARM PANEL MUST BE DONE IN THE PROPER SEQUENCE:
POWER DOWN: DISCONNECT BATTERY AND THEN TURN OFF THE AC POWER AT THE BREAKER.
POWER UP: TURN ON THE AC POWER AT THE BREAKER AND THEN CONNECT THE BATTERY.
NOTE: DO NOT DISCONNECT THE AC POWER FEED FROM THE TERMINAL BLOCK TO DISCONNECT POWER.
- 5) THE 120VAC POWER FEED FOR THE FIRE PANEL AND BOOSTER POWER SUPPLIES MUST BE FROM A DEDICATED EMERGENCY PANEL BREAKER, AND THE BREAKER MUST BE IDENTIFIED THAT IT IS FOR THE FIRE ALARM SYSTEM.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
DRR/HFR:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
As per Florida
REVIEW:



PROJECT ARCHITECT

ALISON SPEAR, A.I.A.

180 NE 36th St., Suite 222, Miami, FL 33137

305-438-1200 fax 305-438-1221

PROJECT TITLE

LIDO SPA HOTEL

EAST WING - RENOVATION

40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

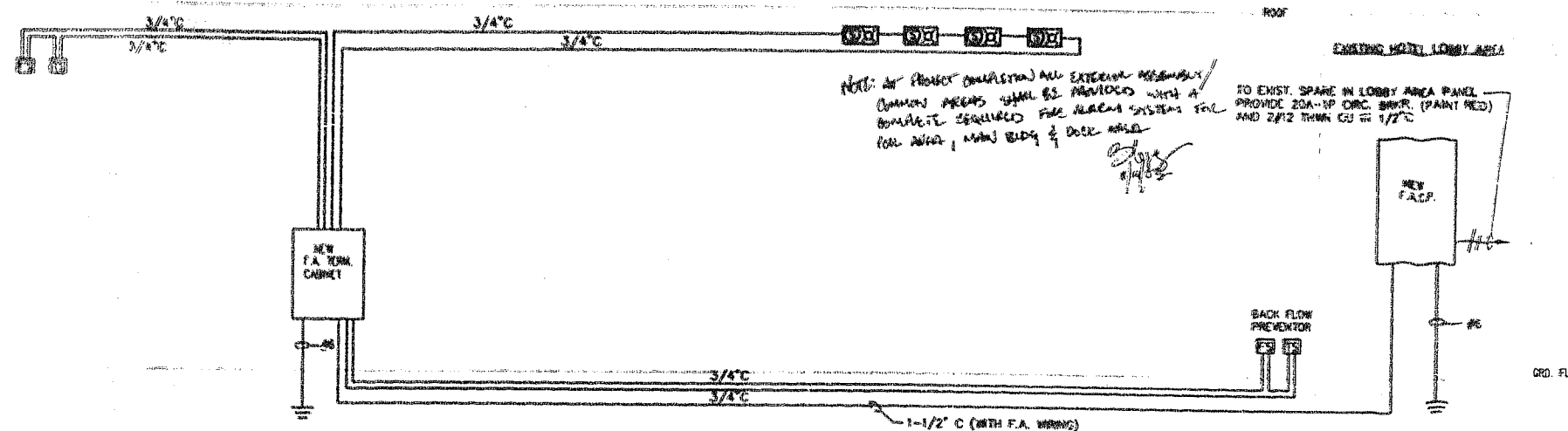
EAST WING

FIRE ALARM RISE,

NOTES AND SYMBOLS

SHEET NO.

FA-2



NOTE: FOR PROPER CONNECTION ALL EXISTING WIRING/COMMON AREAS SHALL BE PROVIDED WITH A COMPLETE SEPARATE FIRE ALARM SYSTEM FOR THE NEW, EXISTING BLDG & DOCK AREA.

TO EXIST. SPARE IN LOBBY AREA PANEL PROVIDE 20A-1P OMC BRKR. (PAINT RED) AND 2/12 THIN CU W/ 1/2\"/>

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ENGINEERING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

As per Florida Building Code Section 104.5,
REVIEWED FOR CODE COMPLIANCE

SYMB.	DESCRIPTION	MANUF.	CAT. NO.
17702	120V SMOKE DETECTOR AND STROBE DEVICE A.C. GUEST ROOMS	NOTIFIER	SC24177 STROBE SMOKE
17703	120V SMOKE DETECTOR WITH BATTERY PACK	NOTIFIER	SC24177 SMOKE DETECTOR WITH BATTERY PACK
17704	F.A. CONTROL PANEL	NOTIFIER	SEP-1024 WITH BOOSTER TYPE 703-2456
17705	SINGLE UNIT SMOKE DETECTOR, CONNECTED TO 120V KITCHEN OR BATHROOM LIGHTS CIRCUIT	NOTIFIER	SEP-1024 WITH BATTERY PACK
17706	FLOW SWITCH		
17707	TAMPER SWITCH		

FIRE ALARM WIRING DIAGRAM NOTES

FIRE ALARM WIRING LEGEND

INITIATING DEVICES - 16-2 TYP
SIGNAL DEVICES - 2/14 TYP
POWER - 2/14 THIN

BATTERY CALCULATIONS						
ITEM	DESCRIPTION	STANDBY CURRENT PER UNIT (AMPS)	QTY	TOTAL STANDBY CURRENT (AMPS)	ALARM CURRENT PER UNIT (AMPS)	TOTAL ALARM CURRENT (AMPS)
A	F.A.P.	0.200	1	0.200	0.200	0.200
B	120V SMOKE DETECTOR	0.200	1	0.200	0.200	0.200
C	STROBE	0.200	0	0.000	0.000	0.000
				TOTAL STANDBY CURRENT	TOTAL STANDBY CURRENT	TOTAL STANDBY CURRENT
				0.400		1.000
	RECEIVED STANDBY CURRENT	0.400	X	0.400		0.400
	RECEIVED ALARM CURRENT	0.400	X	0.400		0.400
	TOTAL RECEIVED CURRENT (STANDBY + ALARM)	0.800		0.800		0.800

NOTE: BATTERY CALCULATIONS INCLUDE 3 STROBES FOR WEST WING AND 2 STROBES FOR PLUMBING

FIRE ALARM NOTES

- 1) THE FIRE ALARM SYSTEM IS U.L. LISTED AS POWER LIMITED & OF THE GENERAL ALARM TYPE PER NFPA 72. ALL EQUIPMENT IS U.L. LISTED FOR ITS INTENDED USE.
- 2) THE FIRE ALARM PANEL IS PROVIDED WITH STANDBY BATTERY PER NFPA 72 WITH 24 HOURS STANDBY AND 5 MINUTES ALARM. SHOULD LOSS OF NORMAL 120VAC OPERATING POWER OCCUR, THE FIRE ALARM PANEL WILL AUTOMATICALLY TRANSFER TO THE STANDBY BATTERY.
- 3) A BREAK IN ANY FIELD WIRING OR GROUNDING OF ANY CONDUCTOR WILL RESULT IN THE ACTIVATION OF THE FIRE ALARM PANEL TROUBLE BUZZER, WHICH CAN BE SILENCED BY OPERATING THE "TROUBLE SILENCE" BUTTON ON THE FIRE ALARM PANEL.
- 4) POWER UP AND POWER DOWN OF THE FIRE ALARM PANEL MUST BE DONE IN THE PROPER SEQUENCE:
POWER DOWN: DISCONNECT BATTERY AND THEN TURN OFF THE AC POWER AT THE BREAKER.
POWER UP: TURN ON THE AC POWER AT THE BREAKER AND THEN CONNECT THE BATTERY.
NOTE: DO NOT DISCONNECT THE AC POWER FEED FROM THE TERMINAL BLOCK TO DISCONNECT POWER.
- 5) THE 120VAC POWER FEED FOR THE FIRE PANEL AND BOOSTER POWER SUPPLIES MUST BE FROM A DEDICATED EMERGENCY PANEL BREAKER, AND THE BREAKER MUST BE IDENTIFIED THAT IT IS FOR THE FIRE ALARM SYSTEM.

PROJECT # 0304-063
PREPARED BY:

UCI Engineering Inc.
1000 S.W. 30th Street, Suite 100
Miami, Florida 33135
Tel: (305) 350-3000
Fax: (305) 350-3000
E-Mail: uci@ucieng.com
J. J. BARRERA, P.E. 3050
DAVID A. BERRY, P.E. 3050
Professional Electrical/Mechanical Engineers

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

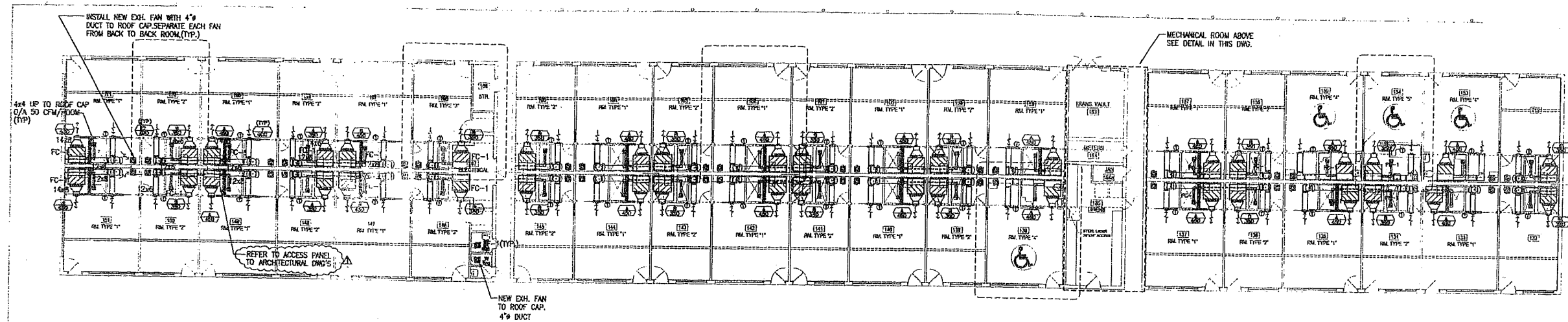
DRAWING TITLE
EAST WING
FIRE ALARM RISEM,
NOTES AND SYMBOLS

DRAWN BY: C.P.
CHECKED BY: R.J.M.
ISSUES

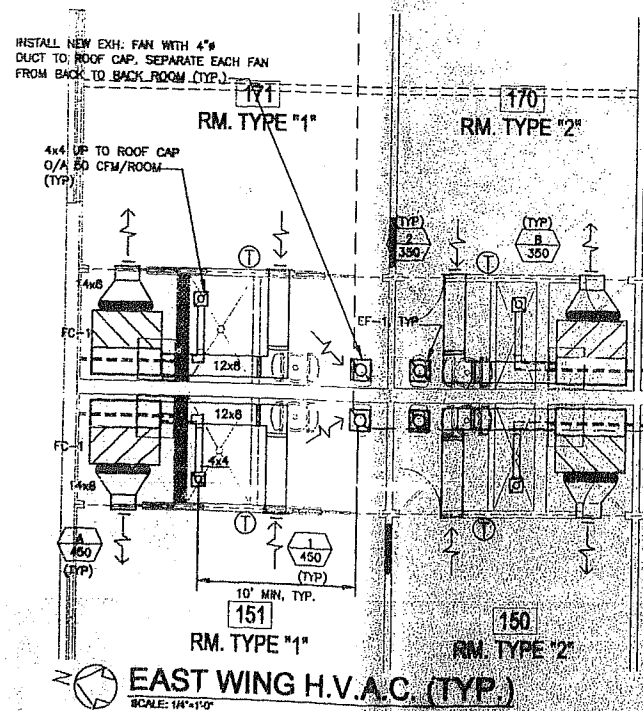
SHEET NO.

FA-2

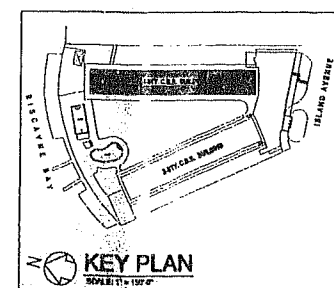
PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
190 NE 38th St., Suite 222, Miami, FL 33137
305-438-1200 fax 305-438-1221



EAST WING H.V.A.C FLOOR PLAN
SCALE: 3/32"=1'-0"



OFFICIAL COPY
CITY OF MIAMI BEACH
REVIEWED FOR PERMIT BY
DATE: 7/17/03
BUILDING: _____
ZONING: _____
DRB HFB: _____
CONCURRENCY: _____
PERMITS: _____
FUTURE: _____
REVISIONS: _____
REMARKS: _____
As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE



PROJECT #: 0304-053
PROPOSED BY: _____
13705 SW 8th Street, Suite 210
Miami, Florida 33175
Tel: (305) 385-8888
Fax: (305) 385-8849
Email: info@ucengineering.com
P.L. Alameda P.E. No. 30070
David A. Bailey P.E. No. 30234
Mechanical Electrical and
Plumbing Engineers

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.

180 NE 39th St., Suite 222, Miami, FL 33137

305-438-1200 fax 305-438-1221

PROJECT TITLE

LIDO SPA HOTEL

EAST WING - RENOVATION

40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

EAST WING

H.V.A.C FLOOR PLAN

DRAWN BY

M.G.

CHECKED BY

R.J.M.

ISSUES

07/11/03

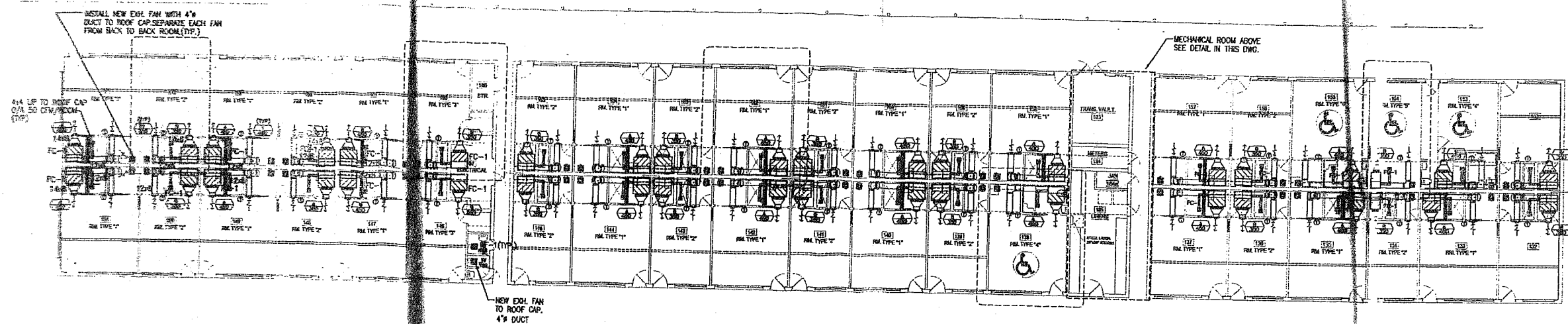
08/12/03

PERMIT SET

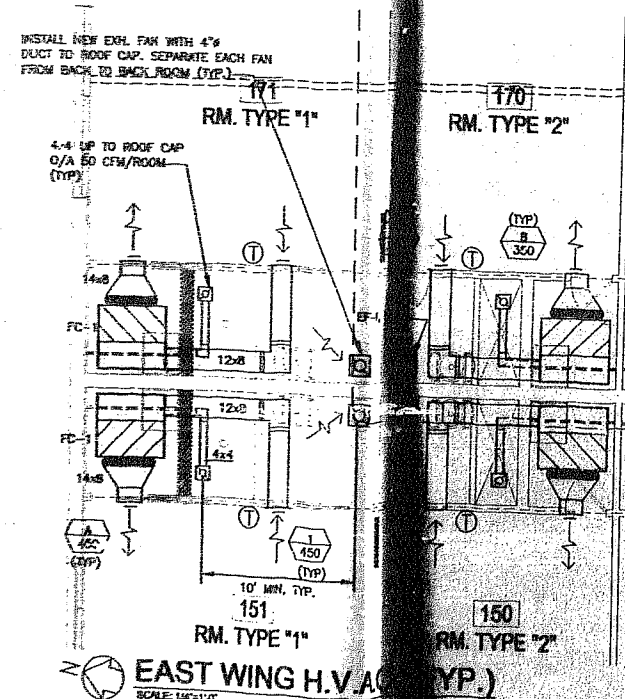
B.D.C.

SHEET NO.

M-1



EAST WING H.V.A.C FLOOR PLAN
SCALE: 3/32"=1'-0"

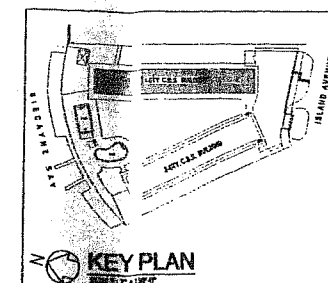


EAST WING H.V.A.C FLOOR PLAN (TYP.)
SCALE: 1/4"=1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ZONING: _____
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATOR: _____

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE



PROJECT #: 0304-053
PREPARED BY:
UCI Engineering Inc.
13780 S.W. 56th Street, Suite 215
Miami, Florida 33175
Bus. (305) 383-8989
Fax (305) 383-9949
E-MAIL: uci@uciveng.com
R. J. MIRANDA FE NO. 35579
DAVID A. BRISKE FE NO. 37234
Professional Electrical/Mechanical Engineers

PROJECT ARCHITECT
ALISON SPEAR, A.I.A.
180 NE 39th St., SUITE 222 MIAMI, FL 33137
305-438-1200 fax 305-438-1221

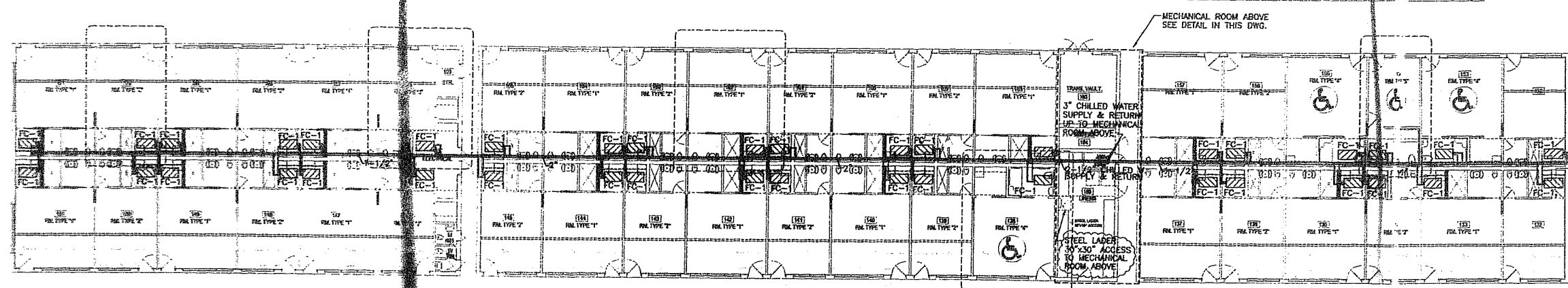
SEAL
OWNER OF DOCUMENTS NOTICE
Drawings and specifications, as instruments of service, are the exclusive property of Alison Spear, AIA, and shall not be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from the Architect.

PROJECT TITLE
LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

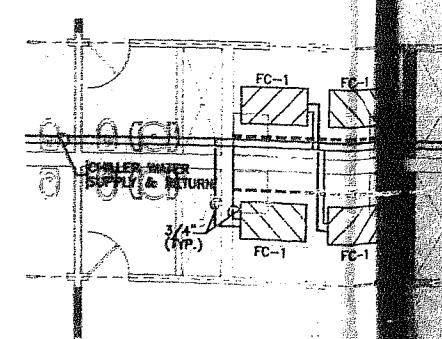
DRAWING TITLE
EAST WING
H.V.A.C FLOOR PLAN

DRAWN BY: M.G.
CHECKED BY: R.J.M.
ISSUES

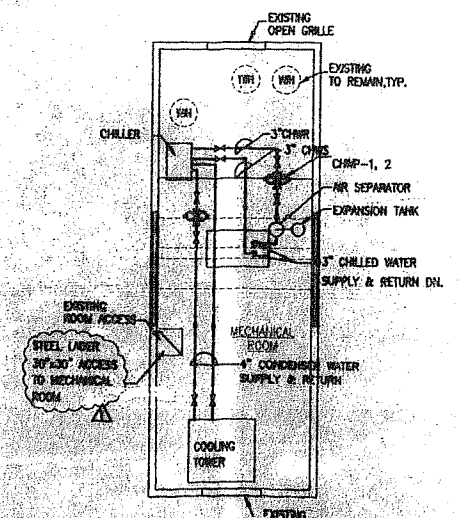
SHEET NO.
M-1



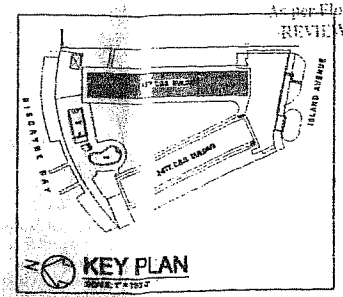
EAST WING H.V.A.C PIPING PLAN
SCALE: 1/8"=1'-0"



PIPING PLAN (TYP)
SCALE: 1/8"=1'-0"



MECH. ROOM
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: 1/8"=1'-0"

REVIEWED FOR CODE COMPLIANCE
As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

PROJECT #: 0304-053
PREPARED BY:
ucengineering
From Vision to Reality

PROJECT ARCHITECT

ALISON SPEAR, A.I.A.
180 NE 98th St., Suite 222, Miami, FL 33137
305-438-1200 fax 305-438-1221

PROJECT TITLE

LIDO SPA HOTEL
EAST WING - RENOVATION
40 ISLAND AVENUE, MIAMI BEACH, FL 33139

DRAWING TITLE

EAST WING
H.V.A.C PIPING PLAN

DRAWN BY

CHECKED BY

ISSUES

DATE

BY

DATE

PROJECT #

0304-053

SHEET NO.

M-1A