

CITY OF MIAMI BEACH
BUILDING DEPARTMENT
1700 CONVENTION CENTER DR
2ND FLOOR - CITY HALL
MIAMI BEACH, FLORIDA 33139
(305) 673-7610

COMPLETE DESCRIPTION

DATE: 02-04-2011

PERMIT NUMBER: **BCC11056**

STATUS: APPROVED

JOB SITE ADDRESS: **4100 PINETREE DR MBCH**

CONTRACTOR: GARY BERNHARDT CONSTRUCTION

OWNER: CITY NATIONAL BANK OF FLORIDA

DESCRIPTION

CC for office space interior remodeling unit # 301



MIAMI BEACH

BUILDING DEPARTMENT1700 Convention Center Drive, 2nd Floor

Miami Beach, FL 33139

Phone 305-673-7610 Fax 305-673-7857

FINAL PERMIT FEE RECONCILIATION FORM
(TO BE COMPLETED AS PART OF CERTIFICATE OF OCCUPANCY/COMPLETION PROCESS)

PART ONE: PERMIT AND OWNER INFORMATION

Please Allow 72 Hours for Processing

Permit Number: B1004578 Date: 2/2/11Folio Number: 32220010370Description of Work: Remodeling interior of officeOwner Name: CAB 301 Commercial LLP

Contact Name: _____

Job Address: 4100 Pinetree Drive Apt/Suite #: 301City/Zip Code: MIAMI BEACH/33140Phone Number: 305-505-1765 Alternate Phone #: _____

=====

REQUIRED DOCUMENTS CHECKLIST

For Office Use Only

- ☐ Architectural/Engineering Affidavit for Job Value (if alteration/remodeling)
- ☐ Total Gross Square Footage
- ☐ Final Boundary Survey (Signed & Sealed by Professional Surveyor)
- ☒ MDWSD Compliance Letter
- ☐ Final Elevation Certificate
- ☐ Flood Proofing Certificate (Commercial Building only)
- ☒ Fire Penetration Affidavit (If applicable)

Comments:

CO/CC Issued by: *Haus* Date Issued: 2-4-11



MIAMI BEACH

City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, www.miamibeachfl.gov

BUILDING DEPARTMENT

Tel: (305) 673-7610 Extension 6117, 6817, 6770

Fax: (305) 673-7264

FIRE PENETRATION AFFIDAVIT

Date: 2/1/2011

Reference: Permit Number: B1004578
Job Site Address: 4100 Pine tree Drive

I, GARY BERNHARDT, the Qualifying Agent or GARY BERNHARDT CONST, INC.,
C.O/C.C Number _____ hereby certify that all penetrations through walls, ceilings, floors and other
barriers resulting from the passage of pipes, conduits, bus ducts, cables, wires, air ducts, pneumatic ducts, penetrations
from similar building service equipments installed in connection with the above permit, have been protected by approved
materials or devices meeting the acceptance criteria of AMERICAN SOCIETY FOR TESTING MATERIALS E814 and
have been installed by qualified persons in accordance with the manufacturer's specifications and in compliance with the
Florida Building Code.

GARY BERNHARDT, PRES.

Print Name and Title

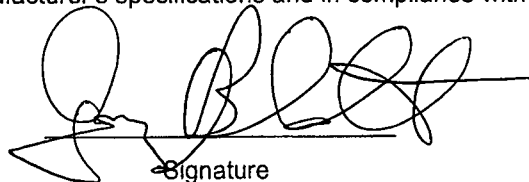
Witness:

CLAUDIO MONDAS

Print Name

Domingo Montes de Oca

Print Name


Signature


Signature

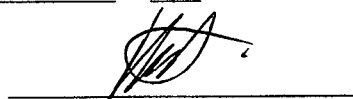

Signature

Acknowledgement

Sworn to and subscribed before me on this 1 day of FEB 2011.



VALENTIN ARENAS
MY COMMISSION # EE 010979
EXPIRES: September 18, 2014
Bonded Thru Budget Notary Services


Notary Public – State of Florida

TO BE GIVEN TO THE BUILDING INSPECTOR AT THE TIME OF THE FRAMING INSPECTION & ENGINEERING
INSPECTOR AT THE TIME OF THE CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION.

We are committed to providing excellent public service and safe to all who live, work, and play in our vibrant, tropical, historic community.

BCC 11056

CERTIFICATE OF COMPLETION & CERTIFICATE OF OCCUPANCY CHECK LIST

Address: 4100 Pinetree Drive

BCO/BCC: _____

C.O./C.C. Requirements

- ☒ Final Accessibility Inspection
- ☒ Final Electrical Inspection
- ☒ Final Plumbing Inspection
- ☒ Final Mechanical Inspection
- ☒ Final Fire Inspection (Alarms & Sprinklers)
- ☒ Final Building Inspection
- ☐ Final Elevator
- ☐ Final Engineering
- ☒ Final Planning & Zoning
- ☐ Final Concurrency
- ☒ Final Public Works

- ☐ Final Survey (2 copies)
- ☐ Pile Log
- ☐ Threshold Inspection
- ☐ Railing Inspection (Threshold)
- ☐ Glazing Inspection (Threshold)
- ☐ Concrete Test (50 CU-YD)
- ☐ Elevation Certificate (2 copies)
- ☐ Flood proofing Certificate (2 copies)
- ☐ Proof of Impact Fee- Dade County
- ☐ Water & Sewer Compliance Letter (Ordinance 89-95)
- ☒ Certificate's Fee
- ☐ AE Final Job Value Affidavits/Fee

T.C.O./T.C.C. Requirements

- ☐ Partial Final Accessibility Inspection
- ☐ Partial Final Electrical Inspection
- ☐ Partial Final Plumbing Inspection
- ☐ Partial Final Mechanical Inspection
- ☐ Partial Final Fire (Alarm & Sprinkler.)
- ☐ Partial Building Inspection
- ☐ Partial Final Elevator
- ☐ Partial Final Engineering
- ☐ Partial Final Planning & Zoning
- ☐ Partial Final Concurrency
- ☐ Partial Final Public Works

- ☐ Final Survey (2 copies)
- ☐ Pile Log
- ☐ Threshold Inspection
- ☐ Railing Inspection (Threshold)
- ☐ Glazing Inspection (Threshold)
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- ☐ Proof of Impact Fee - Dade County
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CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
(305) 673-7610 Ext. 1436

B1300102 BCC13145 CC

Certificate of Completion

Certificate Number: BCC13145

05-15-2013

Status: APPROVED

Site Address: 4100 PINETREE DR MBCH

Parcel #: 32220010370

Class Code: B

Date Applied: 05/13/2013
Date To Expire:

Date Approved: 05/15/2013
Extended:

Applicant: GOD SPEED CONSTRUCTION INC
2750 SW 79TH CIRCLE
MIAMI, FL
33155

Owner: CABI 301 RESIDENTIAL LLLP
CABI 301 COMMERCIAL LLLP
19950 W COUNTRY CLUB DR # 900
AVENTURA FL 33180 33180

Issued For: CC for demissing wall installation to divide

Building Permit #: B1300102

Temporary Expire Date:
Temporary/Partial Description:

Thsi is to certify that all work done in reference to the permit mentioned on this document have been completed according to the **SOUTH FLORIDA BUILDING CODE/ FLORIDA BUILDING CODE** and has been given final approval.

Applicable for Temporary Certificates Only

1. This **APPLICANT** must do everything necessary to obtain a **FINAL CERTIFICATE of COMPLETION** before the Expiration Date of this document.
2. This Certificate may be revoked by the Building Official upon 24 hours notice.
3. Special condition(s) may be applicable.


Building Official Signature and Date
RICHARD MCCONACHIE

CITY OF MIAMI BEACH
BUILDING DEPARTMENT
1700 CONVENTION CENTER DR
2ND FLOOR - CITY HALL
MIAMI BEACH, FLORIDA 33139
(305) 673-7610

COMPLETE DESCRIPTION

DATE: 05-15-2013

PERMIT NUMBER: **BCC13145**

STATUS: APPROVED

JOBSITE ADDRESS: **4100 PINETREE DR MBCH**

CONTRACTOR: GOD SPEED CONSTRUCTION INC

OWNER: CABI 301 RESIDENTIAL LLLP

DESCRIPTION

CC for demissing wall installation to divide Suite 400 into 400 & 401



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, FL 33139
Phone: 305-673-7610 Fax: 305-673-7857

FINAL PERMIT FEE RECONCILIATION FORM (To be completed as part of Certificate of Occupancy/Completion Process)

PART ONE: PERMIT AND OWNER INFORMATION

Please Allow 72 Hours for Processing

Permit Number: B1300102 Date: 05/13/2013
Folio Number: 32220010370
Description of Work: PARTITION TO SPLIT ON LARGE OFFICE INTO TWO SMALL OFFICES
Owner's Name: CABI 301 RESIDENTIAL / CABI 301 COMMERCIAL LLP
Contact's Name: LEONEL VASQUEZ
Job Address: 4100 PINE TREE DR Apt/Suite #: 400
City/Zip Code: MIAMI BEACH 33140
Phone Number: 305-466-1810 XT 245 Alternate Phone #: 305-562-5905

REQUIRED DOCUMENTS CHECKLIST

(For Office Use Only)

- ☐ Architectural/Engineering Affidavit for Job Value (if alteration/remodeling)
- ☐ Total Gross Square Footage
- ☐ Final Boundary Survey (Signed & Sealed by Professional Surveyor)
- ☐ MDWSD Compliance Letter
- ☐ Final Elevation Certificate / Flood Proofing Certificate (Commercial Only)
- ☐ Fire Penetration Affidavit

Comments:

CERTIFICATE OF COMPLETION & CERTIFICATE OF OCCUPANCY CHECK LIST

Address: BCC 13145

BCO/BCC: _____

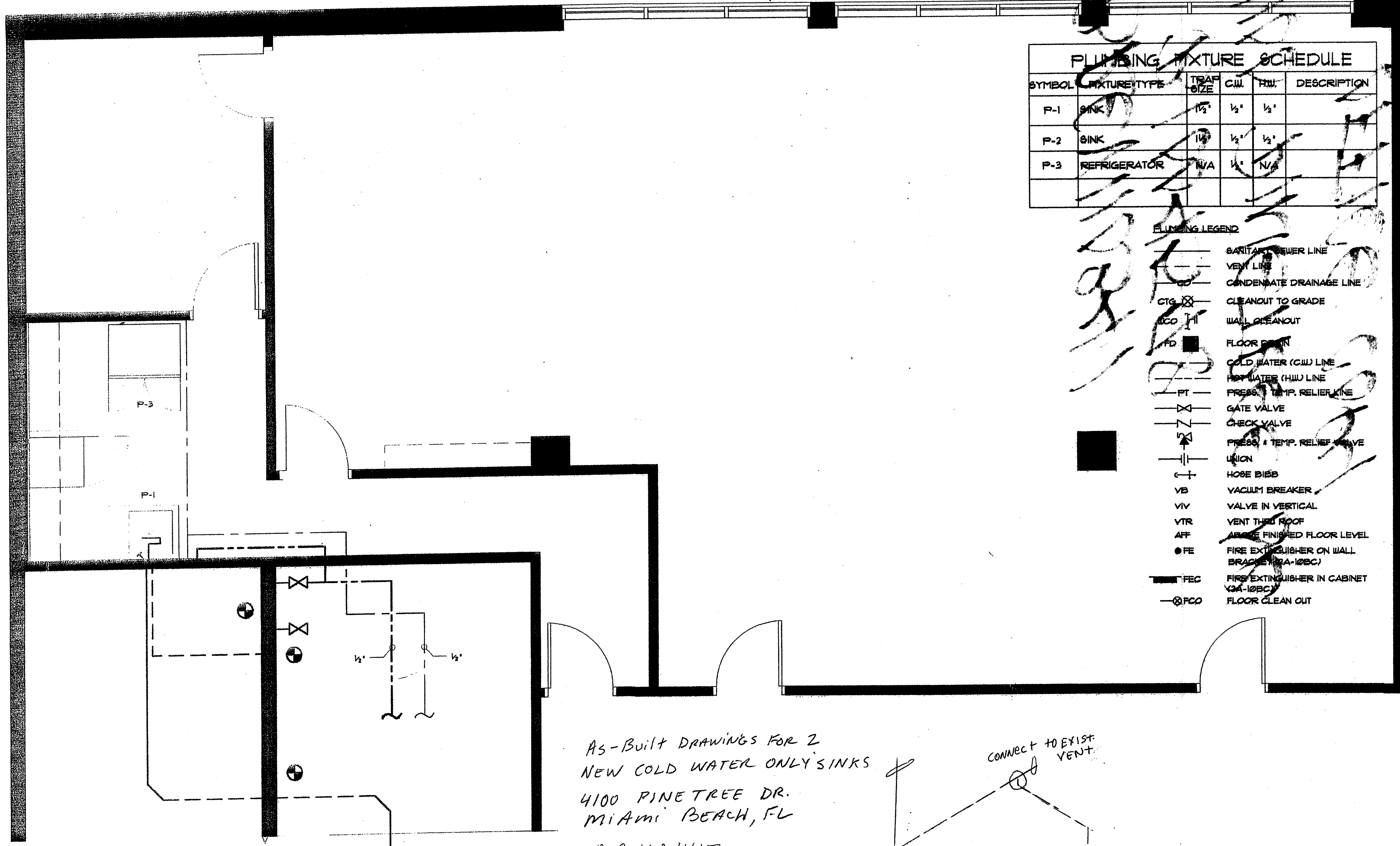
C.O./C.C. Requirements

- ☒ Final Accessibility Inspection
- ☒ Final Electrical Inspection
- ☒ Final Plumbing Inspection
- ☒ Final Mechanical Inspection
- ☒ Final Fire Inspection (Alarms & Sprinklers)
- ☒ Final Building Inspection
- ☐ Final Elevator
- ☐ Final Engineering
- ☒ Final Planning & Zoning 5-14-13
- ☐ Final Concurrence
- ☒ Final Public Works 5-14-13
- ☐ Final Survey (2 copies)
- ☐ Pile Log
- ☐ Threshold Inspection
- ☐ Railing Inspection (Threshold)
- ☐ Glazing Inspection (Threshold)
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- ☐ Partial Final Elevator
- ☐ Partial Final Engineering
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- ☐ Partial Final Concurrence
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CHE
01-28-11



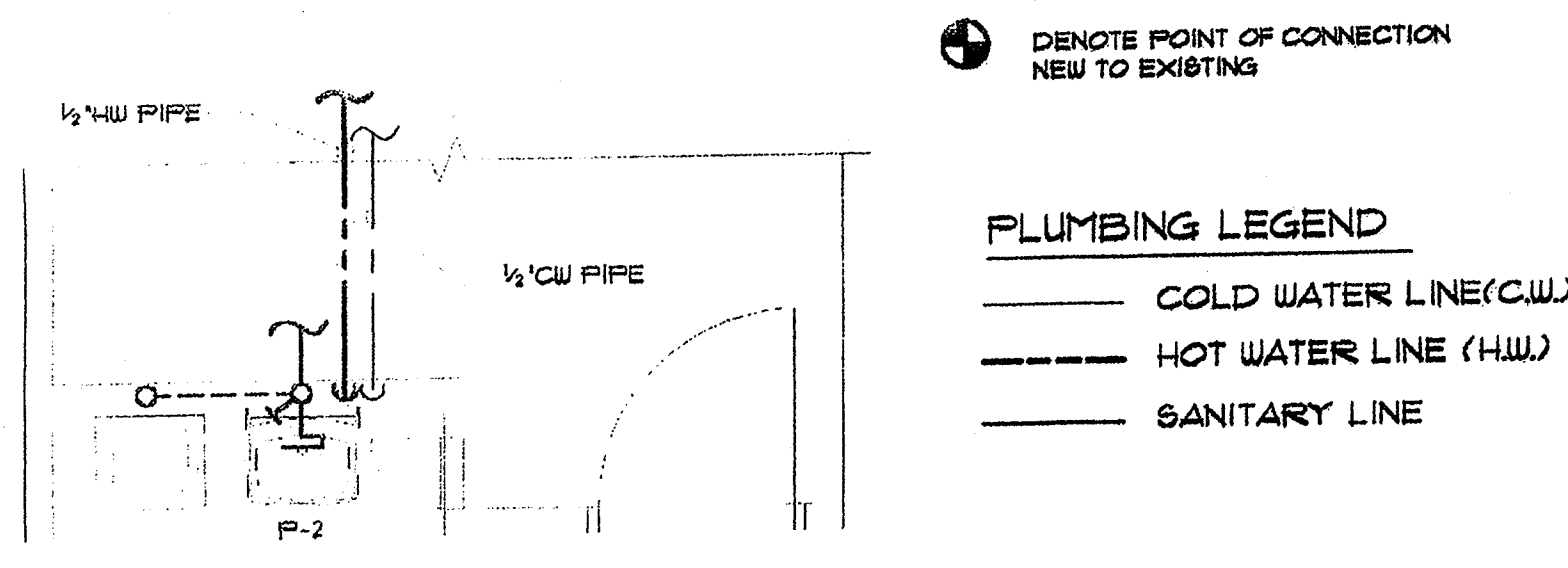
PLUMBING MIXTURE SCHEDULE				
SYMBOL	FIXTURE TYPE	TRAP SIZE	C.U.L.	DESCRIPTION
P-1	SINK	1 1/2"	1/2"	
P-2	SINK	1 1/2"	1/2"	
P-3	REFRIGERATOR	N/A	N/A	

- PLUMBING LEGEND**
- SANITARY WASTE LINE
 - VENT LINE
 - CONDENSATE DRAINAGE LINE
 - CTG — CLEANOUT TO GRADE
 - WCO — WALL CLEANOUT
 - FD — FLOOR DRAIN
 - COLD WATER (C.W.) LINE
 - HOT WATER (H.W.) LINE
 - PRESS. TEMP. RELIEF LINE
 - GATE VALVE
 - CHECK VALVE
 - PRESS. TEMP. RELIEF VALVE
 - UNION
 - HOSE BIBB
 - VB — VACUUM BREAKER
 - VV — VALVE IN VERTICAL
 - VTR — VENT THROUGH ROOF
 - AF — ABOVE FINISHED FLOOR LEVEL
 - FE — FIRE EXTINGUISHER ON WALL BRACKET (A-102C)
 - FE — FIRE EXTINGUISHER IN CABINET (A-102C)
 - FLOOR CLEAN OUT

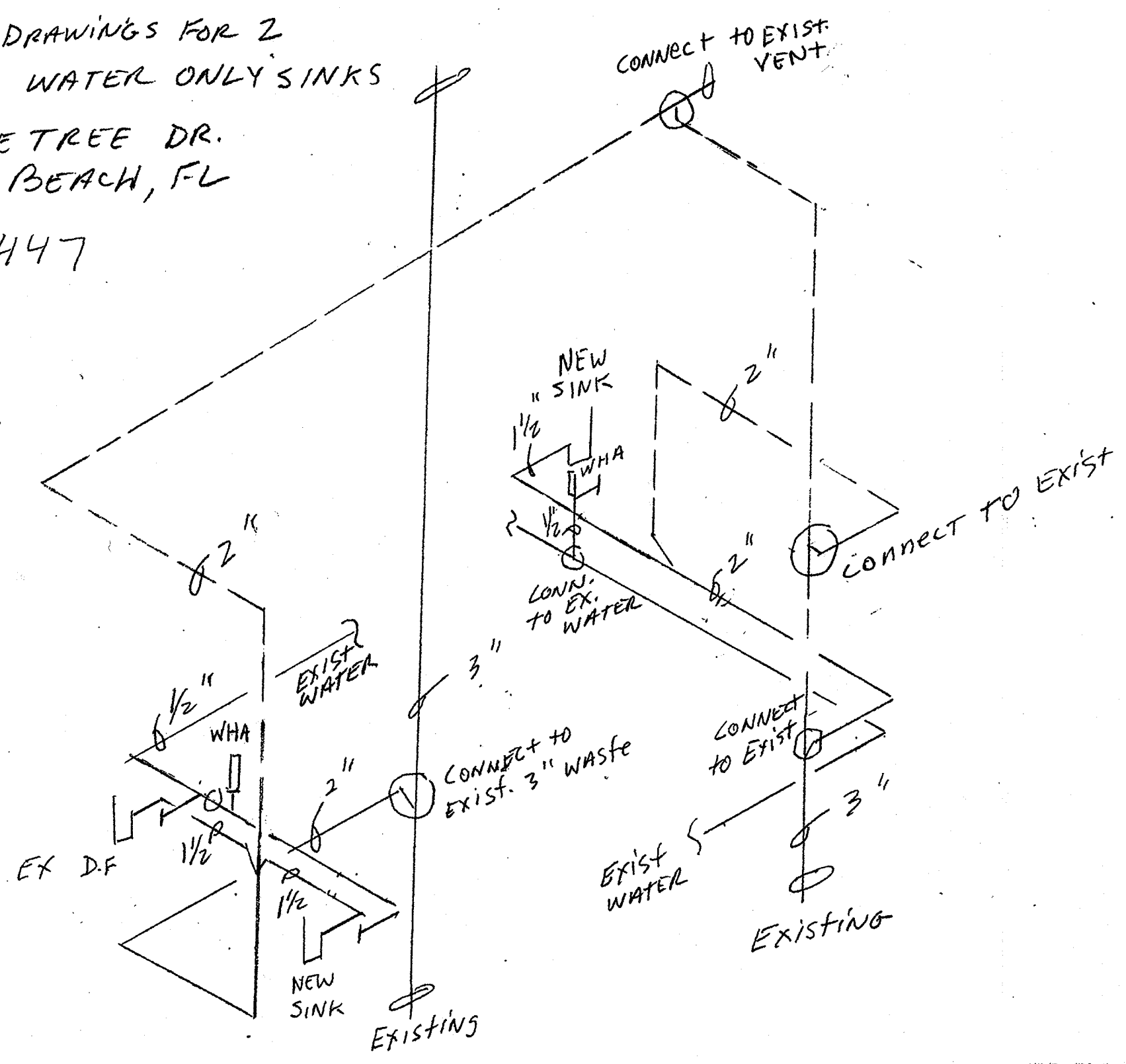
- PLUMBING GENERAL NOTES:**
1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THESE DRAWINGS, THE APPLICABLE EDITION OF THE FLORIDA BUILDING CODE. ALL OTHER APPLICABLE STATE, COUNTY AND LOCAL CODES AND ORDINANCES.
 2. THE CONTRACTOR SHALL PAY ALL COSTS OF PERMIT, INSPECTIONS AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK. UPON FINAL ACCEPTANCE, A CERTIFICATE FROM THE LOCAL INSPECTION AUTHORITY SHALL BE FURNISHED TO THE OWNER.
 3. ALL MATERIALS AND EQUIPMENTS SHALL BE NEW, OF U.S. MANUFACTURER AND OF GOOD QUALITY OF RESPECTIVE KIND AND GRADE, AND MUST BE FURNISHED SO AS TO PREVENT ANY DELAY IN THE PROGRESS OF THE WORK. ALL WORK THROUGHOUT SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY SUFFICIENT NUMBER OF SKILLED WORKMEN.
 4. CONTRACTOR SHALL VISIT THE SITE AND REVIEW ALL PERTINENT UTILITY DRAWINGS TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL EXISTING AND/OR PROPOSED UTILITY STUB OUTS, PIPING, EQUIPMENT, ETC., AND MAKE DUE ALLOWANCES FOR ANY CONDITION AFFECTING HIS WORK.
 5. ALL UNDERGROUND SANITARY & STORM DRAINAGE PIPING AND FITTING SHALL BE PVC-DMW (ST1 D-2662/D-3034).
 6. ALL ABOVE GROUND SANITARY & STORM DRAINAGE BRANCH & VENT PIPES AND FITTINGS SHALL BE PVC-DMW (ASTM D-2662/D-3034).
 7. ALL UNDERGROUND WATER PIPING SHALL BE COPPER TYPE 'K' (ASTM B-306) ALL ABOVE GROUND PIPING SHALL BE COPPER TYPE 'L' (ASTM B-306).
 8. ALL HOT WATER PRESSURE AND TEMPERATURE RELIEF PIPING SHALL BE COPPER TYPE 'K' (ASTM B-306).
 9. ALL AIR CONDITIONING CONDENSATE DRAINAGE PIPING SHALL BE SCH. 40 PVC (ASTM D-2662), EXCEPT WHEN INSTALLED IN RETURN AIR FLENUM WHERE COPPER TYPE 'DWV' OR EQUIVALENT MUST BE USED.
 10. ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY ACCESSORIES SUCH AS STOP VALVES, 'P' TRAPS, SUPPORTS, 'P' & T VALVES, ETC., AS REQUIRED. ALL EXPOSED PIPING AT FIXTURES AND EQUIPMENT SHALL BE CHROME PLATED BRASS PIPE OR TUBE. PROVIDE SHUT OFF VALVES AND UNIONS TO ALL FIXTURES, ETC., REQUIRING WATER SUPPLY. PROVIDE DIELECTRIC COUPLING AS REQUIRED. FOR ALL COPPER PIPING CONTRACTOR MUST USE 95/5 SOLDER. PROVIDE WATER HAMMER ARRESTOR (PER F.B.C. 624.9) TO EACH FIXTURE AS REQUIRED.
 11. PROVIDE CLEANOUTS (WITH CHROME PLATED WALL OR FLOOR ACCESS FRAMES AND COVERS AS REQUIRED) AT THE BASE OF ALL WASTE AND/OR VENT STACKS. PROVIDE PITCH PANS & LEADS FLASHING FOR ALL SANITARY SYSTEM VENTS.
 12. ALL HORIZONTAL WASTE PIPING SHALL BE SLOPPED AT 1/8" PER FOOT.

As-Built Drawings for 2
NEW COLD WATER ONLY SINKS
4100 PINETREE DR.
MIAMI BEACH, FL
BP 110447

1 PLUMBING PROPOSED FLOOR PLAN
SCALE: 3/8" = 1'-0"



1 PLUMBING NEW HAND SINK PLAN
SCALE: 3/8" = 1'-0"



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ZONING: _____
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENVIRONMENTAL: _____
PUBLIC WORKS: _____
SCHEMATIC: _____

**PUBLIC WORKS
PLAN REVIEW NOTICE**
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C./C.O., or the release of bonds.)

Approved/Reviewed By: _____ Date: 01/28/11

REVISIONS		
No.	Date	By

JUAN RODRIGUEZ
ARCHITECTS, P.A.
625 SW 88 AV
FLORIDA
ARCH. REG. # 6691

INTERIOR DESIGNERS
Tel: 786-486-9093
Fax: 305-567-5594

**INTERIOR REMODELING
FOR**

4100 Pinetree Drive
Arthur Godfrey Road
Miami Beach, FL 33140

(407) 301-1111

Date: 10/04/2010
Approved: _____
Drawn: _____

SHEET TITLE
**PLUMBING
PLAN**

SHEET NUMBER
P - 1

END
1994

BREVIARY
B1004578
400 PLETHE &
OFFICE COPY

19. ALL SHAFTS SHALL BE 2-HOUR FIRE-RATED (UNLESS OTHERWISE NOTED); UL DESIGN NO. U-505 OR APPROVED SIMILAR AND SHALL CONTINUE AS SUCH TO UNDERSIDE OF ROOF OR FLOOR STRUCTURAL DECKING. SEE WALL TYPE DETAILS FOR WALL DESIGN.
20. ALL WORK SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A117.1). DIMENSIONS INDICATED IN THE DRAWINGS ARE REQUIRED FINISHED CLEAR DIMENSIONS.
21. CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS AND DOORS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS. THE OMISSION OF ANY ACCESS PANELS IN THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
22. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES PRIOR TO INSTALLATION.
23. ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL INSURE. THIS INCLUDES, BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS, ETC.
25. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN GUARANTEES AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT.
26. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, PAVING SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING TO INSURE THE PROPER DRAINAGE AND RETURN THEM TO THEIR ORIGINAL FINISHED CONDITION.

The diagram illustrates the use of column reference grids for section and detail drawings. It includes a north arrow pointing upwards.

Column Reference Grids: Two circular grids are shown, labeled 'I' and 'A'. The 'I' grid has a vertical line through its center, and the 'A' grid has a horizontal line through its center. The text 'COLUMN REFERENCE GRIDS' is written to the right of these grids.

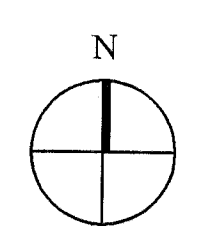
Wall Section: A cross-section of a wall is shown. The left end is labeled 'A1' and 'A-600'. The right end is labeled 'A' and 'A-400'. The text 'WALL SECTION' is written above the wall, and 'SHT. ON WHICH SECTION IS SHOWN' is written below the wall.

Building Section: A cross-section of a building is shown. The left end is labeled 'A-A' and 'A-400'. The right end is labeled 'A-A' and 'A-400'. The text 'BUILDING SECTION' is written above the building, and 'SHT. ON WHICH SECTION IS SHOWN' is written below the building.

Detail: A detail of a wall is shown. The left end is labeled 'A1' and 'A-500'. The right end is labeled 'A1/A-500'. The text 'DETAIL' is written above the detail, and 'SHT. ON WHICH DETAIL IS SHOWN' is written below the detail.

Detail: A detail of a wall is shown. The left end is labeled 'A1' and 'A-400'. The right end is labeled 'A1/A-400'. The text 'DETAIL' is written above the detail, and 'SHT. ON WHICH DETAIL IS SHOWN' is written below the detail.

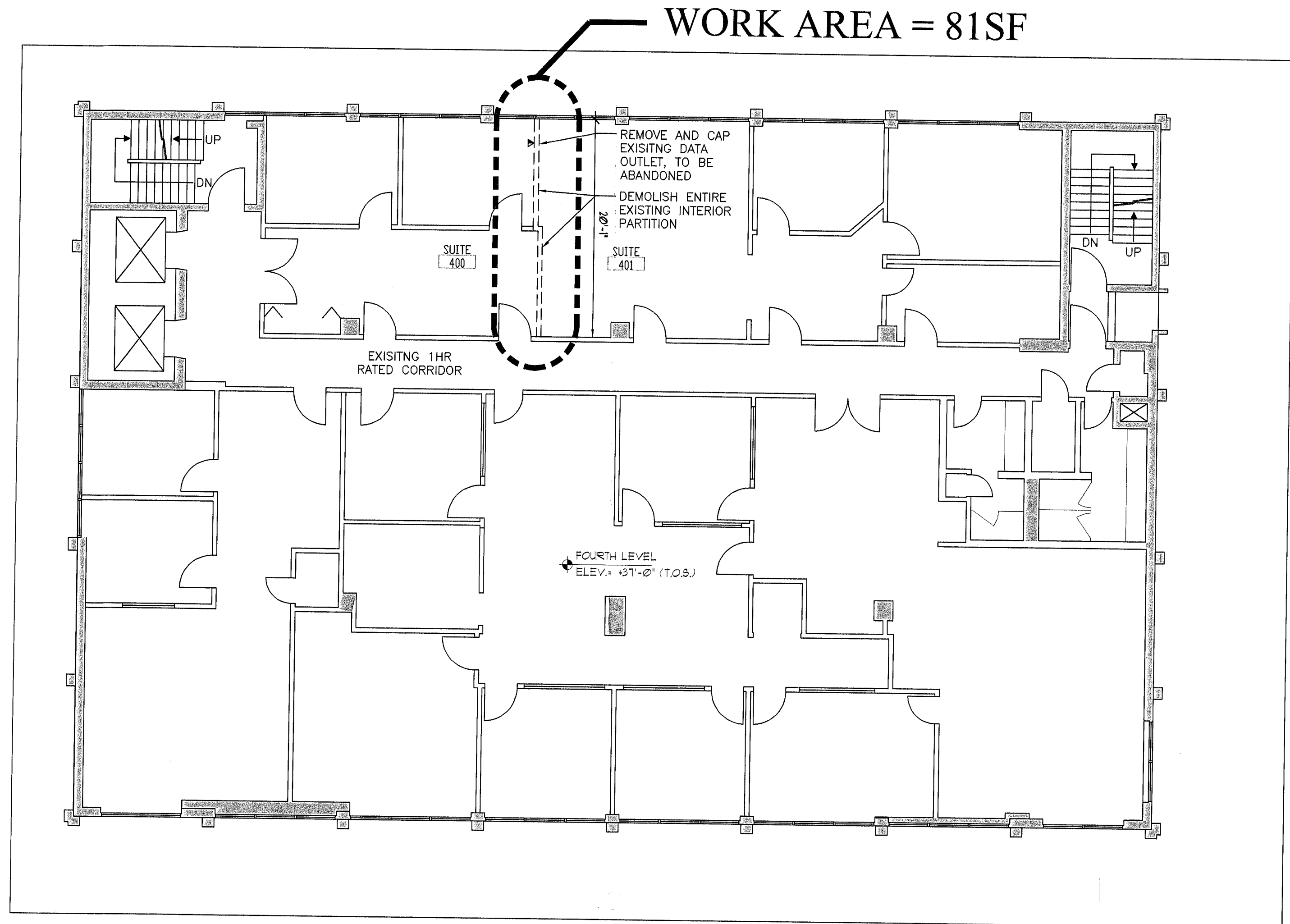
COVER SHEET / PROJECT NO. 15-02213
 ZONING: _____ PLANS AND SECTION _____
 DRAWING NO. _____
 OMITTED: _____ DETAILS _____
 OMITTED: _____ MECHANICAL PLAN & DETAILS _____
 PUMPING: _____
 ELECTRICAL: _____ ELECTRICAL PLAN, SCHEDULE & NOTES 2/2
 MECHANICAL: _____ See 04-21213 WK
 FIRE PREVENTION: _____ 04-213
 ENGINEERING: _____ 04-213
 PUBLIC WORKS: _____ 04-213
 STRUCTURAL: _____
 ELEVATOR: _____



SCALE: 1"=20'-0"

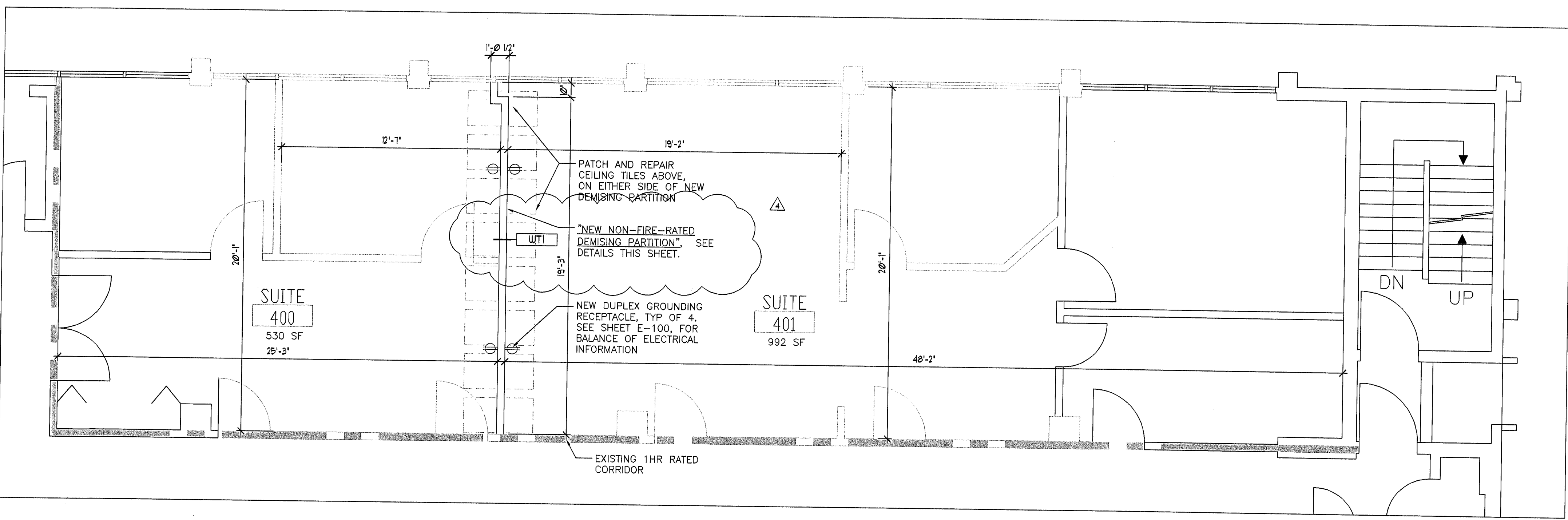
SHEET NUMBER:
A-000

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF THE FULLERTON GROUP. ARCHITECTS AND PLANNERS AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK. DRAWINGS NOT TO BE SCALED.



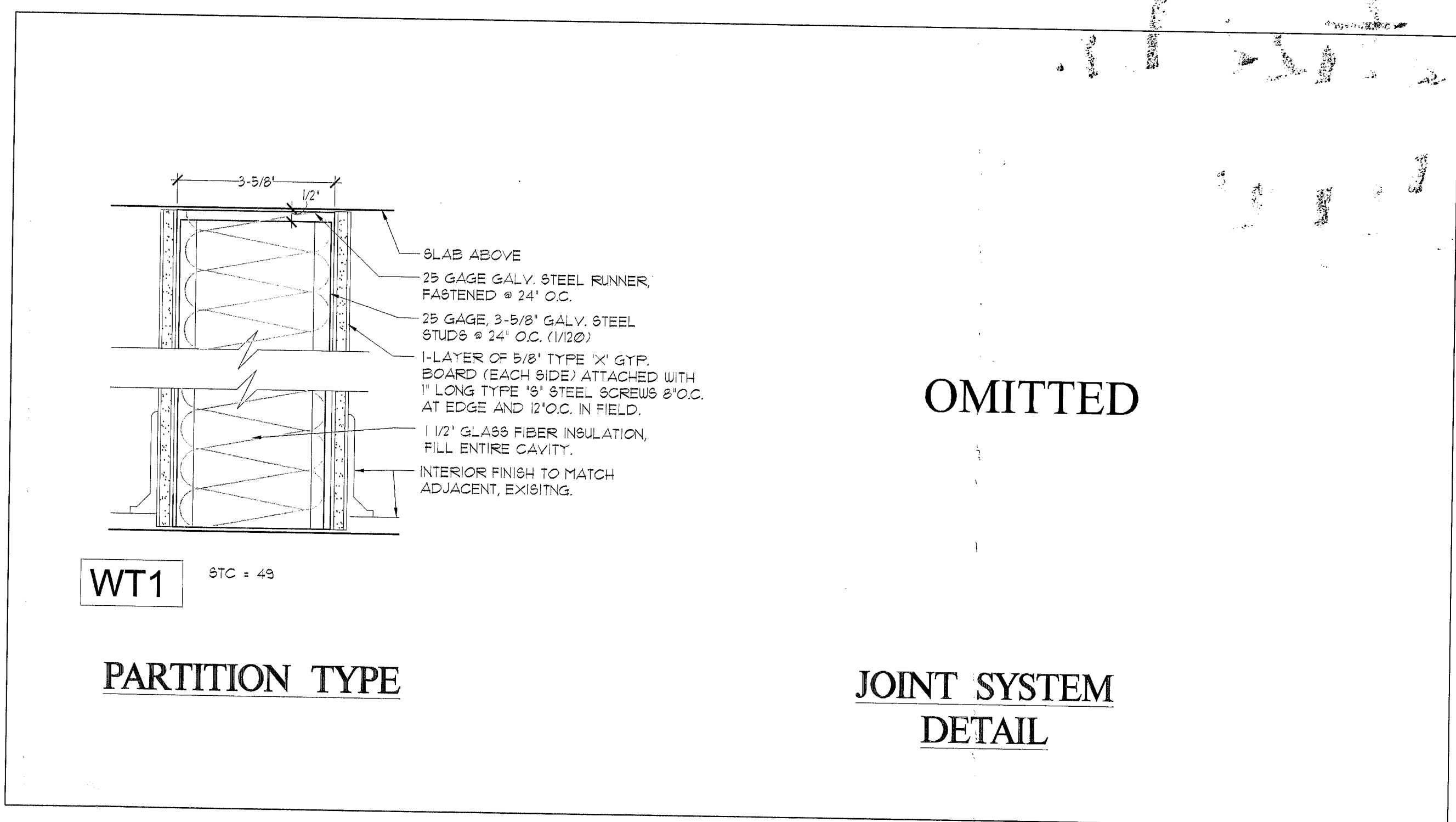
EXISTING 4th FLOOR PLAN

SCALE: 1/8"=1'-0"



DEMISING PARTITION PLAN

SCALE: 1/4"=1'-0"

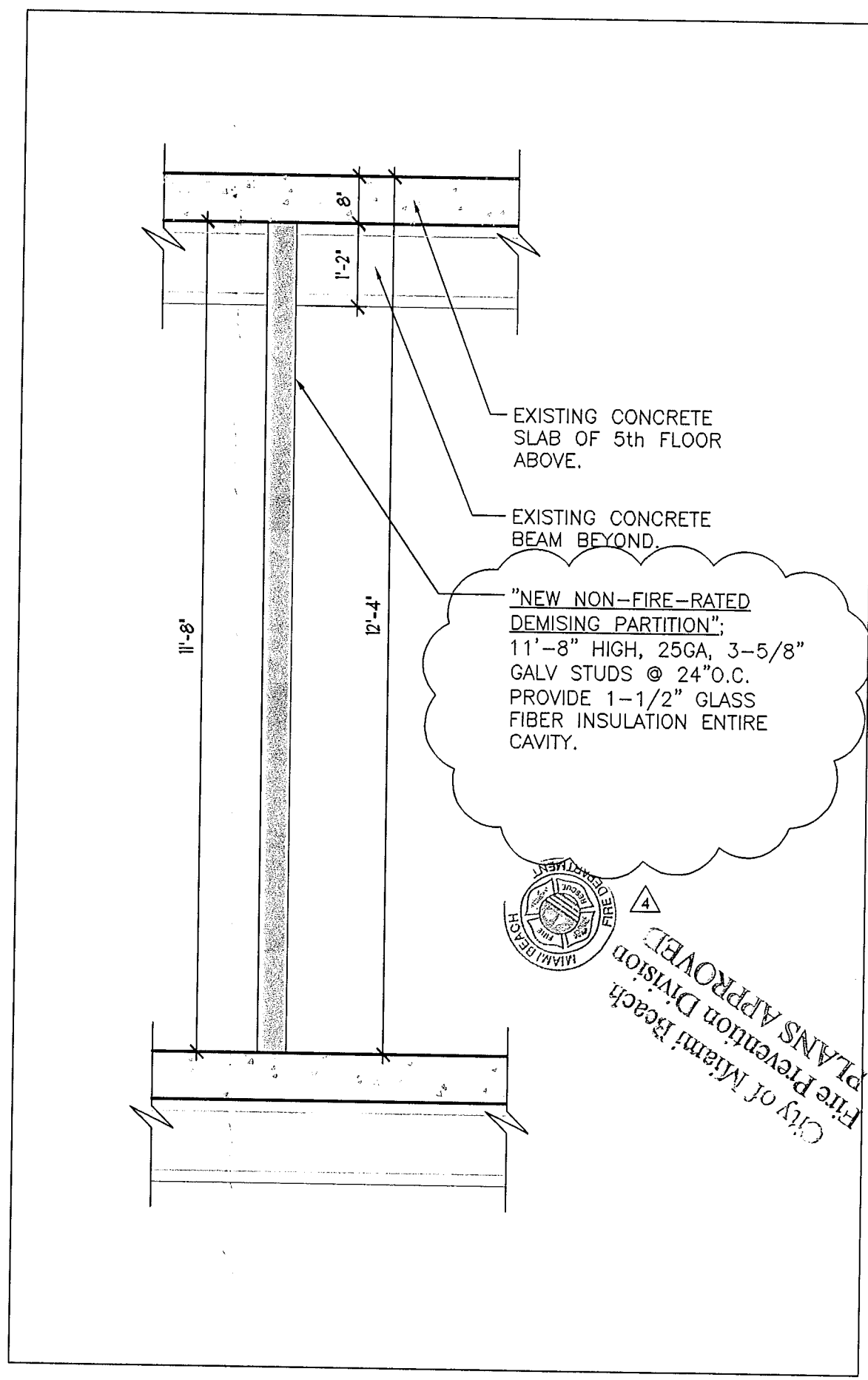


PARTITION TYPE

JOINT SYSTEM DETAIL

DEMISING PARTITION DTL

SCALE: 3/4"=1'-0"



DEMISING PARTITION SECTION

SCALE: 1/2"=1'-0"

ISSUED FOR PERMIT - SEPTEMBER 24th, 2012

AA 26002058

THE FULLERTON GROUP

ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING

1306444880 (P)

New Demising Partition - Suite 400

4100 PINETREE DRIVE

MIAMI BEACH, FLORIDA

DEVELOPER

CARI DEVELOPERS

1929 W. Country Club Drive, Suite 100

Aventura, Florida 33180

PH: (305) 466-1310 FAX: (305) 466-4177

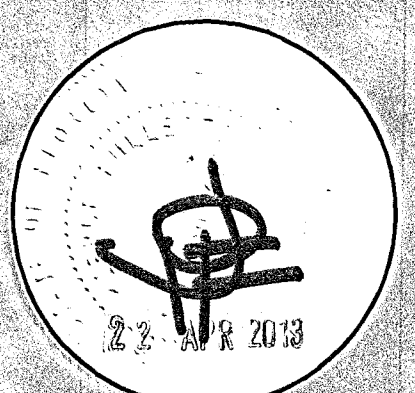
NO.	DESCRIPTION	DATE
5	PERMIT COMMENTS	04.22.13
4	PERMIT COMMENTS	04.15.13
3	PERMIT COMMENTS	12.14.12
2	PERMIT COMMENTS	10.20.12
1	ISSUED FOR PERMIT	09.24.12

DRAWING HISTORY:

PROJECT NUMBER: 21117.00

REGISTRATION: AA 26002058

☐ JOHN P. FULLERTON - AR 4743

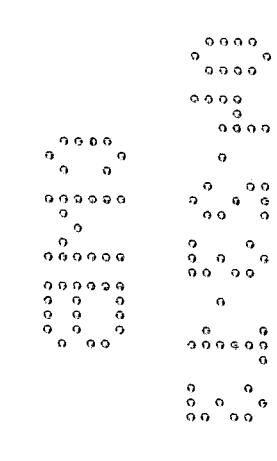


SHEET NUMBER:

A-100

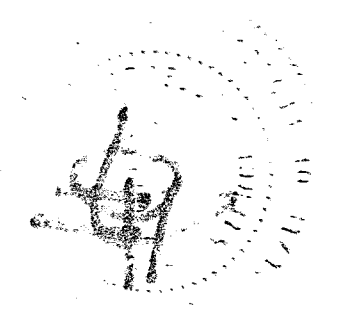
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4100 Pinetree Dr.
Office Copy
B/300102

Dr. Z/P.W./Engl
struc./Fire/Zoning/P.W.
PI
Ald/Fire/mech/Z/PI/Fire
m/PI PI/Elec/Fire
Bid PI/Z
F/Elec/Z/Bid
Elec/Bid/Fire



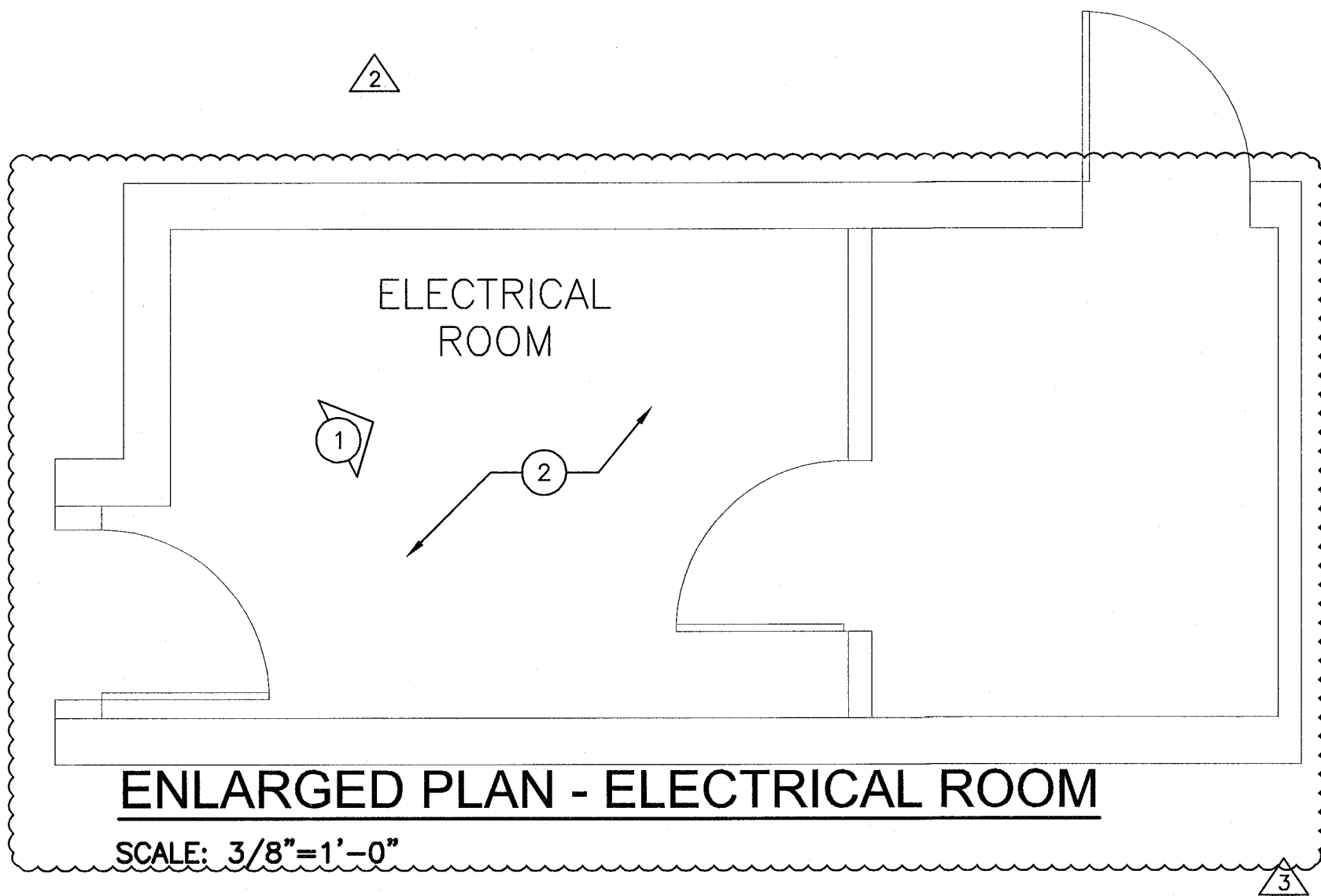
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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: 4/23/13 ✓
ZONING: 4/23/13 ✓
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: 4/23/13 ✓
MECHANICAL: 4/23/13 ✓
FIRE PREVENTION: 4/23/13 ✓
ENGINEERING: 4/23/13 ✓
PUBLIC WORKS: _____
STRUCTURAL: _____
ELEVATOR: _____





VIEW No. 1



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

- KEY NOTES:
- 1 CONTRACTOR SHALL REMOVE ALL STORAGE ITEMS FROM NEW ELECTRICAL ROOM.
 - 2 RENAME EXISTING STORAGE TO ELECTRICAL ROOM.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



THE SCOPE OF WORK FOR THIS PROJECT DO NOT AFFECT
IN ANY WAY ANY LIFE SAFETY SYSTEM ON THIS BUILDING

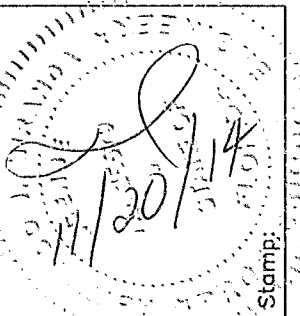
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THE FOLLOWING:

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ZONING: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
FLOOD: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ELEVATOR: _____

PROJECT NO. 1403-025
7428 SW 48 STREET
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Fax: (305) 661-0811
Email: uci@ucide.com
H.J. Miranda P.E. No. 35579
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E80004041
Professional Electrical and
Mechanical Engineers

PROJECT NO. 1403-025
UCI
DESIGN
From Vision to Reality
7428 SW 48 STREET
Miami, Florida 33155
Tel: (305) 661-0800
Fax: (305) 661-0811
Email: uci@ucide.com
License No. 35579-12

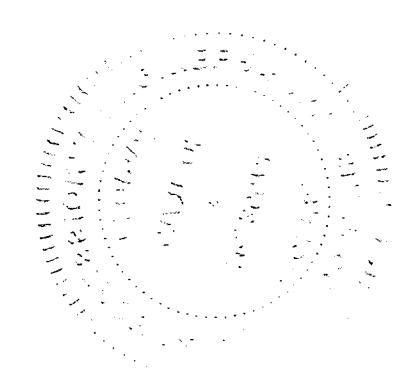
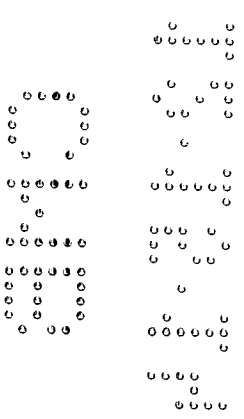
Revisions:	
1	07/01/14 BDC
2	09/09/14 REV
3	11/19/14 REV



HSBC BUILDING
INTERIOR REPAIRS
4100 PINE TREE DRIVE, MIAMI BEACH, FL 33140

Project:
Date: 04-17-14
Drawn by: JLG, TG, FG, PI
Scale: AS SHOWN
Sheet no. A-100
Project no. 1403-025

BREVES
4100 DIETREE DR
(B404042)



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Three Brickell City Centre
98 Southeast Seventh Street
Suite 1100
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April 6, 2016

VIA HAND DELIVERY

Chair and Members of the Planning Board
City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: 340 West 42nd Street – Letter of Intent

Our firm represents Caton Owner, LLC ("Owner") who is the owner of three parcels¹ of land located at 340 West 42nd Street, 301 Arthur Godfrey Road and 4100/4120 Pine Tree Drive (the "Property").

The Property is improved with a 6-story commercial office building (the "Existing Office Building"), a surface parking lot with 54 parking spaces and drive through bank teller lanes.

The Owner intends to develop the existing parking lot with a 49-unit residential condominium project (the "Project"). The Project will not alter the Existing Office Building. The required parking for the Existing Office Building, which is 25 parking spaces based on a review of the microfilm and permitting history of the Property and confirmed by the City Planning Director in writing,² will be provided in the parking garage for the Project. Also, the bank teller lanes will be provided on the Pine Tree Drive side of the Project.

The Project has been designed in a way to maximize the articulation in the facades and the setbacks from 42nd Street, which is a side yard facing a street. Although the minimum required setback along 42nd Street is 13'-1" and that is what is provided for the first three floors, the setbacks provided on floors four through seven exceed the minimum. The fourth and fifth floors are setback 24' and the sixth and seventh floors are setback 30'. The additional setbacks, combined with the varied articulation in the façade and the varied building materials provides for a north facing façade that diminishes in size at the upper floors and is respectful to the lower scale residential neighborhood to the north of the Property.

The parking spaces on the third floor of the parking garage will have mechanical parking systems. Each space with a mechanical parking system will be assigned to one

¹ Folios 02-3222-001-0420, 02-3222-001-0370, 02-3222-001-0400.

² See Exhibit "A".

residential condominium unit, therefore valet parking is not required. The mechanical parking systems require a conditional use permit.

Also, the Project is greater than 50,000 square feet, which in the CD-3 zoning district requires a conditional use permit.

The entrance to the parking garage is located on Sheridan Avenue. The 25 required parking spaces for the Existing Office Building will be provided on the first floor of the parking garage. The garage is designed so that the bank teller functions for the Existing Office Building are completely separated from the rest of the parking garage.

The Property currently has zero (0) off-street loading spaces and according to microfilm records it was legally permitted with zero off-street loading spaces so it is legal nonconforming. The number of units in the Project requires one (1) off-street loading space to be provided and one loading spaces is proposed to be provided in the parking garage. Deliveries from the new loading space can be taken to the Existing Office building through the parking garage and out through a door on the south façade and then along the hardscape area that will be in-between the new building and the Existing Office Building. Deliveries from the loading space to the new building can be taken directly into the lobby.

In the space between the new building and the existing building on Sheridan Avenue that is not part of the Property there will be a space for a trash truck to pull in. There is access from the trash room directly to the trash pick-up area.

A. Conditional Use Review Criteria

Section 188-192(a) of the City's Zoning Code establishes seven (7) criteria by which all conditional use applications must meet. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(1) The use is consistent with the comprehensive plan or neighborhood plan if one exists for the area in which the property is located.

The new use for the Project is multifamily residential and the existing use of commercial, office on the Property are both permitted in the CD-3 future land use category.

(2) The intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the comprehensive plan.

The traffic study indicates that the roadway levels of service will not be negatively affected.

(3) Structures and uses associated with the request are consistent with these land development regulations.

Multifamily residential is a permitted use in the CD-3 zoning district and the existing commercial, office use is also permitted in the CD-3 zoning district. The proposed structure is consistent with the land development regulations and no variances are required.

(4) The public health, safety, morals, and general welfare will not be adversely affected.

Nothing in the Project will negatively affect the public health, safety, morals and general welfare of the City of Miami Beach.

(5) Adequate off-street parking facilities will be provided.

The Project will provide adequate parking facilities for both the proposed residential use and for the Existing Office Building. 131 parking spaces are required for the Project and the Existing Office Building and 131 are provided.

(6) Necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

The reason the Project is subject to a conditional use review is because it is greater than 50,000 square feet and because of the incorporation of mechanical parking devices. As detailed below, the Project meets all of the conditional use review criteria that are specific to mechanical parking. And although the Project is greater than 50,000 square feet, it has been designed so that the façade that faces the lower scale residential neighborhood to the north recesses as it rises in height.

(7) The concentration of similar types of uses will not create a negative impact on the surrounding neighborhood. Geographic concentration of similar types of conditional uses should be discouraged.

The use of the Project as a multifamily residential building is a permitted use in the CD-3 zoning district – it is only the size of the Project that triggers the conditional use review. The Project would serve as an appropriate transition from the higher intensity commercial office and retail uses that face Arthur Godfrey Road to the low-scale residential neighborhood to the north.

B. Conditional Use Review Criteria for Structures Greater than 50,000 square feet

Section 188-192(b) of the City's Zoning Code establishes eleven (11) criteria by which structures that are greater than 50,000 square feet must meet. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(1) Whether the proposed business operations plan has been provided, including hours of operation, number of employees, goals of business, and other operational characteristics pertinent to the application, and that such plan is compatible with the neighborhood in which it is located.

The Project does not include any non-residential uses other than replacing the existing bank teller drive through lanes. The existing drive through lanes are not currently operational. The new teller will maintain normal operating hours (e.g. 9:00 AM to 5:00 PM). The southernmost lane (as you look at the lanes as they exit onto Pine Tree Drive) will have access to both an ATM and bank teller and the northernmost lane will have access to a bank teller. The traffic study shows that there is sufficient driveway length to handle queuing. The trash pick-up location is on the south side of the building, shielded from the residential neighborhood.

(2) Whether a plan for the mass delivery of merchandise has been provided, including the hours of operation for delivery trucks to come into and exit from the neighborhood and how such plan will mitigate any adverse impacts to adjoining and nearby properties, and neighborhood.

The Existing Office Building has a low amount of deliveries because it is an office building, not a retail or restaurant use. And the Project only has multifamily residential uses so there will be no regular deliveries of merchandise. When there are deliveries there is an off-street loading space provided in the parking garage, with access through the parking garage and into the lobby. Currently there isn't a loading space on the Property. This location is internal to the building and shielded away from the residential neighborhood. Deliveries from the loading space can be taken to the Existing Office building through the hardscape area that will be in-between the new building and the Existing Office Building.

(3) Whether the scale of the proposed use is compatible with the urban character of the surrounding area and create adverse impacts on the surrounding area, and how the adverse impacts are proposed to be addressed.

The Project has been designed so that the bulk of the building at the upper floors is setback further from the residential neighborhood than what is required by the CD-3 regulations. The multifamily residential use is compatible with both the adjacent multifamily and single-family residential uses as well as the adjacent commercial uses. The Project is an appropriate transition from the commercial uses along Arthur Godfrey Road to the low-scale residential neighborhood.

(4) Whether the proposed parking plan has been provided, including where and how the parking is located, utilized, and managed, that meets the required parking and operational needs of the structure and proposed uses.

The Project plans detail the physical layout of the parking garage. The first floor of the parking garage is where the parking for the Existing Office Building is located. The second and third floors are where residential unit owners will parking, with the third floor having mechanical parking lifts in each space. Each space with a mechanical parking lift will be assigned to one residential unit so that the unit owner is responsible for the operation of the lift and therefore valet services are not necessary.

(5) Whether an indoor and outdoor customer circulation plan has been provided that facilitates ingress and egress to the site and structure.

Employees and visitors of the Existing Office Building will park on the first floor of the parking garage and walk out of the garage through the provided opening in the south facade and use the walkway in-between the Project and the Existing Office Building to access the Existing Office Building.

(6) Whether a security plan for the establishment and supporting parking facility has been provided that addresses the safety of the business and its users and minimizes impacts on the neighborhood.

There will be a doorman in the lobby of the Project on duty 24/7. The doorman will have access to a closed circuit TV monitoring system that will broadcast images from the parking garage. The security company for the Existing Office Building will have a CCTV system to monitor the drive through teller area of the Project.

(7) Whether a traffic circulation analysis and plan has been provided that details means of ingress and egress into and out of the neighborhood, addresses the impact of projected traffic on the immediate neighborhood, traffic circulation pattern for the neighborhood, traffic flow through immediate intersections and arterials, and how these impacts are to be mitigated.

A traffic study was prepared by David Plummer & Associates in accordance with the agreed upon traffic methodology. The level of service for all intersections analyzed will not be negatively impacted by the Project. The southbound movement at the Pine Tree Drive / 41st Street intersection is currently experiencing minor delays. In order to improve the operations of this intersection the traffic engineer is recommending that the signal timing of this intersection be adjusted to provide additional green time to the northbound/southbound movements.

(8) Whether a noise attenuation plan has been provided that addresses how noise will be controlled in the loading zone, parking structures and delivery and sanitation areas, to minimize adverse impacts to adjoining and nearby properties.

There are no openings from the parking garage to the north where the residential neighborhood is located, which will reduce the amount of noise that escapes the parking garage and travels northward into the neighborhood. Signs will be posted in the parking garage saying that the screeching of tires and the unnecessary sounding of horns is not permitted. The loading zone is internal to the parking garage and therefore any sounds from loading functions will be contained within the Project. The trash pick-up location is shielded from the residential neighborhood because it is located on the south side of the new building. Also, trash containers will utilize rubber wheels or the path for the trash containers will consist of a surface that reduces noise. The trash room is enclosed and air-conditioned and the only opening to the outside is to the south, away from the residential neighborhood. Trash pick-up times will be limited to between 8:00 AM and 7:00 PM.

(9) Whether a sanitation plan has been provided that addresses on-site facilities as well as off-premises issues resulting from the operation of the structure.

The trash pick-up location is shielded from the residential neighborhood because it is located on the south side of the new building. Also, trash containers will utilize rubber wheels or the path for the trash containers will consist of a surface that reduces noise. The trash room is enclosed and air-conditioned and the only opening to the outside is to the south, away from the residential neighborhood. Trash pick-up times will be limited to between 8:00 AM and 7:00 PM.

(10) Whether the proximity of the proposed structure to similar size structures and to residential uses creates adverse impacts and how such impacts are mitigated.

The Project, as a 7-story multifamily residential project, would serve as an appropriate transition from the higher intensity commercial office and retail uses that face Arthur Godfrey Road to the low-scale residential neighborhood to the north. The Project has been designed so that the façade that faces the lower scale residential neighborhood to the north recesses as it rises in height.

(11) Whether a cumulative effect from the proposed structure with adjacent and nearby structures arises, and how such cumulative effect will be addressed.

There will be no negative cumulative effect from the Project. The proposed structure is shorter than the existing office buildings along Arthur Godfrey Road and the Tower 41 residential building that is located immediately to the east of the Property.

C. Conditional Use Review Criteria for Mechanical Parking Systems

Section 130-38(4) of the City's Zoning Code establishes eleven (11) specific review criteria for the Planning Board to consider in its review of an application to use mechanical parking systems. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(a) Whether the scale of the proposed structure is compatible with the existing urban character of the surrounding neighborhood;

The proposed structure is proposed to be built at a height of approximately 72', which is compliant and slightly less than the maximum height regulations of the CD-3 zoning district. The proposed structure scales back and steps back from the north property line as it rises in height. It is significantly shorter than the Tower 41 condominium.

(b) Whether the proposed use of mechanical parking results in an improvement of design characteristics and compatibility with the surrounding neighborhood;

The use of mechanical parking results in a "footprint" for the proposed parking garage that is much smaller than what would otherwise be required without the use of mechanical parking systems. This in turn allows the size of the upper floors of the building to be reduced so that additional setbacks above and beyond the minimum required setbacks can be provided. The alternate parking plans show the unfavorable building mass that would have to

be built without mechanical parking in order to build an equivalent amount of residential units and floor area.

(c) Whether the proposed use of mechanical parking does not result in an increase in density or intensity over what could be constructed with conventional parking;

As shown on the submitted schematic parking plans, the proposed development program could be achieved through the use of traditional, non-mechanical parking garages.

(d) Whether parking lifts or mechanisms are located inside, within a fully enclosed building, and not visible from exterior view;

The parking lifts and mechanisms for the parking garage are located on the third floor and are screened from view from the exterior by the liner residential units on the north and west façade of the building.

(e) In cases where mechanical parking lifts are used for self-parking in multifamily residential buildings; whether approval is conditioned upon the proper restrictive covenant being provided limiting the use of each lift to the same unit owner;

Using the City's standard form, restrictive covenants that limit the use of each lift to the same unit owner will be provided.

(f) In cases where mechanical parking lifts are used for valet parking; whether approval is conditioned upon the proper restrictive covenant being provided stipulating that a valet service or operator must be provided for such parking for so long as the use continues;

This is not applicable for the Project.

(g) Whether a traffic study has been provided that details the ingress, egress and circulation within the mechanical parking facility, and the technical and staffing requirements necessary to ensure that the proposed mechanical parking system does not cause excessive stacking, waiting, or backups onto the public right-of-way;

A traffic study that shows the required information has been provided by David Plummer and Associates.

(h) Whether a proposed operations plan, including hours of operation, number of employees, maintenance requirements, noise specifications, and emergency procedures, has been provided;

An operations plan has not been developed at this time because a specific type of mechanical lift has not been chosen, however the Owner is agreeable to a condition of approval for the Project that requires an operations plan to be submitted prior to the issuance of a building permit.

(i) In cases where the proposed facility includes accessory uses in addition to the parking garage, whether the accessory uses are in proportion to the facility as a whole, and delivery of merchandise and removal of refuse, and any additional impacts upon the surrounding neighborhood created by the scale and intensity of the proposed accessory uses, are adequately addressed;

There are no accessory uses in the Project.

(j) Whether the proximity of the proposed facility to similar size structures and to residential uses creates adverse impacts and how such impacts are mitigated;

The proposed mechanical parking facilities are not located in close proximity to other mechanical parking facilities. There will be no adverse impacts, e.g. noise externalities, from the proposed mechanical parking facilities because the Owner agrees (in the form of a condition of approval) to choose a manufacturer that is able to meet the specific performance criteria the City has for mechanical parking devices in Section 130-38(5) of the Zoning Code.

(k) Whether a cumulative effect from the proposed facility with adjacent and nearby structures arises, and how such cumulative effect will be addressed;

There are no adjacent and nearby mechanical parking facilities.

D. Additional mechanical parking criteria

Section 130-38(5) of the City's Zoning Code establishes seven (7) specific criteria for mechanical parking systems. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(a) The noise or vibration from the operation of mechanical parking lifts, car elevators, or robotic parking systems shall not be plainly audible to or felt by any individual standing outside an apartment or hotel unit at any adjacent or nearby property. In addition, noise and vibration barriers shall be utilized to ensure that surrounding walls decrease sound and vibration emissions outside of the parking garage;

A specific manufacturer for the parking lifts has not been chosen. However, the Owner agrees and covenants (in the form of a condition of approval) to choose a manufacturer that is able to meet the specific performance criteria.

(b) For mechanical lifts, the parking lift platform must be sealed and of a sufficient width and length (minimum of eight feet by 16 feet) to completely cover the bottom of the vehicle on the platform to prevent dripping liquids or debris onto the vehicle below;

The Owner covenants to provide parking lift platforms that meet this standard.

(c) All free-standing mechanical parking lifts must be designed so that power is required to lift the car, but that no power is required to lower the car, in order to ensure that the lift can be lowered and the top vehicle can be accessed in the event of a power outage; robotic garages and vehicle elevators must have backup generators sufficient to power the system;

The Owner covenants to provide parking lifts that meet this standard and to have backup generators sufficient to power the systems.

(d) All mechanical lifts must be designed to prevent lowering of the lift when a vehicle is parked below the lift;

The Owner covenants to provide parking lifts that meet this standard.

(e) The ceiling heights of any parking level with parking lifts within the parking garage shall be a minimum of 11 feet by six inches;

The proposed plans meet this standard.

(f) All mechanical parking systems, including lifts, elevators and robotic systems, must be inspected and certified as safe and in good working order by a licensed mechanical engineer at least once per year and the findings of the inspection shall be summarized in a report signed by the same licensed mechanical engineer or firm. Such report shall be furnished to the planning director and the building official;

The Owner covenants to provide parking lifts that meet this standard.

(g) All parking lifts shall be maintained and kept in good working order;

The Owner agrees to maintain the parking lifts in good working order.

We submit to the Planning Board that the proposed Project has been carefully designed with respect to the low scale residential neighborhood to the north and provides an appropriate transition from the higher intensity commercial uses along Arthur Godfrey Road to the low scale residential neighborhood to the north. The Project meets all of the conditional use review criteria as detailed herein. We respectfully request the Planning Board's favorable review of the Project.

Sincerely,



Neisen O. Kasdin

Responses to the FTE Comments on Behalf of City of Miami Beach (March 15, 2016)

Re: HSBC Site Traffic Impact Analysis Review

- 1. Traffic Counts – The report states that the peak season conversion factor for Miami-Dade County South was selected. However, the project is located in the North half of the County. Please select the correct set of factors.**

Response: The correct peak season factor for the Miami Dade County North was used in the study. The text has been revised to correctly state 'North'.

- 2. Exhibit 2 –**

- Some of the intersections have significant number of U-turns. Please show and analyze U-turn as such.**
- Summarize the driveway volumes as this will need to be adjusted for the proposed configuration.**

Response: Exhibit 2 has been updated and analysis has been revised to reflect the U-turn volumes.

Driveway volumes were summarized and redistributed to the proposed driveway as part of the submitted study. Section 4.5 of the report stated that the future with project conditions account for the existing driveway volumes. As requested, Exhibit 2 has been updated to show existing driveway volumes.

- 3. The turning movement sheets submitted in the appendix were not properly printed and they can't be read. – This applies to various items in the appendix.**

Response: Appendix has been updated and should be legible.

- 4. Intersection Capacity Analysis – Please review the Synchro models as follows:**

- Complete geometry should be coded including turn lane lengths.**
- Complete signal timing should be coded including minimum green, yellow and red times and walk and don't walk times.**
- Please verify the correct phasing templates and control type for all intersections. For example, the intersection of W 41 Street at Pine Tree Drive is coordinated along W 41 Street and the phase template should be set to east-west. The Synchro model is set to uncoordinated and north south template.**