

# **MBFCC Offices Renovation**

301 Arthur Godfrey Road, Suite 300  
Miami Beach, Florida 33140

OWNER:

**Cabi 301 Commercial, LLLP**

11950 W. Country Club Drive, Suite 900  
Aventura, Florida 33180

ARCHITECT OF RECORD:

**Dynamica Group, LLC.**

1101 Brickell Avenue, Suite 1401N  
Miami, Florida 33131  
305.376.8889 tel  
305.397.1208 fax  
dynamicagrp.com

Certificate of Authorization #AA26001418  
Project #: **0822.00**

MEP+FP ENGINEER:

**PGI GROUP, INC.**

1201 Brickell Avenue, Suite 450A.  
Miami, Florida 33131  
305.374.1995 tel  
305.374.1996 fax

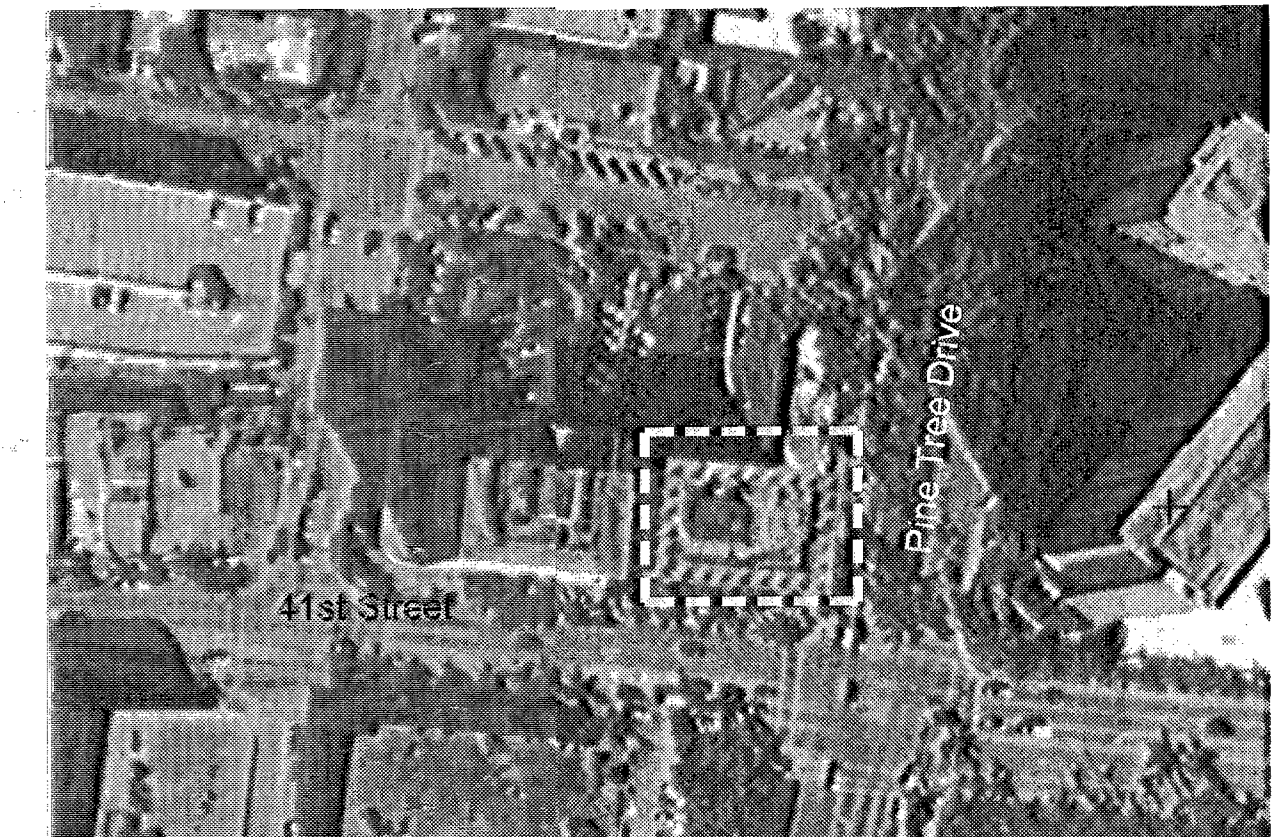
Certificate of Authorization # 27569

## **INTERIOR REMODELING AND BUILDOUT Alteration Level II No demolition work**

**Florida Building Code 2004 ( Existing Building)**

**Florida Fire Prevention Code 2004**

**NFPA 101 Life Safety Code, 2003 Edition**



KEY PLAN

SIGNATURE / DATE / SEAL

*[Signature]*  
JUN 03 2008

William A. Lai, AIA, Registered Architect  
State of Florida #AR93531

**Back Cover**

0802223

0803583

0803583

BO803583  
SUN ARTHUR GOREY RD  
SUITE 300  
OFFICE 04

BO803583  
OFFICE  
JOB COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING: 06/17/08  
ZONING: 06/17/08  
DRB/HPB: \_\_\_\_\_  
CONCURRENCY: \_\_\_\_\_  
PLUMBING: 06/17/08  
ELECTRICAL: 06/17/08  
MECHANICAL: 06/17/08  
FIRE PREVENTION: 06/17/08  
ENGINEERING: 06/17/08  
PUBLIC WORKS: 06/17/08  
STRUCTURAL: 06/17/08  
ELEVATOR: \_\_\_\_\_

OFFICE COPY  
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING:

BUILDING:

ZONING:

DRB/HPB:

CONCURRENCY:

PLUMBING:

ELECTRICAL:

MECHANICAL:

FIRE PREVENTION:

ENGINEERING:

PUBLIC WORKS:

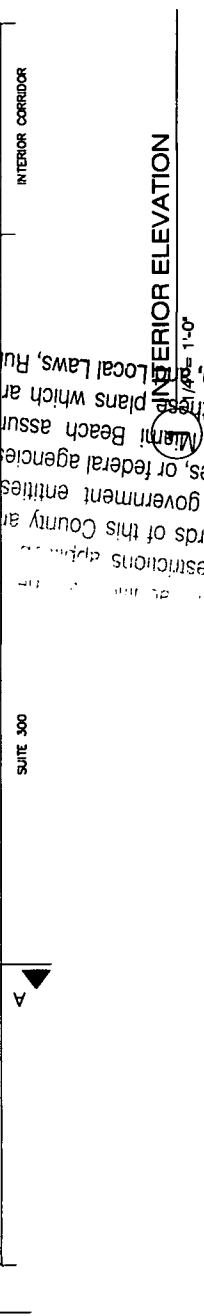
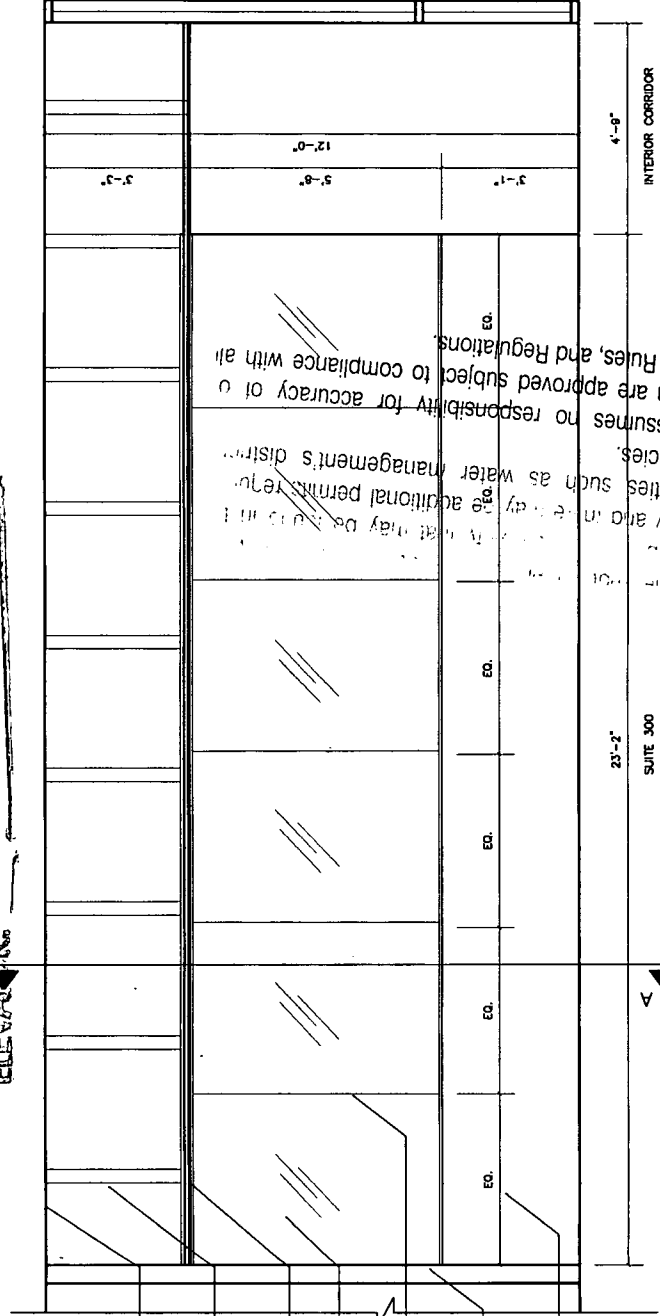
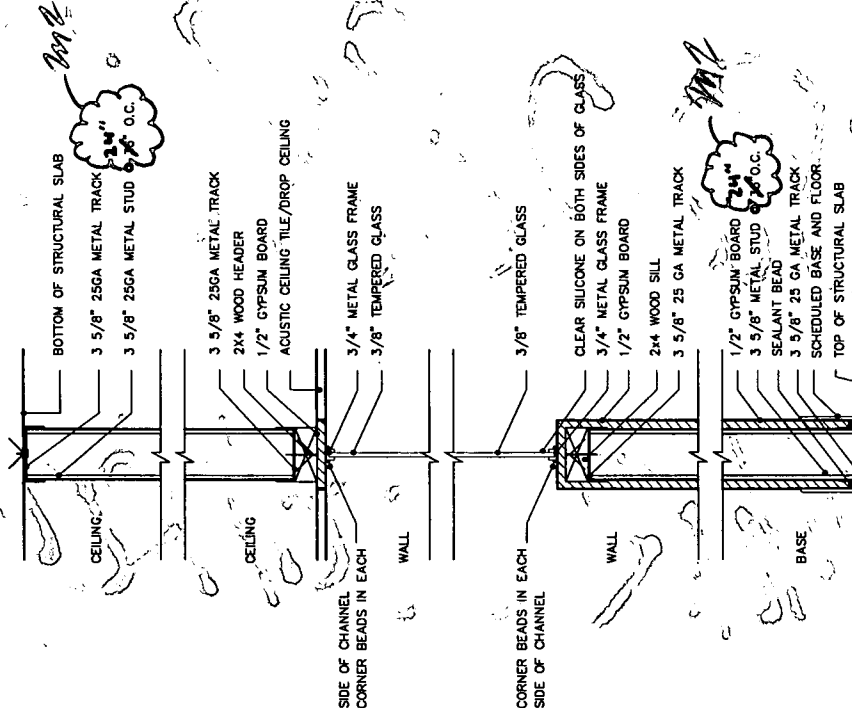
STRUCTURAL:

ELEVATOR:

William A. Lai, AIA  
REGISTERED ARCHITECT  
State of Florida #AR93531

JUL 23 2008

*MB App. per home .08/28/08*



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www.dynamicsgrp.com

Project # 0822  
Cabi 301 Commercial, LLP  
**MBFCC OFFICES**  
301 Arthur Godfrey Road, Suite 300  
Miami Beach, FL 33140

Re: **DRYWALL AND GLASS PARTITION DETAIL**  
Scale: AS SHOWN  
RFI # / Ref.: N/A

**A.SK-01**  
Date: 07.23.08 By: PC

810  
00 00 00

PM 3583 MSTR

MS 0802882

301 ARTHUR GUDFREY RD.

Office Copy



AN OFFICE INTERIOR FOR  
301 CABI DEVELOPMENT, LLLP.  
SUITE #406  
301 W 41ST STREET (ARTHUR GODFREY RD.)  
MIAMI BEACH, FLORIDA 33140

OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

ARCHITECT PROJ. NO.  
09-003  
CONSULT PROJ. NO.  
-  
CLIENT PROJ. NO.  
-  
ALAN D. LERNER  
AR#0005784

ARCHITECT  
OFFERLE-LERNER AIA  
13190 SW 134TH ST SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

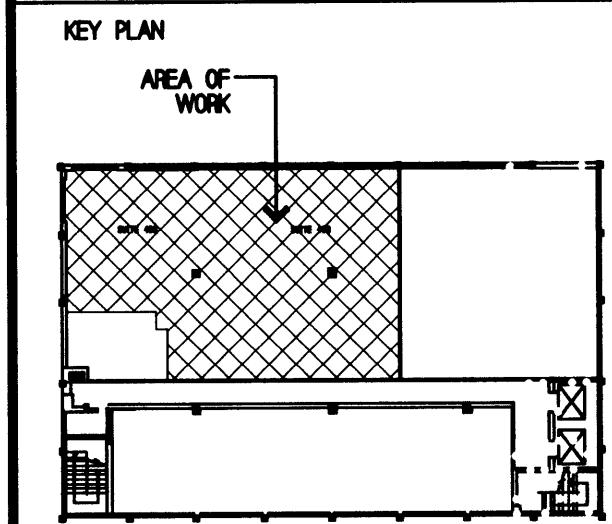
OWNER  
301 CABI DEVELOPMENT, LLLP  
C/O NAI MIAMI  
CONTACT: JEFF BUELL  
9655 S. DIXIE HIGHWAY #200  
MIAMI, FLORIDA 33156  
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VIDAL & ASSOCIATES INC.  
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PHONE: (305) 571-1860  
FAX: (305) 571-1861  
CONTACT: HENRY VIDAL P.E.

NO.	DATE	DESCRIPTION	APPR
03/26/2009	03/26/2009	ISSUE FOR PERMIT	ADL
07/08/2009	07/08/2009	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



DATE 11/22/08  
DRAWN BY ADL  
CHECKED BY ADL  
APPROVED BY ADL

NOT FOR CONSTRUCTION ☒  
RELEASED FOR CONSTRUCTION ☐  
RECORD DRAWING ☐  
AS-BUILT DRAWING ☐

SHEET SCALE -

DRAWING TITLE  
PROJECT INFORMATION  
AND  
GENERAL NOTES

A0-0

GENERAL NOTES

1. THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS, OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY PROBLEM. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUESTS FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWING OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDOLE AFFECT THE PROGRESS OF WORK.

2. THE GENERAL CONTRACTOR HEREBY INDEMNIFIES AND AGREES TO DEFEND AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY AND ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE (INCLUDING CLAIMS FOR WORKMAN'S COMPENSATION BASED ON PERSONAL INJURY OR PROPERTY DAMAGE CAUSED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS, OR SUBCONTRACTORS ENGAGED BY HIM).

3. INSURANCE BY GENERAL CONTRACTOR SHALL BE AS FOLLOWS: COMPREHENSIVE GENERAL LIABILITY (BI AND PD COMBINED) LIMIT \$1,000,000.00 PER OCCURRENCE.

EXCESS LIABILITY (BI AND PD COMBINED) LIMIT AMOUNT OF \$3,000,000.00 WITH COMPANIES AND FORMS AGGREGATE.

WORKER'S COMPENSATION AND LIABILITY STATUTORY.

BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER, AND IF REQUESTED, THE ORIGINAL POLICIES. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO ARCHITECTS. TEN DAY ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANGE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.

4. THE CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF DEPARTMENT FORMS, DOCUMENTS, FEES AND THE SUBSEQUENT FILING THERE OF, INCLUDING OBTAINING ALL APPROVALS REQUIRED PERMITS, EQUIPMENT USE PERMITS, CONTROLLED INSPECTIONS AND FINAL SIGN OFFS.

DEMOLITION SPECIFICATIONS

1. THE GENERAL CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY TO ENSURE A COMPLETE AND CLEAN OPEN SPACE/FREE OF ANY FOREIGN MATTER.

2. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM DEMOLITION WORK.

3. THE GENERAL CONTRACTOR TO MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF THE WORK.

4. THE GENERAL CONTRACTOR TO COMPLY WITH ALL TERMS AND CONDITIONS AS STATED BY BUILDING MANAGEMENT.

5. ALL EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION WORK SHOWN ON THE DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS INsofar AS TO MAINTAIN PROPOSED FIRE RATINGS AT ALL RATED WALLS.

6. THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF REMOVED MATERIAL AND DEBRIS DAILY.

7. UPON COMPLETION OF WORK EACH DAY, PREMISES SHALL BE BROOM SWEEP.

8. CONTRACTOR TO PROTECT EXISTING DOORS AND FRAMES TO REMAIN FROM DAMAGE DURING DEMOLITION.

5. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE SUBMISSION OF BIDS.

6. DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.

7. ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE, OR FROM FACE OF CONVECTOR TO FINISH SURFACE.

8. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE TO TENANTS.

9. THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE A MINIMUM OF THREE (3) FIRE EXTINGUISHERS PER FLOOR OR MORE, IF REQUIRED BY THE LANDLORD. SAID FIRE EXTINGUISHERS SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY TENANT'S CONTRACTOR FOR THE DURATION OF THE ALTERATION.

10. ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE BUILDING AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.

11. CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OF DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.

12. NO MATERIAL SUBSTITUTION SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING, PRIOR TO COMMENCEMENT OF WORK.

13. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, COMPLETE WITH MANUFACTURER'S EQUIPMENT CUTS, FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTAL SHALL BE IN THE FORM OF: (A) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP); AND (B) BLACK AND WHITE PRINTS OF EACH DRAWING. THE CONTRACTOR WILL NOT COMMENCE FABRICATION BEFORE RECEIVING THE APPROVAL OF THE ARCHITECT.

9. CONTRACTOR TO PROVIDE REASONABLE DUST PROTECTION AT POINTS OF DEMOLITION AND ELEVATORS AND EXISTING TOILETS TO REMAIN AND SHALL COOPERATE WITH THE FACILITY IN MINIMIZING INTERRUPTION TO THEIR OPERATIONS.

10. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE DELIVERY OF MATERIALS, EQUIPMENT, AND DISPOSAL OF DEBRIS MUST BE ARRANGED TO AVOID INCONVENIENCE AND ANNOYANCE TO TENANTS.

11. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT.

12. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING, BUT NOT LIMITED TO, WINDOWS, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS (TO REMAIN), ELECTRICAL AND AIR CONDITIONING EQUIPMENT (BEING REUSED), CONVECTOR ENCLOSURES, ETC.

13. THE GENERAL CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.

THE FOLLOWING SUBMITTALS ARE REQUIRED:

1. CABINETRY

A. FINISH SAMPLES (2 REQUIRED)

2. FINISHES

A. PAINT SAMPLES (2 REQUIRED, EACH COLORED)

B. WALL COVERING (2 REQUIRED)

3. MECHANICAL

A. SHOP DRAWINGS - AC UNITS

GRILLES, LOUVERS

DUCTWORK

PLUMBING

FIRE PROTECTION

B. SUPPLEMENTAL EQUIPMENT CATALOG CUTS WITH DATA SPECIFIC TO THIS PROJECT FLAGGED IN AN APPROPRIATE MANNER.

4. ELECTRICAL

A. FIXTURE CUTS

B. ELECTRICAL CONTROLS AND DEVICES WITH DATA SPECIFIC TO THIS PROJECT FLAGGED IN AN APPROPRIATE MANNER.

14. APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN NOTE #5 ABOVE.

15. THE GENERAL CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REFURBISHMENT.

16. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN, OR THOSE ON SEPARATE CONTRACT LET BY THE TENANT. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO ARCHITECT SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.

17. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.

18. THE AIA GENERAL CONDITIONS, LATEST EDITION, (DOCUMENT A201) SHALL BE BINDING ON THIS CONTRACT.

19. THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON REGULAR HOURS UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE CLIENT, ENGINEER, OR ARCHITECT. OVERTIME I.E. SHUTDOWNS AS REQUIRED BY THE BUILDING LANDLORD.

20. NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.

21. A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.

22. ALL REQUISITIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM G722, LATEST EDITION, FOR PRIOR APPROVAL.

23. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.

24. THE CLIENT'S ARCHITECT OR HIS REPRESENTATIVES SHALL HAVE ACCESS TO THE PREMISES AT ALL TIMES, AND TO THE FACTORY OR SHOP OF ANY OF THE SUBCONTRACTORS. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT & THE TENANT AT THE CONTRACTOR'S SOLE EXPENSE.

25. WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN, THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.

26. UPON COMPLETION OF WORK, THE CONTRACTOR WILL PROVIDE REPRODUCIBLE "AS-BUILT" TO SHOW ALL MODIFICATIONS OF THE CONTRACT DOCUMENTS, AS WELL AS ALL LIGHTING AND POWER CIRCUITRY (INCLUDING BREAKER NUMBERS) AS ACTUALLY INSTALLED.

27. ALL MATERIALS SHALL, WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIVES OF THE LOCAL BOARD OF STANDARDS AND APPEALS (B.S.A.), AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A LOCAL B.S.A. NUMBER ON DEMAND.

28. ALL MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGING.

29. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING, PRIOR TO COMMENCEMENT OF WORK.

30. S.C. TO OBTAIN ALL PERMITS, SIGN-OFFS AND EQUIPMENT USE PERMITS.

31. ALL WORK ON STRAIGHT TIME, EXCEPT FOR THAT WHICH IS REQUIRED BY THE BUILDING OWNER/ LANDLORD TO BE PERFORMED AFTER HOURS, SPRINKLER SHUT DOWNS, ELECTRICAL TIE IN'S AND DRILLING TO BE COORDINATED WITH OWNER.

NOTE: (E) = EXISTING

(N) = NEW

(RE) = RELOCATE EXISTING

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LOCATION PLAN

NO SCALE

4

PROJECT TEAM

NO SCALE

2

BUILDING INFORMATION

TOTAL AREA OF WORK..... 2,717 SQ. FT.

PROJECT LOCATION: 301 W 41ST ST (ARTHUR GODFREY RD.)  
LANDLORD: N/A  
ARCHITECT: OFFERLE-LERNER, AIA  
CITY: MIAMI BEACH  
COUNTY: MIAMI-DADE  
STATE: FLORIDA

CODE INFORMATION

BUILDING THE FLORIDA BUILDING CODE - 2007 EDITION  
LIFE SAFETY CODE FLORIDA FIRE PREVENTION CODE 2007 ED.  
ACCESSIBILITY CODE FLORIDA ACCESSIBILITY CODE FOR BLDG. CONSTRUCTION - CHAPTER 11  
MECHANICAL CODE THE FLORIDA BUILDING CODE - 2007 EDITION  
ELECTRICAL CODE NEC 2002  
PLUMBING CODE THE FLORIDA BUILDING CODE - 2007 EDITION  
ENERGY CODE THE FLORIDA BUILDING CODE - 2007 EDITION

EXISTING BUILDING INFORMATION

CONSTRUCTION TYPE: TYPE V B  
OCCUPANCY USE: GROUP B - BUSINESS  
AUTOMATIC SPRINKLER SYSTEM: NO

NUMBER OF STORIES IN EXISTING BUILDING: 6  
TOP OCCUPIED FLOOR IN EXISTING BUILDING: 6TH FLOOR  
HEIGHT OF EXISTING BUILDING: 69 FEET  
EXISTING BUILDING AND NEW REMODELED SPACE HAVE A FIRE ALARM SYSTEM.

SCOPE OF WORK

SCOPE OF WORK INCLUDES THE INTERIOR REMODELING OF SUITES 403 AND 406 INTO ONE, NEW, SUITE - 406. PROJECT IS LOCATED ON A PORTION OF THE FOURTH FLOOR OF AN EXISTING 6 STORY STRUCTURE IN MIAMI BEACH, FLORIDA.

OCCUPANT LOAD

OCCUPANT LOAD IN SUITE 406:  
BUSINESS - 1 PERSON PER 100  
2,717 SQ. FT. / 100 = 28 PEOPLE

TOTAL PEOPLE: 28 PEOPLE

EXISTING BUILDING CODE CHAPTER 4.

2,717 S.F. (THIS ALTERATION) / 39,102 (TOTAL BUILDING AREA) = 6.9% < 50%  
ALTERATION IS LEVEL 2 PER SECTION 404.

BUILDING / CODE INFO

NO SCALE

3

DRAWING INDEX

NO SCALE

1

GENERAL NOTES



AN OFFICE INTERIOR FOR  
301 CABI DEVELOPMENT, LLLP.  
SUITE #403/406  
301 W 41ST STREET (ARTHUR GODFREY RD.)  
MIAMI BEACH, FLORIDA 33140

OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

ARCHITECT PRJ. NO.	09-003	SEAL
CONSULT PRJ. NO.	-	
CLIENT PRJ. NO.	-	
ARCHITECT	ALAN D. LERNER AR#0005784	

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305-385-1700  
AA#0003139

SUB-CONSULTANT

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9555 S. DIXIE HIGHWAY #200  
MIAMI, FLORIDA 33156  
PHONE: (305) 962-5250

ARCHITECTS & PLANNERS

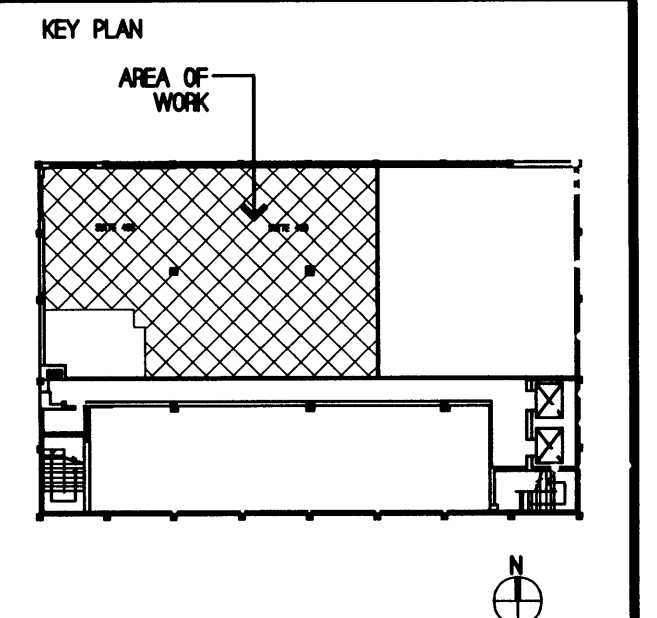
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FAX: (305) 571-8801  
CONTACT: HENRY VIDAL P.E.

NO.	DATE	DESCRIPTION	APPR.
	03/26/2009	ISSUE FOR PERMIT	ADL

PROJECT TITLE  
**INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 403 & 406**  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



DATE	11/22/08
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL

NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

SHEET SCALE	-
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DRAWING TITLE  
**PROJECT INFORMATION  
AND  
GENERAL NOTES**

**A0-0**

GENERAL NOTES

1. THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS, OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY PROBLEM. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUESTS FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWING OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDOLY AFFECT THE PROGRESS OF WORK.

2. THE GENERAL CONTRACTOR HEREBY INDEMNIFIES AND AGREES TO DEFEND AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY AND ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE, INCLUDING CLAIMS FOR WORKMAN'S COMPENSATION BASED ON PERSONAL INJURY OR PROPERTY DAMAGE CAUSED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS, OR SUBCONTRACTORS ENGAGED BY HIM.

3. INSURANCE BY GENERAL CONTRACTOR SHALL BE AS FOLLOWS: COMPREHENSIVE GENERAL LIABILITY (BI AND PD COMBINED) LIMIT \$1,000,000.00 PER OCCURRENCE.

EXCESS LIABILITY (BI AND PD COMBINED) LIMIT AMOUNT OF \$3,000,000.00 WITH COMPANIES AND FORMS AGGREGATE.

WORKER'S COMPENSATION AND LIABILITY STATUTORY.

BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER, AND IF REQUESTED, THE ORIGINAL POLICIES. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO ARCHITECTS. TEN DAY ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANGE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.

4. THE CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION, DEPARTMENT FORMS, DOCUMENTS, FEES AND THE SUBSEQUENT FILING THERE OF, INCLUDING OBTAINING ALL APPROVALS REQUIRED PERMITS, EQUIPMENT USE PERMITS, CONTROLLED INSPECTIONS AND FINAL SIGN OFFS.

DEMOLITION SPECIFICATIONS

1. THE GENERAL CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY TO ENSURE A COMPLETE AND CLEAN OPEN SPACE/FREE OF ANY FOREIGN MATTER.

2. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM DEMOLITION WORK.

3. THE GENERAL CONTRACTOR TO MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF THE WORK.

4. THE GENERAL CONTRACTOR TO COMPLY WITH ALL TERMS AND CONDITIONS AS STATED BY BUILDING MANAGEMENT.

5. ALL EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION WORK SHOWN ON THE DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS INsofar AS TO MAINTAIN PROPOSED FIRE RATINGS AT ALL RATED WALLS.

6. THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF REMOVED MATERIAL AND DEBRIS DAILY.

7. UPON COMPLETION OF WORK EACH DAY, PREMISES SHALL BE BROOM SWEEP.

8. CONTRACTOR TO PROTECT EXISTING DOORS AND FRAMES TO REMAIN FROM DAMAGE DURING DEMOLITION.

5. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE SUBMISSION OF BIDS.

6. DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.

7. ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE, OR FROM FACE OF CONVECTOR TO FINISH SURFACE.

8. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE DELIVERY OF MATERIALS, EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE TO TENANTS.

9. THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE A MINIMUM OF THREE (3) FIRE EXTINGUISHERS PER FLOOR OR MORE, IF REQUIRED BY THE LANDLORD. SAID FIRE EXTINGUISHERS SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY TENANT'S CONTRACTOR FOR THE DURATION OF THE ALTERATION.

10. ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE BUILDING AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.

11. CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OF DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.

12. NO MATERIAL SUBSTITUTION SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL. IN WRITING, PRIOR TO COMMENCEMENT OF WORK.

13. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, COMPLETE WITH MANUFACTURER'S EQUIPMENT CUTS, FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTAL SHALL BE IN THE FORM OF: (A) REPRODUCIBLE SEPIA TRANSPARENCY (POSTIVE SIDE UP); AND (B) BLACK AND WHITE PRINTS OF EACH DRAWING. THE CONTRACTOR WILL NOT COMMENCE FABRICATION BEFORE RECEIVING THE APPROVAL OF THE ARCHITECT.

9. CONTRACTOR TO PROVIDE REASONABLE DUST PROTECTION AT POINTS OF DEMOLITION AND ELEVATORS AND EXISTING TOILETS TO REMAIN AND SHALL COOPERATE WITH THE FACILITY IN MINIMIZING INTERRUPTION TO THEIR OPERATIONS.

10. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE DELIVERY OF MATERIALS, EQUIPMENT, AND DISPOSAL OF DEBRIS MUST BE ARRANGED TO AVOID INCONVENIENCE AND ANNOYANCE TO TENANTS.

11. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT.

12. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING, BUT NOT LIMITED TO, WINDOWS, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS (TO REMAIN), ELECTRICAL AND AIR-CONDITIONING EQUIPMENT (BEING REUSED), CONVECTOR ENCLOSURES, ETC.

13. THE GENERAL CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.

THE FOLLOWING SUBMITTALS ARE REQUIRED:

- CABINETRY
- FINISHES
  - PAINT SAMPLES (2 REQUIRED, EACH COLORED)
  - WALL COVERING (2 REQUIRED)
- MECHANICAL
  - SHOP DRAWINGS - AC UNITS GRILLES, LOUVERS DUCTWORK PLUMBING FIRE PROTECTION
  - SUPPLEMENTAL EQUIPMENT CATALOG CUTS WITH DATA SPECIFIC TO THIS PROJECT FLAGGED IN AN APPROPRIATE MANNER.
- ELECTRICAL
  - FIXTURE CUTS
  - ELECTRICAL CONTROLS AND DEVICES WITH DATA SPECIFIC TO THIS PROJECT FLAGGED IN AN APPROPRIATE MANNER.

14. APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN NOTE #5 ABOVE.

15. THE GENERAL CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REFURBISHMENT.

16. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN, OR THOSE ON SEPARATE CONTRACT LET BY THE TENANT. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO ARCHITECT SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.

17. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.

18. THE AIA GENERAL CONDITIONS, LATEST EDITION, (DOCUMENT A201) SHALL BE BINDING ON THIS CONTRACT.

19. THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON REGULAR HOURS UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE CLIENT, ENGINEER, OR ARCHITECT. OVERTIME I.E. SHUTDOWNS AS REQUIRED BY THE BUILDING LANDLORD.

20. NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.

14. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.

15. UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.

16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF DEMOLITION WORK AND REMOVAL WORK REQUIRED.

17. FOR THE CONVENIENCE OF THE CONTRACTOR, THE MAJOR ITEMS OF WORK ARE LISTED, ITEMS NOT LISTED, BUT INFERRED BY THE SCOPE OF THE WORK, ARE NOT HEREBY ELIMINATED BY REASON OF SUCH OMISSION AND SHALL BE PERFORMED BY THIS CONTRACTOR.

18. NOT USED

19. ALL AUTOMATIC FIRE ALARM EQUIPMENT TO BE SECURED, BAGGED AND PROTECTED, PRIOR TO DEMOLITION. ALL DAMAGED EQUIPMENT TO BE REPLACED AND OR REPAIRED BY GENERAL CONTRACTOR.

20. ALL PLUMBING REMOVALS TO BE PERFORMED BY A LICENSED PLUMBER.

NOTE: (E) = EXISTING  
(N) = NEW  
(RE) = RELOCATE EXISTING

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
DRB/HPB: \_\_\_\_\_  
CONCURRENCY: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_  
PUBLIC WORKS: \_\_\_\_\_  
STRUCTURAL: \_\_\_\_\_  
ELEVATOR: \_\_\_\_\_

*2/20/09*  
*N/A Lerner 4/21/09*

21. A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.

22. ALL REQUESTS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM G722, LATEST EDITION, FOR PRIOR APPROVAL.

23. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.

24. THE CLIENT'S ARCHITECT OR HIS REPRESENTATIVES SHALL HAVE ACCESS TO THE PREMISES AT ALL TIMES, AND TO THE FACTORY OR SHOP OF ANY OF THE SUBCONTRACTORS. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT & THE TENANT AT THE CONTRACTOR'S SOLE EXPENSE.

25. WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN, THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.

26. UPON COMPLETION OF WORK, THE CONTRACTOR WILL PROVIDE REPRODUCIBLE "AS-BUILT" TO SHOW ALL MODIFICATIONS OF THE CONTRACT DOCUMENTS, AS WELL AS ALL LIGHTING AND POWER CIRCUITRY (INCLUDING BREAKER NUMBERS) AS ACTUALLY INSTALLED.

27. ALL MATERIALS SHALL, WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIVES OF THE LOCAL BOARD OF STANDARDS AND APPEALS (B.S.A.), AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A LOCAL B.S.A. NUMBER ON DEMAND.

28. ALL MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGING.

29. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL. IN WRITING, PRIOR TO COMMENCEMENT OF WORK.

30. G.C. TO OBTAIN ALL PERMITS, SIGN-OFFS AND EQUIPMENT USE PERMITS.

31. ALL WORK ON STRAIGHT TIME, EXCEPT FOR THAT WHICH IS REQUIRED BY THE BUILDING OWNER/LANDLORD TO BE PERFORMED AFTER HOURS. SPRINKLER SHUT DOWNS, ELECTRICAL TIE INS AND DRILLING TO BE COORDINATED WITH OWNER.

LOCATION PLAN

NO SCALE

4

PROJECT TEAM

NO SCALE

2

BUILDING INFORMATION

TOTAL AREA OF WORK..... 2,717 SQ. FT.

PROJECT LOCATION: 301 W 41ST. ST (ARTHUR GODFREY RD.)  
LANDLORD: N/A  
ARCHITECT: OFFERLE-LERNER, AIA  
CITY: MIAMI BEACH  
COUNTY: MIAMI-DADE  
STATE: FLORIDA

CODE INFORMATION

BUILDING: THE FLORIDA BUILDING CODE - 2007 EDITION  
LIFE SAFETY CODE: FLORIDA FIRE PREVENTION CODE 2007 ED.  
ACCESSIBILITY CODE: FLORIDA ACCESSIBILITY CODE FOR BLDG. CONSTRUCTION - CHAPTER 11  
MECHANICAL CODE: THE FLORIDA BUILDING CODE - 2007 EDITION  
NEC 2002  
PLUMBING CODE: THE FLORIDA BUILDING CODE - 2007 EDITION  
ENERGY CODE: THE FLORIDA BUILDING CODE - 2007 EDITION

CONSTRUCTION TYPE: TYPE V B  
OCCUPANCY USE: GROUP B - BUSINESS  
AUTOMATIC SPRINKLER SYSTEM: NO

OCCUPANT LOAD:  
BUSINESS - 1 PERSON PER 100  
2,717 SQ. FT. / 100 = 28 PEOPLE

TOTAL PEOPLE: = 28 PEOPLE

EXISTING BUILDING CODE CHAPTER 4.

2,717 S.F. (THIS ALTERATION) / 39,102 (TOTAL BUILDING AREA) = 6.9% < 50%  
ALTERATION IS LEVEL 2 PER SECTION 404.

BUILDING / CODE INFO

NO SCALE

3

DRAWING INDEX

NO SCALE

1

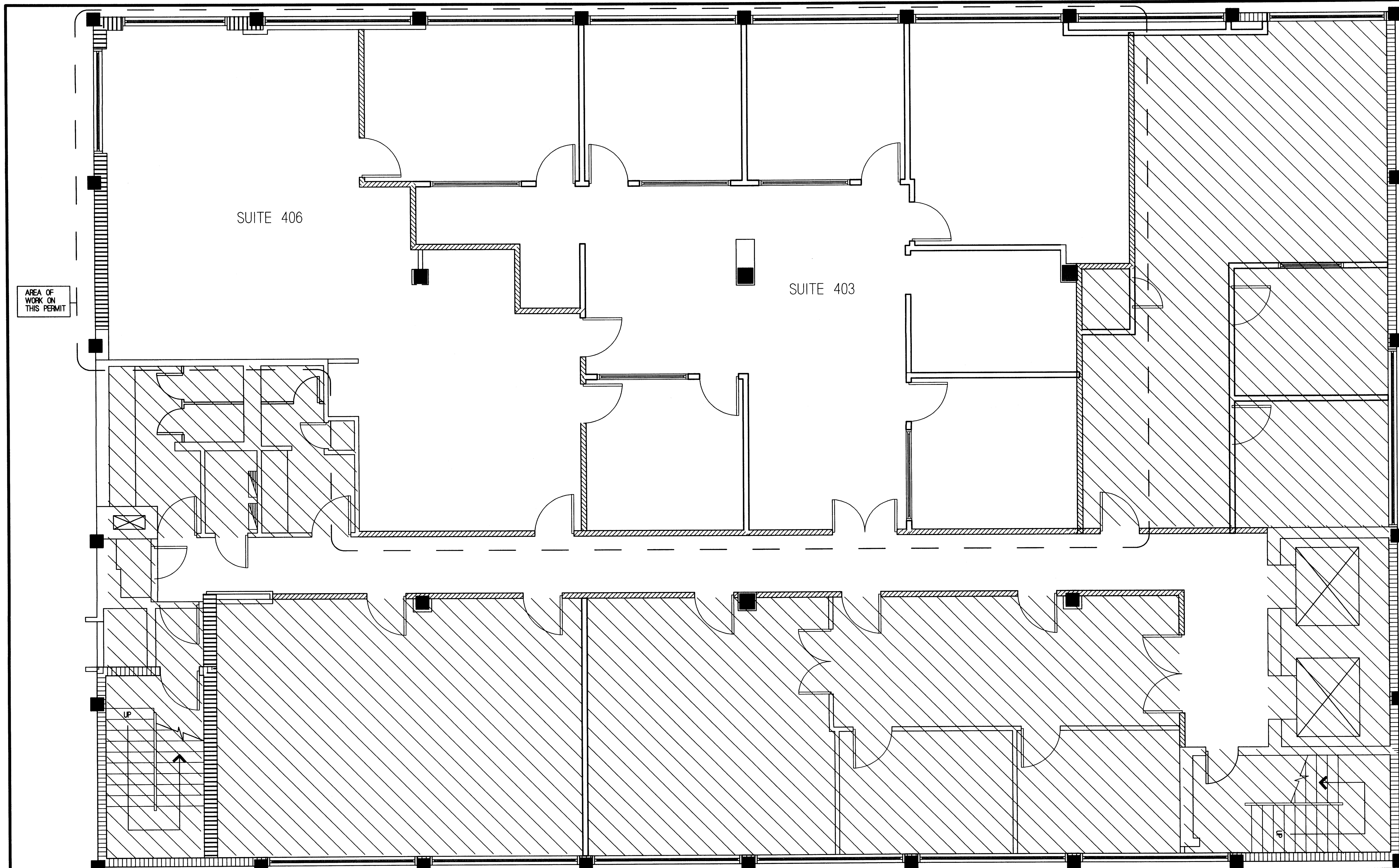
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NO SCALE

5

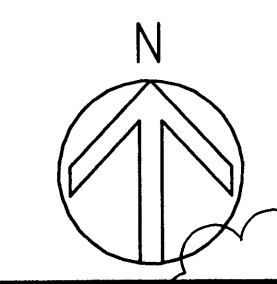
MAR 26 2009





EXISTING CONDITION PLAN

EXISTING CONDITIONS  
SHOWN FOR  
REFERENCE ONLY.



SCALE: 1/4" = 1'-0"

1

OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

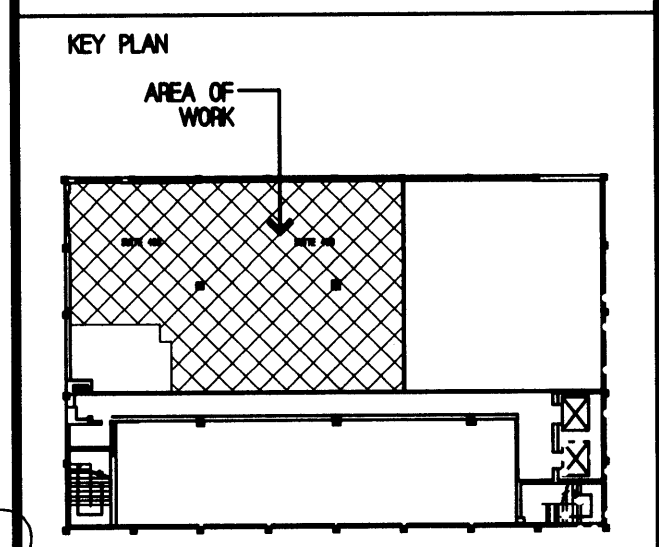
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CONSULT PROJ. NO.	-	
CLIENT PROJ. NO.	-	
ARCHITECT	ALAN D. LERNER AP#0005784	

OFFERLE-LERNER AIA  
13190 SW 134TH ST SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR.
1	03/26/2009	ISSUE FOR PERMIT	ADL
2	07/08/2009	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



DATE	11/22/08
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL
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RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>
SHEET SCALE	-

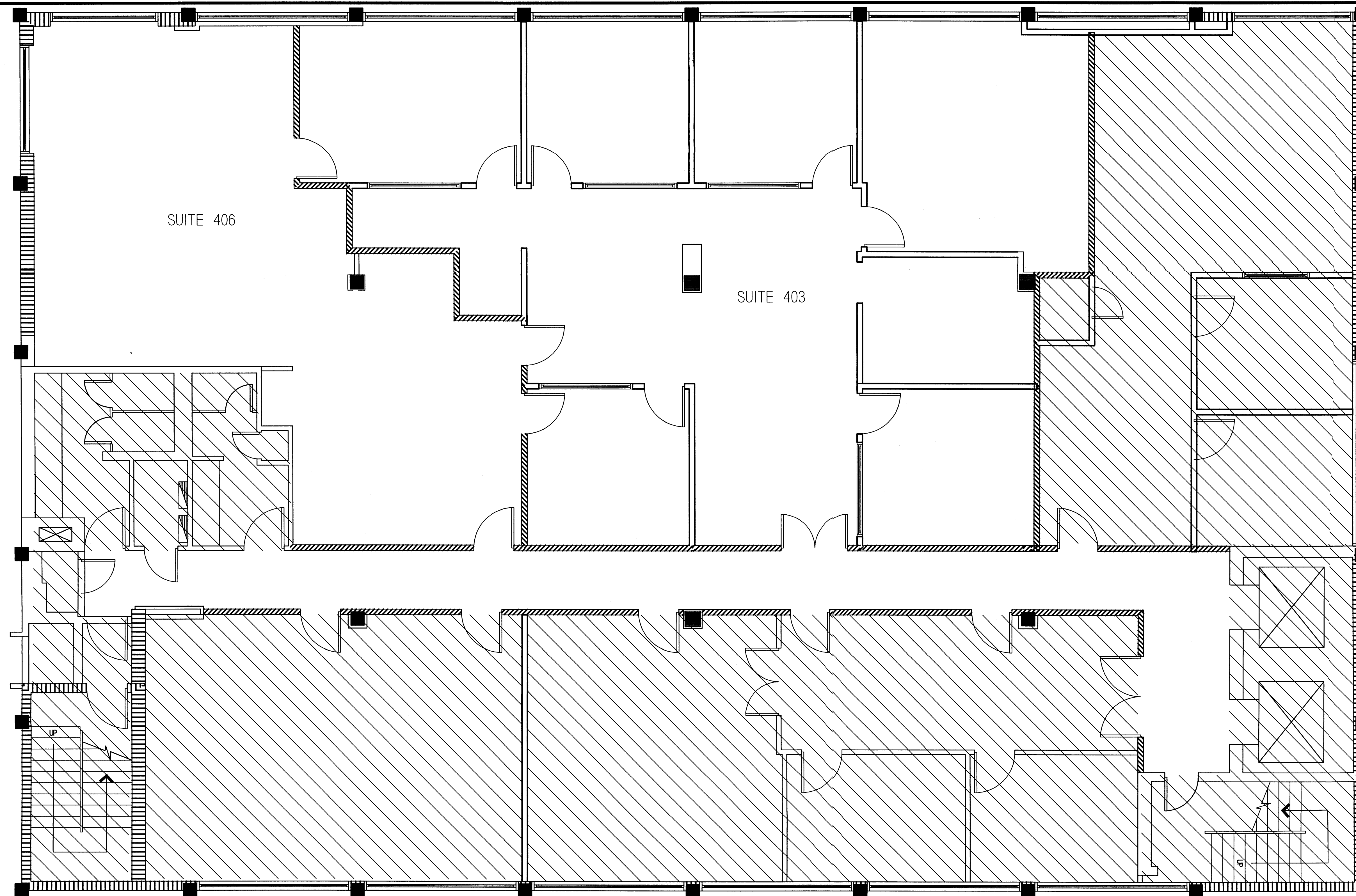
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EXISTING  
CONDITION PLAN

A0-1

NOT USED

SCALE:

2



### EXISTING CONDITION PLAN

NOT USED

SCALE:

2

**OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS**

ARCHITECT PRJ. NO.

09-003

CONSULT PRJ. NO.

CLIENT PRJ. NO.

SEAL
------

ALAN D. LERNER  
AR#0005784

ARCHITECT

**OFFERLE-LERNER AIA**  
13190 SW 134TH ST SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

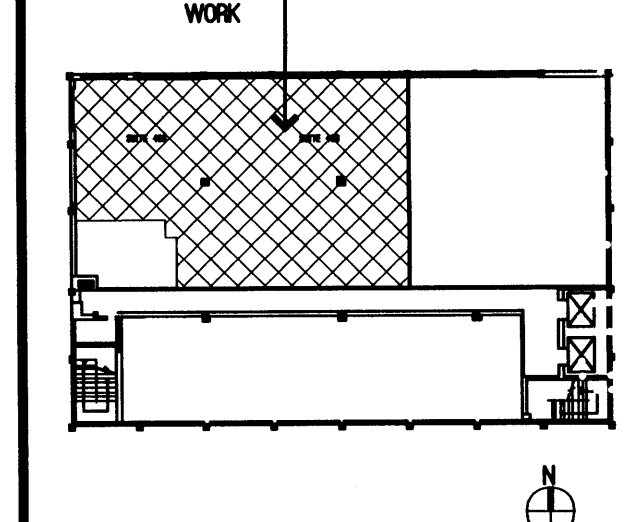
NO.	DATE	DESCRIPTION	APPROVED
	03/26/2009	ISSUE FOR PERMIT	AD

PROJECT TITLE

**INTERIOR OFFICE FOR**  
**301 CABI DEVELOPMENT, LLLP**  
**SUITE 403 & 406**  
**301 W 41ST STREET**  
**MIAMI BEACH, FLORIDA**

## KEY PLAN

AREA OF—



DATE	11/22/08
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL

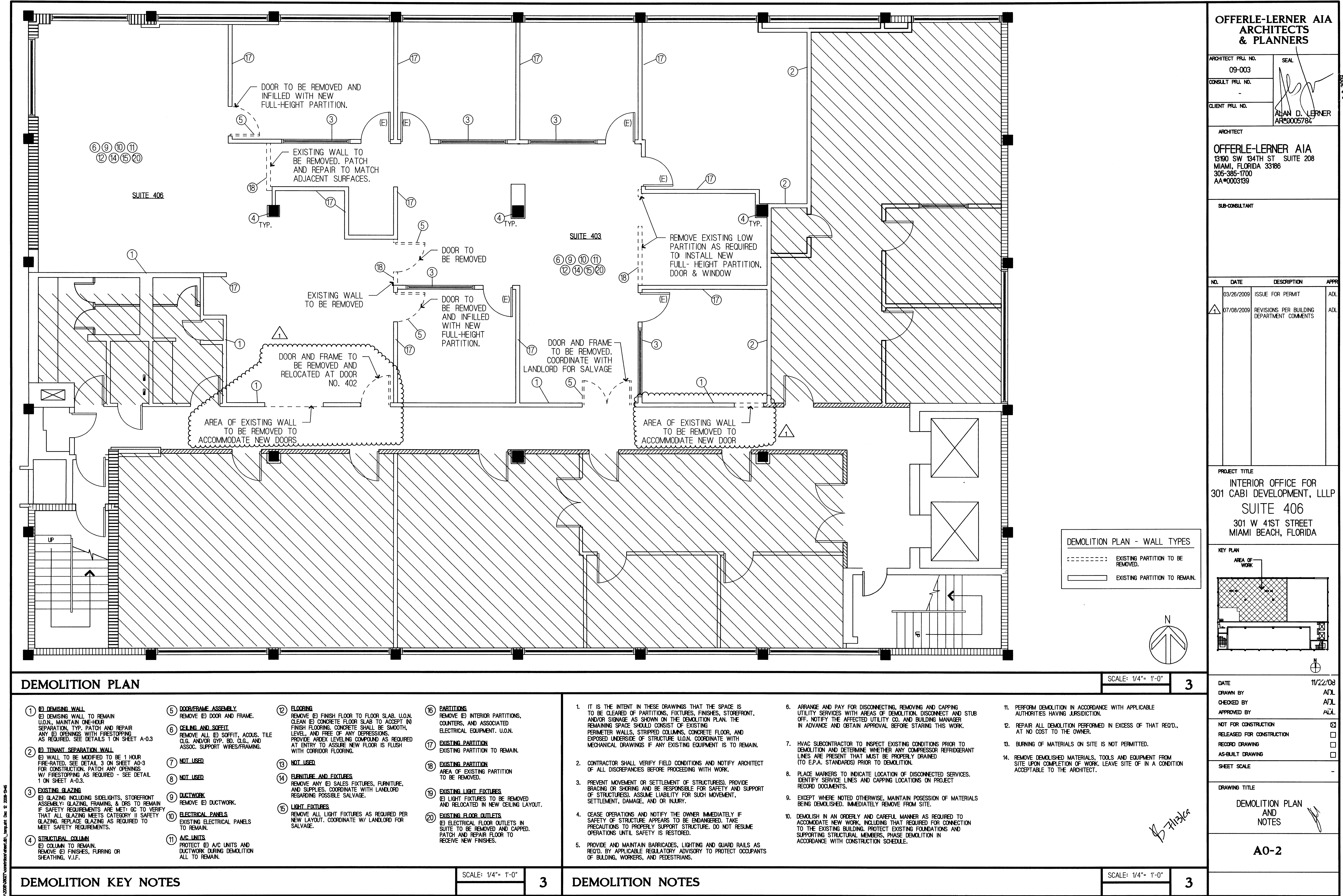
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AS-BUILT DRAWING	<input type="checkbox"/>

DRAWING TITLE

EXISTING  
CONDITION PLAN

**A0-1**





OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

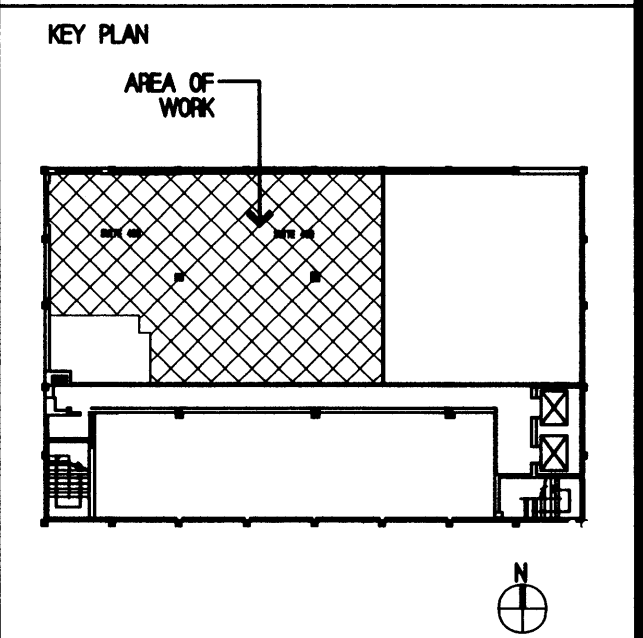
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CONSULT PRJ. NO. -  
CLIENT PRJ. NO. -  
SEAL  
ALAN D. LERNER  
ARC#0005784

ARCHITECT  
OFFERLE-LERNER AIA  
13190 SW 134TH ST SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
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SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR.
03/26/2009	ISSUE FOR PERMIT		ADL
07/08/2009	REVISIONS PER BUILDING DEPARTMENT COMMENTS		ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



DATE 11/22/08  
DRAWN BY ADL  
CHECKED BY ADL  
APPROVED BY ADL

NOT FOR CONSTRUCTION ☒  
RELEASED FOR CONSTRUCTION ☐  
RECORD DRAWING ☐  
AS-BUILT DRAWING ☐

SHEET SCALE -

DRAWING TITLE  
DEMOLITION PLAN  
AND NOTES

A0-2

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

3

- 1. DEMISING WALL  
(E) DEMISING WALL TO REMAIN U.O.N. MAINTAIN ONE-HOUR SEPARATION. TYP. PATCH AND REPAIR ANY (E) OPENINGS WITH FIRESTOPPING AS REQUIRED. SEE DETAILS 1 ON SHEET A-0.3.
- 2. TENANT SEPARATION WALL  
(E) WALL TO BE MODIFIED TO BE 1 HOUR FIRE-RATED. SEE DETAIL 3 ON SHEET A0-3 FOR CONSTRUCTION. PATCH ANY OPENINGS W/ FIRESTOPPING AS REQUIRED - SEE DETAIL 1 ON SHEET A-0.3.
- 3. EXISTING GLAZING  
(E) GLAZING INCLUDING SIDELIGHTS, STOREFRONT ASSEMBLY, GLAZING, FRAMING, & DPS TO REMAIN IF SAFETY REQUIREMENTS ARE MET. GC TO VERIFY THAT ALL GLAZING MEETS CATEGORY II SAFETY GLAZING. REPLACE GLAZING AS REQUIRED TO MEET SAFETY REQUIREMENTS.
- 4. STRUCTURAL COLUMN  
(E) COLUMN TO REMAIN. REMOVE (E) FINISHES, FURRING OR SHEATHING, V.I.F.
- 5. DOOR/FRAME ASSEMBLY  
REMOVE (E) DOOR AND FRAME.
- 6. CEILING AND SOFFIT  
REMOVE ALL (E) SOFFIT, ACOUS. TILE CLG. AND/OR GYP. BD. CLG., AND ASSOC. SUPPORT WIRES/FRAMING.
- 7. NOT USED
- 8. NOT USED
- 9. DUCTWORK  
REMOVE (E) DUCTWORK.
- 10. ELECTRICAL PANELS  
EXISTING ELECTRICAL PANELS TO REMAIN.
- 11. A/C UNITS  
PROTECT (E) A/C UNITS AND DUCTWORK DURING DEMOLITION ALL TO REMAIN.
- 12. FLOORING  
REMOVE (E) FINISH FLOOR TO FLOOR SLAB. U.O.N. CLEAN (E) CONCRETE FLOOR SLAB TO ACCEPT (N) FINISH FLOORING. CONCRETE SHALL BE SMOOTH, LEVEL, AND FREE OF ANY DEPRESSIONS. PROVIDE ADEQ LEVELING COMPOUND AS REQUIRED AT ENTRY TO ASSURE NEW FLOOR IS FLUSH WITH CORRIDOR FLOORING.
- 13. NOT USED
- 14. FURNITURE AND FIXTURES  
REMOVE ANY (E) SALES FIXTURES, FURNITURE, AND SUPPLIES. COORDINATE WITH LANDLORD REGARDING POSSIBLE SALVAGE.
- 15. LIGHT FIXTURES  
REMOVE ALL LIGHT FIXTURES AS REQUIRED PER NEW LAYOUT. COORDINATE W/ LANDLORD FOR SALVAGE.
- 16. PARTITIONS  
REMOVE (E) INTERIOR PARTITIONS, COUNTERS, AND ASSOCIATED ELECTRICAL EQUIPMENT. U.O.N.
- 17. EXISTING PARTITION  
EXISTING PARTITION TO REMAIN.
- 18. EXISTING PARTITION  
AREA OF EXISTING PARTITION TO BE REMOVED.
- 19. EXISTING LIGHT FIXTURES  
(E) LIGHT FIXTURES TO BE REMOVED AND RELOCATED IN NEW CEILING LAYOUT.
- 20. EXISTING FLOOR OUTLETS  
(E) ELECTRICAL FLOOR OUTLETS IN SUITE TO BE REMOVED AND CAPPED. PATCH AND REPAIR FLOOR TO RECEIVE NEW FINISHES.

- 1. IT IS THE INTENT IN THESE DRAWINGS THAT THE SPACE IS TO BE CLEARED OF PARTITIONS, FIXTURES, FINISHES, STOREFRONT, AND/OR SIGNAGE AS SHOWN ON THE DEMOLITION PLAN. THE REMAINING SPACE SHOULD CONSIST OF EXISTING PERIMETER WALLS, STRIPPED COLUMNS, CONCRETE FLOOR, AND EXPOSED UNDERSIDE OF STRUCTURE. U.O.N. COORDINATE WITH MECHANICAL DRAWINGS IF ANY EXISTING EQUIPMENT IS TO REMAIN.
- 2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- 3. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE(S). ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, AND/OR INJURY.
- 4. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 5. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D. BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
- 6. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITH AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- 7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
- 8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- 9. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- 10. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.

- 11. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- 12. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D., AT NO COST TO THE OWNER.
- 13. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- 14. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE OF IN A CONDITION ACCEPTABLE TO THE ARCHITECT.

DEMOLITION KEY NOTES

SCALE: 1/4" = 1'-0"

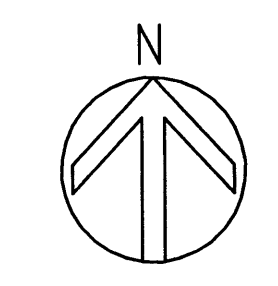
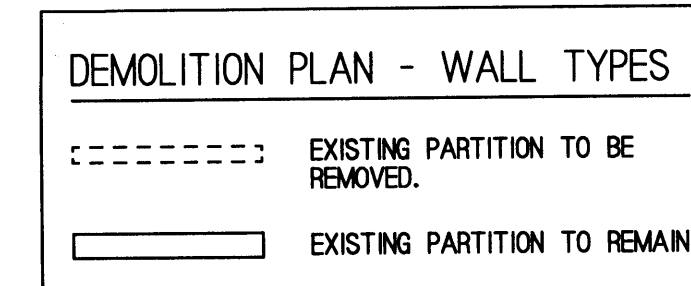
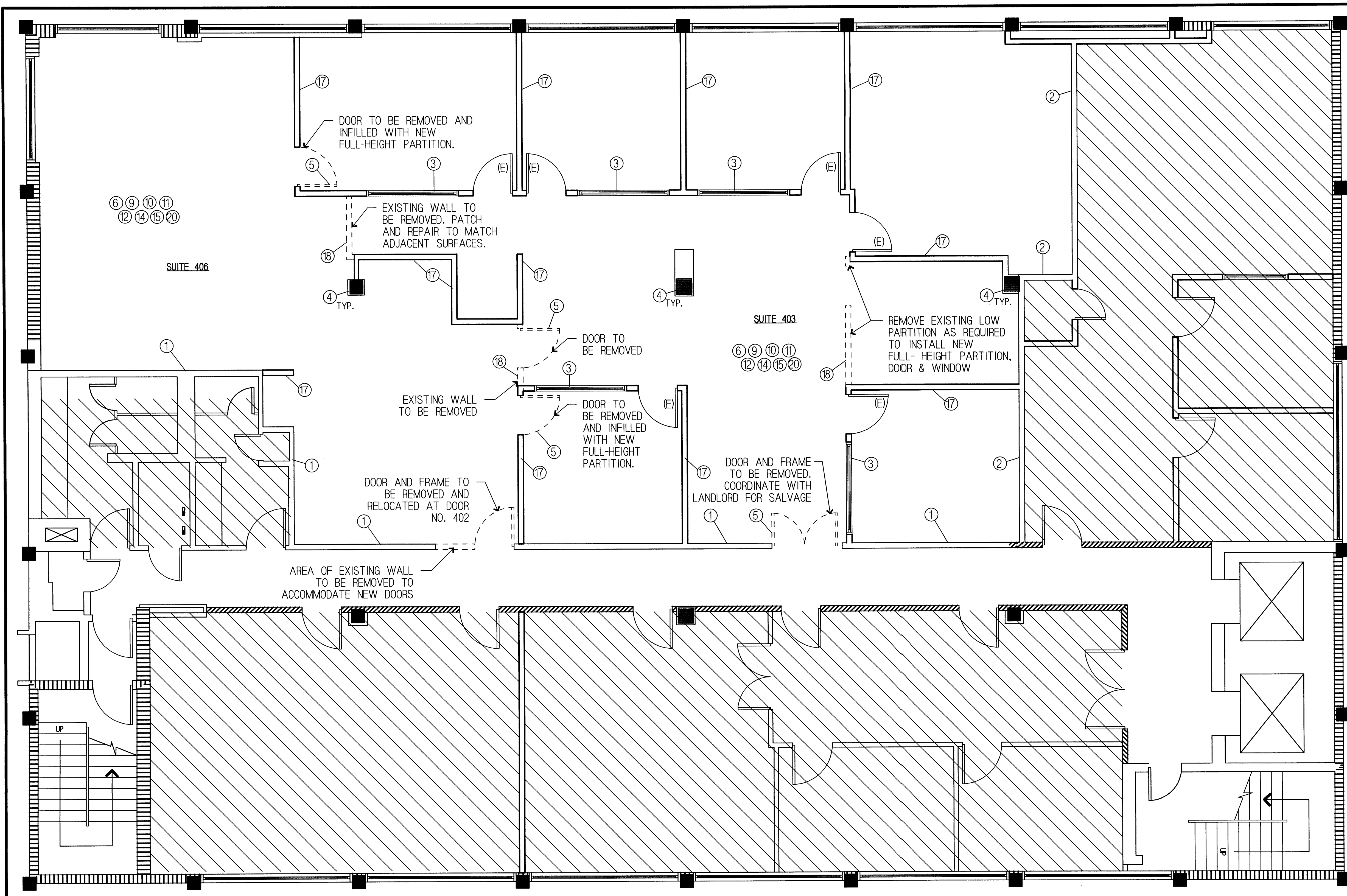
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DEMOLITION NOTES

SCALE: 1/4" = 1'-0"

3





DEMOLITION PLAN

SCALE: 1/4" = 1'-0" 3

- 1. **DEMISING WALL**  
(E) DEMISING WALL TO REMAIN U.O.N., MAINTAIN ONE-HOUR SEPARATION, TYP. PATCH AND REPAIR ANY (E) OPENINGS WITH FIRESTOPPING AS REQUIRED. SEE DETAILS 1 ON SHEET A-0.3
- 2. **TENANT SEPARATION WALL**  
(E) WALL TO BE MODIFIED TO BE 1 HOUR FIRE-RATED. SEE DETAIL 3 ON SHEET A0-3 FOR CONSTRUCTION. PATCH ANY OPENINGS W/ FIRESTOPPING AS REQUIRED - SEE DETAIL 1 ON SHEET A-0.3.
- 3. **EXISTING GLAZING**  
(E) GLAZING INCLUDING SIDELIGHTS, STOREFRONT ASSEMBLY, GLAZING, FRAMING, & DRG TO REMAIN IF SAFETY REQUIREMENTS ARE MET. GC TO VERIFY THAT ALL GLAZING MEETS CATEGORY II SAFETY GLAZING. REPLACE GLAZING AS REQUIRED TO MEET SAFETY REQUIREMENTS.
- 4. **STRUCTURAL COLUMN**  
(E) COLUMN TO REMAIN. REMOVE (E) FINISHES, FURRING OR SHEATHING, V.I.F.
- 5. **DOOR/FRAME ASSEMBLY**  
REMOVE (E) DOOR AND FRAME.
- 6. **CEILING AND SOFFIT**  
REMOVE ALL (E) SOFFIT, ACOUS. TILE CLG. AND/OR GYP. BD. CLG., AND ASSOC. SUPPORT WIRES/FRAMING.
- 7. **NOT USED**
- 8. **NOT USED**
- 9. **DUCTWORK**  
REMOVE (E) DUCTWORK.
- 10. **ELECTRICAL PANELS**  
EXISTING ELECTRICAL PANELS TO REMAIN.
- 11. **A/C UNITS**  
PROTECT (E) A/C UNITS AND DUCTWORK DURING DEMOLITION ALL TO REMAIN.
- 12. **FLOORING**  
REMOVE (E) FINISH FLOOR TO FLOOR SLAB, U.O.N. CLEAN (E) CONCRETE FLOOR SLAB TO ACCEPT (N) FINISH FLOORING. CONCRETE SHALL BE SMOOTH, LEVEL, AND FREE OF ANY DEPRESSIONS. PROVIDE ADEQ LEVELING COMPOUND AS REQUIRED AT ENTRY TO ASSURE NEW FLOOR IS FLUSH WITH CORRIDOR FLOORING.
- 13. **NOT USED**
- 14. **FURNITURE AND FIXTURES**  
REMOVE ANY (E) SALES FIXTURES, FURNITURE, AND SUPPLIES. COORDINATE WITH LANDLORD REGARDING POSSIBLE SALVAGE.
- 15. **LIGHT FIXTURES**  
REMOVE ALL LIGHT FIXTURES AS REQUIRED PER NEW LAYOUT. COORDINATE W/ LANDLORD FOR SALVAGE.
- 16. **PARTITIONS**  
REMOVE (E) INTERIOR PARTITIONS, COUNTERS, AND ASSOCIATED ELECTRICAL EQUIPMENT. U.O.N.
- 17. **EXISTING PARTITION**  
EXISTING PARTITION TO REMAIN.
- 18. **EXISTING PARTITION**  
AREA OF EXISTING PARTITION TO BE REMOVED.
- 19. **EXISTING LIGHT FIXTURES**  
(E) LIGHT FIXTURES TO BE REMOVED AND RELOCATED IN NEW CEILING LAYOUT.
- 20. **EXISTING FLOOR OUTLETS**  
(E) ELECTRICAL FLOOR OUTLETS IN SUITE TO BE REMOVED AND CAPPED. PATCH AND REPAIR FLOOR TO RECEIVE NEW FINISHES.

- 1. IT IS THE INTENT IN THESE DRAWINGS THAT THE SPACE IS TO BE CLEARED OF PARTITIONS, FIXTURES, FINISHES, STOREFRONT, AND/OR SIGNAGE AS SHOWN ON THE DEMOLITION PLAN. THE REMAINING SPACE SHOULD CONSIST OF EXISTING PERIMETER WALLS, STRIPPED COLUMNS, CONCRETE FLOOR, AND EXPOSED UNDERSIDE OF STRUCTURE U.O.N. COORDINATE WITH MECHANICAL DRAWINGS IF ANY EXISTING EQUIPMENT IS TO REMAIN.
- 2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- 3. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE(S). ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, AND OR INJURY.
- 4. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 5. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D. BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.

- 6. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITH AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- 7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
- 8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- 9. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- 10. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.

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- 14. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE OF IN A CONDITION ACCEPTABLE TO THE ARCHITECT.

DEMOLITION KEY NOTES

SCALE: 1/4" = 1'-0" 3

DEMOLITION NOTES

SCALE: 1/4" = 1'-0" 3

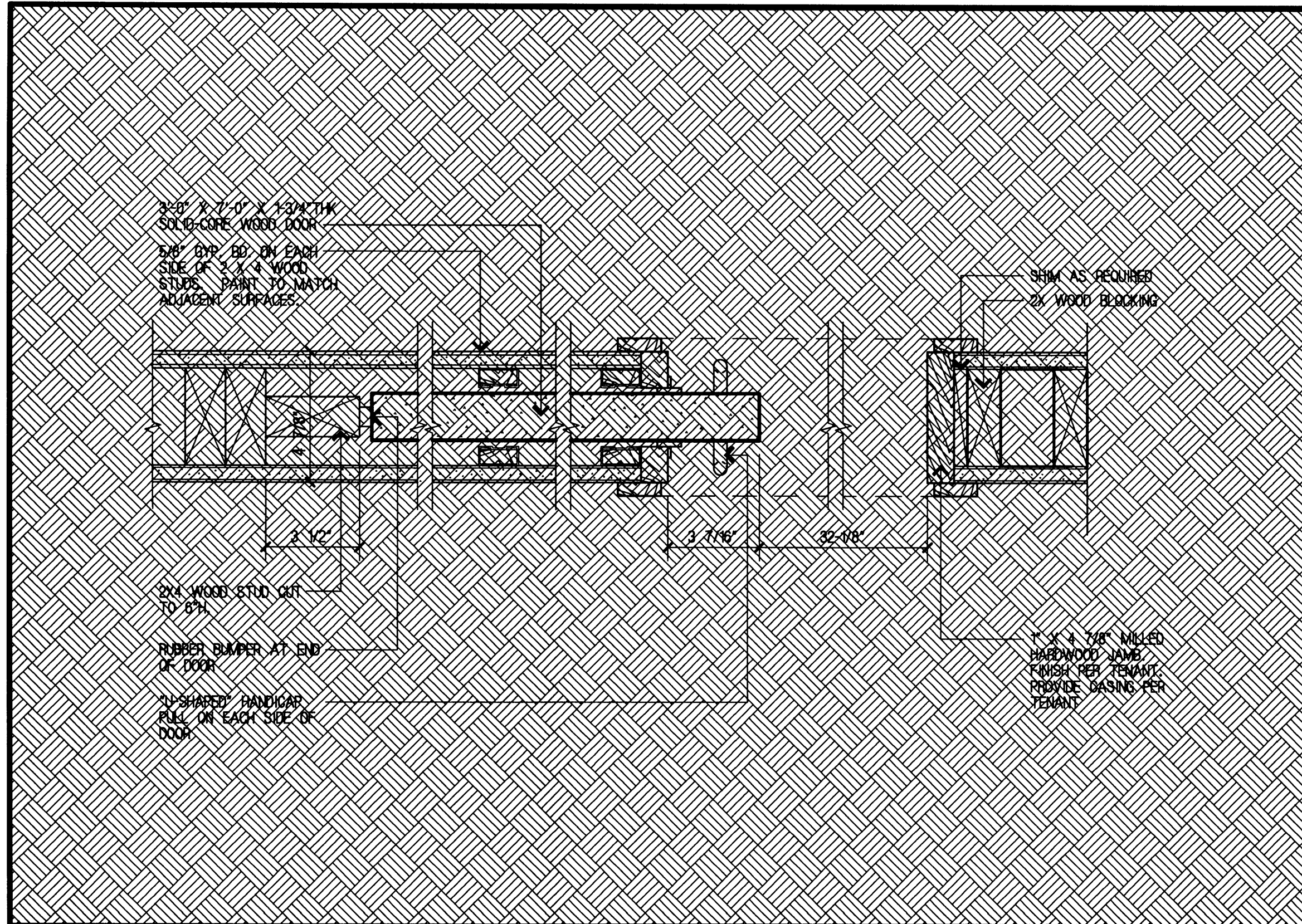
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CONSULT PROJ. NO.			
CLIENT PROJ. NO.		ALAN D. LERNER AR#0005784	
ARCHITECT <b>OFFERLE-LERNER AIA</b> 13190 SW 134TH ST SUITE 208 MIAMI, FLORIDA 33186 305-385-1700 AA#0003139			
SUB-CONSULTANT			
NO.	DATE	DESCRIPTION	APPR.
	03/26/2009	ISSUE FOR PERMIT	ADL
PROJECT TITLE <b>INTERIOR OFFICE FOR 301 CABI DEVELOPMENT, LLLP SUITE 403 &amp; 406</b> 301 W 41ST STREET MIAMI BEACH, FLORIDA			
KEY PLAN AREA OF WORK 			
DATE	11/22/08		
DRAWN BY	ADL		
CHECKED BY	ADL		
APPROVED BY	ADL		
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RELEASED FOR CONSTRUCTION	<input type="checkbox"/>		
RECORD DRAWING	<input type="checkbox"/>		
AS-BUILT DRAWING	<input type="checkbox"/>		
SHEET SCALE	-		
DRAWING TITLE <b>DEMOLITION PLAN AND NOTES</b>			
<b>A0-2</b>			

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DOOR & FRAME SCHEDULE											
MARK	TYPE	DOOR					FRAME		FIRE RATING (MIN)	HDWR. SET	COMMENTS
		WIDTH	HEIGHT	THKNS.	MATL.	FINISH	MATL.	FINISH			
401	A	(2) 3'-0"	7'-0"	1 3/4"	H.M.	PAINTED	STEEL	PAINTED	3/4 HR.	NOTE #5	
402	(RE) B	(RE) 3'-0"	(RE) 7'-0"	(RE) 1 3/4"	(RE) H.M.	PAINTED	STEEL	PAINTED	3/4 HR.	NOTE #5	REUSE SALVAGED DOOR REMOVED FROM CORRIDOR ONLY IF DOOR IS 36" WIDE MIN. REUSE EXISTING HARDWARE TO MATCH LANDLORD SPEC. (LEVER ONLY)
403	B	3'-0"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	1	
404	B	3'-0"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	1	
405	B	3'-0"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	1	
406	B	3'-0"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	1	
407	B	2'-6"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	2	
408	B	2'-6"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	2	
409	B	2'-6"	7'-0"	1 3/4"	S.C. WOOD	PAINTED	WOOD	PAINTED	--	2	

DOOR NOTES:  
1. UL LABEL FIRE RATING APPLIES TO DOOR & FRAME ASSEMBLY.  
2. DOORS AND HARDWARE SHALL COMPLY WITH FFC-NFPA 101:8.2.2.1 FBC AND ADA.  
3. G.C. TO VERIFY ALL R.O. PRIOR TO PLACING DOOR/STOREFRONT ORDER, MANUFACTURER TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION  
4. NOT USED.  
5. CORRIDOR DOOR TO MATCH FINISH AND HARDWARE OF EXISTING CORRIDOR DOORS. DOOR TO HAVE CLOSER AND LEVER HARDWARE TO MATCH EXISTING.  
6. COORDINATE WITH TENANT FOR FINISH OF WOOD DOOR AND FRAME.

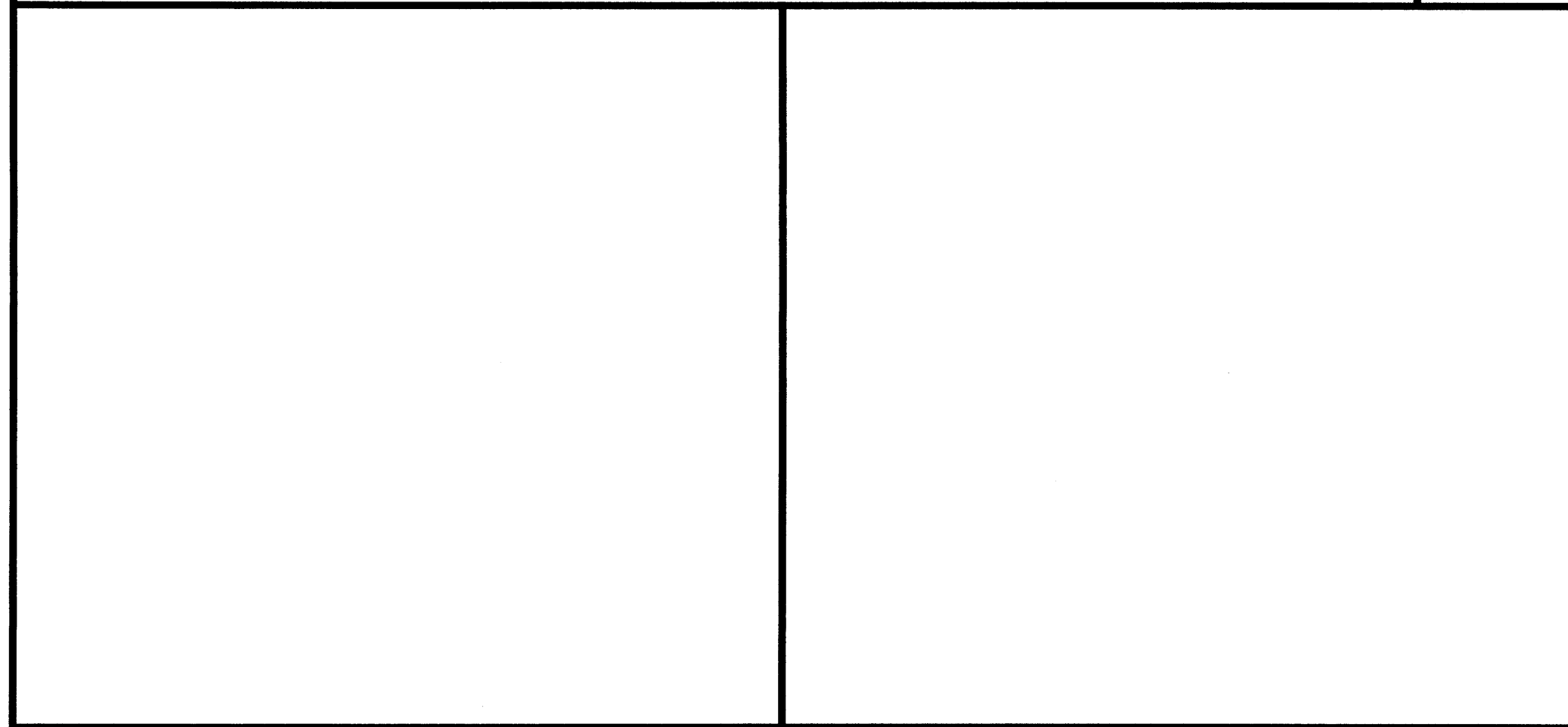
DOOR TYPES

HARDWARE SETS

HARDWARE SET - GROUP #1  
1 EA LOCKSET- ENTRANCE/OFFICE FUNCTION - WITH LEVER  
1 EA CLOSER  
1 1/2 PR BUTT HINGES  
3 EA SILENCERS  
1 EA DOOR STOP

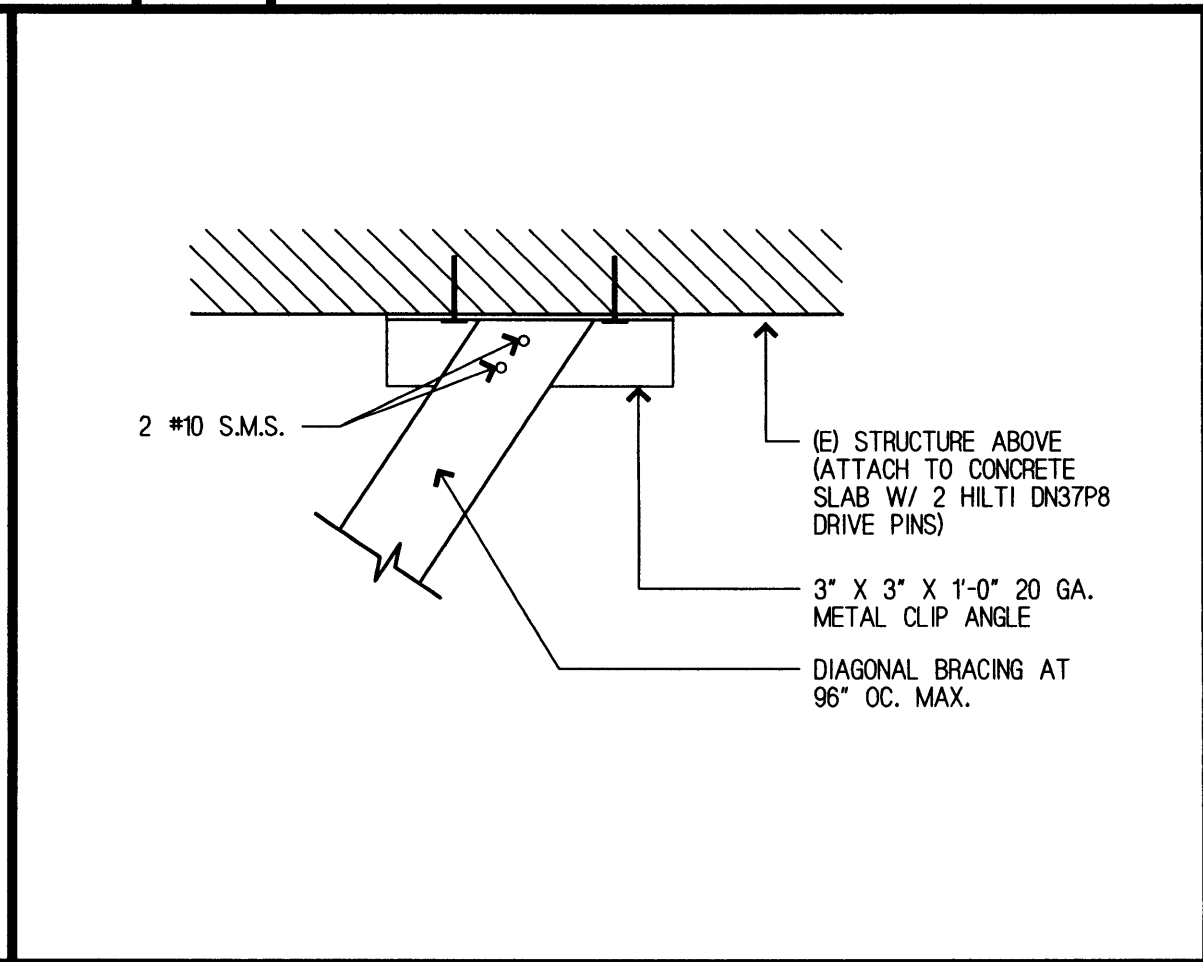
HARDWARE SET - GROUP #2  
1 EA LOCKSET- STOREROOM FUNCTION - WITH LEVER  
1 1/2 PR BUTT HINGES  
3 EA SILENCERS  
1 EA DOOR STOP

NOT USED	SCALE: N.T.S.	7	DOOR SCHEDULE & TYPE	SCALE: 1/4" = 1'-0"	2
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NOT USED	SCALE: N.T.S.	9	NOT USED	SCALE: N.T.S.	6
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FIRE-RATED PARTITION DTL.	SCALE: 1 1/2" = 1'-0"	8	NEW PARTITION DETAIL	SCALE: 1 1/2" = 1'-0"	5
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BRACING DETAIL	SCALE: 1 1/2" = 1'-0"	4
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MODIFIED DEMISING WALL DETAIL	SCALE: 1 1/2" = 1'-0"	3
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FIRE STOP DETAILS	SCALE: 1" = 1'-0"	1
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ARCHITECTS  
& PLANNERS

ARCHITECT PRJ. NO. 09-003  
CONSULT PRJ. NO. -  
CLIENT PRJ. NO. ALAN D. LERNER  
AR#0005784

ARCHITECT  
OFFERLE-LERNER AIA  
13190 SW 134TH ST SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

NO. DATE DESCRIPTION APPR  
03/26/2009 ISSUE FOR PERMIT ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 403 & 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA

KEY PLAN  
AREA OF WORK

DATE 11/22/08  
DRAWN BY ADL  
CHECKED BY ADL  
APPROVED BY ADL

NOT FOR CONSTRUCTION ☒  
RELEASED FOR CONSTRUCTION ☐  
RECORD DRAWING ☐  
AS-BUILT DRAWING ☐  
SHEET SCALE -

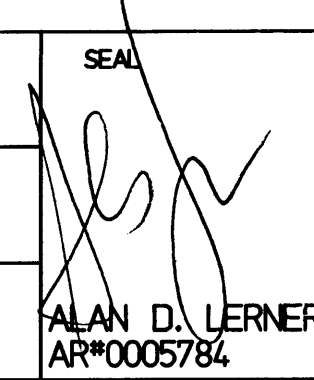
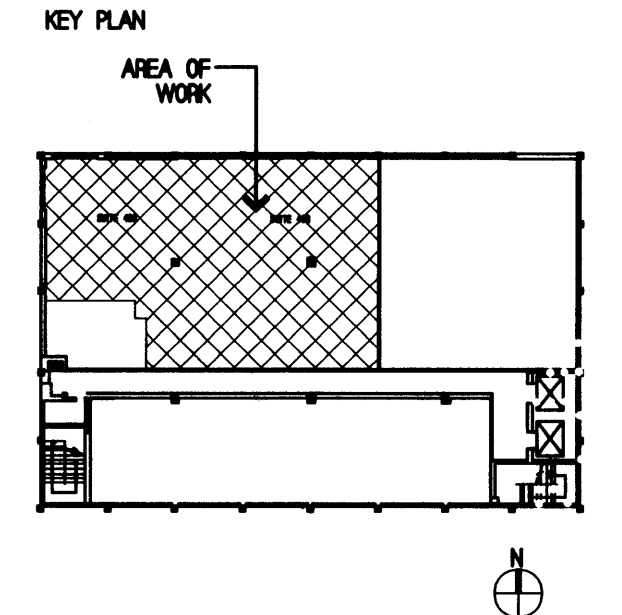
DRAWING TITLE  
SCHEDULES AND NOTES

A0-3



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BUILDING DEPARTMENT COMMENTS:	
COMMENTS:	RESPONSES:
1. PROVIDE UL (OR OTHER AGENCY) NUMBER AND DETAILS FOR FIRE RATED WALLS TO BE USED. (FBC 106.3.5, 708)	1. THE FIRE-RESISTANCE PARTITION SYSTEM NUMBER FROM THE FLORIDA BUILDING CODE HAS BEEN ADDED TO PARTITION DETAILS 3 AND 8 ON SHEET A0-3.
2. PROVIDE UL (OR OTHER AGENCY) NUMBER AND DETAILS FOR FIRE RESISTANT JOINT SYSTEM TO BE USED (FBC 713). SEE ALSO 2004 UL DIRECTOR PAGES 1145 THRU 1562.	2. UL DETAILS FOR THE FIRE RESISTANT JOINT SYSTEMS HAVE BEEN ADDED TO 2 AND 3 ON SHEET A6-1, AND NOTES WERE ADDED TO PARTITION DETAILS 3 AND 8 ON SHEET A0-3 TO REFER BACK TO UL DETAILS.
3. DOOR 409 MUST BE 36" WIDE NOMINAL.	3. DOOR SCHEDULE WAS REVISED TO CHANGE THE WIDTH OF DOOR #409 TO 36" WIDE SEE SHEET A0-3. FLOOR PLAN WAS ADJUSTED TO MATCH. SEE SHEET A2-0.
4. SHOW THE WIDTH OF 30" MINIMUM CLEAR DIMENSION FOR THE BREAKROOM SINK.	4. CLEAR SPACE IN FRONT OF BREAKROOM SINK WAS ADDED TO FLOOR PLAN SEE. SHEET A2-0.
5. RECEPTION DESK MUST HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36 IN LENGTH WITH A MAXIMUM HEIGHT OF 36 ABOVE THE FINISH FLOOR.	5. THE FURNITURE SHOWN IN THE RECEPTION AREA IS A DESK FOR THE EMPLOYEE AND IS NOT A FIXED COUNTER. THE CADD SYMBOL USED FOR THE DESK WAS REVISED TO READ MORE LIKE A MOVEABLE DESK AND NOT A COUNTER SEE THE LIFE SAFETY PLAN ON SHT A1-0. THE BUSINESS GOING INTO THE SPACE IS A REAL ESTATE DEVELOPMENT COMPANY AND DOES NOT DISTRIBUTE GOODS ACROSS THE COUNTER FROM EMPLOYEE TO CUSTOMER. FBC SECTION 11-7 REFERS TO BUSINESSES WITH DIRECT TRANSFER OF GOODS (IE) RETAIL STORES, TICKETING COUNTERS, TELLER STATIONS, HOTEL REGISTRATION COUNTERS, BOX OFFICE TICKETING COUNTERS, ETC. WHICH SHOULD NOT APPLY.
6. IF THE BUILDING HAS FIRE ALARM PROVIDE STROBE LIGHTS IN ALL COMMON AREAS. OTHERWISE NOTE IT ON PLANS.	6. FIRE ALARM COMPONENTS INCLUDING HORNS, STROBES, PANEL, ETC. WERE ADDED TO THE LIFE SAFETY PLAN, SEE THE PLAN ON SHEET A1-0. ENGINEERED ALARM DRAWINGS TO BE SUBMITTED SEPARATELY.
FIRE DEPARTMENT COMMENTS:	
COMMENTS:	RESPONSES:
SHEET A0-0: 1. INDICATE IN BUILDING INFORMATION IF THE BUILDING AND SPACE HAS A FIRE ALARM SYSTEM.	1. INFORMATION ADDED TO SHEET A0-0 THAT THE EXISTING BUILDING AND THE REMODELED SPACE HAVE A FIRE ALARM SYSTEM. FIRE ALARM COMPONENTS WERE ADDED TO THE LIFE SAFETY PLAN - SEE SHEET A1-0.
2. INDICATE NUMBER OF STORIES, HEIGHT OF BUILDING AND TOP OCCUPIED FLOOR.	2. INFORMATION WAS ADDED TO SHEET A0-0 - BUILDING / CODE INFO. SECTION.
3. PROVIDE ON DRAWINGS THE SCOPE OF WORK.	3. THE SCOPE OF WORK WAS ADDED TO SHEET A0-0 - BUILDING / CODE INFO. SECTION.
SHEET A0-3: 1. PROVIDE UL LISTED PARTITION ASSEMBLY DETAILS AND UL LISTED TOP AND BOTTOM JOINT DETAILS FOR RATED PARTITIONS.	SHEET A0-3: 1. FBC ASSEMBLY NUMBERS WERE ADDED TO DETAILS 3 AND 8 ON SHEET A0-3, UL TOP AND BOTTOM JOINT DETAILS FOR THE FIRE RATED PARTITIONS WERE ADDED TO SHEET A6-1.
2. ADD NOTE TO DOOR SCHEDULE THAT ALL RATED DOORS TO BE SELF-LATCHING.	2. NOTE #7 WAS ADDED TO THE DOOR SCHEDULE ON SHEET A0-3 REQUIRING FIRE RATED DOORS TO BE SELF-LATCHING.
3. ADD ADDITIONAL EXIT SIGN OUTSIDE OFFICE 1 LEADING TO EXIT 2.	3. EXIT SIGN WAS ADDED, SEE SHEET A1-0 AND A3-0.
SHEET A1-0: 1. LIFE SAFETY NOTES STATES (2) FIRE EXTINGUISHERS ARE BEING PROVIDED, HOWEVER (3) ARE SHOWN IN THE PLANS.	SHEET A1-0: 1. NOTE WAS REVISED TO REFLECT (3) FIRE EXTINGUISHERS.
2. LST7 REFERS TO FFPC 38.2.4.2 WHICH REFERS TO A SINGLE EXIT ACCESS PATH NOT TO THE NUMBER OF REQUIRED EXITS, (2) EXITS ARE REQUIRED PER 38.2.4.1. SINGLE EXIT IS PERMITTED IF EITHER 38.2.4.3 OR 38.2.4.4 REQUIREMENTS ARE MET.	2. ANOTHER EXIT DOOR WAS ADDED IN OFFICE #6 TO SATISFY THE REMOTENESS REQUIREMENT. NOTE LST7 WAS REVISED TO SHOW THE THREE EXIT DOORS.
3. (2) EXITS PROVIDED ARE NOT REMOTE FROM ONE ANOTHER. SECTION 7.5.1.3.2.	3. ANOTHER EXIT DOOR WAS ADDED IN OFFICE #6 TO SATISFY THE REMOTENESS REQUIREMENT. THE DOOR HARDWARE FOR THE EXISTING DOOR SHALL BE REVISED TO BE A LATCHSET, ONLY AS THE DOOR FROM THE OPEN OFFICE INTO OFFICE #6 SHALL REMAIN UNLOCKED AT ALL TIMES.
SHEET A2-0: 1. WALL PARTITION TYPE 1 IS A RATED PARTITION. PROVIDE UL LISTED PARTITION ASSEMBLY DETAILS AND UL LISTED TOP AND BOTTOM JOINT DETAILS.	SHEET A2-0: 1. FIRE RATED PARTITION DETAIL IS LOCATED ON SHT A0-3, DETAIL 8. THE FIRE-RATED ASSEMBLY NUMBER FROM THE FLORIDA BUILDING CODE WAS ADDED TO THE DETAIL. ALSO DETAILS FOR THE JOINTS AT THE TOP AND BOTTOM OF THE RATED PARTITIONS WERE ADDED TO SHEET A6-1 AND FLAGGED IN THE PARTITION DETAILS.
2. ONE WALL OF OFFICE 1 MUST ALSO BE A FIRE RATED PARTITION.	2. ADDITIONAL WALL TYPE FLAG WAS ADDED TO WALL IN OFFICE #1. SEE SHEET A2-0.
3. INDICATE FIRE RATING FOR PARTITION 3 ON WALL TYPES.	3. WALL TYPE FOR PARTITION #3 WAS REVISED TO NOTE IT AS A ONE HOUR FIRE-RATED PARTITION.
4. DOORS 401 AND 402 SHALL REQUIRE NO SPECIAL TOOL OR KNOWLEDGE FOR EXITING. PROVIDE LOCKING HARDWARE ON DOOR SCHEDULE.	4. HARDWARE FOR DOORS 401 AND 402 IS SHOWN ON DOOR SCHEDULE ON SHEET A0-3 AND A NOTE WAS ADDED TO REQUIRE DOORS TO HAVE LEVERED AND LOCKING HARDWARE.
SHEET E-2: 1. REFER TO UL LISTED PENETRATION DETAILS IN ARCHITECTURAL DRAWINGS.	SHEET E-2: 1. UL DETAILS FOR PENETRATIONS ARE LOCATED ON SHEET A0-3 AND ARE REFERENCED IN THE WALL TYPE LEGEND ON SHEET A2-0. A NOTE WAS ALSO ADDED ADJACENT TO THE FLOOR PLAN REFERENCING THE PENETRATION DETAILS.
SHEET E-3: 1. PROVIDE EMERGENCY LIGHTING IN THE CONFERENCE AND BREAK ROOM.	SHEET E-3: 1. SEE SHEET E-3 FOR EMERGENCY LIGHTING.
2. PROVIDE PHOTOMETRIC FOR ALL EMERGENCY LIGHTING.	2. PHOTOMETRIC ADDED TO SHEET E-4.
SHEET M-2: 1. NEED TO PROVIDE FIRE/SMOKE DETECTORS FOR PENETRATIONS AT RESTROOMS.	SHEET M-2: 1. FIRE/ SMOKE DETECTORS WERE ADDED TO SHEET M-2.
ENGINEERING DEPARTMENT COMMENTS:	
COMMENTS:	RESPONSES:
1. INT. REMODELING OFFICE SUITE 403 & 406 (CONVERTING INTO ONE SUITE). THE ENGINEERING SECTION REQUIRES: - PLEASE CHANGE DESCRIPTION TO REFLECT SUITE 406. DERM FINAL APPROVAL DERM WATER & SEWER ALLOCATION LETTER WASD ORDINANCE 89-95 COMPLIANCE FORM NOTE: BUILDING VALUE AS PER MIAMI-DADE COUNTY PROPERTY APPRAISAL IS \$ 3,895,714.00. TOTAL OF IMPROVEMENT INCLUDING THIS PROJECT IS \$790,568.00. THIS IS NOT A SUBSTANTIAL IMPROVEMENT.	1. COVER SHEET AND TITLEBLOCK WERE REVISED TO LABEL THE NEW SUITE AS SUITE 406.

OFFERLE-LERNER AIA ARCHITECTS & PLANNERS			
ARCHITECT PROJ. NO.	09-003	SEAL	
CONSULT PROJ. NO.	-		
CLIENT PROJ. NO.			
ARCHITECT OFFERLE-LERNER AIA 13190 SW 134TH ST SUITE 208 MIAMI, FLORIDA 33186 305-385-1700 AA#0003139			
SUB-CONSULTANT			
NO.	DATE	DESCRIPTION	APPR.
⚠	03/26/2009	ISSUE FOR PERMIT	ADL
	07/08/2009	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
PROJECT TITLE INTERIOR OFFICE FOR 301 CABI DEVELOPMENT, LLLP SUITE 406 301 W 41ST STREET MIAMI BEACH, FLORIDA			
			
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CHECKED BY		ADL	
APPROVED BY		ADL	
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⚠ A0-4			

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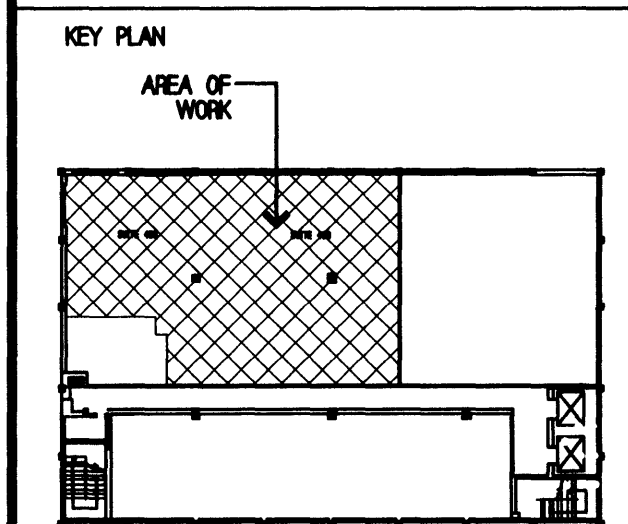
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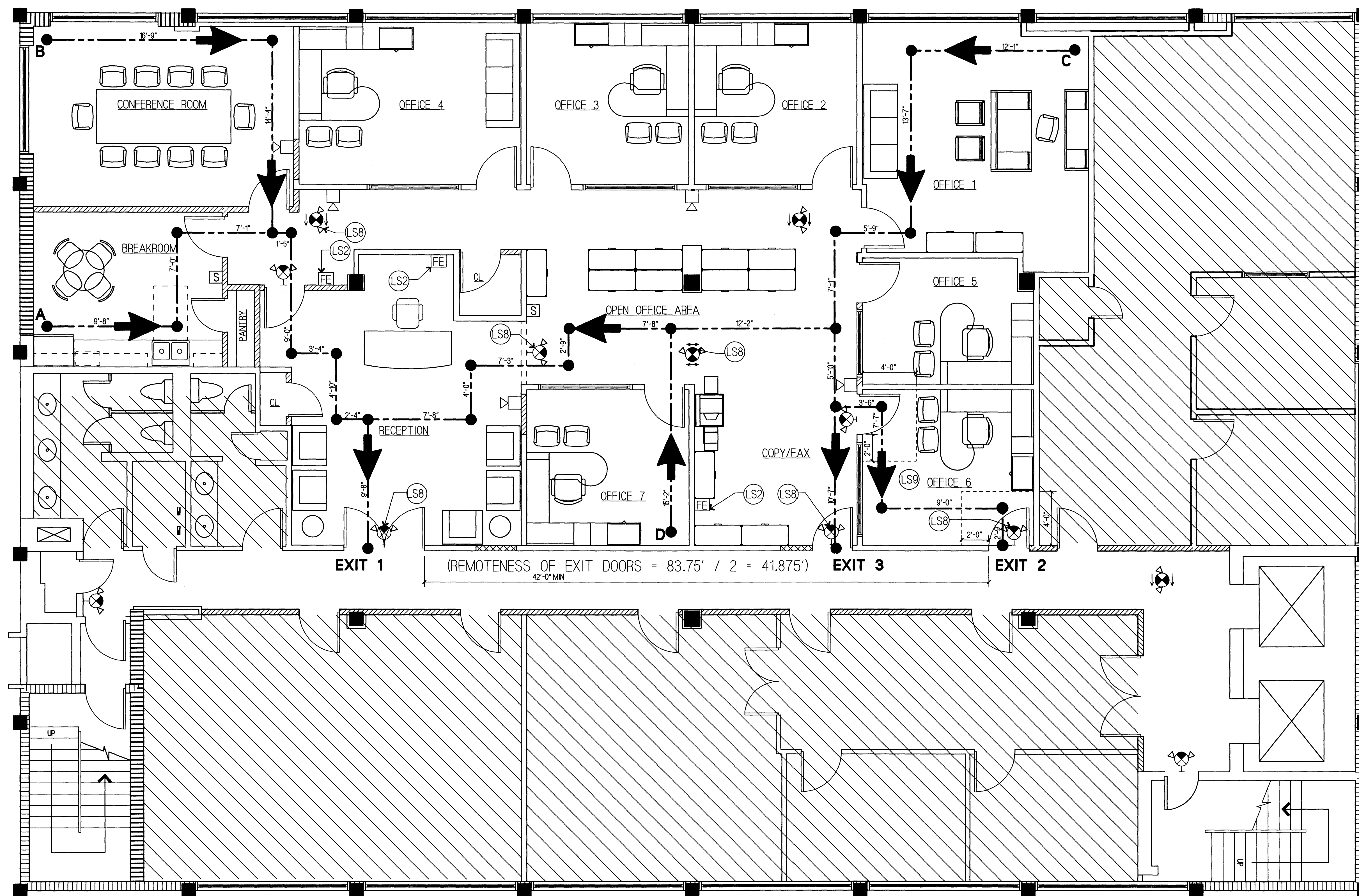
PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



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RECORD DRAWING ☐  
AS-BUILT DRAWING ☐  
SHEET SCALE -

DRAWING TITLE  
LIFE SAFETY PLAN  
AND  
NOTES

A1-0



LIFE SAFETY PLAN

LIFE SAFETY NOTES:

- LS1. PER FFPC - OCCUPANCY CLASSIFICATION: BUSINESS OCCUPANCY  
LS2. PROVIDE (3) NEW 2A-10BC FIRE EXTINGUISHERS - SEE PLAN FOR LOCATIONS.  
LS3. OCCUPANCY COUNT: 2,717 S.F. / 100 (BUSINESS) = 28 PEOPLE  
LS4. PER FFPC 38.2.6.2 TRAVEL DISTANCE IN AN UNSPRINKLED SPACE SHALL BE LESS THAN 200 FEET.  
LS5. NOT USED  
LS6. PER FFPC 38.2.5.3.2 COMMON PATH OF TRAVEL WITHIN A SINGLE TENANT SPACE HAVING AN OCCUPANT LOAD NOT EXCEEDING 30 PEOPLE SHALL NOT EXCEED 100 FEET.  
LS7. THREE EXITS ARE PROVIDED FOR EGRESS FROM THE SPACE. DOORS 401 AND 410 SATISFY THE REMOTENESS REQUIREMENT.  
LS8. NEW FIRE EXIT LIGHTS. SEE SHEET E-1 FOR ADDITIONAL INFORMATION.  
LS9. PER FFPC 7.5.2.1 EGRESS PATH MAY PASS THROUGH AN INTERVENING ROOM PROVIDED THAT IT IS NOT LOCKABLE. DOOR HARDWARE FOR EXISTING DOOR TO BE REVISED TO REMOVE THE LOCKSET AND REPLACE W/ LATCHSET. DOOR TO REMAIN UNLOCKED AT ALL TIMES.

PATH OF EGRESS DISTANCES

--- MEANS OF EGRESS

- A to Exit 1 = 54'-4" < 200 FEET  
B to Exit 1 = 61'-5" < 200 FEET  
C to Exit 1 = 89'-8" < 200 FEET  
C to Exit 2 = 67'-2" < 200 FEET  
C to Exit 3 = 54'-11" < 200 FEET  
D to Exit 1 = 54'-2" < 200 FEET  
D to Exit 2 = 56'-0" < 200 FEET  
D to Exit 3 = 43'-9" < 200 FEET

LEGEND

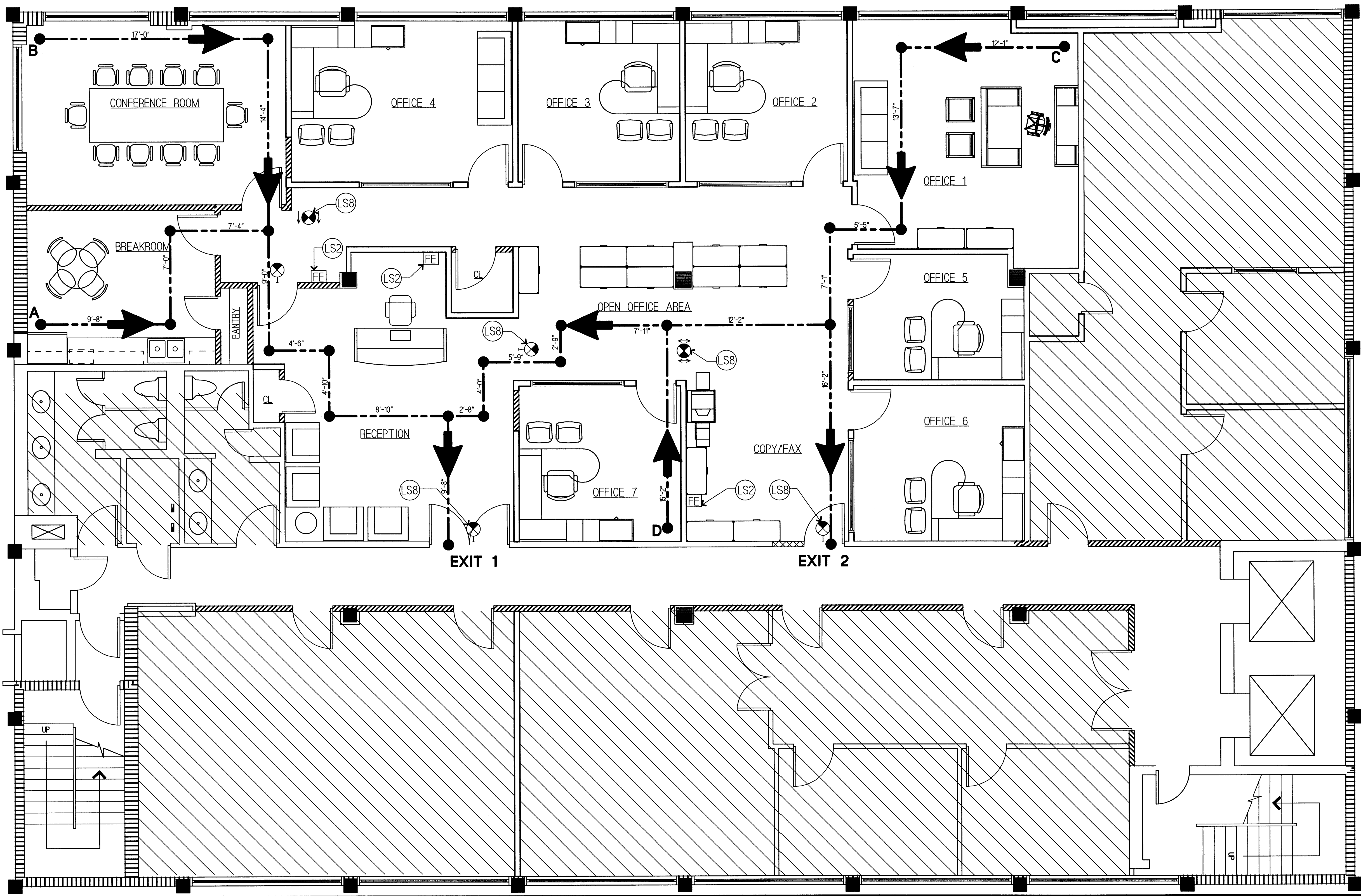
- FIRE EXTINGUISHER  
 EXIT LIGHT  
 WALL MOUNTED COMBINATION EXIT SIGN/EMERGENCY LIGHT WITH BATTERY BACK-UP  
 EMERGENCY LIGHT FIXTURE  
 HORN STROBE  
 SMOKE DETECTOR  
 STROBE

LIFE SAFETY PLAN NOTES

SCALE: 1/4" = 1'-0"

2





OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

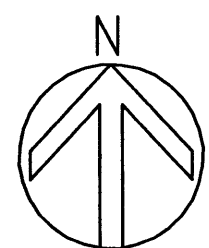
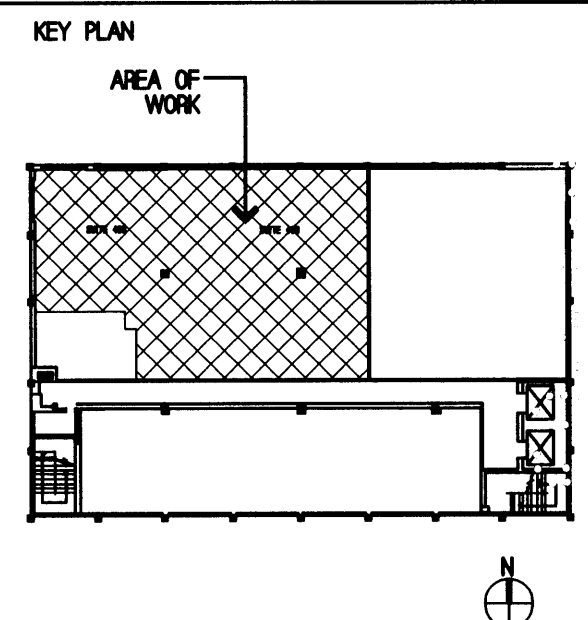
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CONSULT PROJ. NO. -  
CLIENT PROJ. NO. -  
SEAL  
ALAN D. LERNER  
AR#0005784

ARCHITECT  
OFFERLE-LERNER AIA  
13190 SW 134TH ST. SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR.
	03/26/2009	ISSUE FOR PERMIT	ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 403 & 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

1

LIFE SAFETY NOTES:

- LS1. PER FFPC - OCCUPANCY CLASSIFICATION: BUSINESS OCCUPANCY  
LS2. PROVIDE (2) NEW 2A-10BC FIRE EXTINGUISHERS.  
LS3. OCCUPANCY COUNT: 2,717 S.F. / 100 (BUSINESS) = 28 PEOPLE  
LS4. PER FFPC 38.2.6.2 TRAVEL DISTANCE IN AN UNSPRINKLED SPACE SHALL BE LESS THAN 200 FEET.  
LS5. NOT USED  
LS6. PER FFPC 38.2.5.3.2 COMMON PATH OF TRAVEL WITHIN A SINGLE TENANT SPACE HAVING AN OCCUPANT LOAD NOT EXCEEDING 30 PEOPLE SHALL NOT EXCEED 100 FEET.  
LS7. PER FFPC 38.2.4.2 ONLY ONE EXIT IS REQUIRED - TWO ARE PROVIDED.  
LS8. NEW FIRE EXIT LIGHTS. SEE SHEET E-1 FOR ADDITIONAL INFORMATION.

PATH OF EGRESS DISTANCES

- MEANS OF EGRESS
- A to Exit 1 = 60'-10" < 200 FEET  
B to Exit 1 = 68'-2" < 200 FEET  
C to Exit 1 = 83'-1" < 200 FEET  
C to Exit 2 = 54'-4" < 200 FEET  
D to Exit 1 = 47'-11" < 200 FEET  
D to Exit 2 = 43'-6" < 200 FEET

LEGEND

- FE FIRE EXTINGUISHER  
EXIT LIGHT  
EMERGENCY LIGHT FIXTURE  
HORN STROBE  
SMOKE DETECTOR  
STROBE

LIFE SAFETY PLAN NOTES

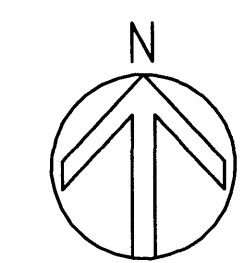
SCALE: 1/4" = 1'-0"

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DRAWING TITLE  
LIFE SAFETY PLAN  
AND  
NOTES

A1-0



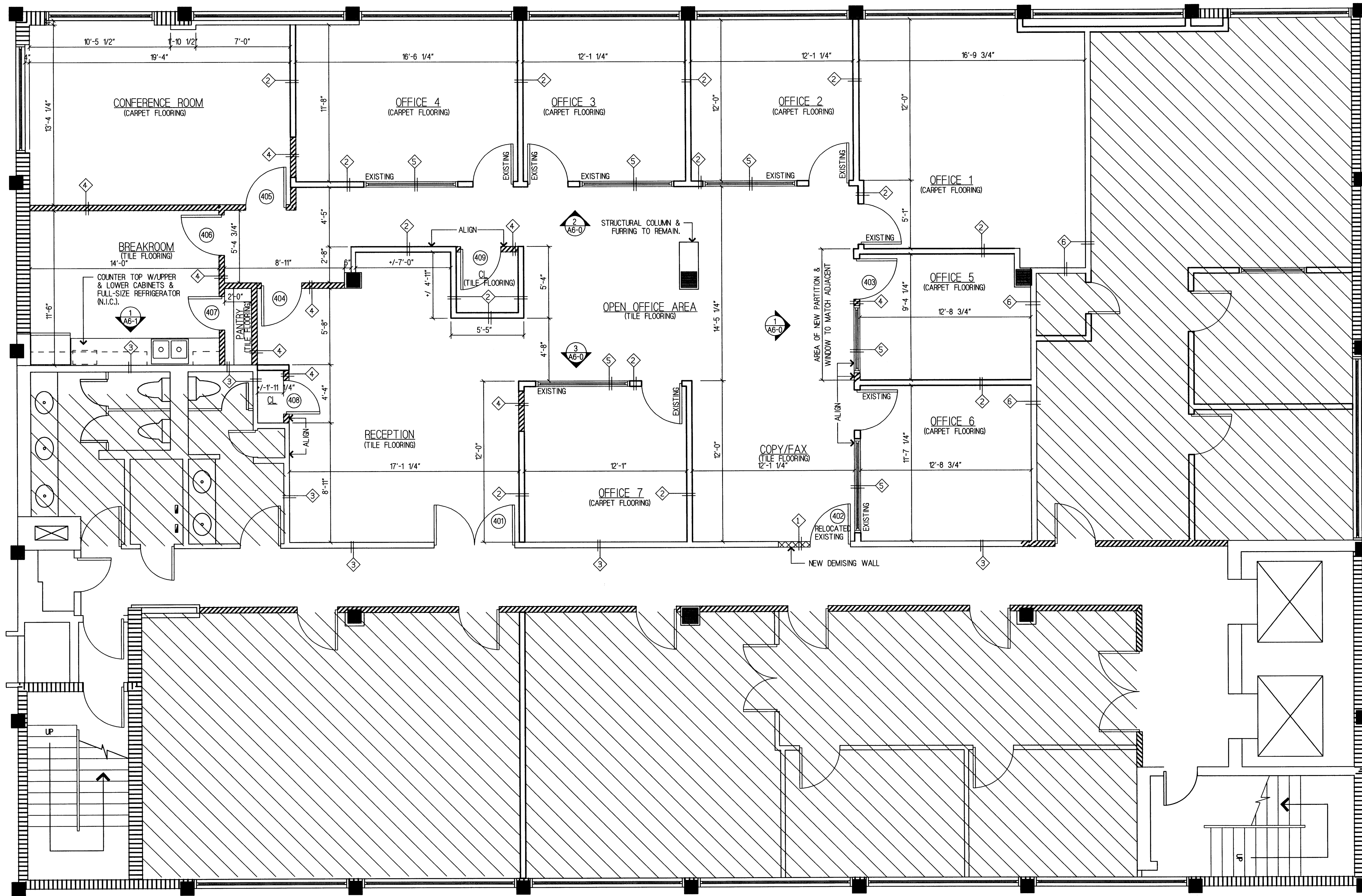


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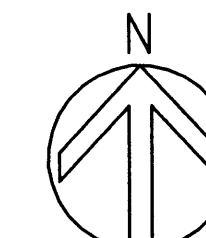
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NOTE: ALL INTERIOR FINISHES TO BE MINIMUM CLASS "C" RATING.



## FLOOR PLAN AND FINISH PLAN

SCALE: 1/4" = 1'-0"

1

- A1. SEE SHEET A2-0 FOR ADDITIONAL NOTES & SPECIFICATIONS. REFER TO ENGINEER'S DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATION.
- A2. G.C. SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PROVIDING PROFESSIONALS CARRYING OUT ALL REQUIRED CONTROLLED INSPECTIONS FOR HVAC, STRUCTURAL.
- A3. G.C. IS RESPONSIBLE TO COORDINATE WITH BLDG. MANAGEMENT ALL REQUIRED BLDG. SHUTDOWNS (I.E. FIRE SAFETY, HVAC, ELECTRICAL, SPRINKLER, ETC.) THROUGHOUT COURSE OF WORK.
- A4. G.C. SHALL PAY FOR AND OBTAIN ALL NECESSARY PERMITS, FEES AND SIGNOFFS FOR THE CONSTRUCTION OF THE PROJECT.
- A5. ALL ELECTRIC, PLUMBING, HVAC AND SPRINKLER WORK SHALL COMPLY, AT LEAST WITH THE MINIMUM REQUIREMENT OF THE BUILDING DEPARTMENT. REFER TO SERVICE ENGINEER'S SPECIFICATIONS.
- A6. ALL CONSTRUCTION MEANS, METHODS AND MATERIALS SHALL COMPLY, AT LEAST, WITH MINIMUM REQUIREMENTS OF THE BUILDING DEPARTMENT CODES/RULES AND REGULATIONS.

- A7. G.C. IS RESPONSIBLE FOR SETTING OUT ALL REQUIRED STATUTORY SIGNAGE THAT MEET ALL REGULATORY GOVERNING BODIES.
- A8. ALL WORK TO BE COMPLETED IN STRICT COMPLIANCE WITH ALL LOCAL CODES IN CONFORMANCE TO BUILDING DEPARTMENT RULES AND REGULATIONS.
- A9. G.C. TO ENSURE THE FLOORS MUST REMAIN IN A STATE OF SAFE CONDITIONS WITH REGARD TO FIRE SAFETY FOR PERSONNEL WORKING ON ALL THE FLOORS. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC., MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.
- A10. FINAL PLACEMENT OF ALL PARTITIONS SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. G.C. SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT.
- A11. ALL PARTITION DIMENSIONS ARE FROM FINISHED SURFACE OR FROM FACE OF THE EXTERIOR PERIMETER WALL, U.O.N.
- A12. ALIGN FINISHED FACE OF ALL PARTITIONS WHERE NEW WALLS ABUT EXISTING COLUMNS AND/OR WALLS.

- A13. WHERE ALIGN SYMBOL IS INDICATED, G.C. TO ALIGN WALL WITH COLUMNS AS REQ'D. FOR "CONTINUOUS" WALL AS SHOWN.
- A14. ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE G.C. AT THEIR EXPENSE IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PRE-EXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO CONSTRUCTION.
- A15. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES AS PER FINISH PLAN.
- A16. G.C. TO PREPARE ALL NEW & AFFECTED WALLS AS REQ'D FOR THE INSTALLATION OF NEW PAINT.
- A17. CONTRACTOR TO COORDINATE STUD SPECIFICATIONS AS PER MANUFACTURER'S RECOMMENDATION FOR FULL HEIGHT SLAB TO SLAB CONSTRUCTION. REFER TO DRAWINGS A3-0 FOR CEILING HEIGHTS.

1. WOOD PANELING WITHIN THE COMMON AREAS OF THE SUITE TO BE PAINTED WITH SHERWIN-WILLIAMS BLACK SATIN FINISH.
2. ALL INTERIOR OFFICES TO BE PREPARED FOR PAINTING AND PAINTED IN COLOR TO BE SELECTED BY TENANT.
3. GC TO INSTALL 4TH PAINT GRADE WOOD BASE BOARDS THROUGHOUT SUITE.
4. CARPET: CARPET TO BE COMMERCIAL GRADE, J & J COMMERCIAL - SOLUTIONS MODULAR AND BROADLOOM, INSTALLED BY GLUE DOWN METHOD, COLOR SELECTED BY TENANT.
5. TILE: 2'X2' PORCELAIN TILE, COORDINATE WITH OWNER AND TENANT FOR SELECTION.
6. WALLPAPER: OFFICES TO RECEIVE WALLPAPER. COORDINATE WITH OWNER AND TENANT FOR SELECTION.
7. WINDOW TREATMENTS: PROVIDE WINDOW TREATMENTS ON ALL WINDOWS PER OWNER AND TENANT SELECTION.
8. ALL RECEPTACLE COVER PLATES TO BE ONE STANDARD COLOR - EITHER WHITE OR IVORY - COLOR TO BE SELECTED BY TENANT.

1. NEW 1 HR. F.R. WALL: WALL WITH 20 GA. 3 5/8" METAL STUDS SPACED 24" O.C. W/ 5/8" TYPE "X" DRYWALL ON BOTH SIDES. NEW WALLS TO MATCH EX. INTERIOR WALLS. 1 HR. F.R. FULL HEIGHT TO SLAB ABOVE. REFER TO FBC 2004- TABLE 720.6.2.5 ITEM #10-1.1.
2. EXISTING WALL: EXISTING WALL TO REMAIN.
3. EXISTING DEMISING WALL: EXISTING DEMISING WALL TO REMAIN. PATCH & REPAIR ANY OPENINGS W/ FIRESTOPPING PER DETAIL 1 ON SHEET A2-3.
4. NEW INTERIOR PARTITION: NEW DRYWALL PARTITION WITH 20 GA. 3 5/8" METAL STUDS SPACED 24" O.C. WITH 1/2" LAYER 5/8" GWB ON EACH SIDE. GWB TO RUN FROM FLOOR TO 8' ABOVE SUSPENDED CEILING. NOTE: PROVIDE MOISTURE RESISTANT GWB @ WET AREAS.
5. GLAZING (EXISTING AND NEW): EXISTING OR NEW GLAZING. REFER TO FLOOR PLAN FOR LOCATION. IF EXISTING, GC TO VERIFY THE GLAZING MEETS CATEGORY II SAFETY GLAZING. REPLACE GLAZING AS REQUIRED. IF NEW, WINDOW TO MATCH EXISTING HEIGHTS, FINISH FRAME PROFILE, ETC. NEW GLAZING SHALL ALSO MEET CATEGORY II SAFETY GLAZING.
6. MODIFIED EX. DEMISING WALL: EXISTING TENANT SEPARATION WALL TO BE MODIFIED TO RUN TO STRUCTURE ABOVE TO PROVIDE 1 HR. SEPARATION. IF NOT EXISTING, ATTACH NEW MTL. STUD FRAMING TO EX. AND RUN TO FLOOR SLAB ABOVE. VERIFY EXISTING GWB IS TYPE "X" GWB - IF NOT, REMOVE & REPLACE W/ TYPE "X". REMOVE GWB TO 4" BELOW EX. STUDS AND HAVE NEW TYPE "X" GWB ON EACH SIDE OF STUDS TO OVERLAP NEW FRAMING. PATCH & REPAIR ANY OPENINGS W/ FIRESTOPPING PER DETAIL 1 ON SHEET A2-3.

## FLOOR PLAN NOTES

SCALE: 1/4" = 1'-0"

4

## FINISH PLAN NOTES

SCALE: NTS

4

## WALL TYPES

SCALE: NTS

3

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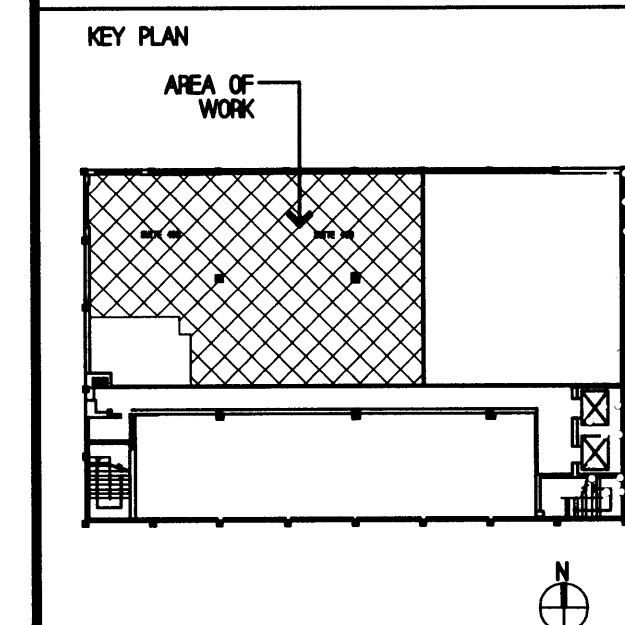
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CLIENT PROJ. NO. -  
ARCHITECT SEAL  
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ARCHITECT  
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SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR.
03/26/2009	ISSUE FOR PERMIT		ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 403 & 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



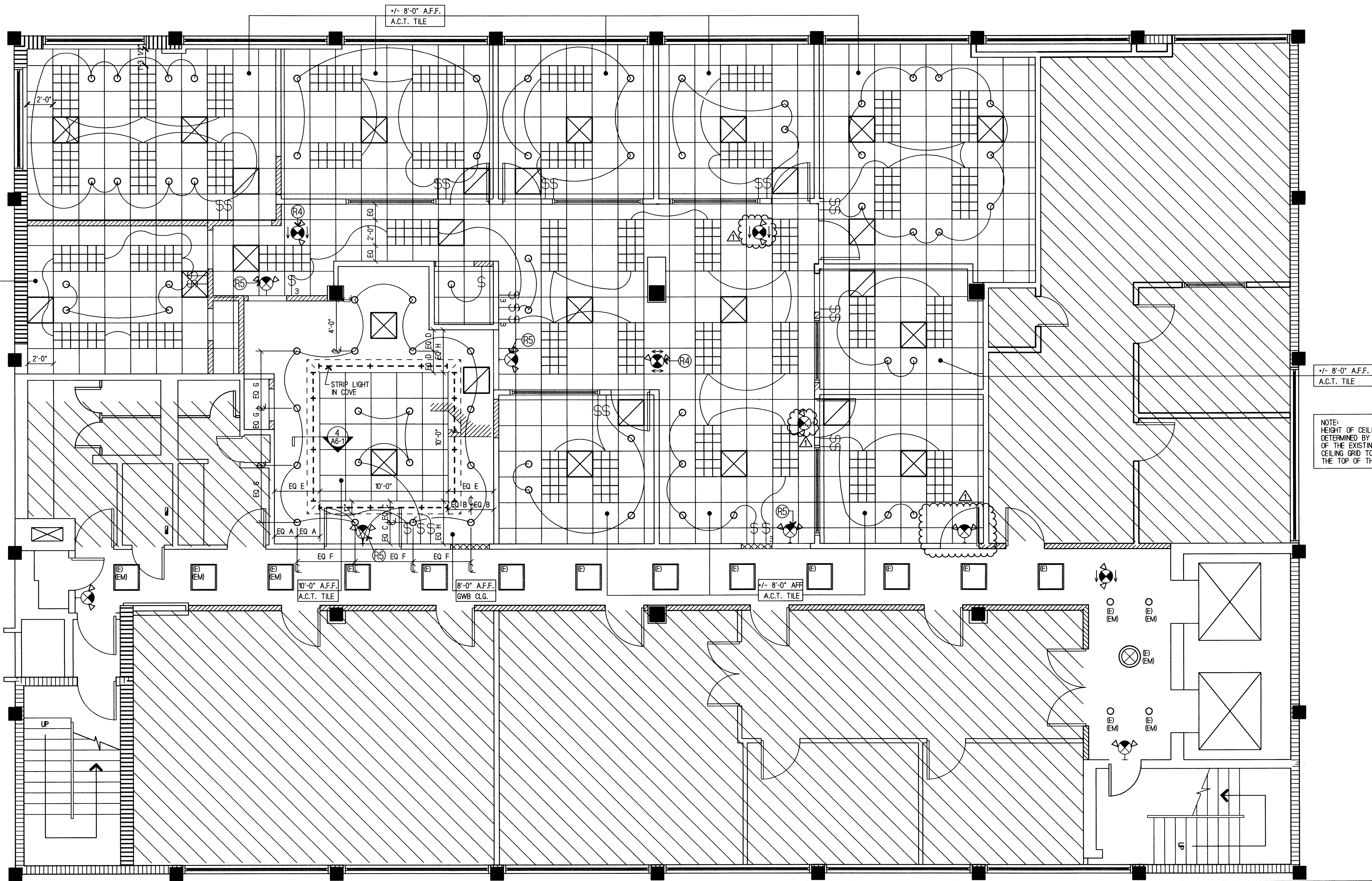
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AS-BUILT DRAWING	<input type="checkbox"/>
SHEET SCALE	-

DRAWING TITLE  
FLOOR PLAN/  
FINISH PLAN  
& NOTES

A2-0

MAR 26 2009





OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

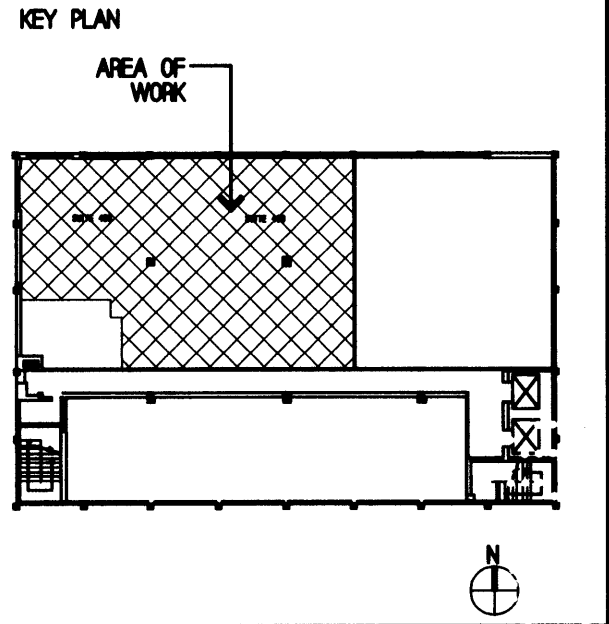
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NO.	DATE	DESCRIPTION	APPR.
1	03/26/2009	ISSUE FOR PERMIT	ADL
	07/08/2009	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA



DATE	11/22/06
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APPROVED BY	ADL

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SHEET SCALE -

DRAWING TITLE  
REFLECTED CEILING  
PLAN AND  
NOTES

A3-0

REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

1

SYMBOL DESCRIPTION

	2'x2' SUSPENDED ACOUSTICAL CEILING TILE SYSTEM, PER BUILDING STANDARDS.
	2'x4' RECESSED FLUORESCENT FIXTURE, 18 CELL PARABOLIC LOUVER, 3 LAMP
	COMPACT FLUORESCENT RECESSED DOWNLIGHT
	SURFACE FLUORESCENT 24", 36", 48" AND/OR 60" LONG FIXTURES IN CONT. ROW (17 WATT, 25 WATT, 32 WATT AND/OR 40 WATT). LOCATION: CEILING LIGHT COVE.

	CEILING MOUNTED HVAC SUPPLY DIFFUSER. SEE MECHANICAL DRAWINGS.
	CEILING MOUNTED HVAC RETURN GRILL. SEE MECHANICAL DRAWINGS.
	CEILING MOUNTED EXIT LIGHTS
	THERMOSTAT
	SINGLE SWITCH @ 48" AFF U.O.N.
	3-WAY SWITCH @ 48" AFF U.O.N.

	EXHAUST FANS (EXISTING - V.I.F.)
	WALL MOUNTED LIGHTING
	WALL MOUNTED EXIT LIGHTS
	WALL MOUNTED COMBINATION EXIT SIGN/ EMERGENCY LIGHT WITH BATTERY BACK-UP
	CEILING MOUNTED J-BOX
	(N) = NEW
	(RE) = RELOCATED EXISTING
	(E) = EXISTING

REFLECTED CEILING NOTES

- R1. SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- R2. CONTRACTOR TO NOTIFY ARCHITECT'S ATTENTION ANY DISCREPANCIES BETWEEN DRAWING SPECIFICATIONS AND FIELD CONDITIONS, PRIOR TO COMMENCEMENT OF WORK.
- R3. ALL NEW LIGHT SWITCHES TO BE MOUNTED 48" A.F.F. UNLESS OTHERWISE NOTED.
- R4. NEW EXIT SIGN TO BE CENTERED IN TILE AS SHOWN.
- R5. NEW EXIT SIGN TO BE CENTERED OVER DOOR OPENING.

REFLECTED CEILING PLAN LEGEND & NOTES

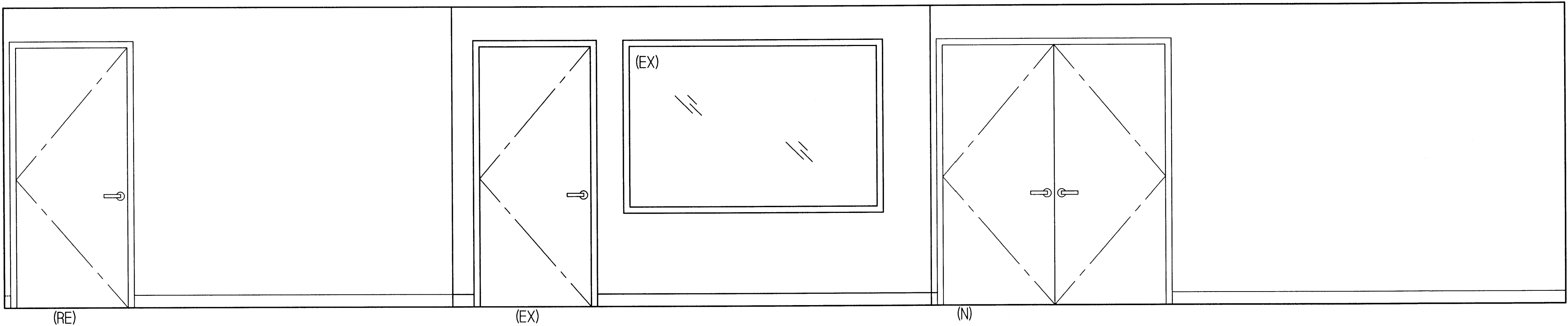
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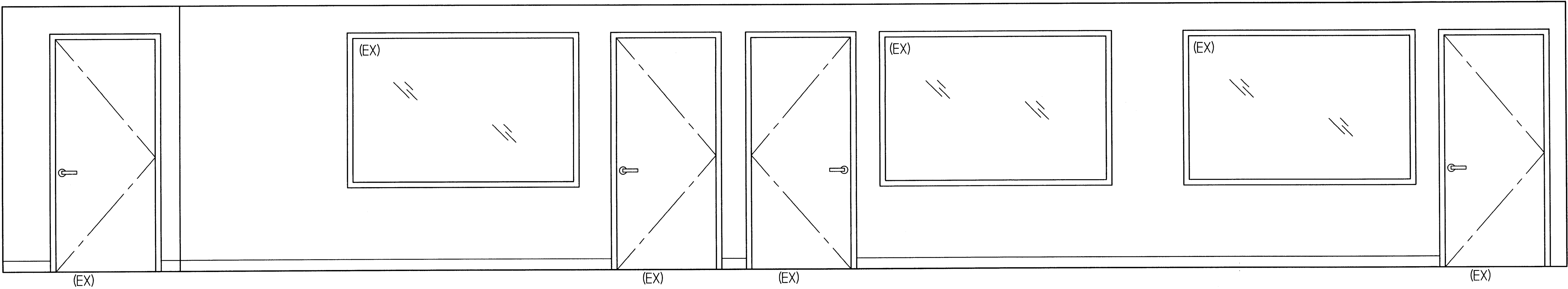


G.C. TO VERIFY THAT ALL NEW AND EXISTING GLAZING MEETS CATEGORY II SAFETY GLAZING. REPLACE GLAZING AS REQUIRED TO MEET SAFETY REQUIREMENTS.

ELEVATION

SCALE: 1/2" = 1'-0"

3

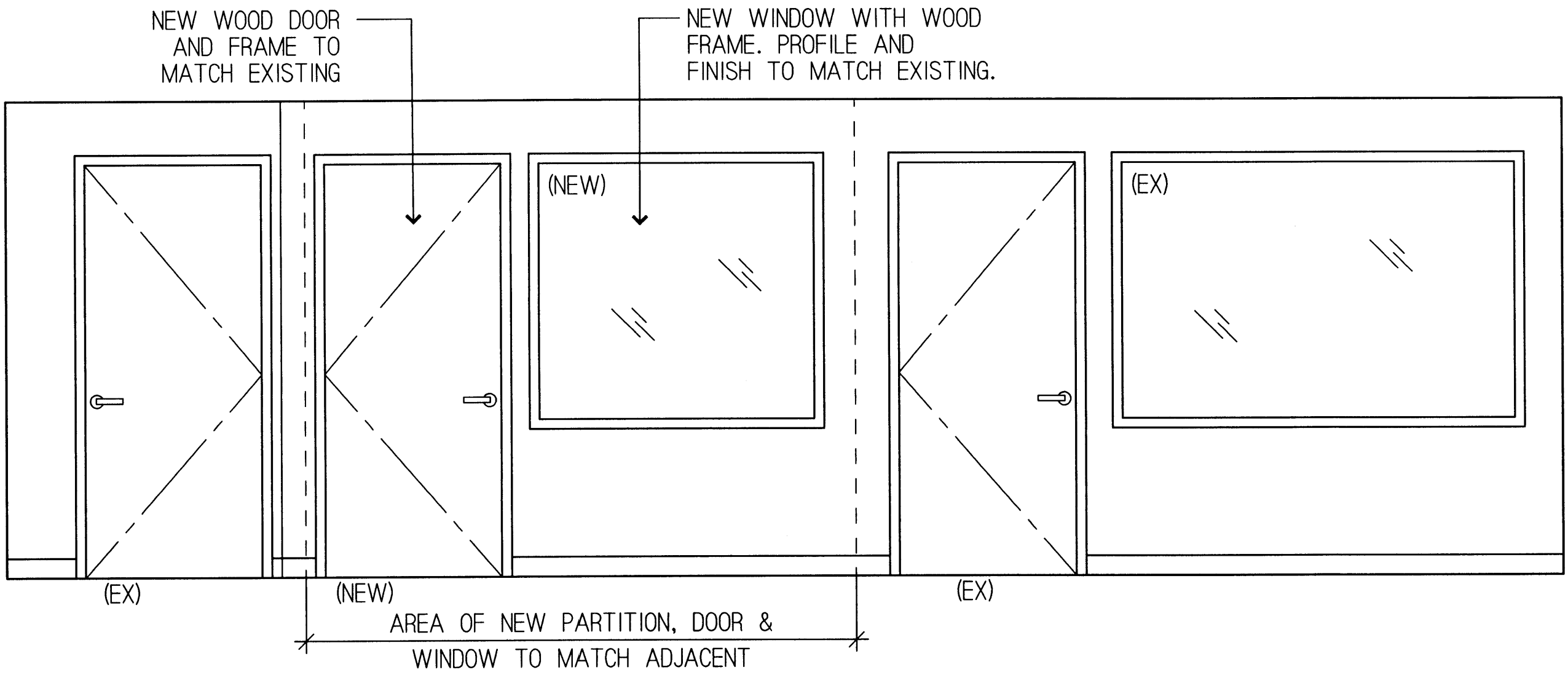


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ELEVATION

SCALE: 1/2" = 1'-0"

2



G.C. TO VERIFY THAT ALL NEW AND EXISTING GLAZING MEETS CATEGORY II SAFETY GLAZING. REPLACE GLAZING AS REQUIRED TO MEET SAFETY REQUIREMENTS.

ELEVATION

SCALE: 1/2" = 1'-0"

1

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& PLANNERS

ARCHITECT PRJ. NO.

09-003

REAL

CONSULT PRJ. NO.

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ALAN D. LERNER  
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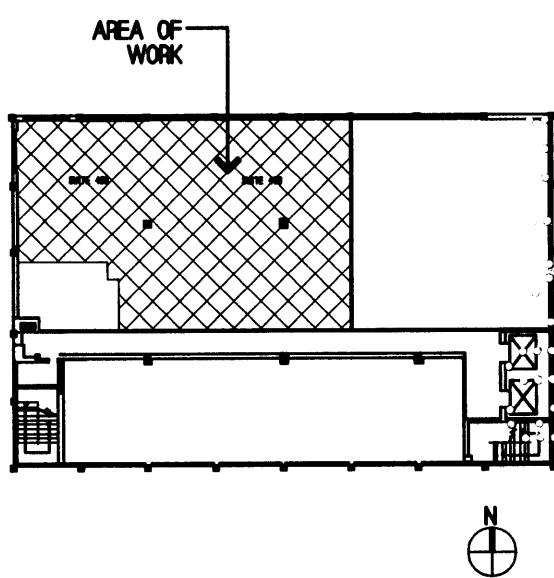
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03/26/2009 ISSUE FOR PERMIT ADL

PROJECT TITLE

INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 403 & 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA

KEY PLAN



DATE 11/22/08

DRAWN BY ADL

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APPROVED BY ADL

NOT FOR CONSTRUCTION ☒

RELEASED FOR CONSTRUCTION ☐

RECORD DRAWING ☐

AS-BUILT DRAWING ☐

SHEET SCALE N/A

DRAWING TITLE

INTERIOR ELEVATIONS

DRAWING NO.

A6-0

ISSUED FOR PERMIT

MAR 26 2009



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## SECTION AT BREAKROOM CABINETS

SCALE: 1 1/2" = 1'-0"

5

## FIRE-RATED JOINT DETAIL

SCALE: N.T.S.

3

## FIRE-RATED JOINT DETAIL

SCALE: N.T.S.

2

## SECTION AT SOFFIT

SCALE: 1 1/2" = 1'-0"

4

## ELEVATION AT BREAKROOM

SCALE: 1/2" = 1'-0"

1

## OFFERLE-LERNER AIA ARCHITECTS & PLANNERS

ARCHITECT PROJ. NO.

09-003

CONSULT PROJ. NO.

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CLIENT PROJ. NO.

SEAL

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ARCHITECT

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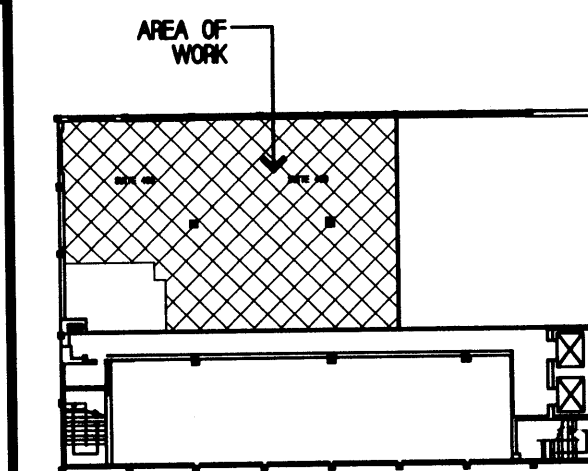
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07/08/2009 REVISIONS PER BUILDING DEPARTMENT COMMENTS ADL

PROJECT TITLE

INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 406  
301 W 41ST STREET  
MIAMI BEACH, FLORIDA

KEY PLAN



DATE 11/22/08

DRAWN BY ADL

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APPROVED BY ADL

NOT FOR CONSTRUCTION ☒

RELEASED FOR CONSTRUCTION ☐

RECORD DRAWING ☐

AS-BUILT DRAWING ☐

SHEET SCALE N/A

DRAWING TITLE

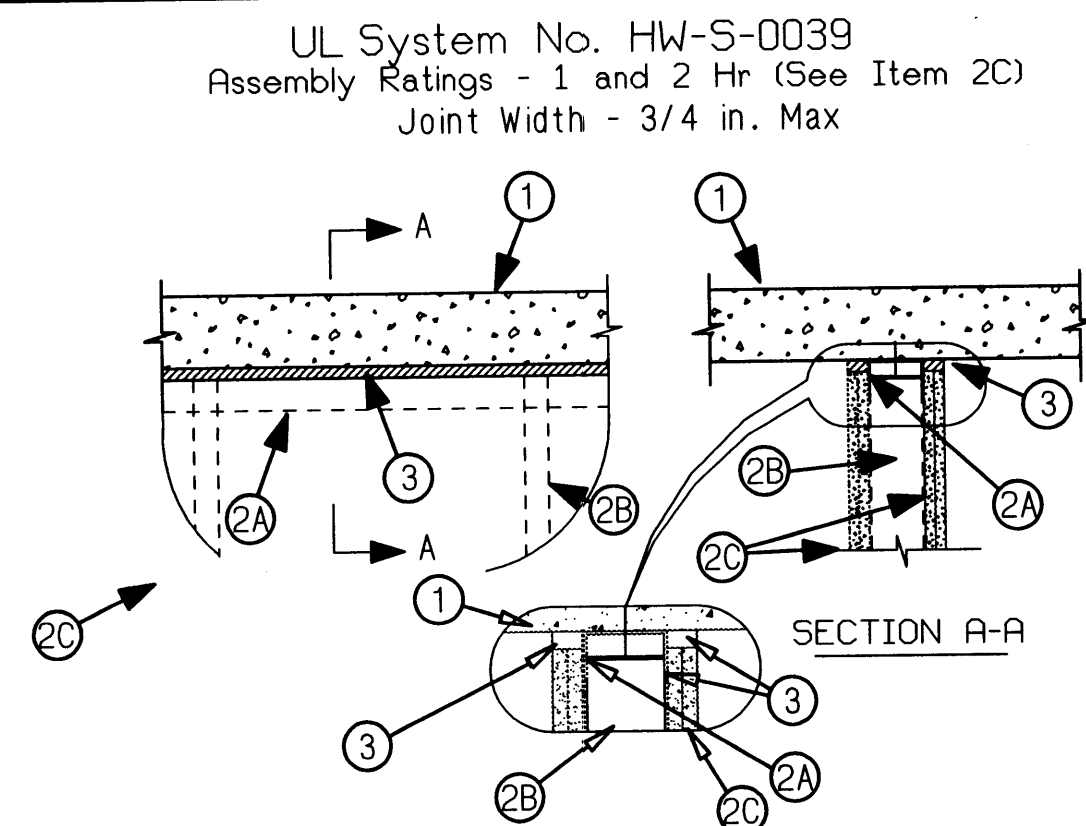
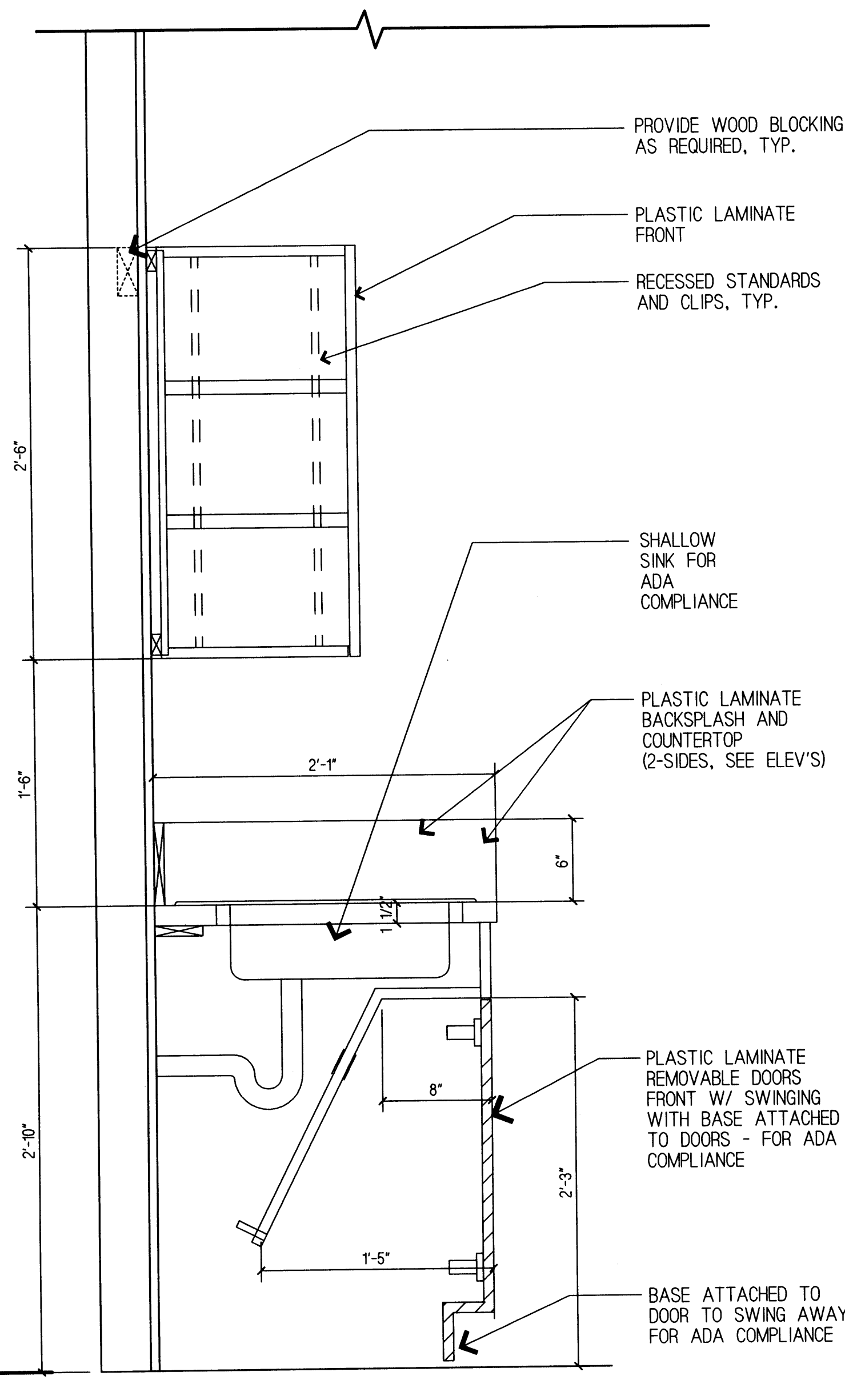
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DRAWING NO.

A6-1

ISSUED FOR PERMIT

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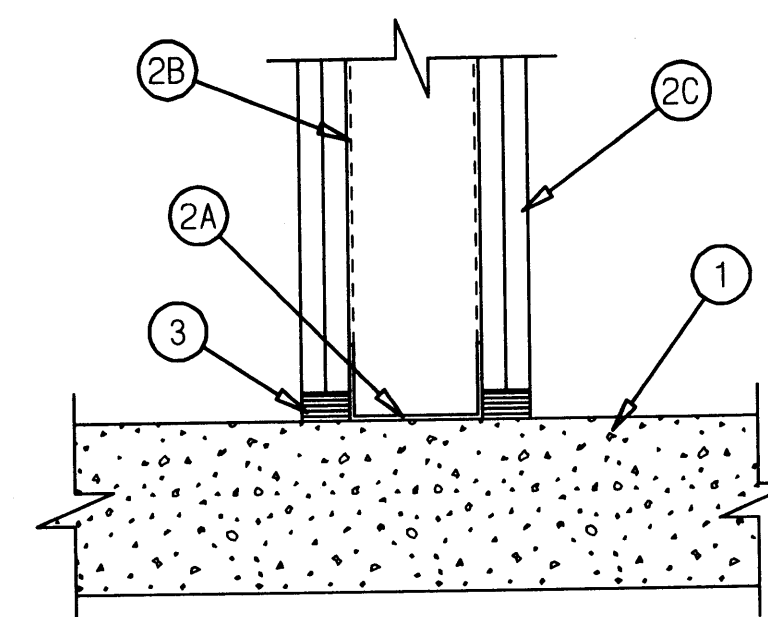


- (Floor Assembly) Min 4-1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) structural concrete.
- (Wall Assembly) The 1 or 2 hr fire-rated nonbearing gypsum wallboard/steel stud assembly constructed of the materials and in the manner described in the individual U400- Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
  - (Steel Floor and Ceiling Runners --) Top and bottom runners of wall assembly shall consist of min 25 ga galv steel channels sized to accommodate steel studs (Item 2B). Ceiling runner to be provided with 2 in. flanges. Ceiling runner secured with steel fasteners spaced max 12 in. OC.
  - (Studs --) Steel studs to be min 2-1/2 in. wide. Steel studs cut 1 in. less in length than assembly height with bottom nesting in and resting on floor runner and with top nesting in ceiling runner without attachment. Steel stud spacing not to exceed 24 in. OC.
  - (Gypsum Board --) Wallboard sheets to be installed to a min total thickness of 5/8 or 1-1/4 in. on each side of the wall for a 1 or 2 hr fire rated wall, respectively. Wall to be constructed as specified in the individual Wall and Partition Design in the UL Fire Resistance Directory, except that a min 1/2 in. to 3/4 in. gap shall be maintained between the top of the wallboard and the bottom of the concrete floor. The screws attaching the wallboard to studs at the top of the wall shall be located 4 in. from the floor. No screws are to be installed closer than 4 in. from the floor. (The hourly fire rating of the joint system is dependent on the hourly fire rating of the wall.)
- (Fill, Void or Cavity Material\* -- Sealant --) Max separation between bottom of floor and top of wall is 3/4 in. Fill material installed on each side of the wall between the top of the wallboard and the bottom of the concrete floor, flush with each surface of wallboard. A min 5/8 or 1-1/4 in. thickness of fill material is required for a 1 or 2 hr fire rated wall, respectively. (HILTI CONSTRUCTION CHEMICALS, DIV OF) (HILTI INC) -- FS-ONE Sealant \*Bearing the UL Classification Mark

HILTI  
FIRESTOP SYSTEMS

Reproduced by HILTI, Inc. Courtesy of  
Underwriters Laboratories, Inc.  
June 12, 2003

UL System No. BW-S-0001  
Assembly Ratings - 1 and 2 Hr (See Item 2)  
L Rating at Ambient - Less than 1 CFM/Lin Ft  
L Rating at 400 F - Less than 1 CFM/Lin Ft  
Joint Width - 3/4 in. Max



- (Floor Assembly) -- Min 4-1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) structural concrete. Floor may also be constructed of any 6 in. thick UL Classified hollow-core (Precast Concrete Units) category in the Fire Resistance Directory for names of manufactures.
- (Wall Assembly) The 1 or 2 hr fire-rated gypsum board/steel stud wall assembly shall be constructed of the materials and in the manner specified in the individual U400 or V400 Series Wall or Partition Design in the UL Fire Resistance Directory. In addition, the wall may incorporate a head-of-wall joint system constructed as specified in the HW Series Joint Systems in the UL Fire Resistance Directory. The wall shall include the following construction features:
  - (Steel Floor Runner --) Floor runners of wall assembly shall consist of min No. 25 gauge galv steel channels sized to accommodate steel studs (Item 2B). Floor runners to be provided with min 1-1/4 in. flanges. Runners secured with steel fasteners spaced 12 in. OC.
  - (Studs --) Steel studs to be min 2-1/2 in. wide. Stud cut 1/2 to 3/4 in. less in length than assembly height with bottom nesting in, resting on and fastened to floor runner with sheet metal screws. Stud spacing not to exceed 24 in. OC.
  - (Gypsum Board --) Gypsum board installed to a min total thickness of 5/8 or 1-1/4 in. on each side of wall for a 1 or 2 hr rated wall, respectively. Wall to be constructed as specified in the individual U400 or V400 Series Design in the UL Fire Resistance Directory, except that a max 3/4 in. gap shall be maintained between the bottom of gypsum board and top of concrete floor. (The hourly fire rating of the joint system is equal to the hourly fire rating of the wall.)
- (Fill, Void or Cavity Material\* Sealant --) (Max separation between top of floor and bottom of gypsum board is 3/4 in.) For 1 and 2 hr rated wall assemblies, min 5/8 in. or 1-1/4 in. thickness of fill material, respectively, installed on each side of the wall between the bottom of the gypsum board and the top of the concrete floor, flush with each surface of the wall. (HILTI CONSTRUCTION CHEMICALS, DIV OF) (HILTI INC) -- CP601S Elastomeric Firestop Sealant, CP606 Flexible Firestop Sealant or FS-ONE Sealant \*Bearing the UL Classification Mark

HILTI  
FIRESTOP SYSTEMS

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Underwriters Laboratories, Inc.  
June 12, 2003





<b>BOXES &amp; FITTINGS</b> CEILING MOUNTED JUNCTION BOX WALL MOUNTED JUNCTION BOX , 18" A.F.F. OR AS OTHERWISE NOTED. CEILING MOUNTED JUNCTION BOX, 12"x12"x6" DEEP UNLESS OTHERWISE INDICATED. FOR DISTRIBUTION OF TELEPHONE PULLBOX, SIZED AS INDICATED OR AS REQUIRED BY N.E.C.		<b>FIRE ALARM WIRE LEGEND</b> INITIATING - SHIELDED PAIR - EQUAL TO WP 975 FPLP, #18 T.S.P. AWG. AUDIO/VISUAL #12 THHN <b>LIGHTING</b> LIGHTING FIXTURE TYPE. SEE LTG. FIXTURE SCHEDULE THIS SHEET DOWNLIGHT ON NORMAL CIRCUIT 2 IS CIRCUIT NO; SAME AS ABOVE WITH BATTERY BACK-UP SURFACE OR PENDANT MOUNTED FLUORESCENT FIXTURE SURFACE OR PENDANT MOUNTED FLUORESCENT FIXTURE WITH BATTERY BACK-UP. FLUORESCENT RECESSED OR LAY-IN FIXTURE, NORMAL BRANCH CIRCUIT FLUORESCENT RECESSED OR LAY-IN FIXTURE, WITH BATTERY BACK-UP. SURFACE MOUNTED SINGLE FACE EXIT LIGHT FIXTURE WITH ARROWS AS INDICATED, WITH BATTERY BACK-UP. WALL MOUNTED EXIT LIGHT FIXTURE WITH ARROWS AS INDICATED, WITH BATTERY BACK-UP. SURFACE MOUNTED DOUBLE FACE EXIT LIGHT FIXTURE WITH ARROWS AS INDICATED, WITH BATTERY BACK-UP. WALL MOUNTED DOUBLE FACE EXIT LIGHT FIXTURE W/ARROWS AS INDICATED. WITH BATTERY BACK-UP. PENDANT MTD. STRIP FLUORESCENT FIXTURE ON NORMAL BRANCH CIRCUIT PENDANT MTD. STRIP FLUORESCENT FIXTURE WITH BATTERY BACK-UP.		<b>MISCELLANEOUS</b> GROUND ROD BOX (BROOKS #36) ELECTRICAL ROOM GROUND BAR ASSEMBLY GENERATOR ANNUNCIATOR PANEL AS PER NFPA 101 TELEPHONE OUTLET , 18" A.F.F. ROUTE 3/4" EMPTY CONDUIT UP TO CEILING COMBINATION TELEPHONE/ DATA OUTLET. ROUTE 3/4" E.C. UP TO CEILING LIGHTNING PROTECTION AIR TERMINAL, 24"H ADA PUSH-BUTTON, WEATHER PROOF MOTORIZED DAMPER FIRE SMOKE DAMPER VARIABLE AIR VOLUME BOX INSTA-HOT (POINT OF USE)	<b>RECEPTACLES</b> 120V.,1 PHASE, 60 HZ., 20 AMP. DUPLEX RECEPTACLE MTD., 18" A.F.F., SAME AS ABOVE EXCEPT MTD. AT 6" ABOVE COUNTER MOUNT RECEPTACLE HORIZONTALLY 120V.,1 PHASE, 60 hz., 20 AMP. DUAL DUPLEX RECEPTACLE MTD. 18" A.F.F. SPECIAL PURPOSE RECEPTACLE 2P. DENOTES POLES, 30 DENOTES AMPERAGE RATING	<b>WIRING</b> HOMERUN TO PANEL "A".1-3-5 ARE CIRCUIT NO.'S. TICKS ARE NO. OF CONDUCTORS (✓)INDICATES GROUND WIRE SIZED AS PER N.E.C. ART. 250. INDICATES A EXISTING CONDUIT RUN CONCEALED IN A CEILING OR WALL. INDICATES A CONDUIT RUN CONCEALED IN FLOOR. EMBEDDED IN CONCRETE OR UNDERGROUND. INDICATES AN EXISTING CONDUIT RUN. INDICATES A CAPPED CONDUIT. INDICATES A FLEXIBLE METAL CONDUIT CONNECTION. USE LIQUID TIGHT CONDUIT IN WET, DAMP OR OILY LOCATIONS. FLEXIBLE EQUIPMENT CONNECTION. GROUNDING SYSTEM CONDUCTOR, BARE COPPER CONDUCTOR OR INSULATED CONDUCTOR IN CONDUIT AS INDICATED. CONDUIT RUN TURNED DOWN. CONDUIT RUN TURNED UP. CONDUIT EXPANSION JOINT LIGHTNING PROTECTION CLASS 1 WIRING/AIR TERMINAL
<b>SYMBOL SUFFIXES</b> A.F.F. ABOVE FINISHED FLOOR C.B. CIRCUIT BREAKER CKT. CIRCUIT COND. OR C. CONDUIT E. EXISTING E.C. EMPTY CONDUIT E.W.C. ELECTRIC WATER COOLER E.W.H. ELECTRIC WATER HEATER ENCL. ENCLOSURE F.A. FIRE ALARM GFI GROUND FAULT INTERRUPTER. GND GROUND HID HIGH INTENSITY DISCHARGE PNL PANEL SW. SWITCH U.O.N. UNLESS OTHERWISE NOTED WP INDICATES WEATHERPROOF NEMA 3R EQUIPMENT MTD. MOUNTED * FUSE AS PER MANUFACTURER'S RECOMMENDATION MVD MANUAL VOLUME DAMPER AFI ARC FAULT INTERRUPTER NC NON-CONCURRENT	<b>PANELBOARDS</b> POWER, LIGHTING OR DISTRIBUTION PANELBOARD. (NEW) TRANSFORMER WALL OR FLOOR MOUNTED; SIZE AND MOUNTING AS INDICATED ON DWGS. <b>FIRE ALARM</b> CEILING MOUNTED SMOKE DETECTOR. CEILING MOUNTED SMOKE DETECTOR. "EX" DENOTES ELEVATOR RECALL FUNCTION. DUCT MOUNTED SMOKE DETECTOR. (PROVIDE W/ SHUT DOWN RELAY) CEILING MOUNTED HEAT DETECTOR. MANUAL FIRE ALARM PULL STATION. 42" A.F.F.	<b>RECEPTACLES</b> 120V.,1 PHASE, 60 HZ., 20 AMP. DUPLEX RECEPTACLE MTD., 18" A.F.F., SAME AS ABOVE EXCEPT MTD. AT 6" ABOVE COUNTER MOUNT RECEPTACLE HORIZONTALLY 120V.,1 PHASE, 60 hz., 20 AMP. DUAL DUPLEX RECEPTACLE MTD. 18" A.F.F. SPECIAL PURPOSE RECEPTACLE 2P. DENOTES POLES, 30 DENOTES AMPERAGE RATING	<b>RECEPTACLES</b> 120V.,1 PHASE, 60 HZ., 20 AMP. DUPLEX RECEPTACLE MTD., 18" A.F.F., SAME AS ABOVE EXCEPT MTD. AT 6" ABOVE COUNTER MOUNT RECEPTACLE HORIZONTALLY 120V.,1 PHASE, 60 hz., 20 AMP. DUAL DUPLEX RECEPTACLE MTD. 18" A.F.F. SPECIAL PURPOSE RECEPTACLE 2P. DENOTES POLES, 30 DENOTES AMPERAGE RATING	<b>WIRING</b> HOMERUN TO PANEL "A".1-3-5 ARE CIRCUIT NO.'S. TICKS ARE NO. OF CONDUCTORS (✓)INDICATES GROUND WIRE SIZED AS PER N.E.C. ART. 250. INDICATES A EXISTING CONDUIT RUN CONCEALED IN A CEILING OR WALL. INDICATES A CONDUIT RUN CONCEALED IN FLOOR. EMBEDDED IN CONCRETE OR UNDERGROUND. INDICATES AN EXISTING CONDUIT RUN. INDICATES A CAPPED CONDUIT. INDICATES A FLEXIBLE METAL CONDUIT CONNECTION. USE LIQUID TIGHT CONDUIT IN WET, DAMP OR OILY LOCATIONS. FLEXIBLE EQUIPMENT CONNECTION. GROUNDING SYSTEM CONDUCTOR, BARE COPPER CONDUCTOR OR INSULATED CONDUCTOR IN CONDUIT AS INDICATED. CONDUIT RUN TURNED DOWN. CONDUIT RUN TURNED UP. CONDUIT EXPANSION JOINT LIGHTNING PROTECTION CLASS 1 WIRING/AIR TERMINAL		
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1. ALL ELECTRICAL WORK SHALL COMPLY WITH N.E.C., F.B.C. AND ANY LOCAL ORDINANCES.
2. ALL MATERIAL SHALL BE NEW AND BEAR THE U.L. LABEL.
3. ALL CONDUCTORS SHALL BE COPPER; THWN INSULATION, UNLESS OTHERWISE NOTED ON THE PLANS. MINIMUM WIRE SHALL BE #12 AWG, EXCEPT FOR CONTROLS.
4. VERIFY WITH OWNER LOCATION OF ALL OUTLETS BEFORE ROUGH-IN.
5. ALL FUSES SHALL BE BUSS LOW-PEAK OR HI-CAP OR AS NOTED ON THE PLANS.
6. ALL LIGHTING FIXTURES AND LAMPS SHALL BE FURNISHED. INSTALLED AND CONNECTED BY THE ELECTRICAL CONTRACTOR. REFER TO INTERIOR DESIGNER FIXTURE SELECTION.
7. WIRING DEVICES AS MANUFACTURED BY HUBBELL, SLATER, P & S, SPECIFICATION GRADE.
8. ELECTRICAL SWITCHGEAR SHALL BE AS MANUFACTURED BY SQ.-D<sup>TM</sup>, CUTLER HAMMER, I.T.E., SWITCHGEAR AND PANELS SHALL HAVE A U.L. SHORT CIRCUIT SERIES COMBINATION RATING, AS PER SCHEDULE. AMPS BUS TO BE COPPER.
9. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR.
10. REFER TO ARCHITECTURAL DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.
11. ALL FLUORESCENT LIGHTING FIXTURES SHALL BE PROVIDED WITH INLINE FUSED ENERGY SAVING BALLASTS (ADVANCE MARK III OR UNIVERSAL "SLH") AND WATT MISER LAMPS (G.E., SYLVANIA OR PHILIPS).
12. FURNISH AND INSTALL EMPTY CONDUIT FOR THE TELEPHONE SYSTEM AS SHOWN ON THE PLANS. PROVIDE PULL WIRE IN ALL EMPTY CONDUIT. VERIFY WITH SOUTHERN BELL REPRESENTATIVE ALL MATTERS CONCERNING THE TELEPHONE SERVICE TO THIS BUILDING.
13. VERIFY WITH F.P.L. REPRESENTATIVE ALL MATTERS CONCERNING THE ELECTRICAL SERVICE TO THIS BUILDING.
14. CONTRACTORS SHALL BE RESPONSIBLE TO COORDINATE WITH ALL TRADE REQUIRED SPACES AND DIMENSIONS TO RUN CONDUITS AND INSTALL EQUIPMENT SO AS TO AVOID INTERFERENCES.
15. CONTRACTOR SHALL VERIFY WITH MECHANICAL CONTRACTOR RATING OF ALL EQUIPMENT BEFORE ORDERING SWITCHGEAR.
16. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE. FUSED AND NOT FUSED AND WEATHERPROOF AS REQUIRED.
17. MOUNTING HEIGHT OF OUTLETS:


RECEPTACLES:	18" A.F.F. OR AS NOTED ON THE PLANS.
SWITCHES:	48" A.F.F. OR AS NOTED ON THE PLANS.
TELEPHONES:	18" A.F.F. OR AS NOTED ON THE PLANS.
THERMOSTATS:	60" A.F.F. OR AS NOTED ON THE PLANS.
18. GROUNDING: PROVIDE GROUNDING SYSTEM AS INDICATED ON PLANS.
19. FUSING FOR ALL ROOF TOP AIR CONDITIONING UNITS SHALL BE AS PER EQUIPMENT NAMEPLATE.
20. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND TELEPHONE FOR CONSTRUCTION PHASE.
21. FURNISH AND INSTALL 3/4" EMPTY CONDUIT FOR THE TELEPHONE SYSTEM TO BE CONNECTED TO TELEPHONE TERMINAL BOARD.

NO.	DATE	DESCRIPTION	APPR.
-	-	-	-

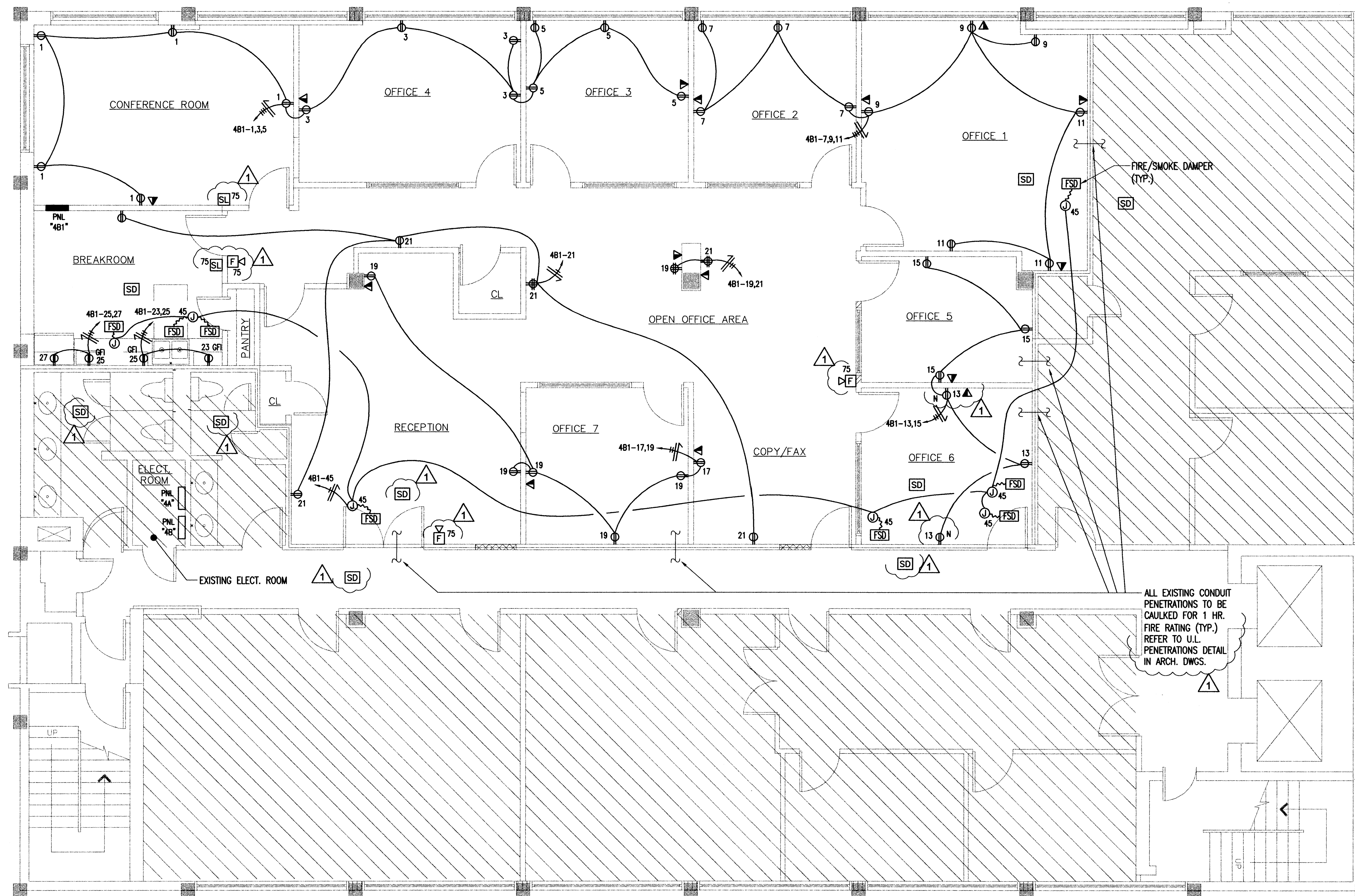
KEY PLAN

AREA OF WORK

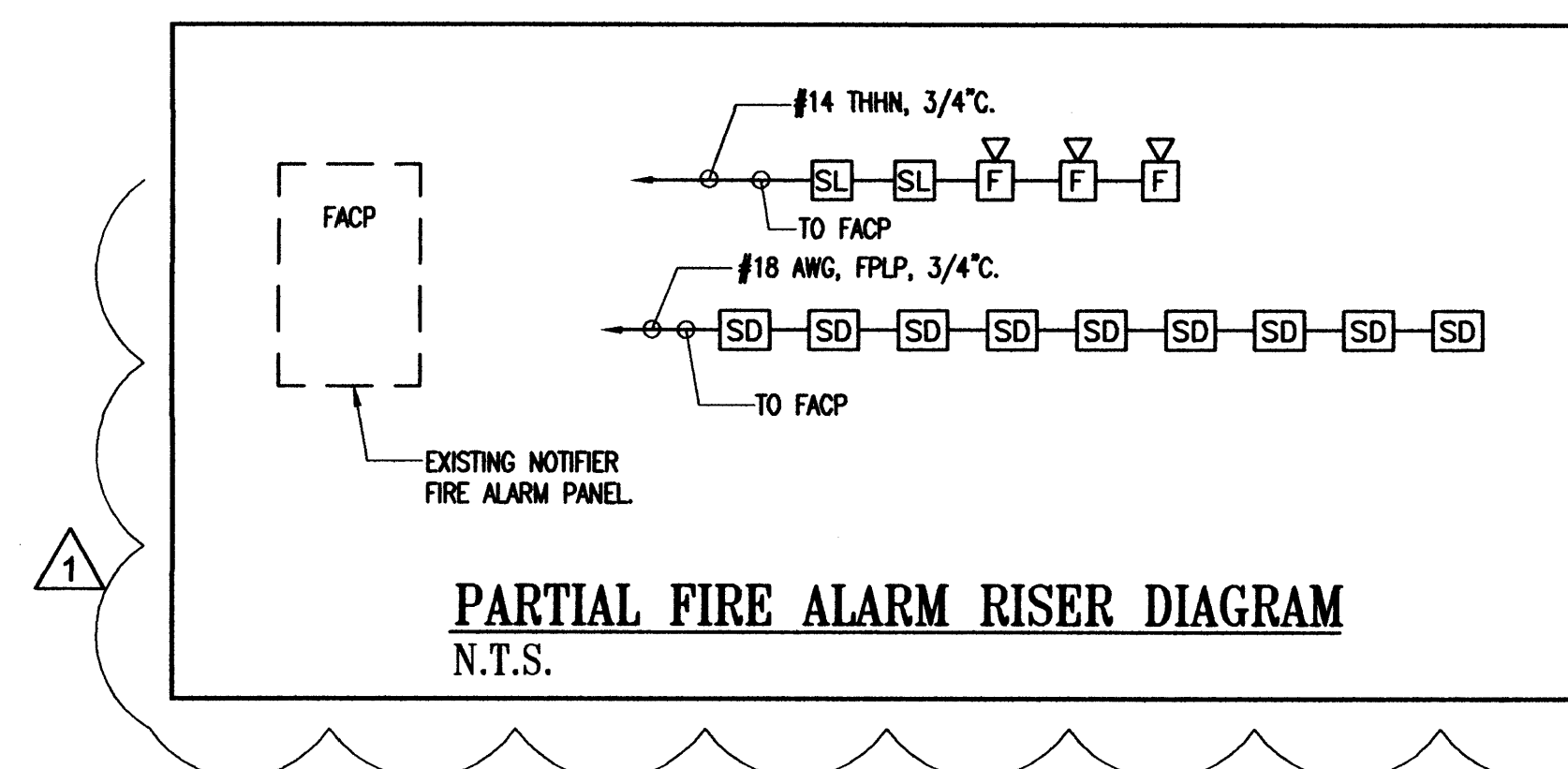
**E-1**

 **VIDAL & ASSOCIATES INC.**  
CONSULTING ENGINEERS  
2234 N.E. 2ND. AVENUE  
MIAMI, FL 33137  
HENRY VIDAL P.E., PE# 56204  
CERTIFICATION OF AUTHORIZATION #6056

PHONE: (305) 571-1860 FAX: (305) 571-1861  
E-MAIL: VIDAL1961@AOL.COM



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

ARCHITECT PRJ. NO.  
09-003

CONSULT PRJ. NO.  
-

CLIENT PRJ. NO.  
-

ARCHITECT  
ALAN D. LERNER  
AR#0005784

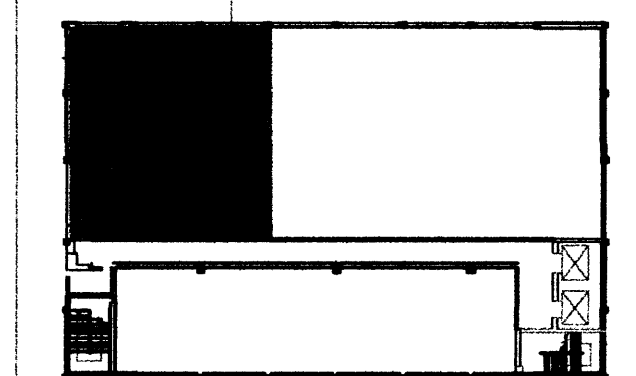
OFFERLE-LERNER AIA  
13190 SW 134TH ST SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR
1	07.07.09	BLDG. DEPT. COMM.	

PROJECT TITLE  
INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLP  
SUITE 403 & 406  
301 W 41ST ST. SUITE 503  
MIAMI BEACH, FLORIDA

KEY PLAN  
AREA OF WORK



DATE 03/06/09  
DRAWN BY W.C./A.R.  
CHECKED BY H.V.  
APPROVED BY H.V.

NOT FOR CONSTRUCTION ☒  
RELEASED FOR CONSTRUCTION ☐  
RECORD DRAWING ☐  
AS-BUILT DRAWING ☐

SHEET SCALE AS SHOWN

DRAWING TITLE

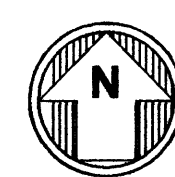
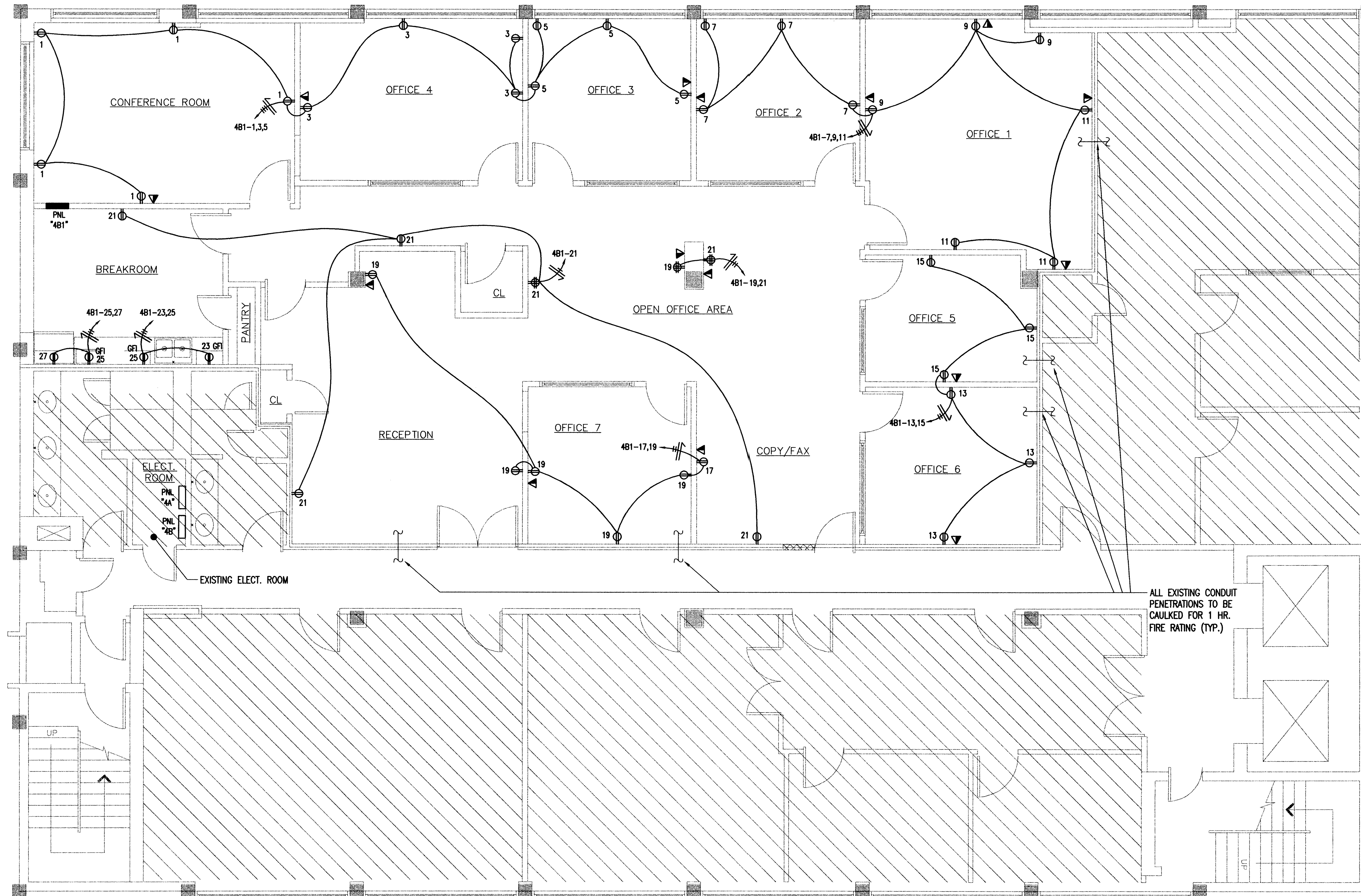
**ELECTRICAL PLAN**

**E-2**

Electrical Plans Examiner  
Lic. # PX 2811

**VIDAL & ASSOCIATES INC.**  
CONSULTING ENGINEERS  
2234 N.E. 2ND AVENUE  
MIAMI, FL 33137  
HENRY VIDAL P.E., PE# 56204  
CERTIFICATION OF AUTHORIZATION #0056  
PHONE: (305) 571-1860 FAX: (305) 571-1861  
E-MAIL: VIDAL1961@AOL.COM





**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

OFFERLE-LERNER AIA  
ARCHITECTS  
& PLANNERS

ARCHITECT PRJ. NO.

09-003

SEAL

CONSULT PRJ. NO.

---

CLIENT PRJ. NO.

---

ALAN D. LERNER  
AR#0005784

ARCHITECT

OFFERLE-LERNER AIA  
13190 SW 134TH ST. SUITE 208  
MIAMI, FLORIDA 33186  
305-385-1700  
AA#0003139

SUB-CONSULTANT

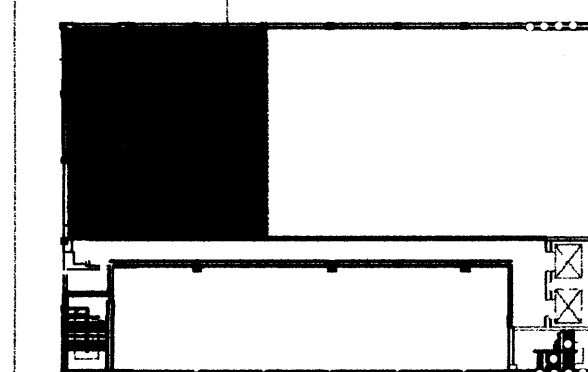
NO.	DATE	DESCRIPTION	APPR
-	-	-	-

PROJECT TITLE

INTERIOR OFFICE FOR  
301 CABI DEVELOPMENT, LLLP  
SUITE 403 & 406  
301 W 41ST ST. SUITE 503  
MIAMI BEACH, FLORIDA

KEY PLAN

AREA OF  
WORK



DATE 03/06/09  
DRAWN BY W.C./A.R.  
CHECKED BY H.V.  
APPROVED BY H.V.

NOT FOR CONSTRUCTION ☒  
RELEASED FOR CONSTRUCTION ☐  
RECORD DRAWING ☐  
AS-BUILT DRAWING ☐

SHEET SCALE AS SHOWN

DRAWING TITLE

**ELECTRICAL PLAN**

**E-2**

3.16.09

**VIDAL & ASSOCIATES INC.**  
CONSULTING ENGINEERS  
2204 N.E. 2ND AVENUE  
MIAMI, FL. 33137  
HENRY VIDAL P.E., PE# 56204  
CERTIFICATION OF AUTHORIZATION #0056  
PHONE: (305) 571-1860 FAX: (305) 571-1861  
E-MAIL: VIDAL1961@AOL.COM