

TACKLE BOX

RESTAURANT RENOVATION AND DECK ADDITION

1787 PURDY AVENUE
MIAMI BEACH, FL 33139

Planning Review Board
Revision

First Submittal

March 21th, 2016

Planning Review Board
Revision

Final Submittal

April 6th, 2016

Initially Approved by
Planning Review Board
Dec. 15, 2015

Pages now labeled Approved or Revised
with short description. Narritive Attached

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Project Scope

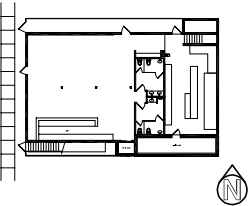
The scope of work for this project is
classified as an Addition as per Section
407 - 2014 and Interior Alteration- level II as
per Section 404 FBC(E)

SAI

Sustainable Architecture Initiative, Ilc

John Otha McInnis
#AR95896

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



Drawing Issue

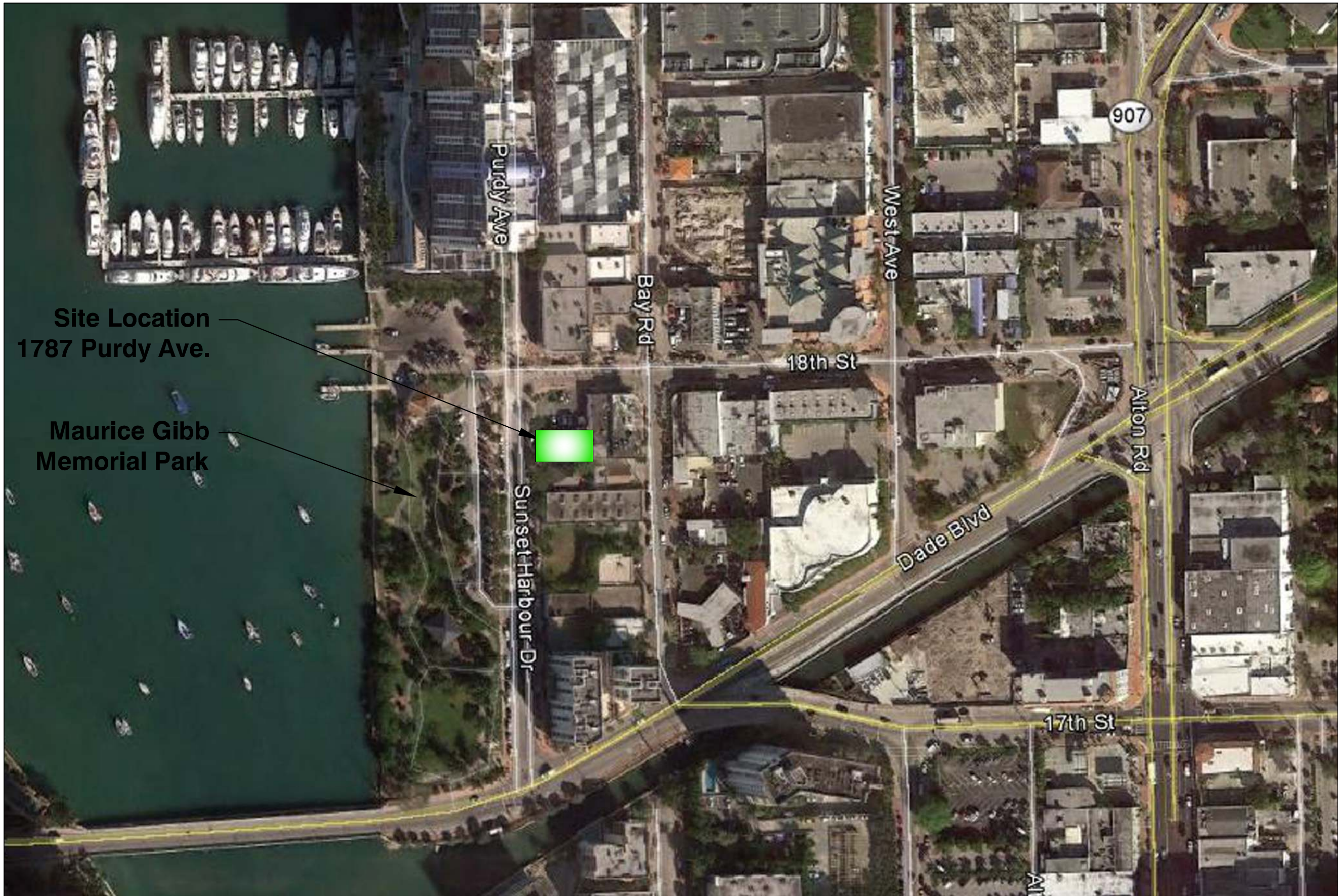
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| 6 | PB Hearing | TBD |

scale:NTS drawn by: John McInnis

date:4/6/16

project: 1095.00 page: 11"x17"

Drawing: **Cover Sheet**
Item #9.1



Site Location
1787 Purdy Ave.

Maurice Gibb
Memorial Park

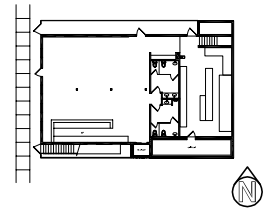
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Site Location Plan -

1"= +/-200'

APPROVED 12/15/15

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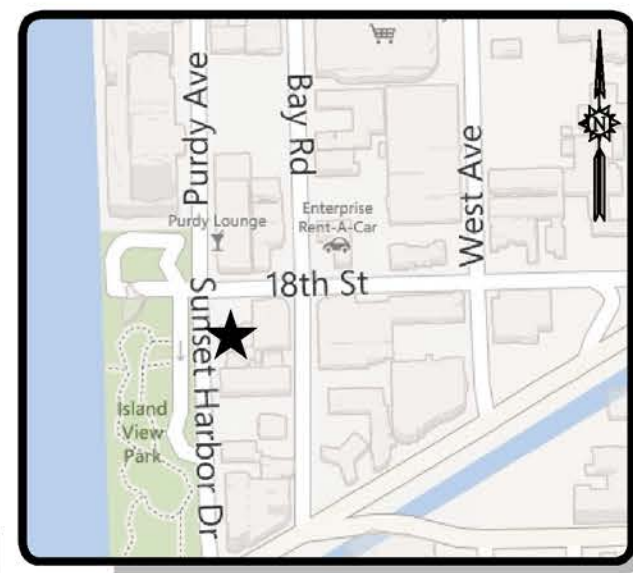
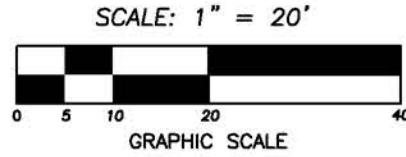
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project: 1095.00 page: 11"x17"

Drawing:
**Site Location
Plan
Item #11.1**

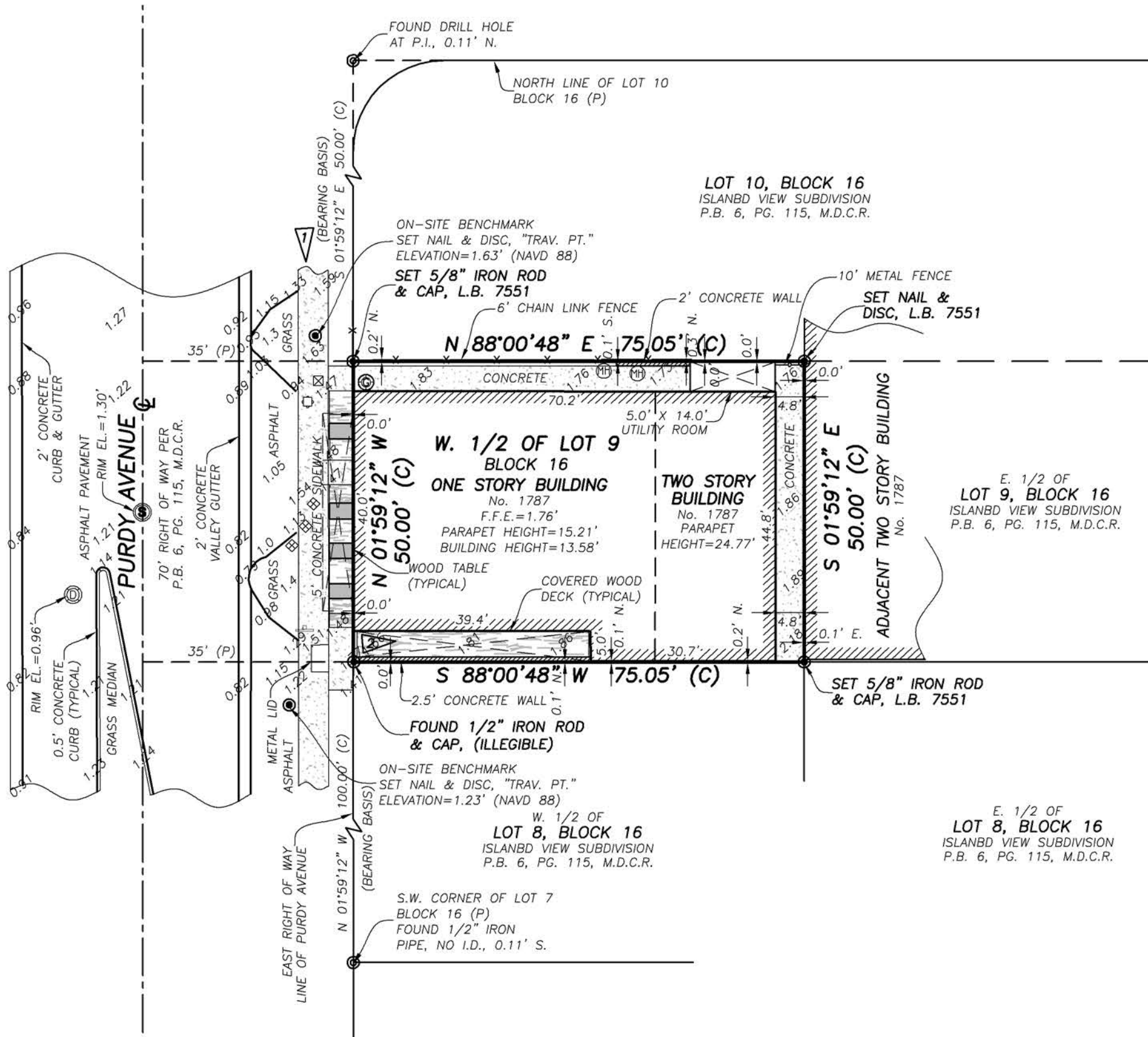
SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: 1787 PURDY AVENUE, MIAMI BEACH, FL.

LEGEND:

- L.B. LICENSED BUSINESS
M.D.C.R. MIAMI-DADE COUNTY RECORDS
ID. IDENTIFICATION
(C) CALCULATED
(P) DENOTES BEARING AND DISTANCE
BASED ON PLATS OF RECORD
NAVD 88 NORTH AMERICAN VERTICAL
DATUM OF 1988
TRAV. PT. TRAVERSE POINT
P.I. POINT OF INTERSECTION
F.F.E. FINISHED FLOOR ELEVATION
NGVD 29 NATIONAL GEODETIC
VERTICAL DATUM OF 1929
P.B. PLAT BOOK
PG. PAGE
EL. ELEVATION
CL. CENTERLINE
P. PARKING METER
G. GAS METER
E. ELECTRICAL BOX
S. SURFACE ELEVATION
U. UTILITY MANHOLE
W. WATER METER
S.D. STORM DRAIN MANHOLE
S.S. SANITARY SEWER MANHOLE
B. BREAK IN SCALE
V. VIEW 1



LOCATION MAP
NOT TO SCALE



LEGAL DESCRIPTION:

THE WEST ONE-HALF OF LOT 9, BLOCK 16, OF ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 115, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE PROPERTY SHOWN HEREON CONTAINS 0.09 ACRES (3,753 SQUARE FEET), MORE OR LESS.
3. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
4. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
5. THE BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N.01°59'12"W. ALONG THE EAST RIGHT OF WAY LINE OF PURDY AVENUE AND REFER TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, 1983 (1990) ADJUSTMENT.
6. THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS. IRRIGATION EQUIPMENT, TREES AND LANDSCAPING NOT LOCATED OR SHOWN HEREON. FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.
7. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. EXACTA COMMERCIAL SURVEYORS, INC., DID NOT SEARCH THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
9. THE PROPERTY SHOWN HEREON LIES WITHIN FLOODS ZONE AE, ELEVATION=6.44' (NAVD 88) OR 8' (NGVD 29), AS SHOWN IN FLOOD INSURANCE RATE MAP NUMBER 12086C 0317 L, COMMUNITY NUMBER 120651, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA. MAP REVISED DATE: SEPTEMBER 11, 2009.
10. BUILDING DIMENSIONS WERE MEASURED AT GROUND LEVEL AND ARE OVERALL. ARCHITECTURAL DETAILS MAY NOT BE SHOWN.

SURVEY NOTES (CONT.):

11. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY EXACTA COMMERCIAL SURVEYORS, INC. EXACTA HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. EXACTA MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT EXACTA DIRECTLY FOR VERIFICATION OF ACCURACY.
12. THE ELEVATIONS SHOWN HEREON ARE BASED ON A MIAMI-DADE COUNTY BENCHMARK "D-166" AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE MARK IS A PK NAIL AND BRASS WASHER SET IN CONCRETE SIDEWALK AT NORTHEAST CORNER OF BRIDGE #874481 AND IS LOCATED 20 FEET NORTH OF THE CENTERLINE OF VENETIAN CAUSEWAY AND BELLE ISLE EAST BRIDGE. ELEVATION=5.71'. THE BENCHMARK ELEVATION WAS CONVERTED FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BY UTILIZING THE U.S. ARMY CORPS OF ENGINEERS SOFTWARE, SUBTRACTING A FACTOR OF -1.56'.
13. TREES, HEDGES, ORNAMENTAL PLANTS, IRRIGATION LINES, WELLS AND SPRINKLERS HEADS (IF ANY), NOT LOCATED OR SHOWN HEREON.

THIS SURVEY IS CERTIFIED TO:

SUSTAINABLE ARCHITECTURE INITIATIVE, LLC.

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA

EXACTA COMMERCIAL SURVEYORS, INC. L.B. 7551
javier@exactacomm.com

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770

EXACTA
COMMERCIAL LAND SURVEYORS
L.B. 7551

SEAL
NOT VALID UNLESS
SEALED HERE
WITH
AN EMBOSSED
SURVEYOR'S SEAL

SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY

THE W. 1/2 OF LOT 9, BLOCK 16
ISLAND VIEW SUBDIVISION
PLAT BOOK 6, PAGE 115, M.D.C.R.
1787 PURDY AVENUE, MIAMI BEACH, FL. 33139

SUSTAINABLE
ARCHITECTURE
INITIATIVE, LLC.

CLIENT:

DATE 08/24/15

DRWN BY J.E.C.

CHK'D BY JDLR

LAST FIELD DATE: 08/14/15

REVISIONS

JOB NO.

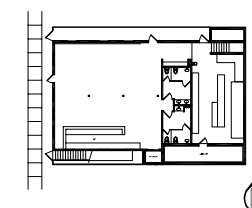
FL1508-1670

SHEET NO.

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OF

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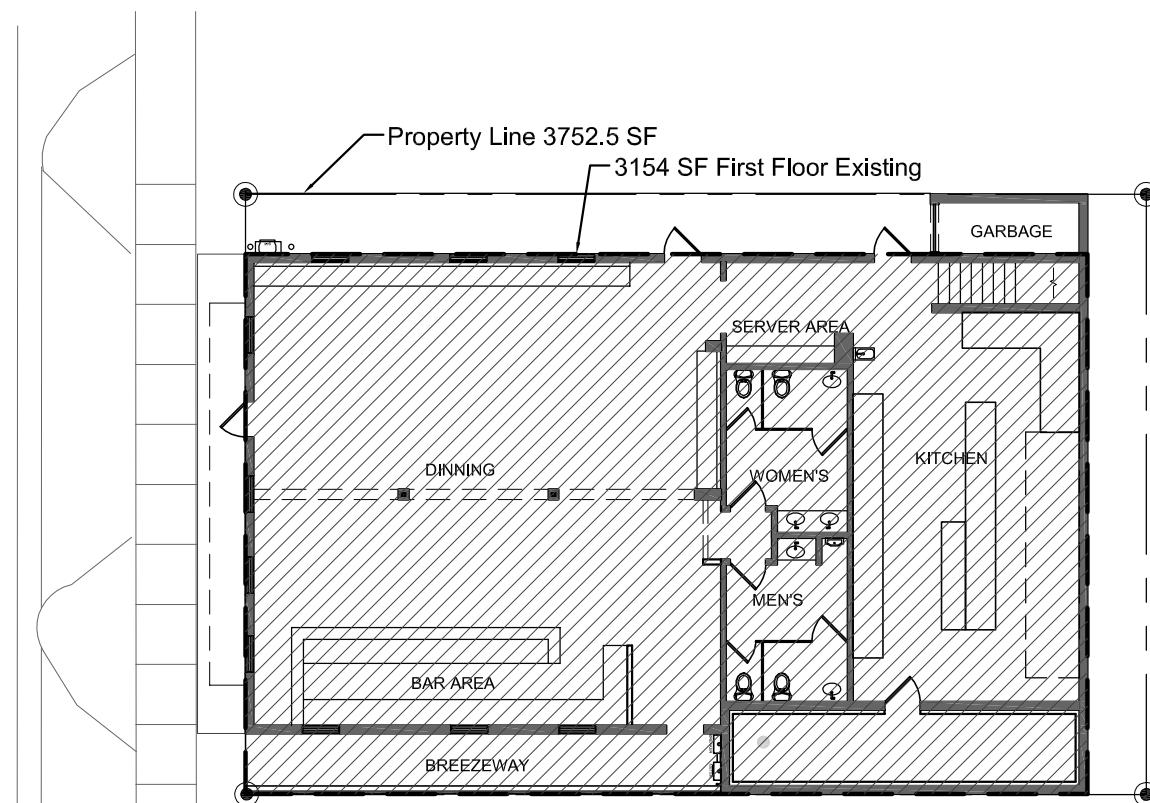
Drawing Issue

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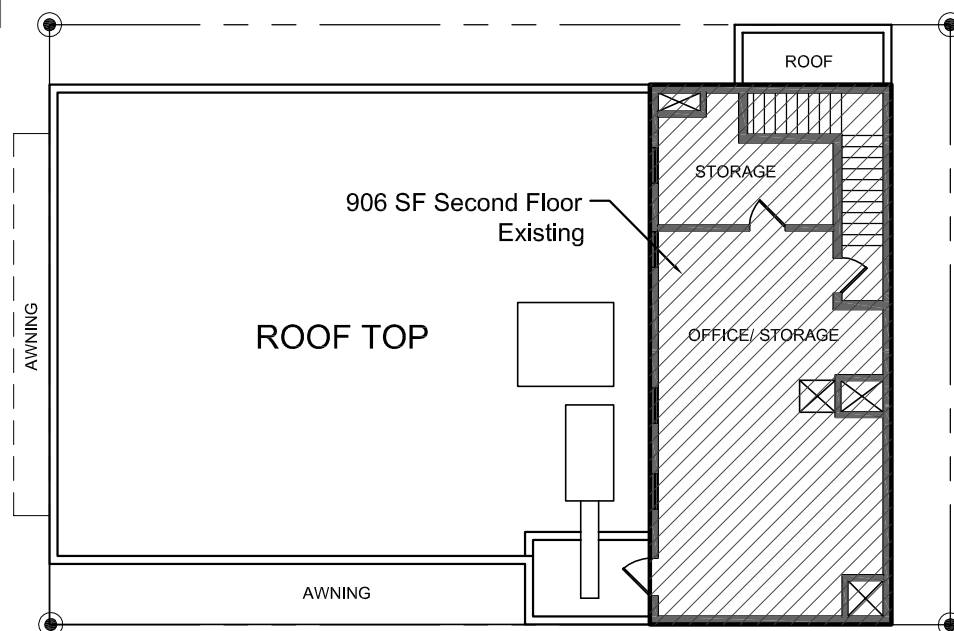
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date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

**Existing
FAR Information
Item #13.1**



1 EXISTING FIRST FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"



2 EXISTING SECOND FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"

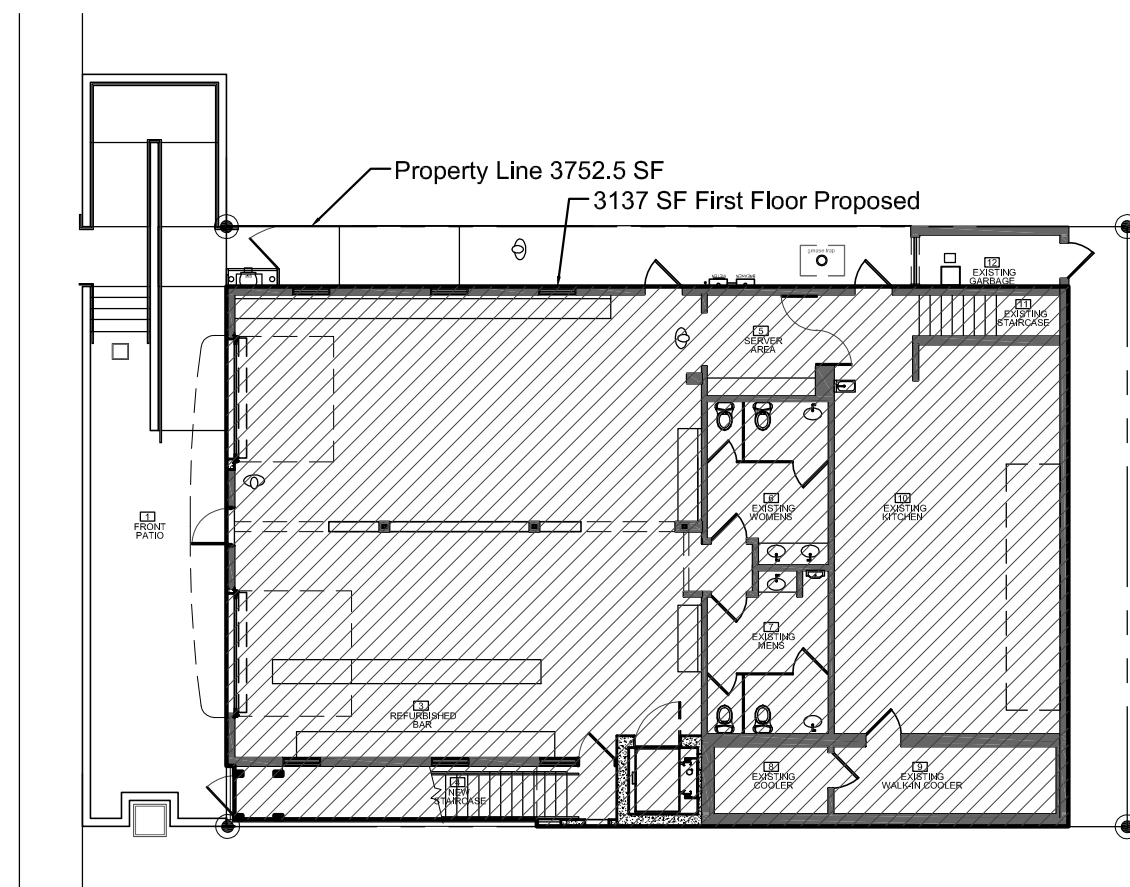
FAR (Existing) Summary

Classification: Zoning CD-2 Commercial Medium Intensity District
Proposed & Existing Occupancy: Restaurant Single Occupancy

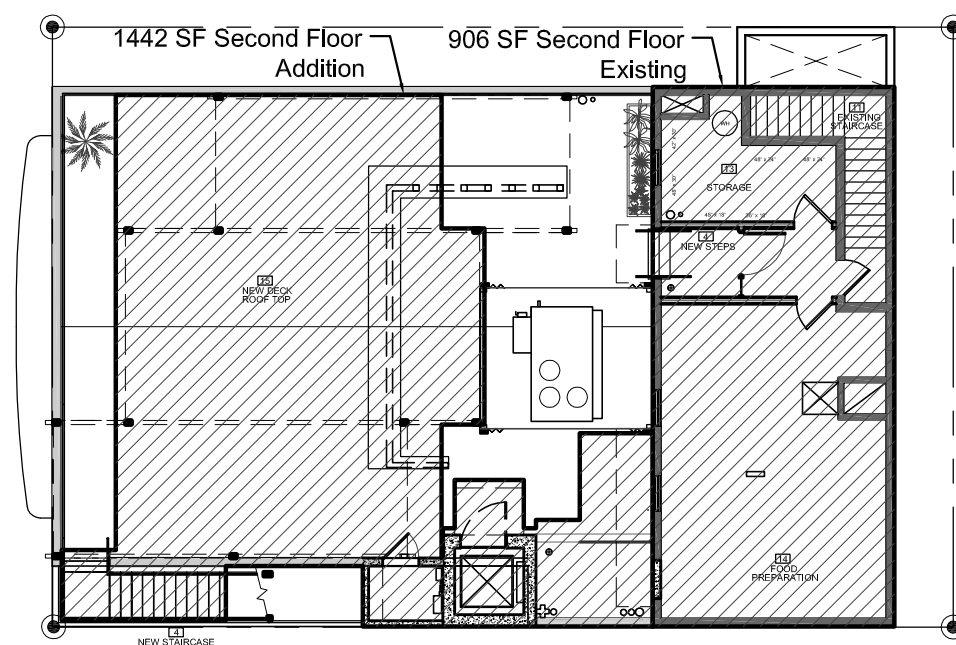
Lot Area: 3,752.5 SF
Max FAR: 1.5 or 5,628.75 SF

Existing Structure First Floor: 2,955 SF
Existing Structure Second Floor: 906 SF
Total Existing FAR: 3,901 SF

APPROVED 12/15/15



1 PROPOSED FIRST FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"



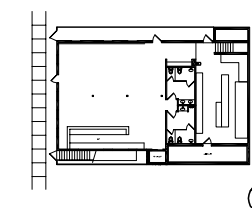
2 PROPOSED SECOND FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"

FAR (Proposed) Summary

Classification: Zoning CD-2 Commercial Medium Intensity District
Proposed & Existing Occupancy: Restaurant Single Occupancy
Lot Area: 3,752.5 SF
Max FAR: 1.5 or 5,628.75 SF

Proposed Structure First Floor: 3,137 SF
Proposed Structure Second Floor: 2,348 SF
Proposed Total FAR: 5,485 SF < 5,628 SF

PROPOSED
(NOTE RETRACTABLE AWNING NOW
ADDED TO FAR TOTAL)



Drawing Issue

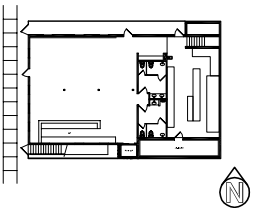
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Drawing:
**Proposed
FAR Information
Item #14.1**

Tackle Box

Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



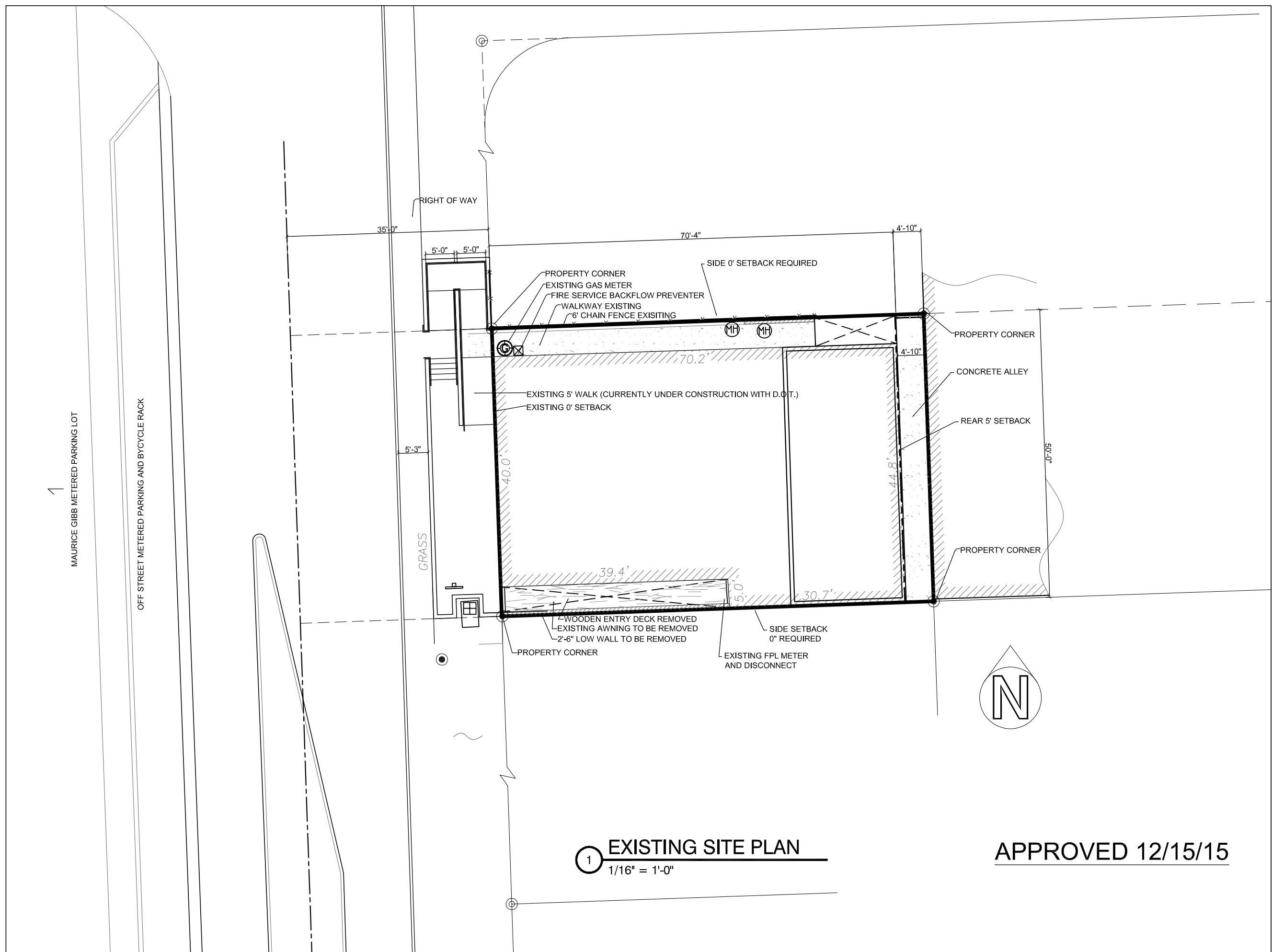
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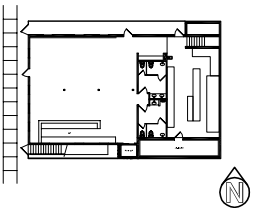
Drawing:

Existing Site Plan
Item #15.1



Tackle Box

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1787 Purdy Avenue
Miami Beach, FL 33139

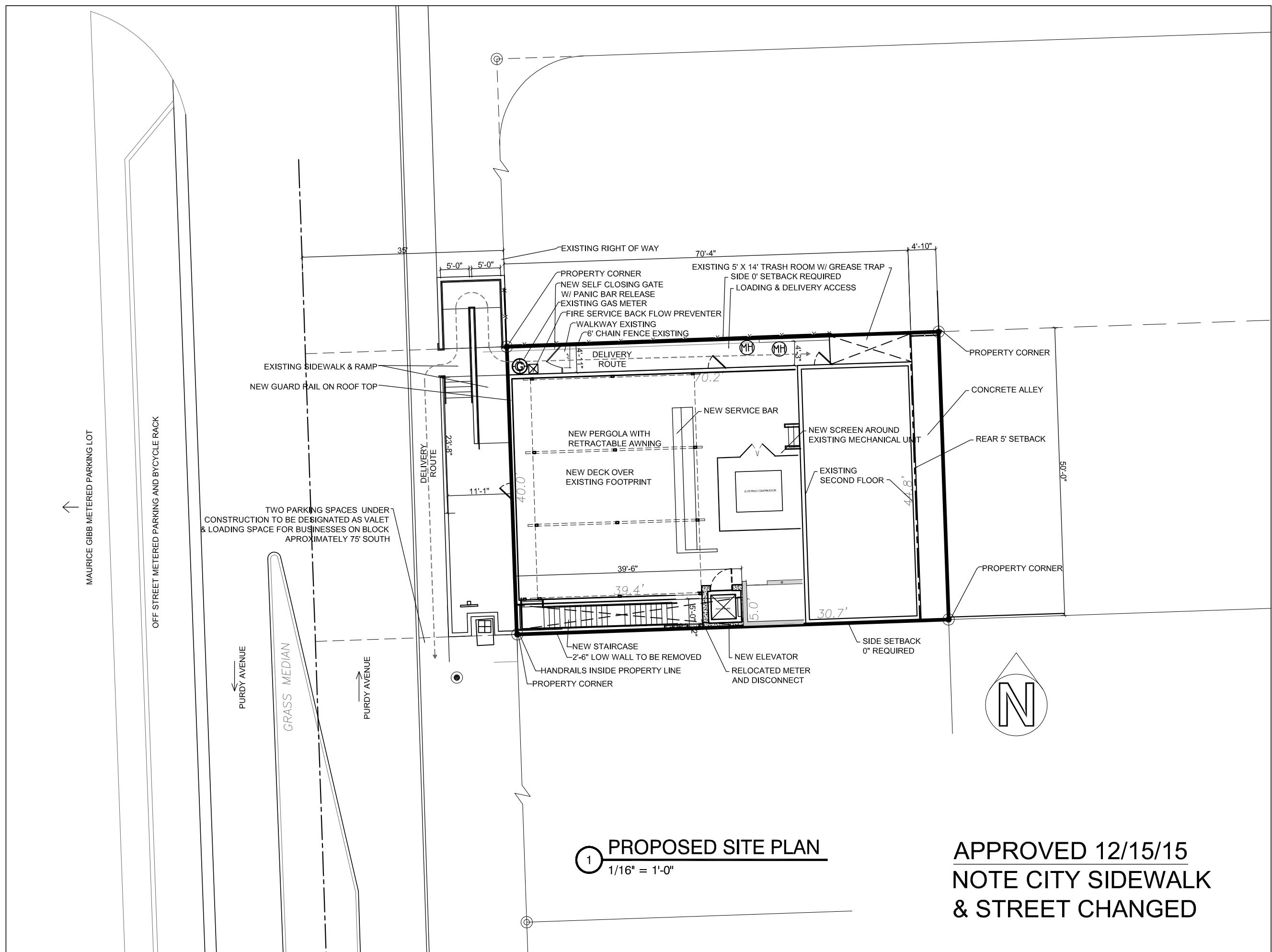


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Drawing:
Proposed Site Plan
Item #15.2

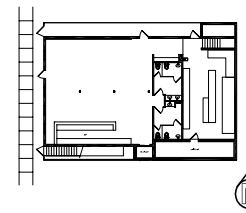




1 EXISTING SITE PHOTOS TAKEN 3/28/2016



1 EXISTING SITE KEY PLAN
NTS



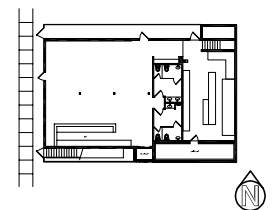
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scale: NTS drawn by: John McInnis
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Drawing:
**Site Photos
Existing Site
Item #16.1**

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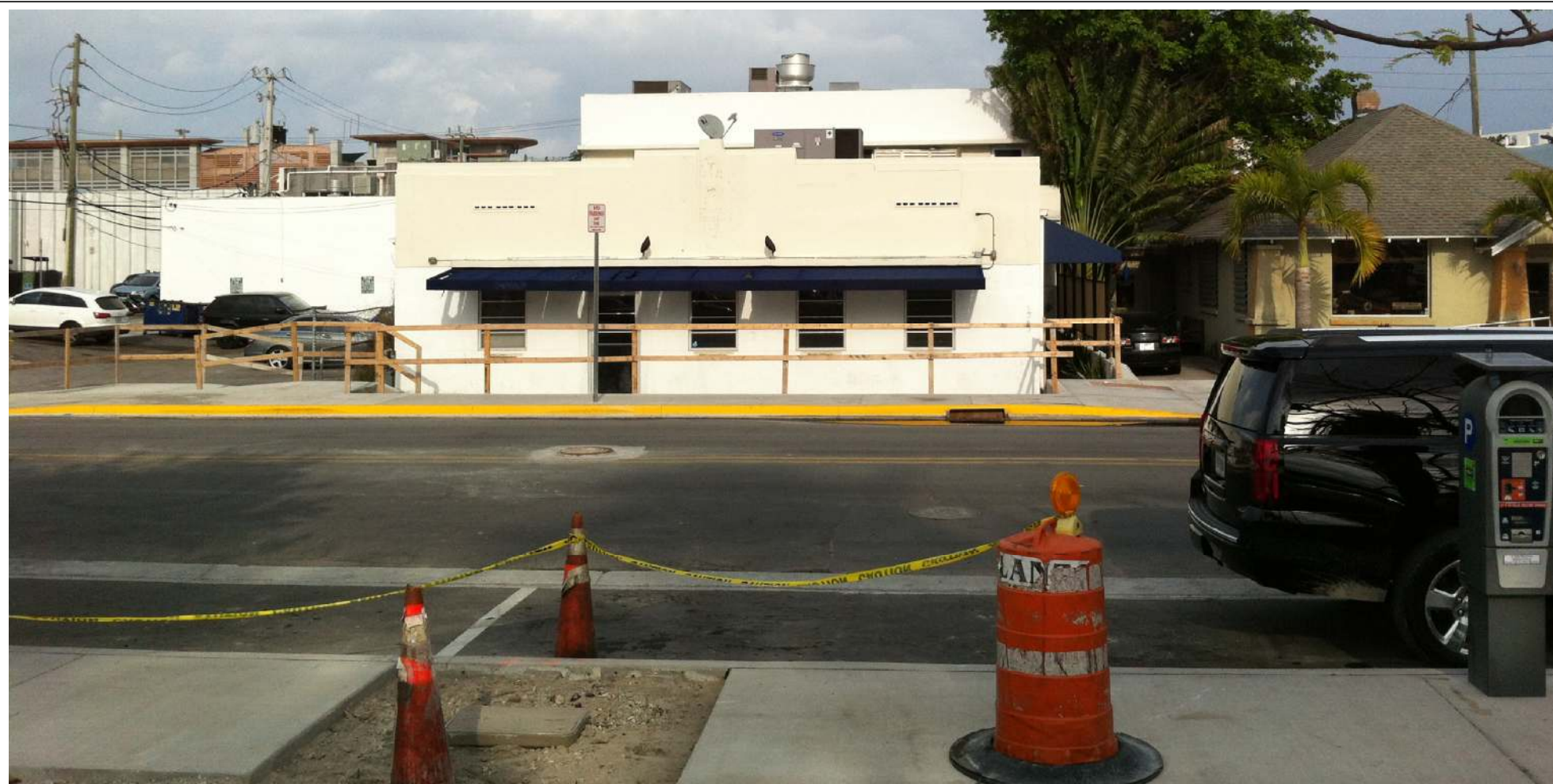


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project: 1095.00 page: 11"x17"

Drawing: **Context Photos**
Existing Site
Item #18.1



(A)

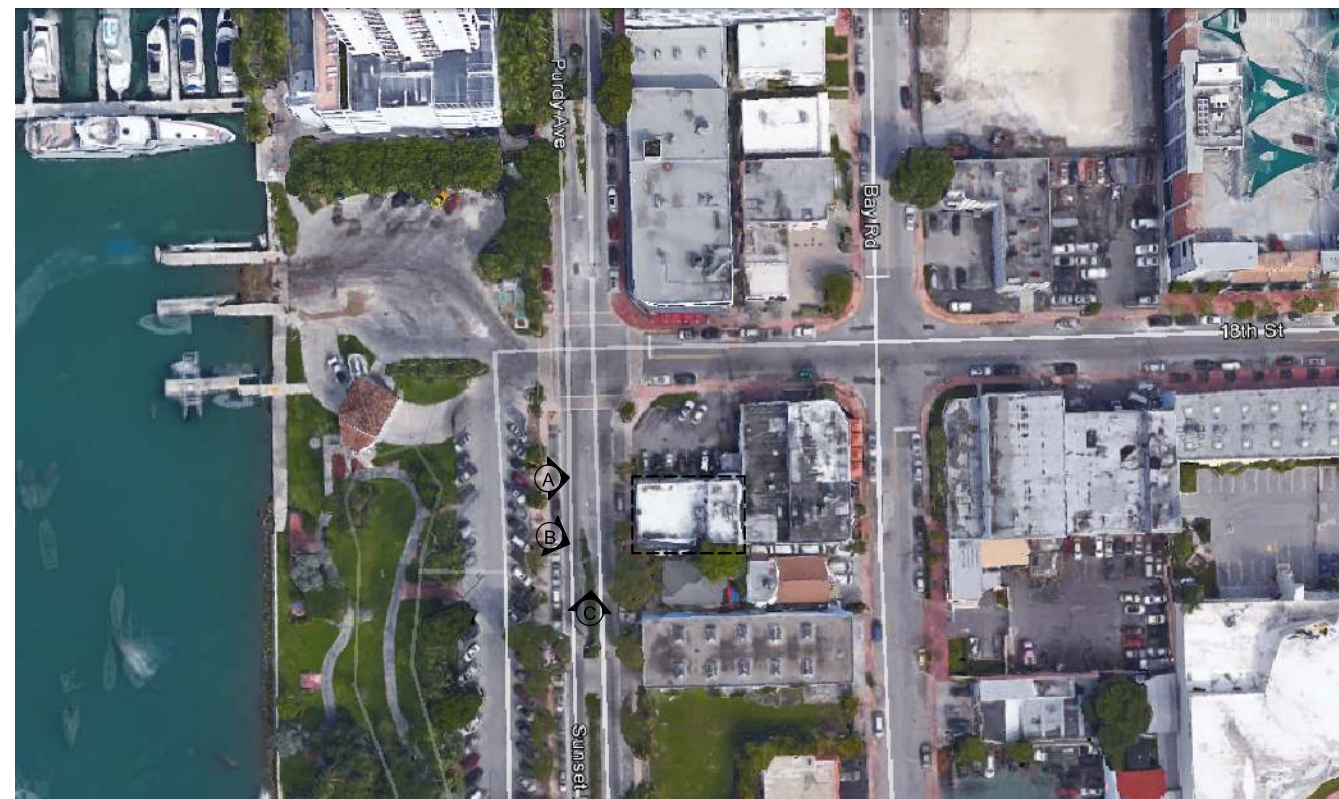
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EXISTING SITE PHOTOS TAKEN 3/28/2016

1



(C)



1

EXISTING SITE KEY PLAN

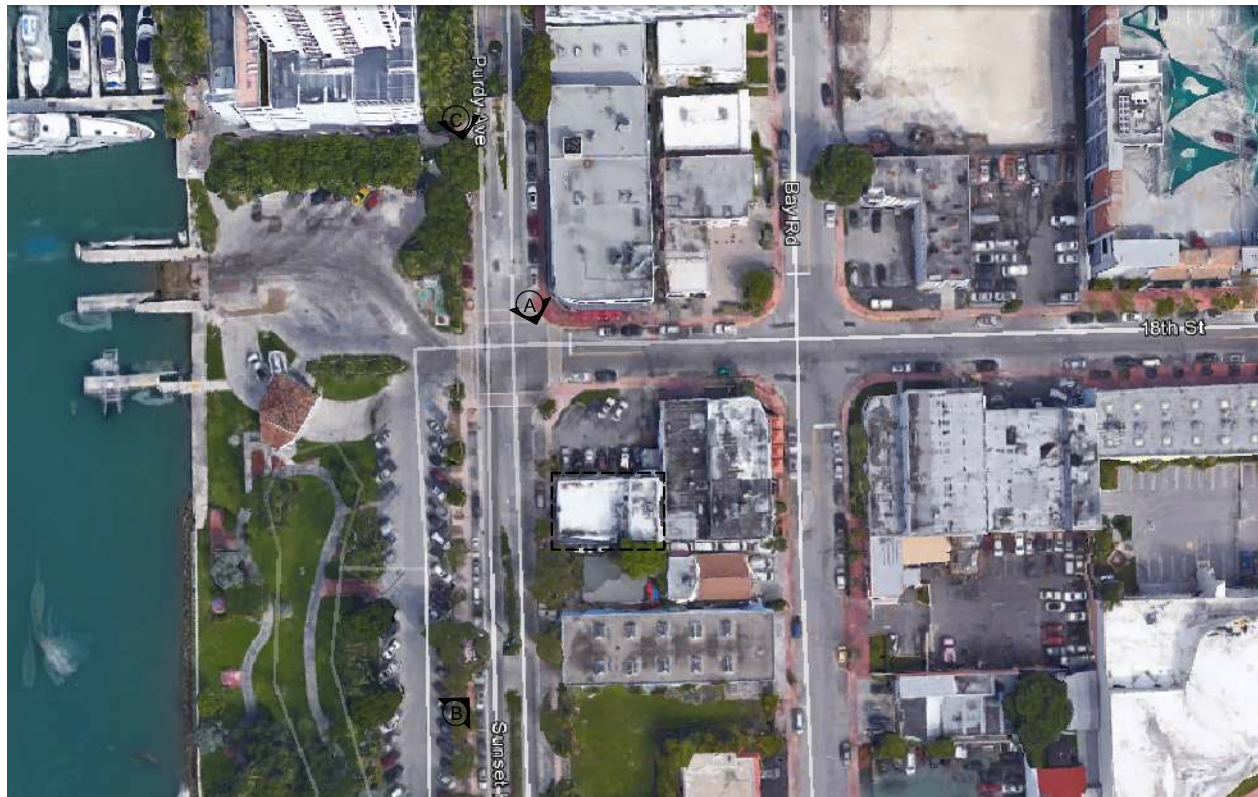
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(A) 1 EXISTING SITE PHOTOS TAKEN 3/28/2015

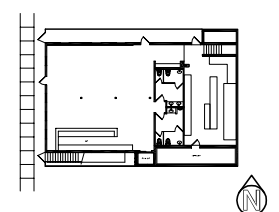
(B)



(C)

1 EXISTING SITE KEY PLAN
NTS

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scale: NTS drawn by: John McInnis
date: 3/30/16
project: 1095.00 page: 11 of 32

Drawing: Context Photos
Existing Site
Item #18.2

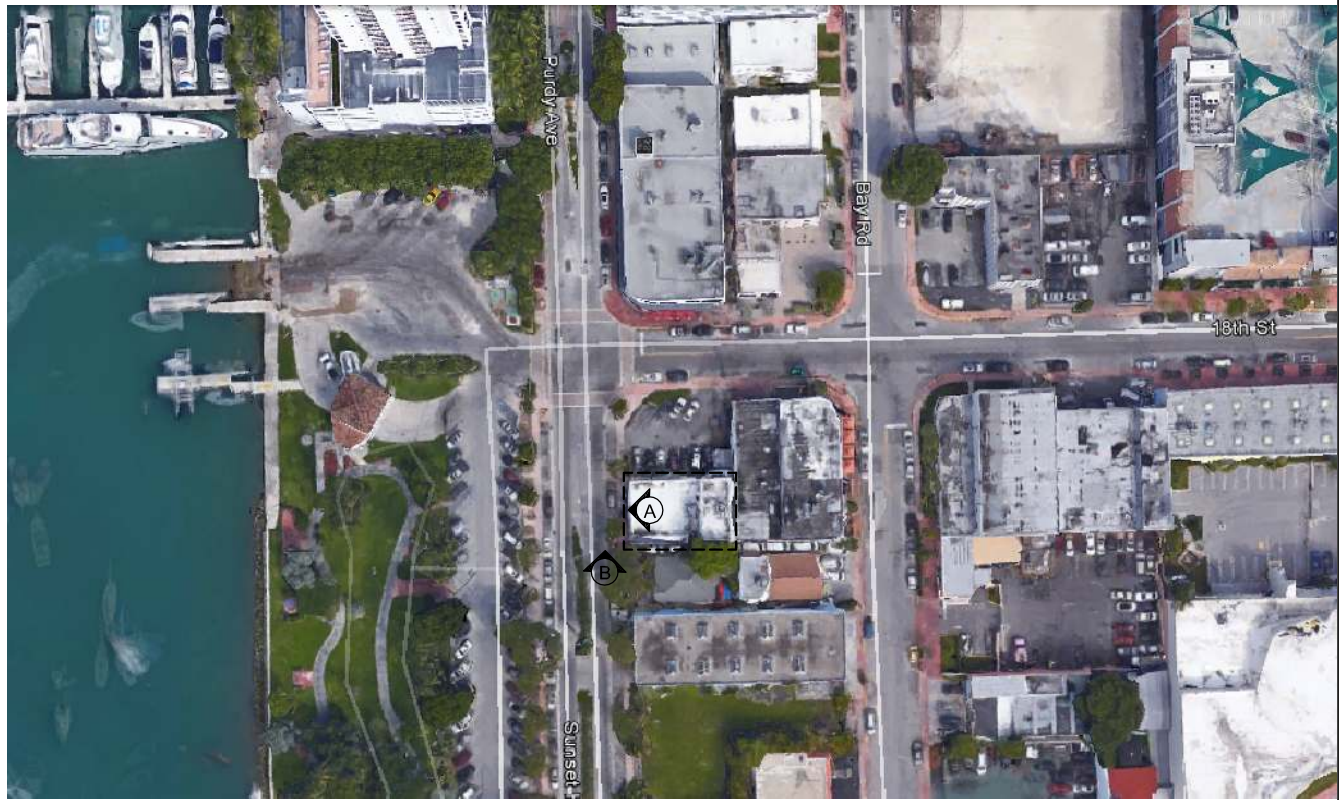


A

1 EXISTING SITE PHOTOS TAKEN 3/28/2016
1/32" = 1'-0"



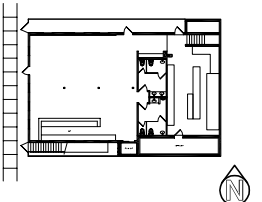
B



1 EXISTING SITE KEY PLAN
NTS



Tackle Box
Interior Renovation & Roof Deck Addition
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Miami Beach, FL 33139



Drawing Issue

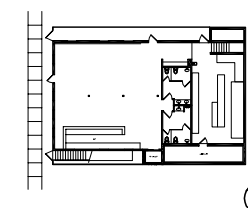
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scale: NTS
date: 3/30/16
project: 1095.00
drawn by: John McInnis
page: 11 of 17

Drawing: **Context Photos**
Existing Site
Item #18.3

Tackle Box

Interior Renovation & Roof Deck Addition
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Miami Beach, FL 33139

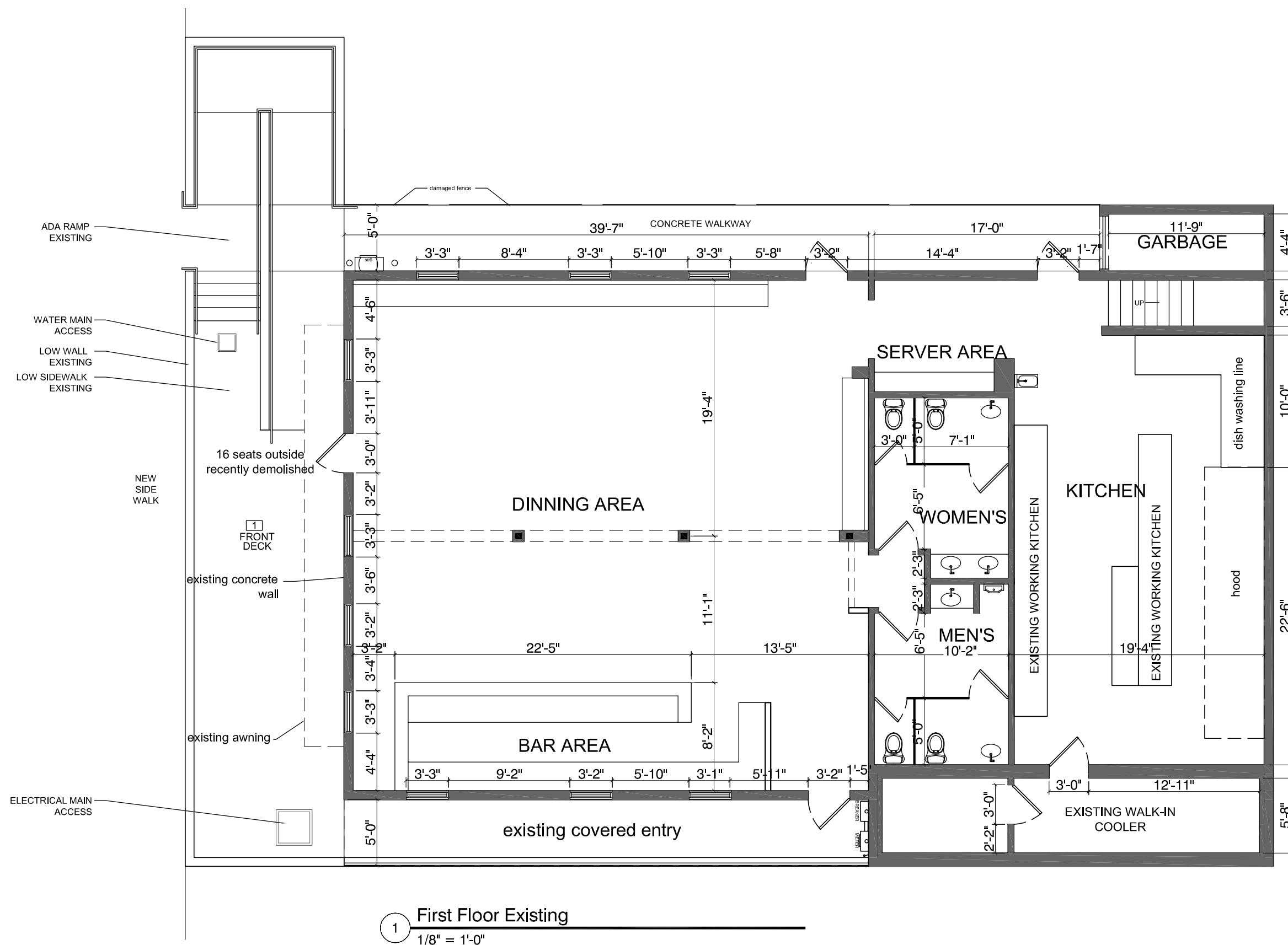


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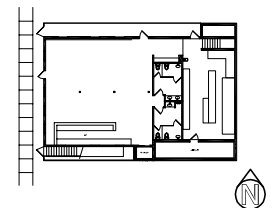
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Drawing:
Existing First Floor
Item # 19.1



APPROVED 12/15/15
-SIDEWALK ELEVATION BY CITY HAS CHANGED

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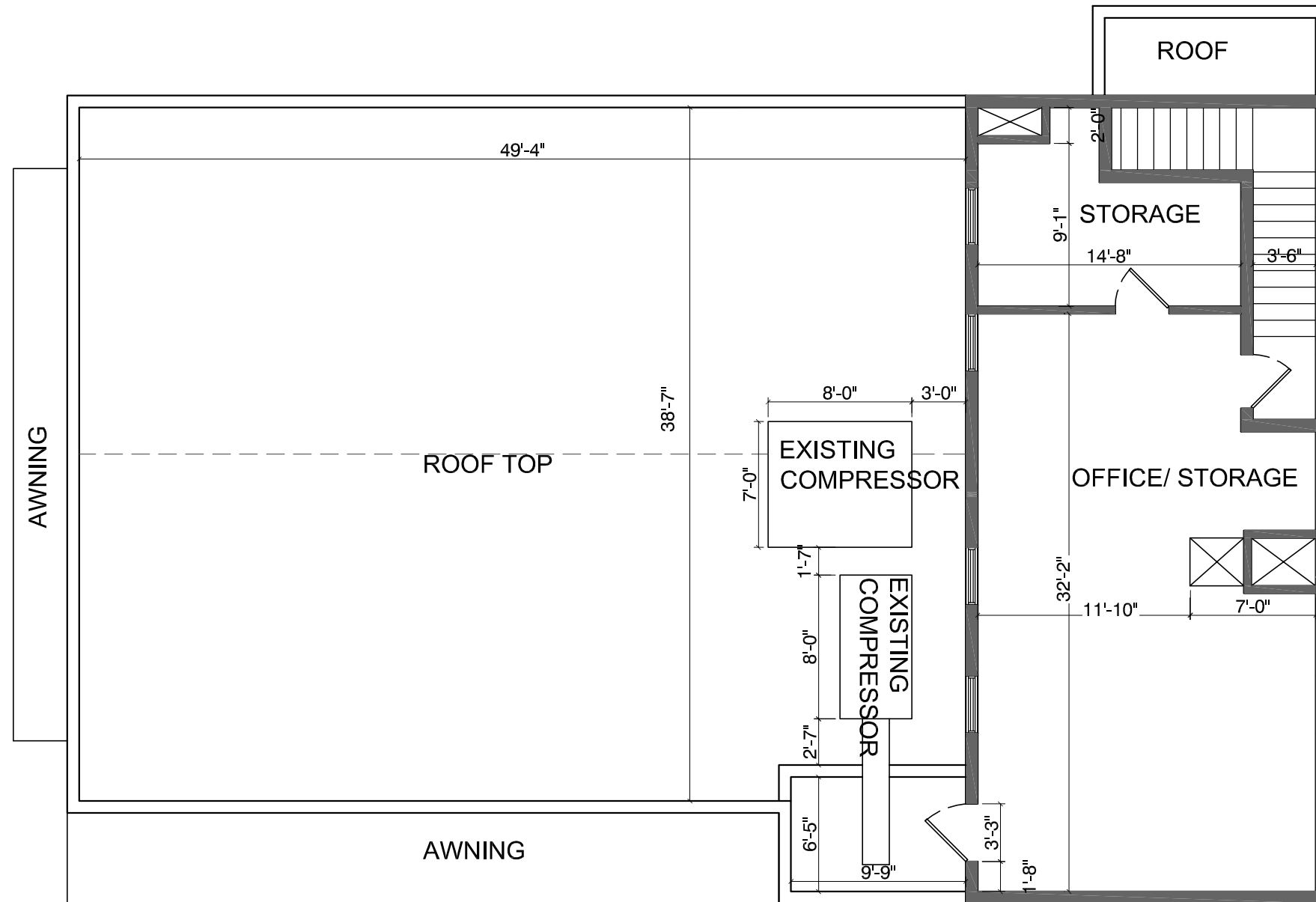


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| 3 | PB Hearing Approved | 12/15/15 |
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| 5 | Revision Final Submittal | 04/06/16 |
| 6 | PB Hearing | TBD |

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date: 4/6/16
project: 1095.00 page: 11"x17"

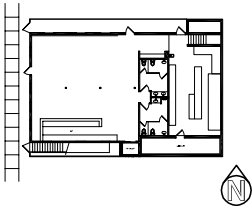
Drawing:
Existing Second
Floor & Roof Top
Item #19.2



1 Second Floor & Roof Top Existing
1/8" = 1'-0"

APPROVED 12/15/15

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

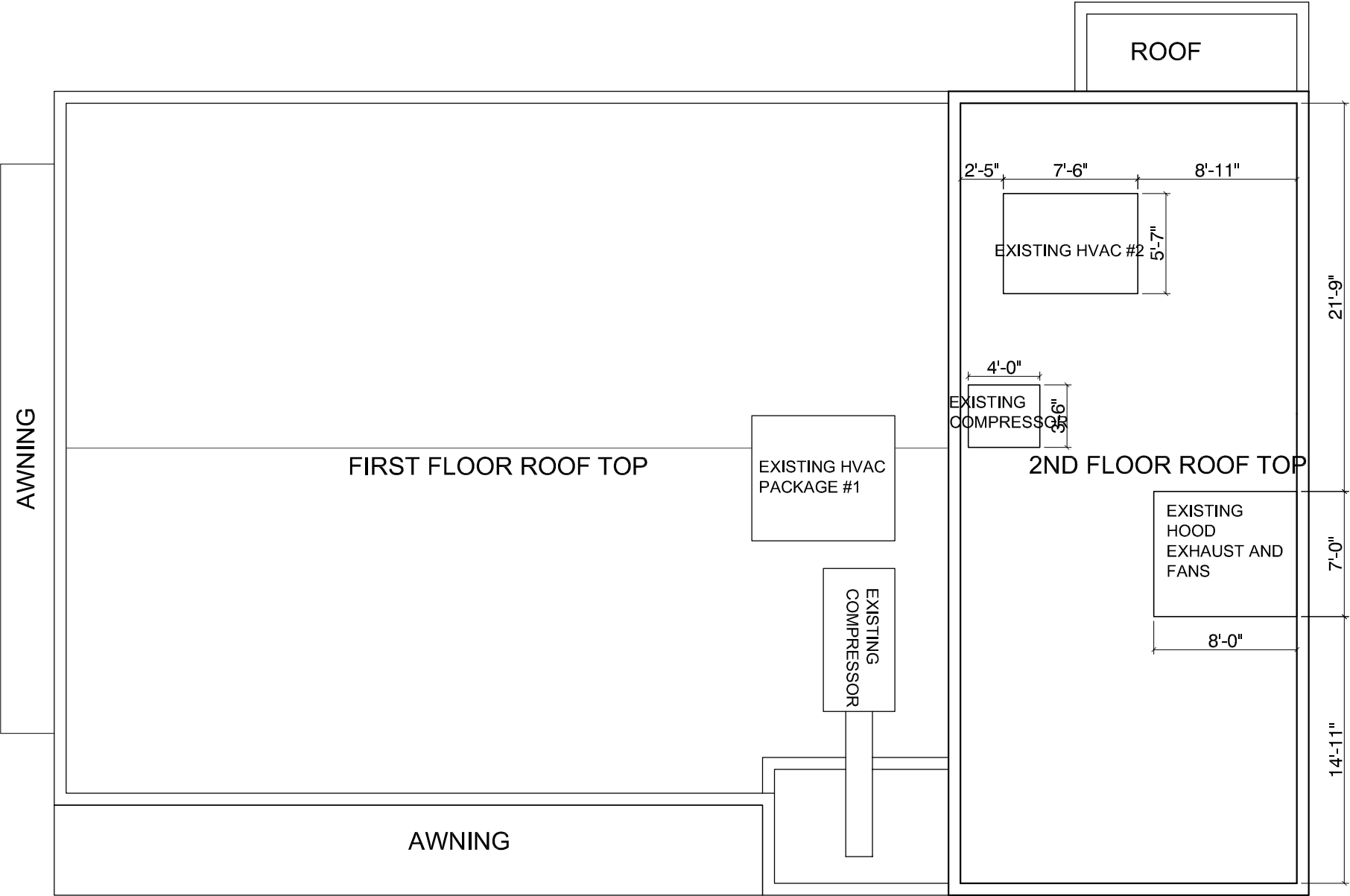


Drawing Issue

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date: 4/6/16
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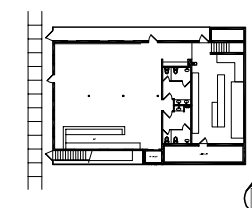
Drawing:
Existing Second
Floor Roof &
Rooftop
Item #19.3



1 Upper Roof Top Existing
1/8" = 1'-0"

APPROVED 12/15/15

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

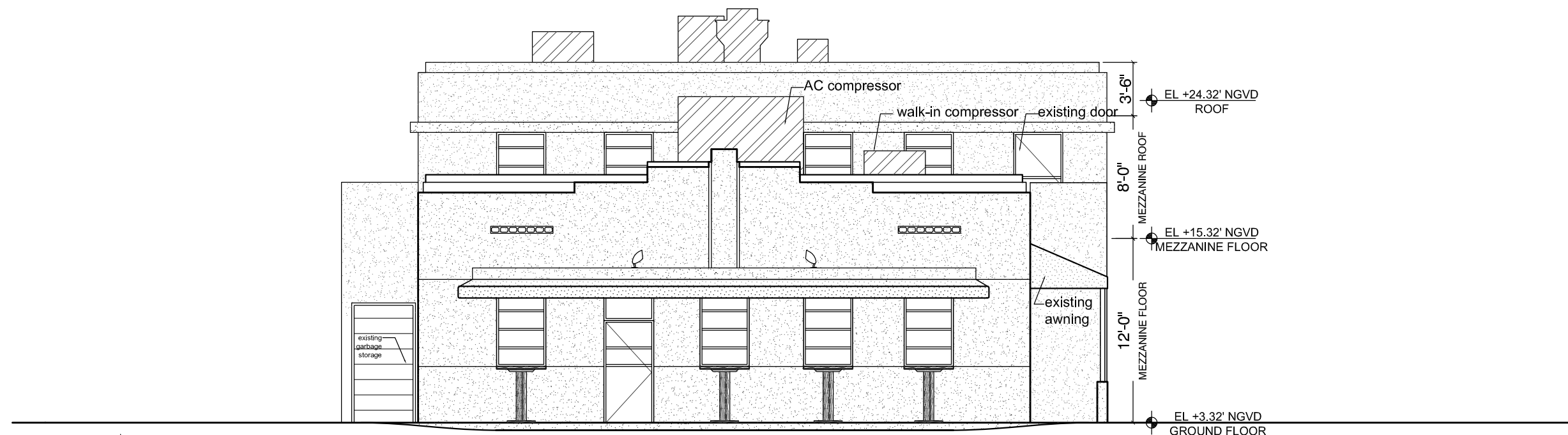


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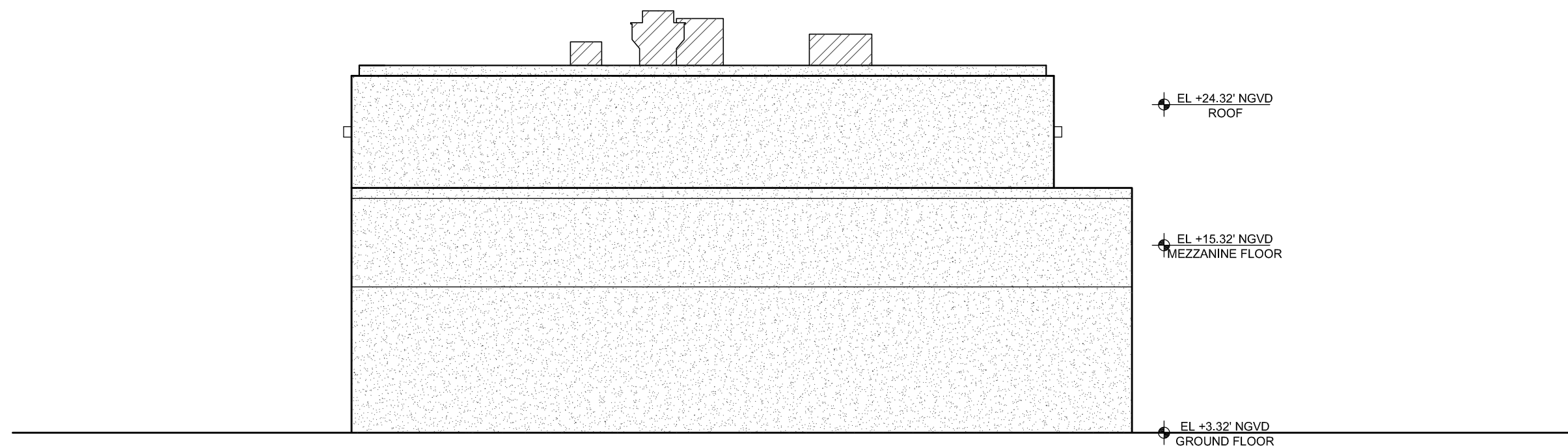
| no. | revision/issue | date |
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scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Existing Elevations
Item #19.4



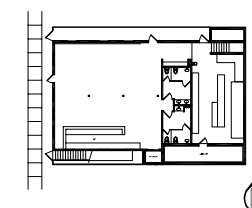
1 Existing Front Elevation (west)
1/8" = 1'-0"



2 Existing Back Elevation (east)
1/8" = 1'-0"

APPROVED 12/15/15

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



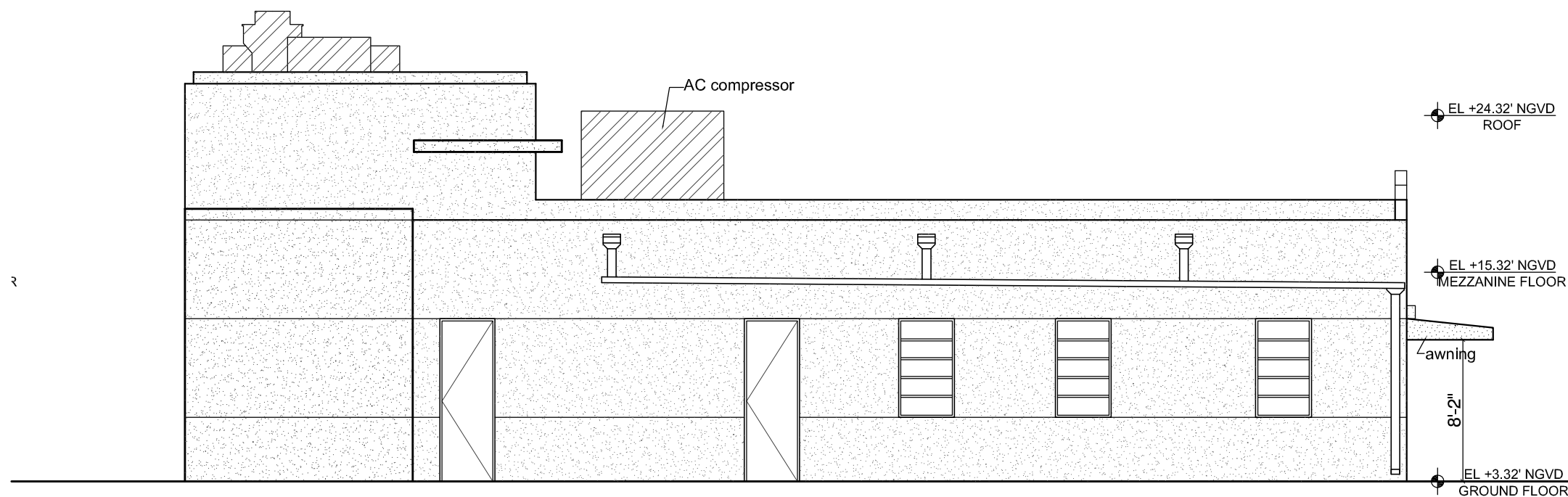
Drawing Issue

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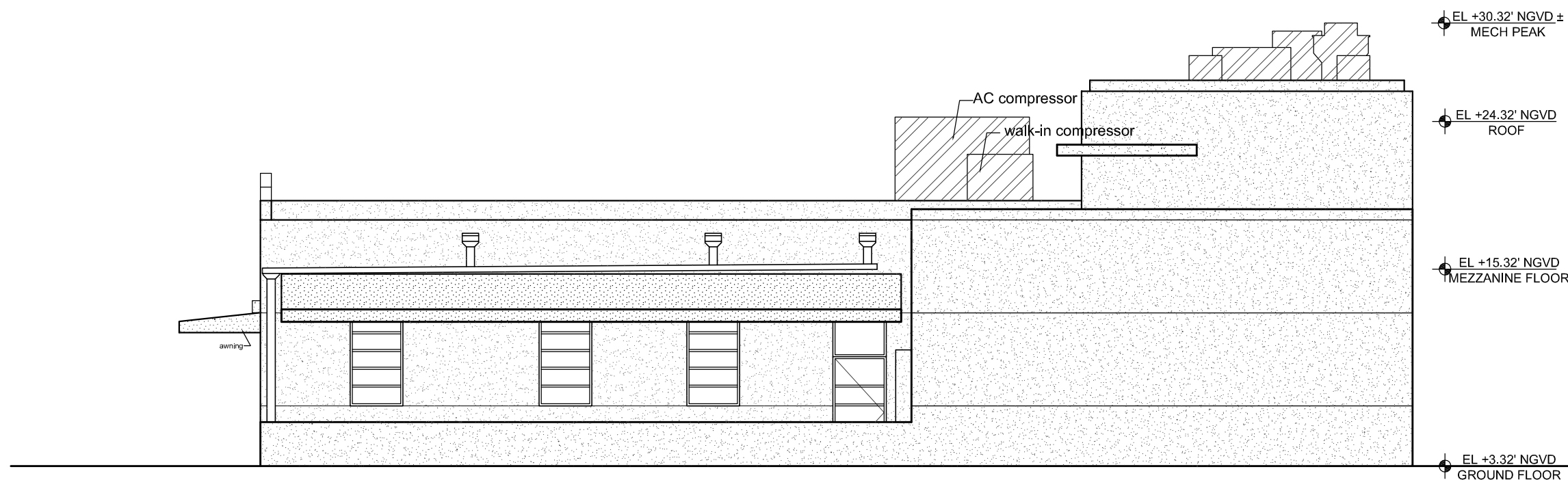
scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

Existing Elevations
Item #19.5



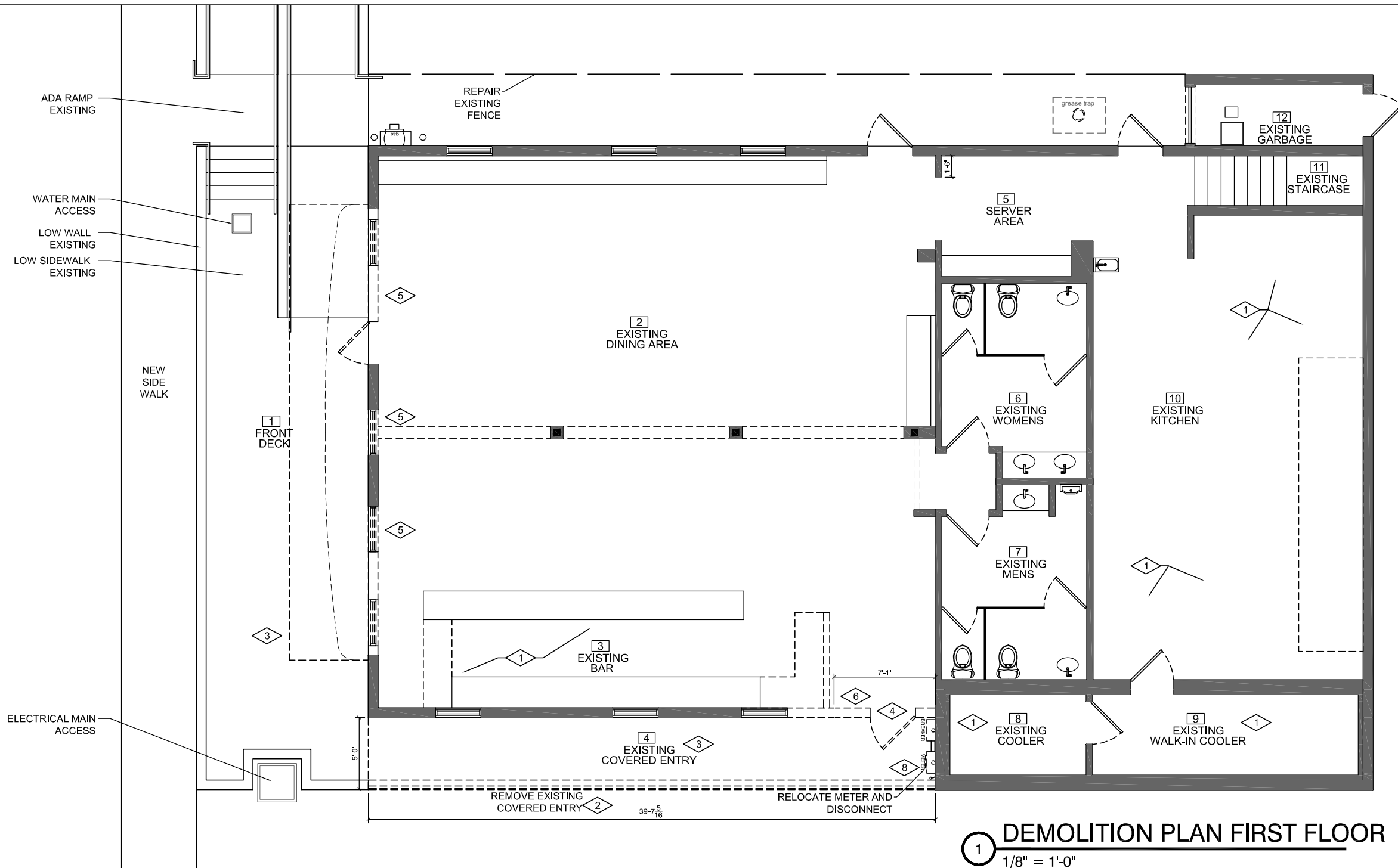
1 Existing Side Elevation (north)
1/8" = 1'-0"



2 Existing Side Elevation (south)
1/8" = 1'-0"

APPROVED 12/15/15

PROPOSED CHANGES/ SITE CHANGES
-ROLL UP STOREFRONT REVISED
-CITY SIDEWALK RENOVATED



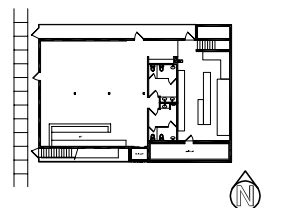
1 DEMOLITION PLAN FIRST FLOOR
1/8" = 1'-0"

DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.
- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.
- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
- INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
- INDICATES PHOTOGRAPH / ELEVATION NUMBER
INDICATES DWG. NUMBER

DEMOLITION NOTES:

- EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- REMOVE AWNING
- RELOCATE DOOR
- DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
- RELOCATE METER AND DISCONNECT
- RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
- RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL



Drawing Issue

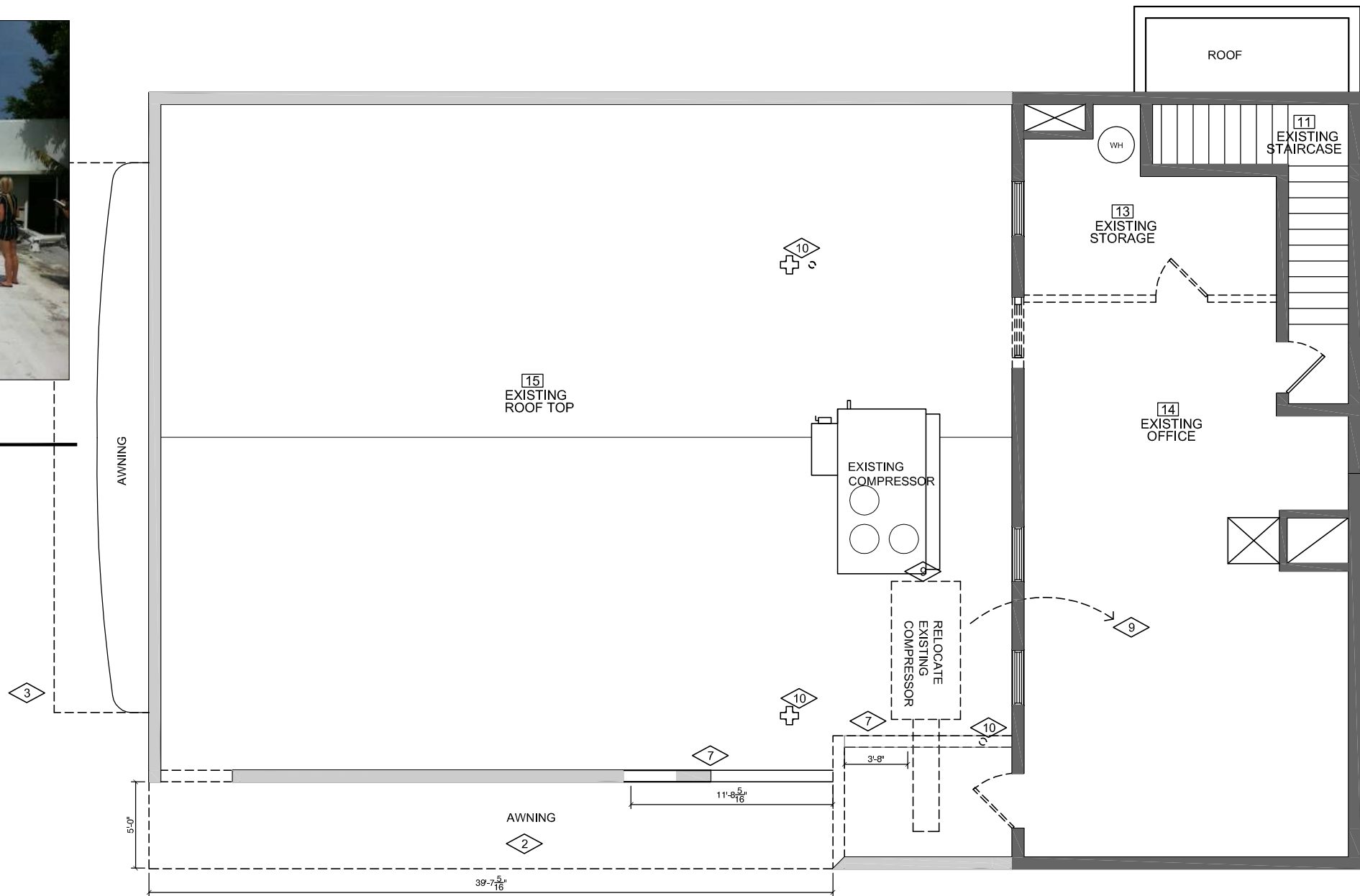
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| 6 | PB Hearing | TBD |

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Demolition Plan
First Floor
Item #20.1



EXISTING ROOF
NTS



APPROVED 12/15/15

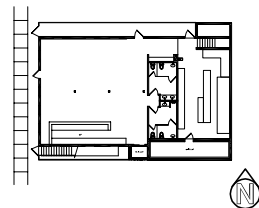
DEMOLITION PLAN SECOND FLOOR / ROOF
1/8" = 1'-0"

DEMOLITION SYMBOLS:

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DEMOLITION NOTES:

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- RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL

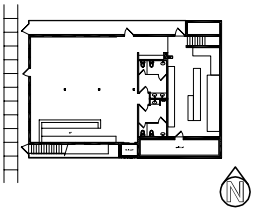


Drawing Issue

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scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Demolition Plan
Second Floor
Item #20.2**

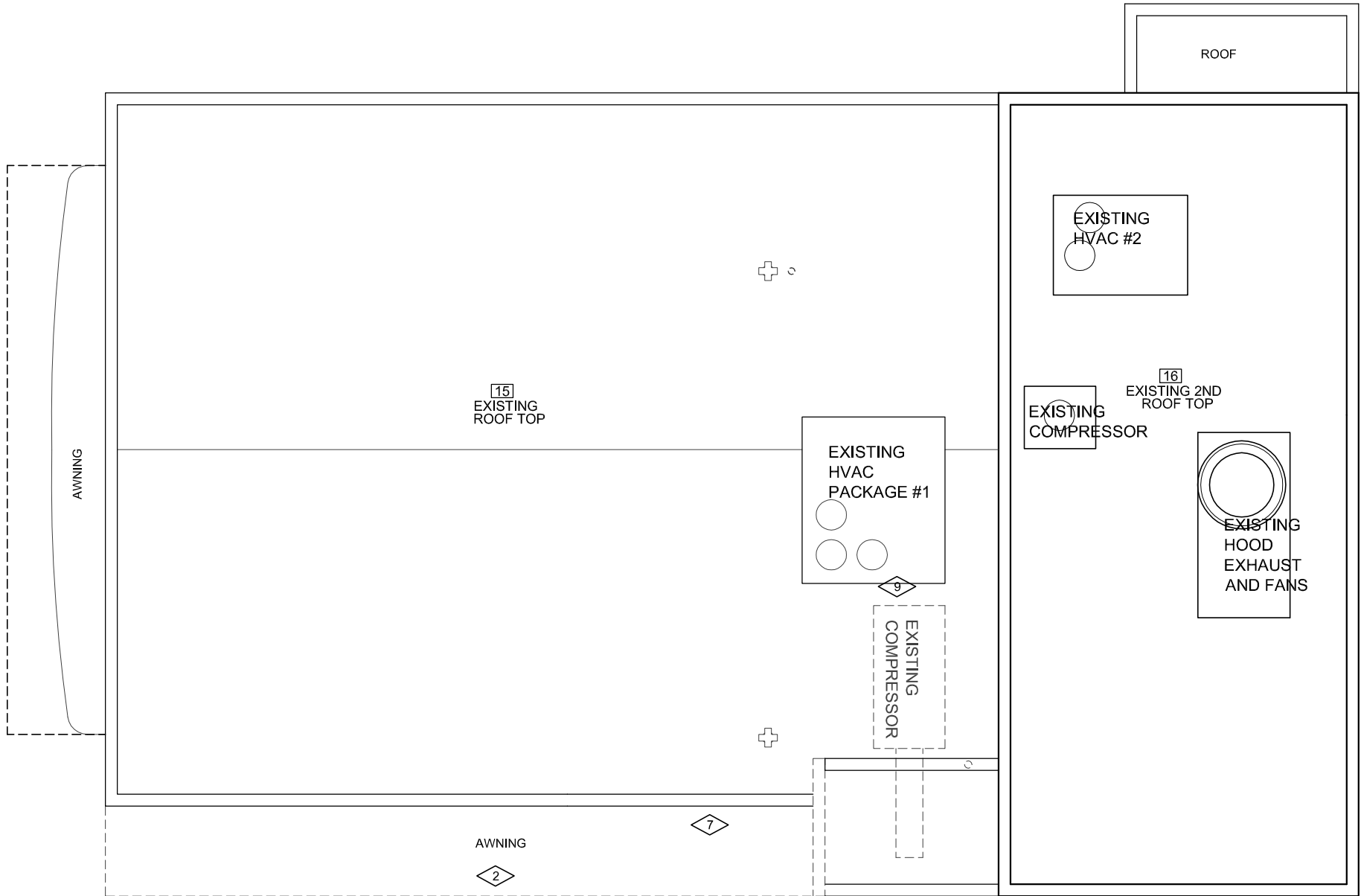


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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Demolition Plan
Roof Top Floor
Item #20.3**



APPROVED 12/15/15

1 DEMOLITION PLAN UPPER ROOF
1/8" = 1'-0"







DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
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- INDICATES PHOTOGRAPH / ELEVATION NUMBER
INDICATES DWG. NUMBER






DEMOLITION NOTES:

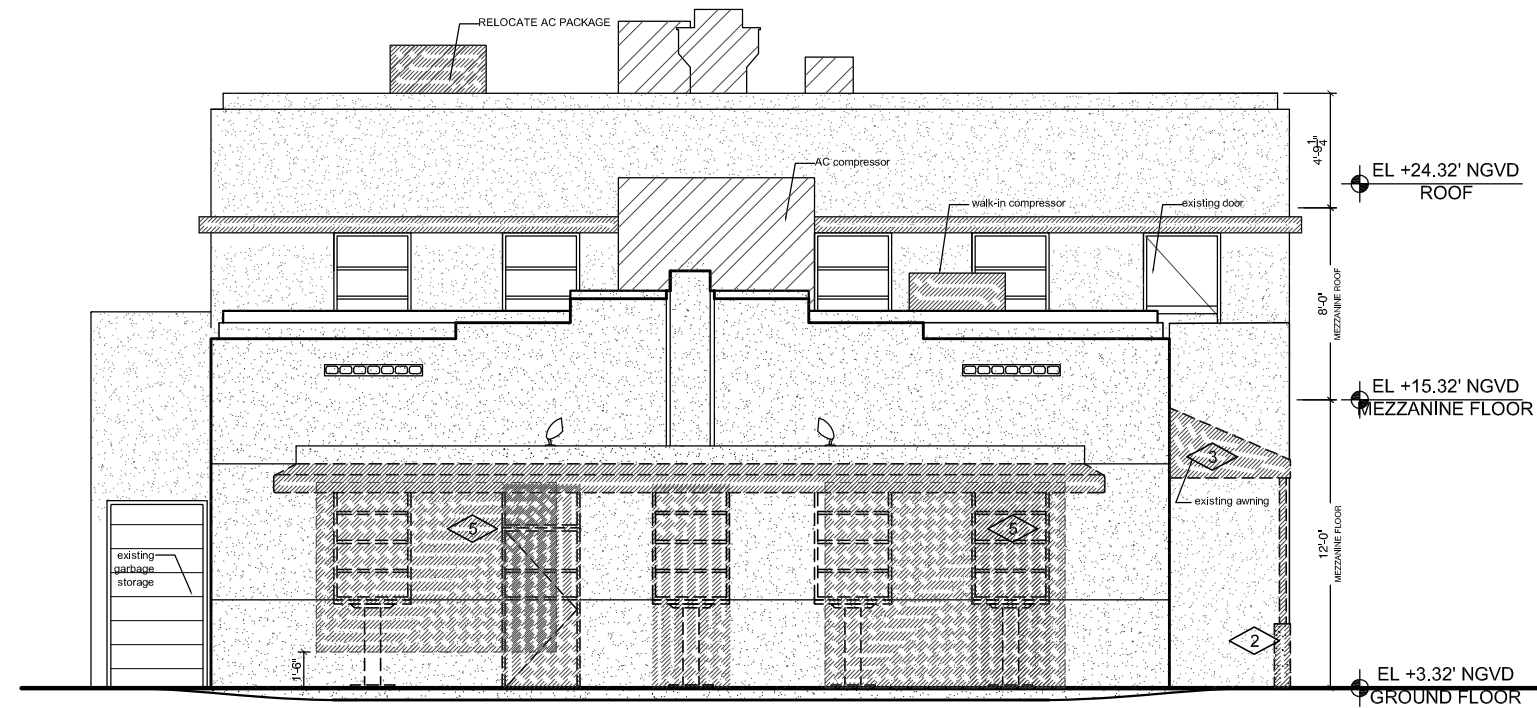
- EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- REMOVE AWNING
- RELOCATE DOOR
- DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
- RELOCATE METER AND DISCONNECT
- RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
- RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL

DEMOLITION SYMBOLS:

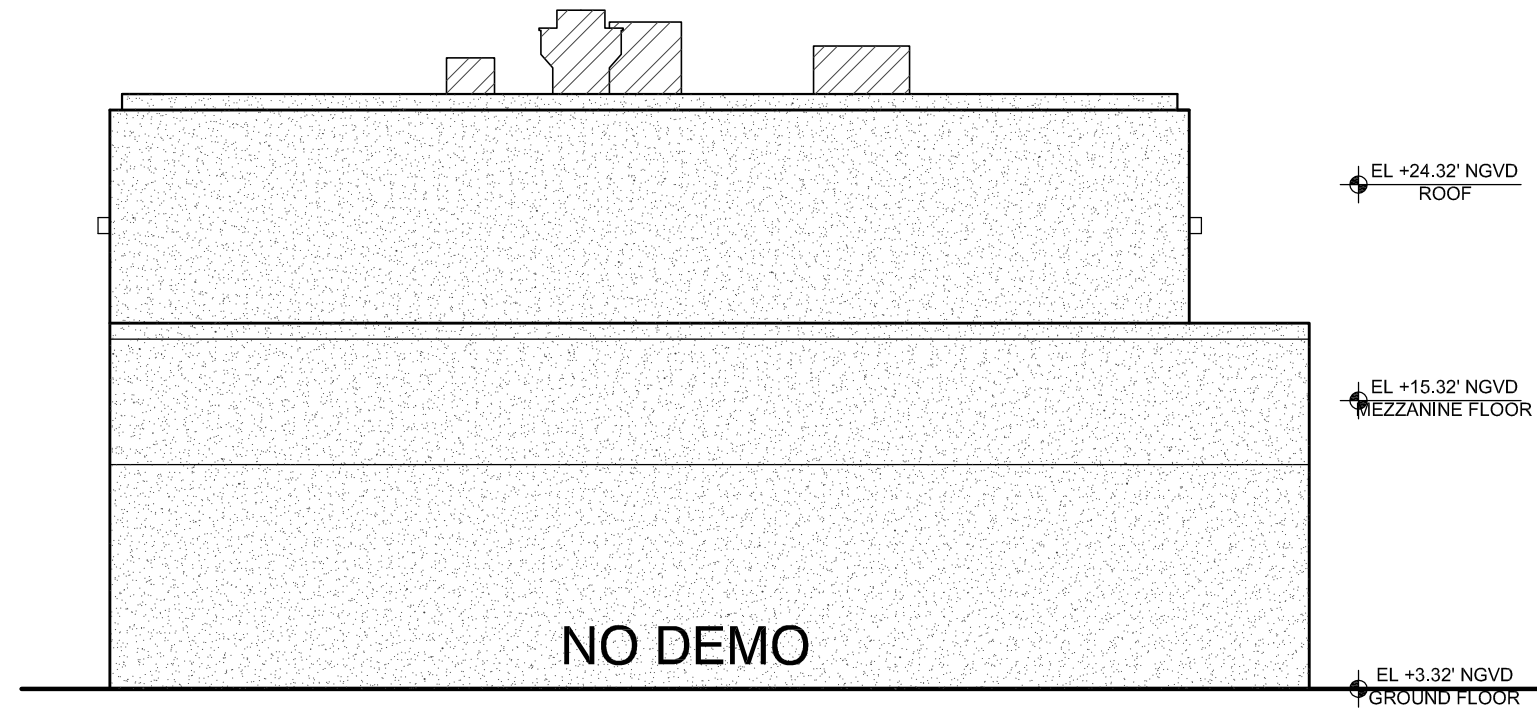
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INDICATES DWG. NUMBER

DEMOLITION NOTES:

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-  REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
-  REMOVE AWNING
-  RELOCATE DOOR
-  DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
-  REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
-  REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
-  RELOCATE METER AND DISCONNECT
-  RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
-  RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL

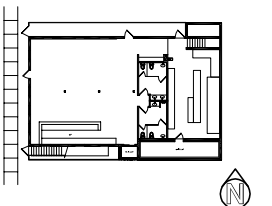


1 DEMOLITION ELEVATION FRONT
1/8" = 1'-0"



2 DEMOLITION ELEVATION REAR
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-LARGER OPENING FOR ROLL UP STOREFRONT

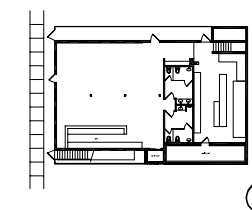


Drawing Issue

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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Demolition Elevation
Front / Rear
Item #20.4**



Drawing Issue

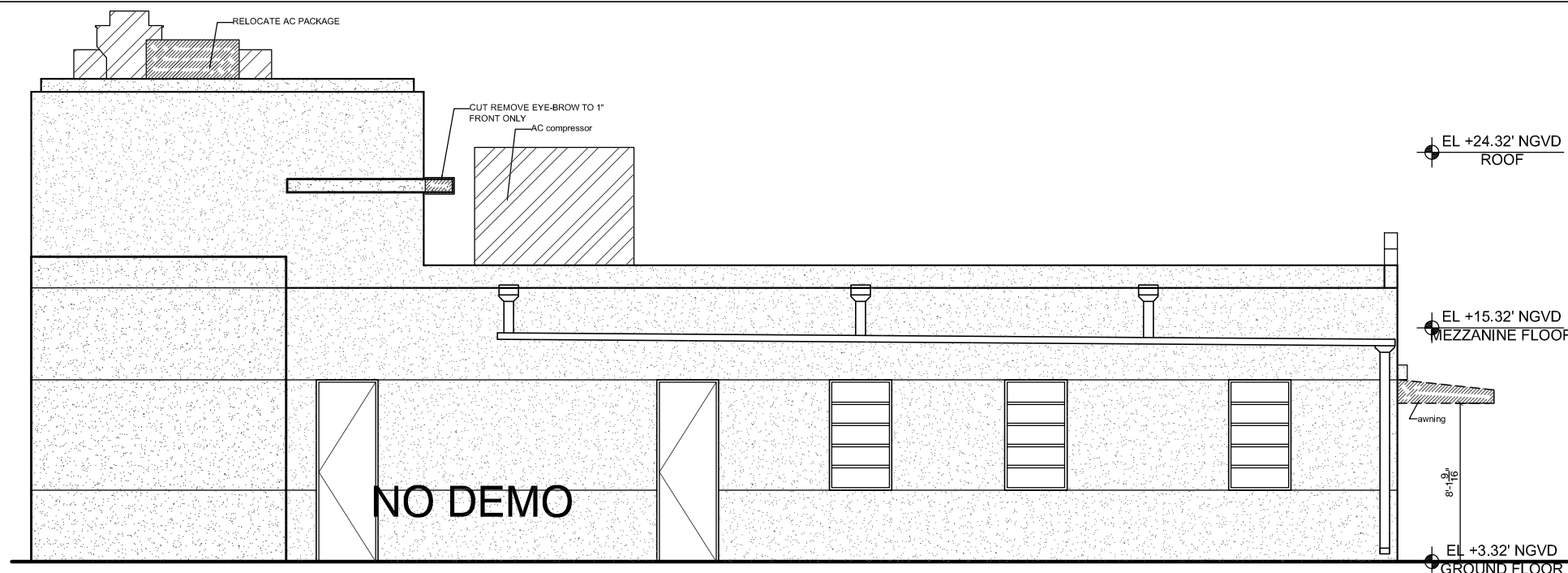
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Drawing:
**Demolition Elevation
Sides
Item #20.5**

DEMOLITION SYMBOLS:

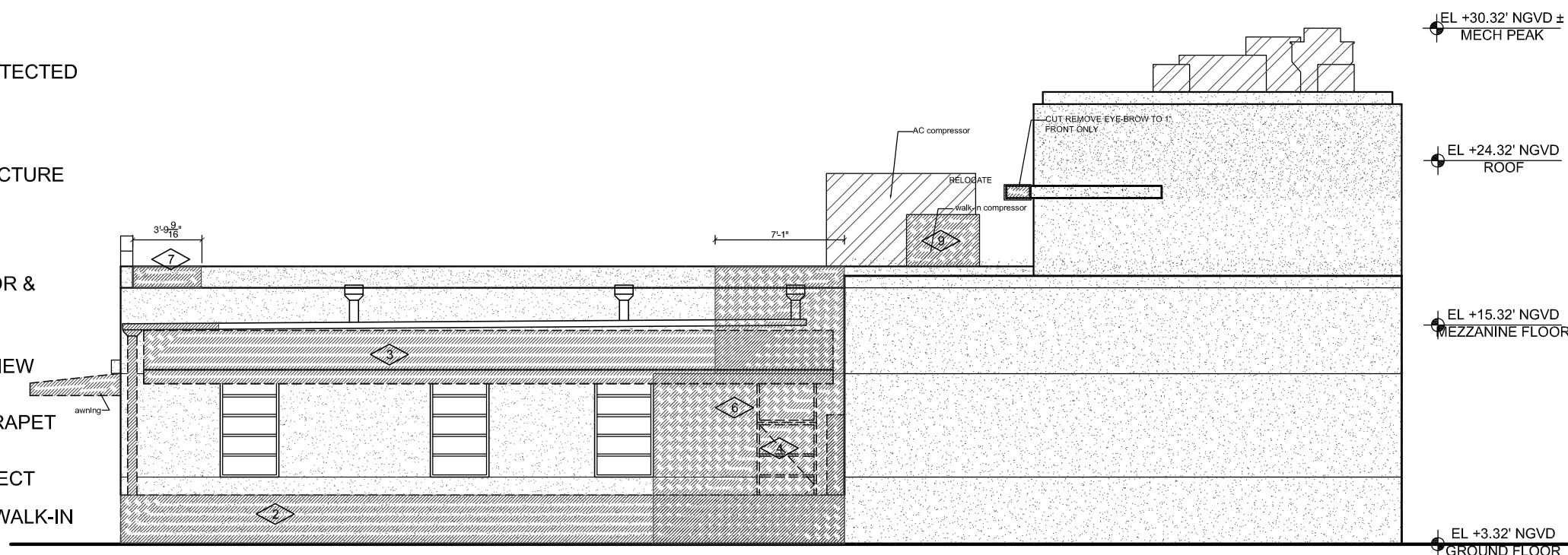
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INDICATES DWG. NUMBER



1 DEMOLITION NORTH ELEVATION
1/8" = 1'-0"

DEMOLITION NOTES:

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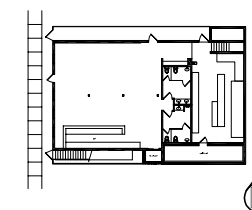


2 DEMOLITION SOUTH ELEVATION
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-STAIRCASE RISES WEST TO EAST

Tackle Box

Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



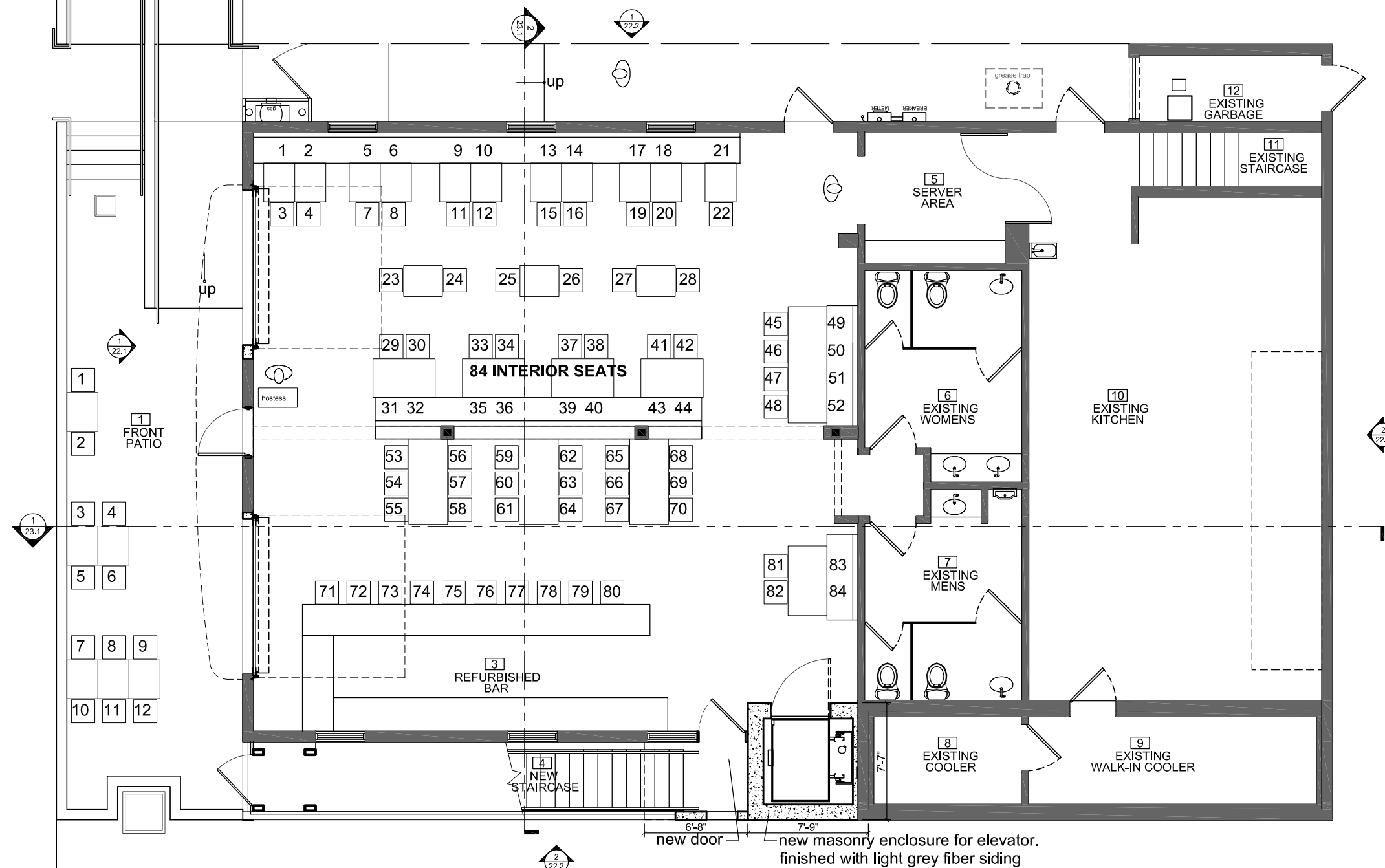
Drawing Issue

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date: 4/6/16
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Drawing:

Proposed Floor Plans
First Floor
Item #21.1



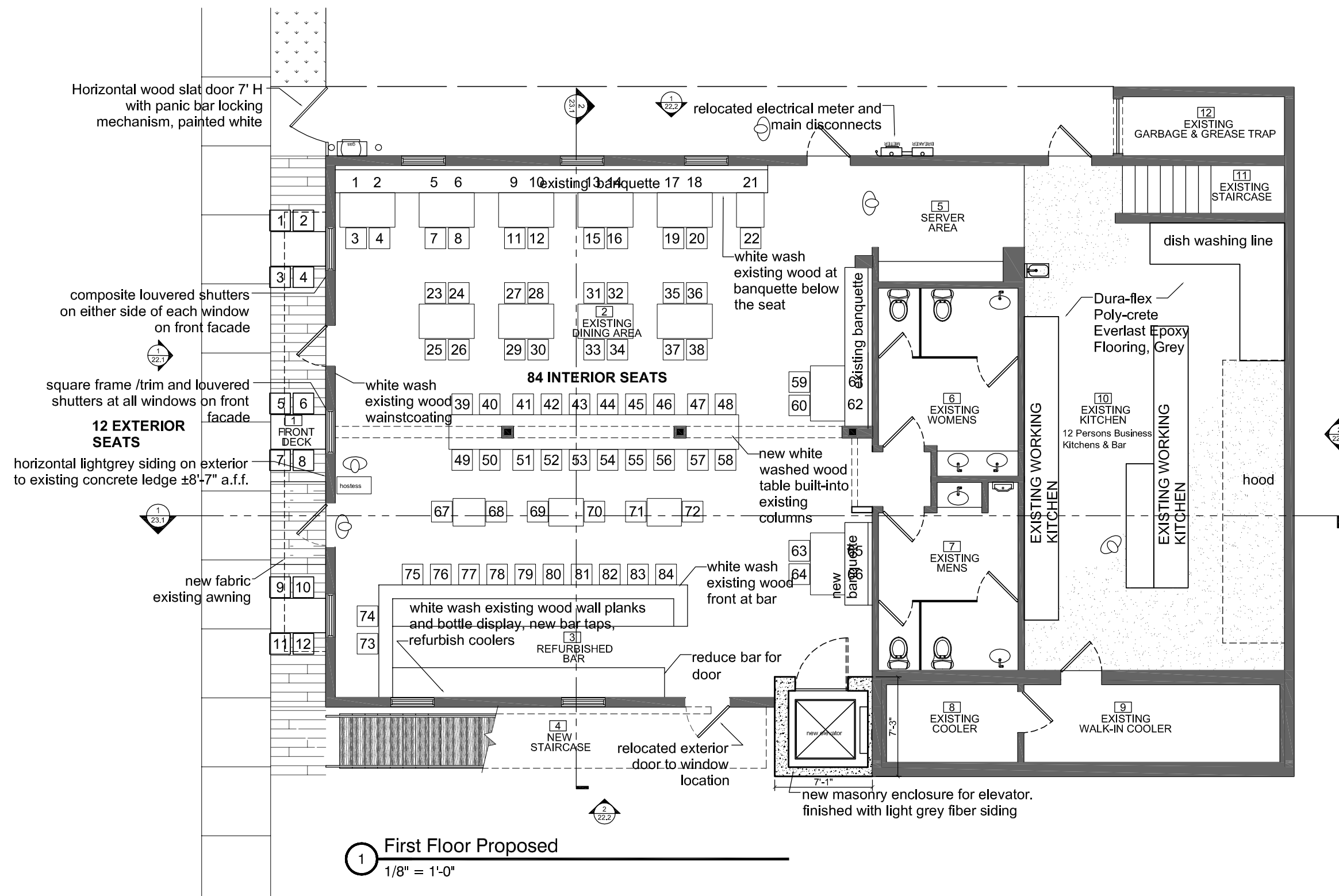
1 First Floor Proposed
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-ROLL UP STOREFRONT REVISED
-CITY SIDEWALK RENOVATED

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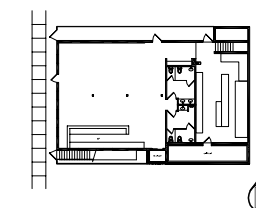
Proposed Floor Plans
First Floor
Item #21.1



Approved at Planning Board Hearing 12/15/15

Tackle Box

Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



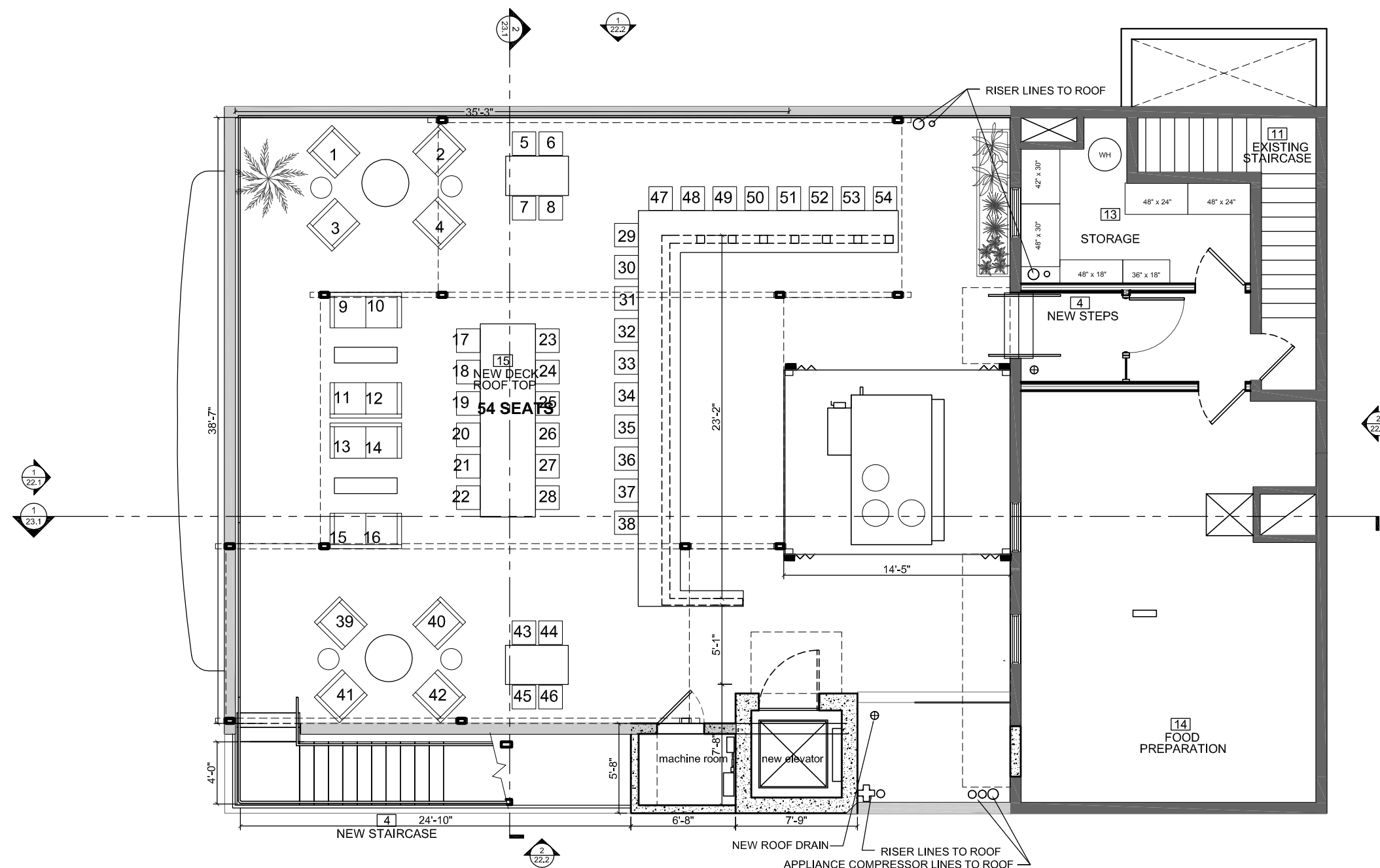
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Drawing:

Proposed Floor Plans
Second Floor
Item #21.2



1 Second Floor & Rooftop Deck Proposed
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES

-8 SEATS ADDED

-EGRESS ROUTE UPDATED (STAIR ACCESS THROUGH BUILDING NOT SIDEWALK)

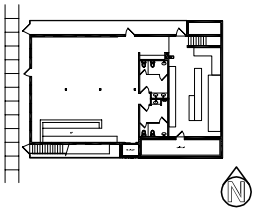
The floor plan shows a large rectangular building with a complex internal layout. On the left side, there is a long, narrow corridor or entrance area. The main body of the building contains several rooms of varying sizes. A large, open area on the right side appears to be a common space or a large hall. The plan includes numerous doors, windows, and internal partitions, indicating a multi-functional building. A small circular feature, possibly a well or a small courtyard, is located near the center-right of the plan.

| no. | revision/issue | date |
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| 3 | | |

Proposed Floor Plans
Second Floor
Item #21.2



Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

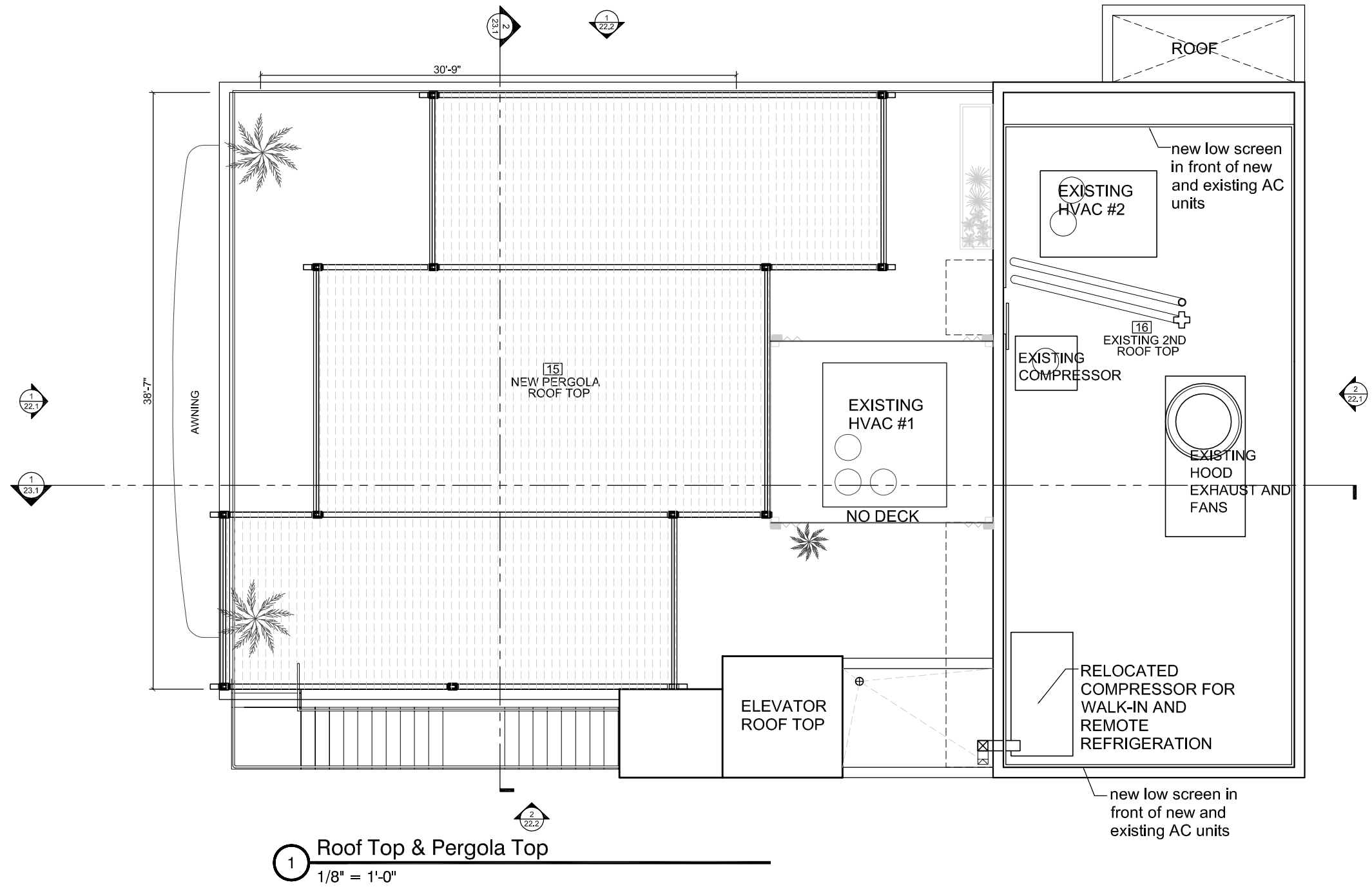


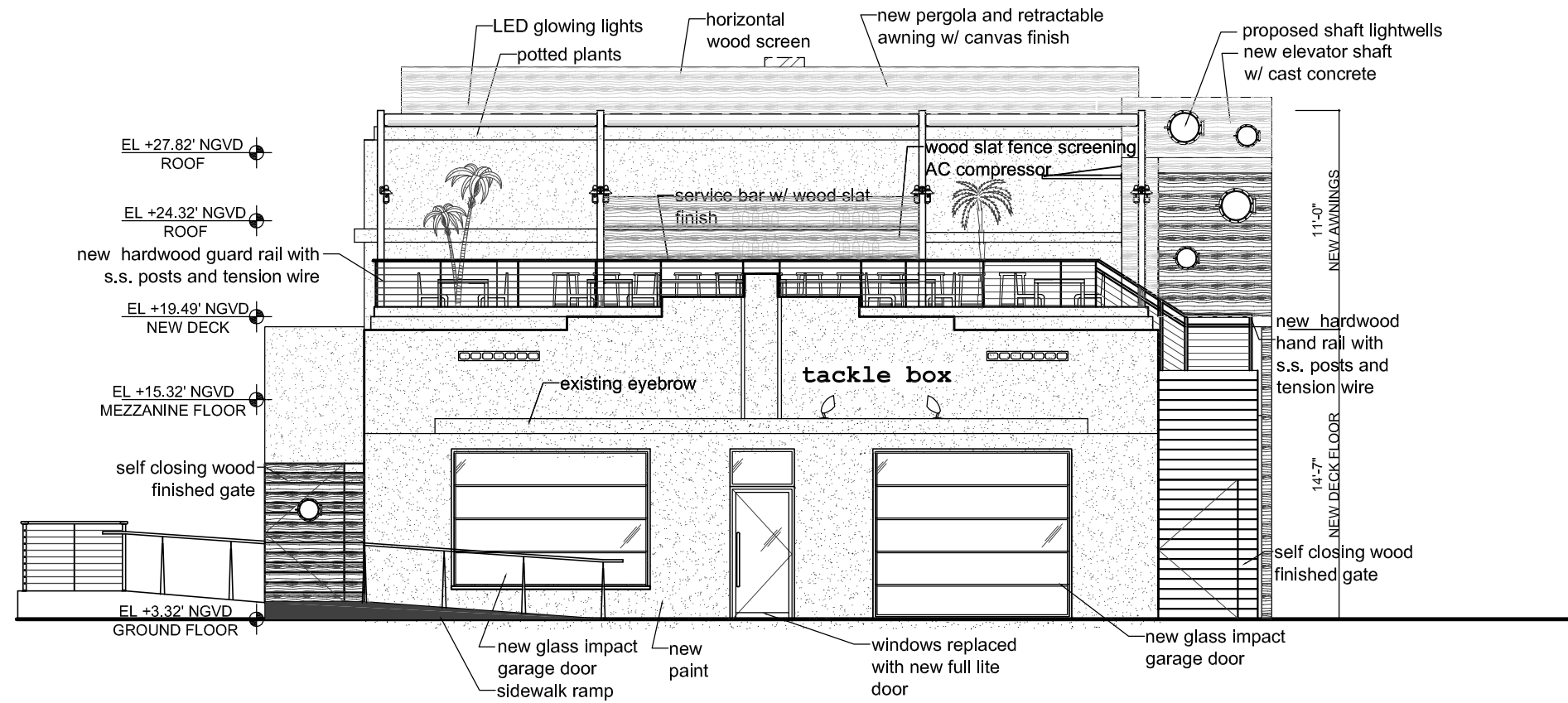
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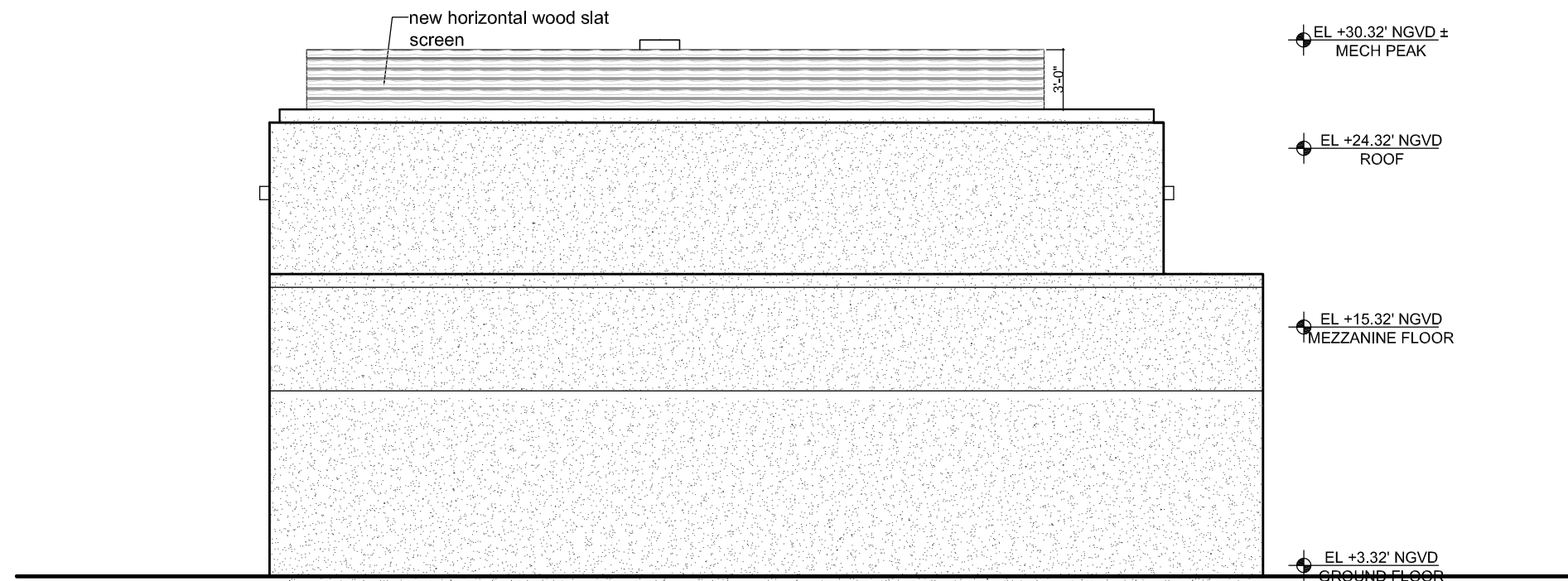
Drawing:
Proposed Floor Plans
Roof Top
Item #21.3



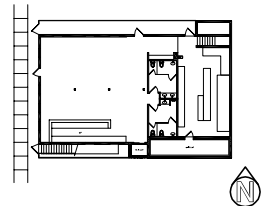


1 Proposed Front Elevation (west)
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES -ROLL UP, STOREFRONT REVISED



2 Proposed Back Elevation (east)
1/8" = 1'-0"



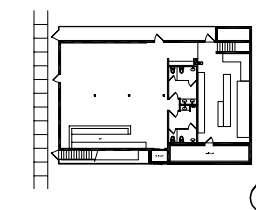
Drawing Issue

| no. | revision/issue | date |
|-----|--------------------------|----------|
| 1 | First Submittal | 09/14/15 |
| 2 | Final Submittal Approved | 09/30/15 |
| 3 | PB Hearing Approved | 12/15/15 |
| 4 | Revision 1st Submittal | 03/16/16 |
| 5 | Revision Final Submittal | 04/06/16 |
| 6 | PB Hearing | TBD |

scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

**Proposed
Elevations
Item #22.1**



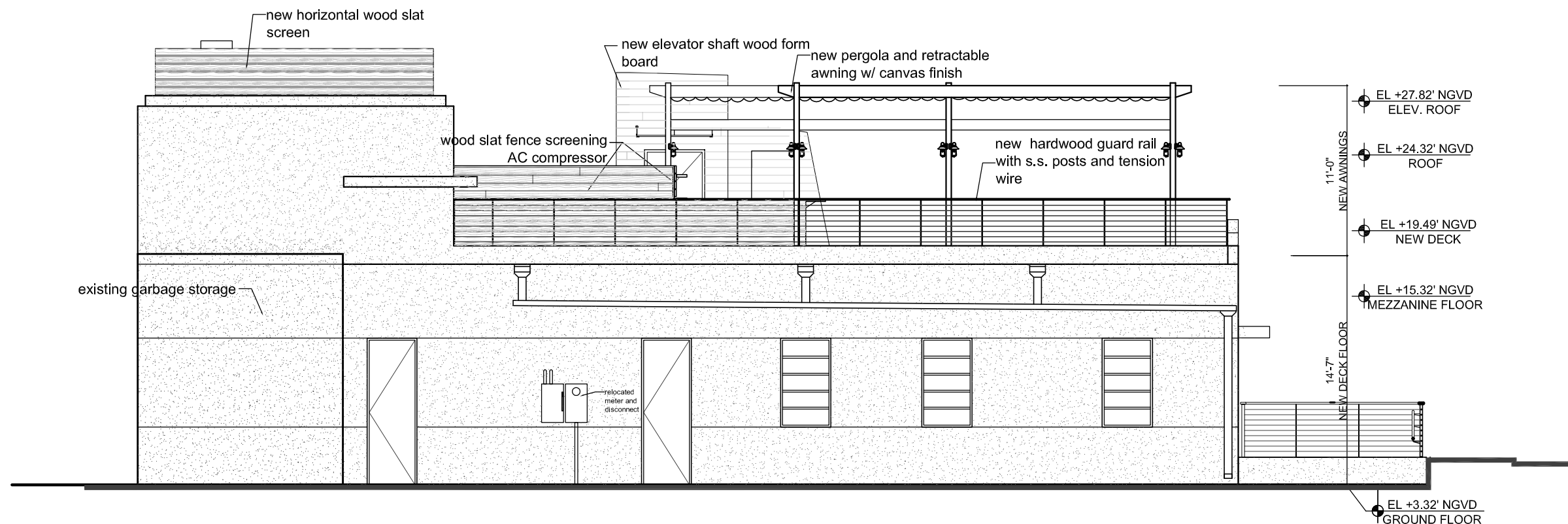
Drawing Issue

| no. | revision/issue | date |
|-----|--------------------------|----------|
| 1 | First Submittal | 09/14/15 |
| 2 | Final Submittal Approved | 09/30/15 |
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| 5 | Revision Final Submittal | 04/06/16 |
| 6 | PB Hearing | TBD |

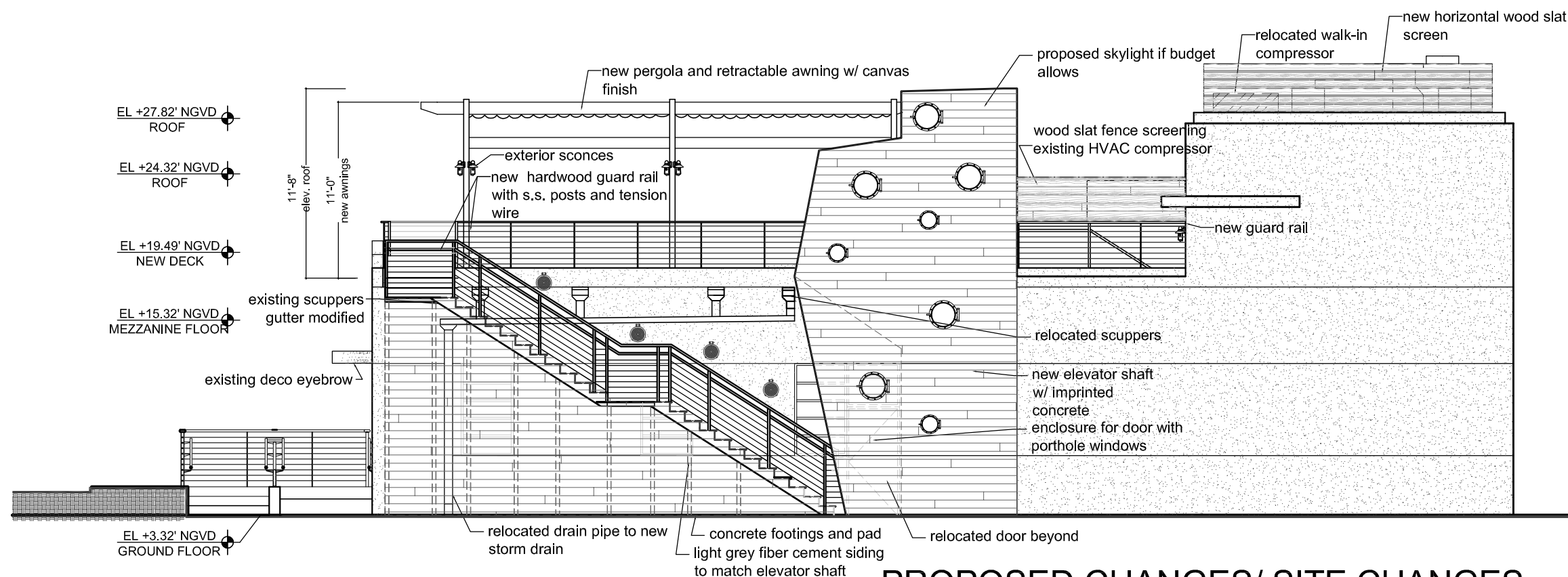
scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

**Proposed
Elevations
Item #22.2**



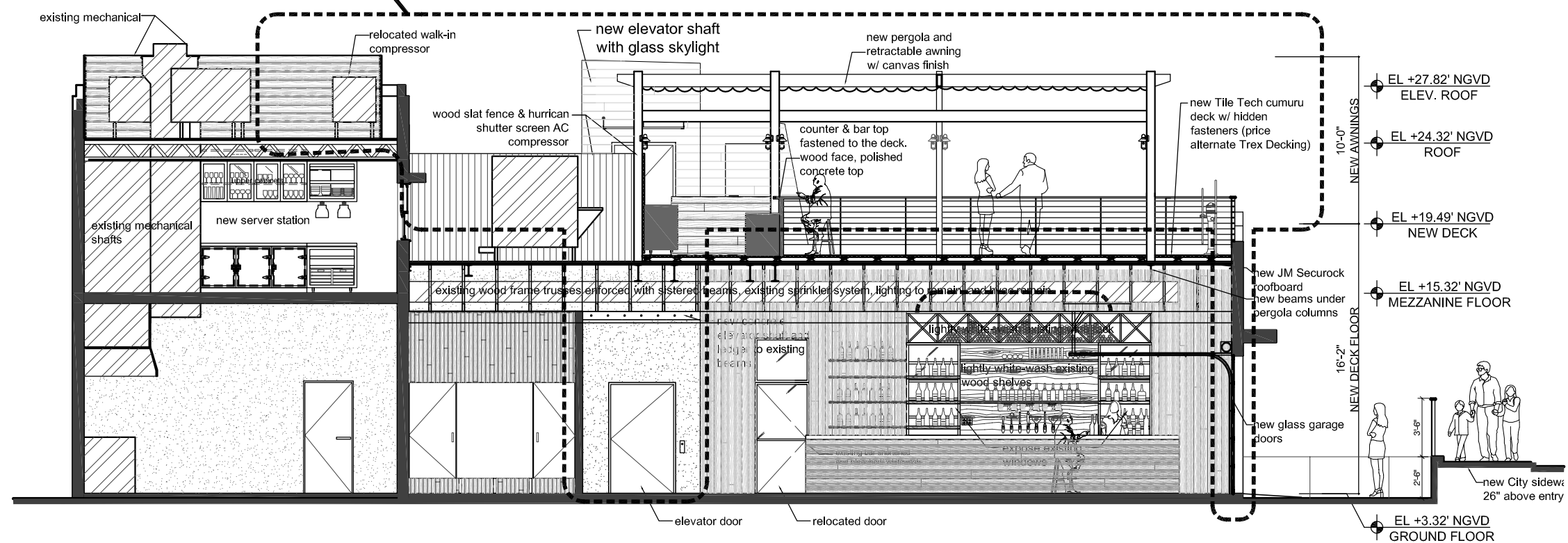
1 Proposed Side Elevation (north)
1/8" = 1'-0"



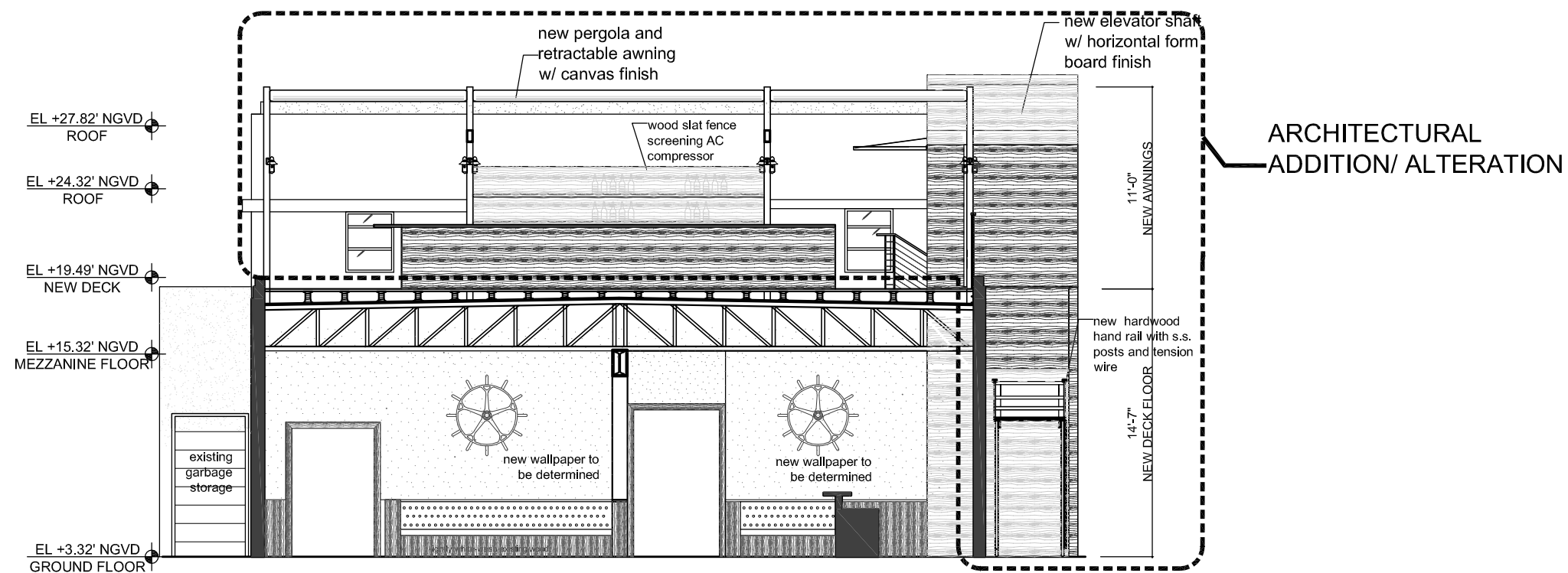
2 Proposed Front Elevation (south)
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-STAIRCASE RISES EAST TO WEST
-SIDEWALK ELEVATION

ARCHITECTURAL ADDITION/ ALTERATION

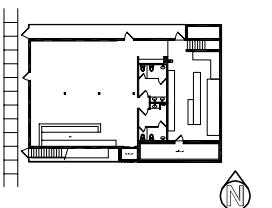


1 Proposed Section #1
1/8" = 1'-0"



2 Proposed Section #2
1/8" = 1'-0"

PROPOSED NEW ROLL UP STOREFRONT



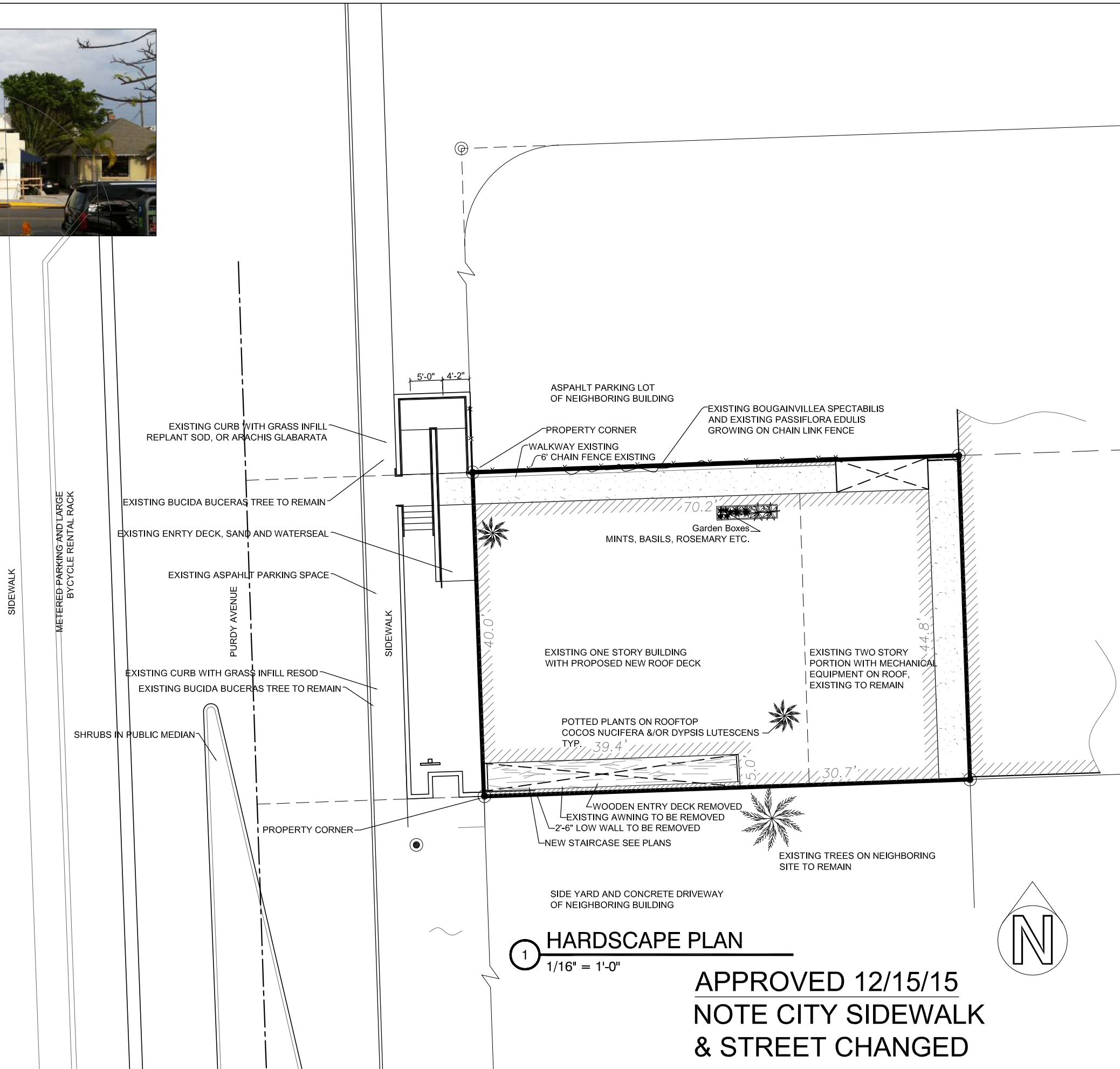
Drawing Issue

| no. | revision/issue | date |
|-----|--------------------------|----------|
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| 6 | PB Hearing | TBD |

scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11x17"

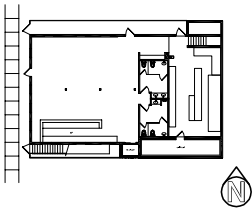
Drawing:

**Proposed
Sections
Item #23.1**



1 **HARDSCAPE PLAN**
1/16" = 1'-0"
APPROVED 12/15/15
NOTE CITY SIDEWALK
& STREET CHANGED

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



Drawing Issue

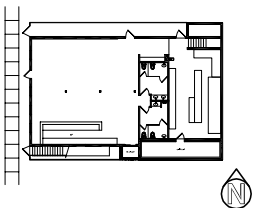
| no. | revision/issue | date |
|-----|--------------------------|----------|
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| 6 | PB Hearing | TBD |

scale: 1/16" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Landscape Plan
Item #24.1

Tackle Box

Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

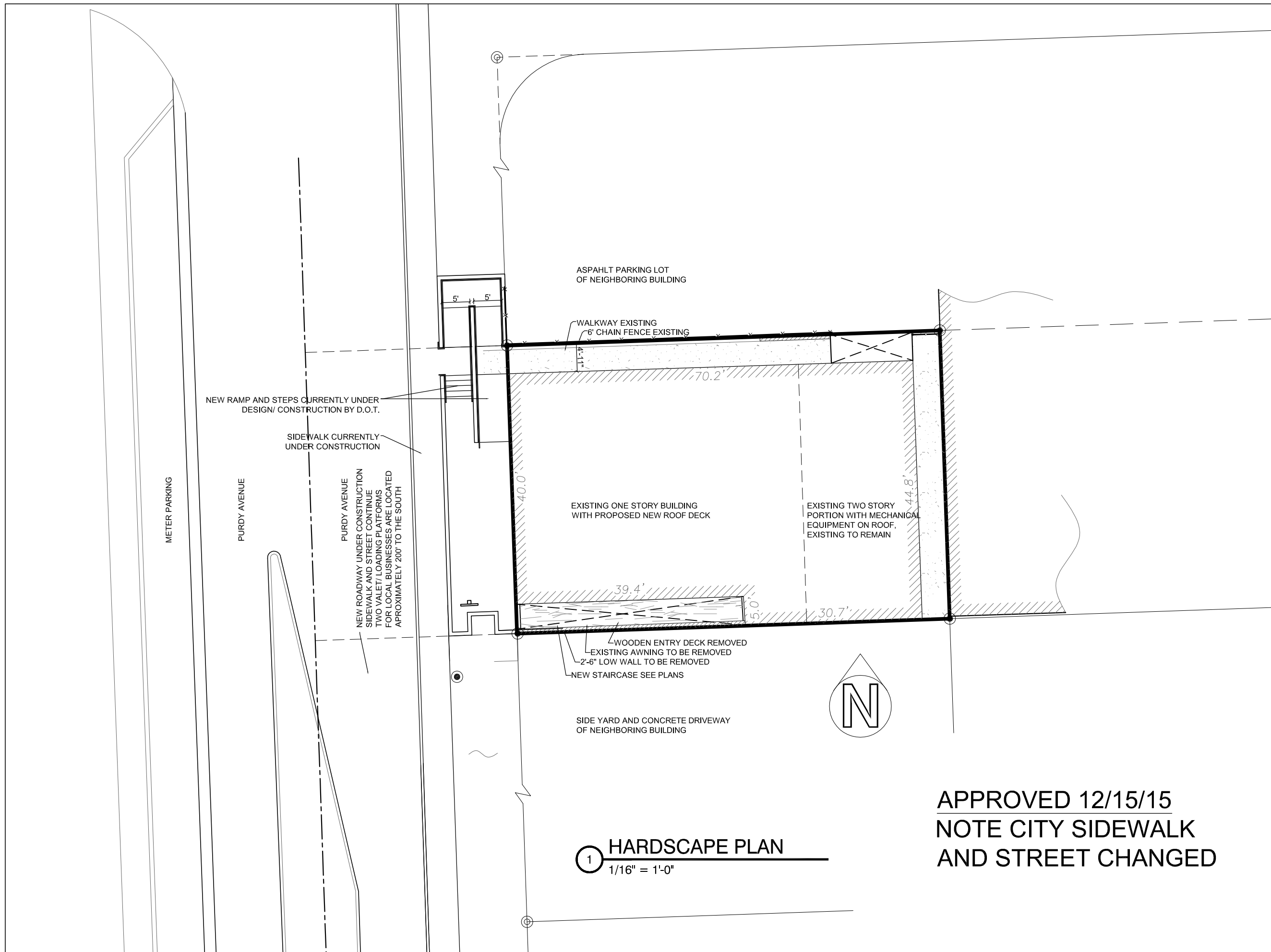


Drawing Issue

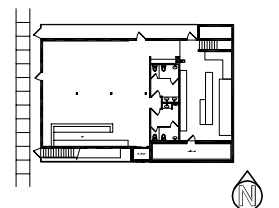
| no. | revision/issue | date |
|-----|--------------------------|----------|
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| 6 | PB Hearing | TBD |

scale: 1/16" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Hardscape Plan
Item #25.1



Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



Drawing Issue

| no. | revision/issue | date |
|-----|--------------------------|----------|
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| 5 | Revision Final Submittal | 04/06/16 |
| 6 | PB Hearing | TBD |

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

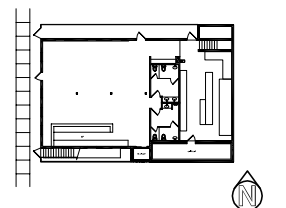
Drawing:
**Proposed
Rendering
Item #26.1**



1 Proposed Front Elevation Rendering (west)
NTS

**PROPOSED
NEW ROLL UP STOREFRONT**

Tackle Box
Interior Renovation & Roof Deck Addition
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Miami Beach, FL 33139



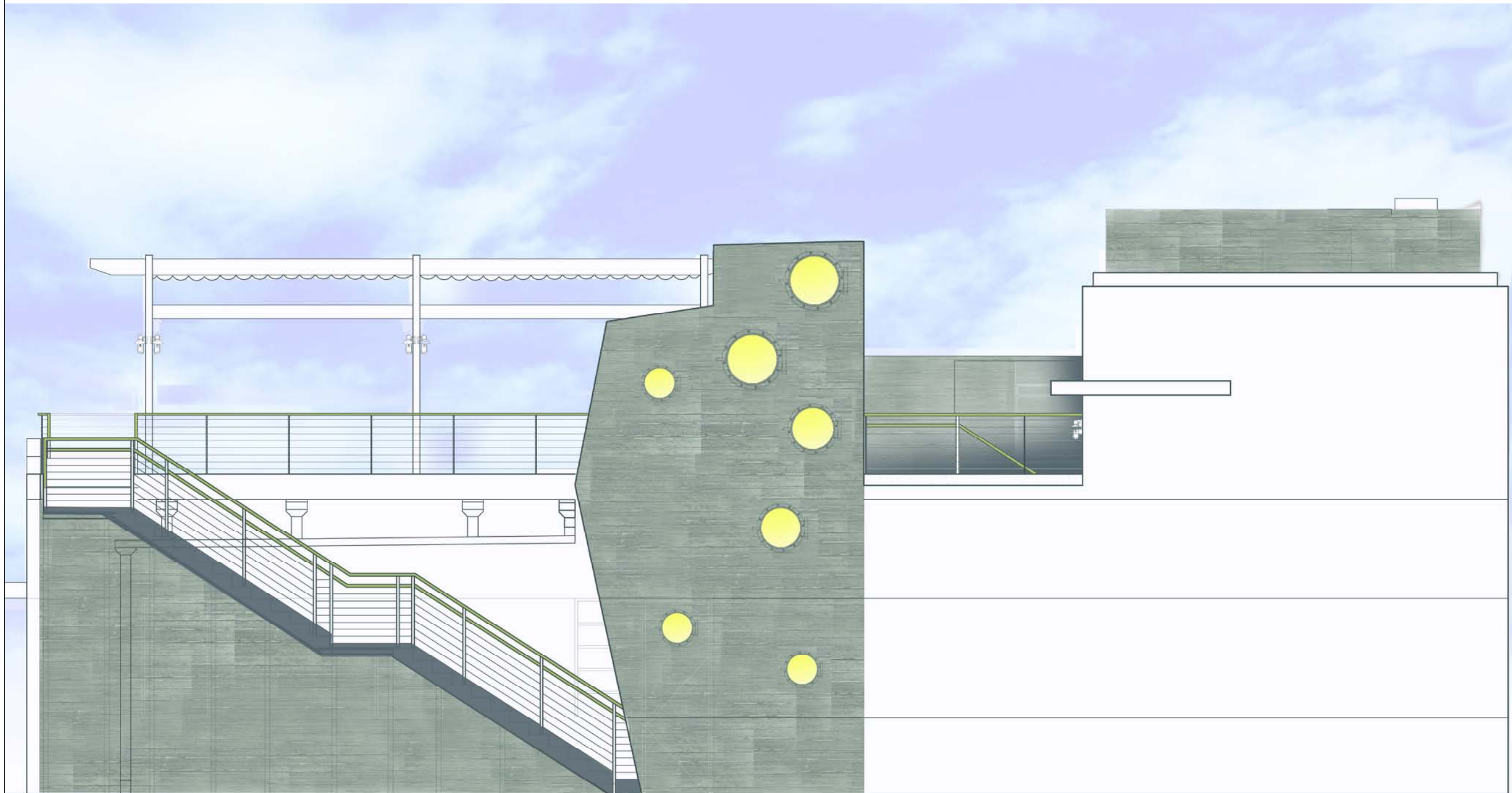
Drawing Issue

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|-----|--------------------------|----------|
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scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

**Proposed
Rendering
Item #26.2**



1 Proposed Side Elevation Rendering (south)
NTS

**PROPOSED
NEW STAIR ORIENTATION AND MECHANICAL ROOM ON
ELEVATOR SHAFT**